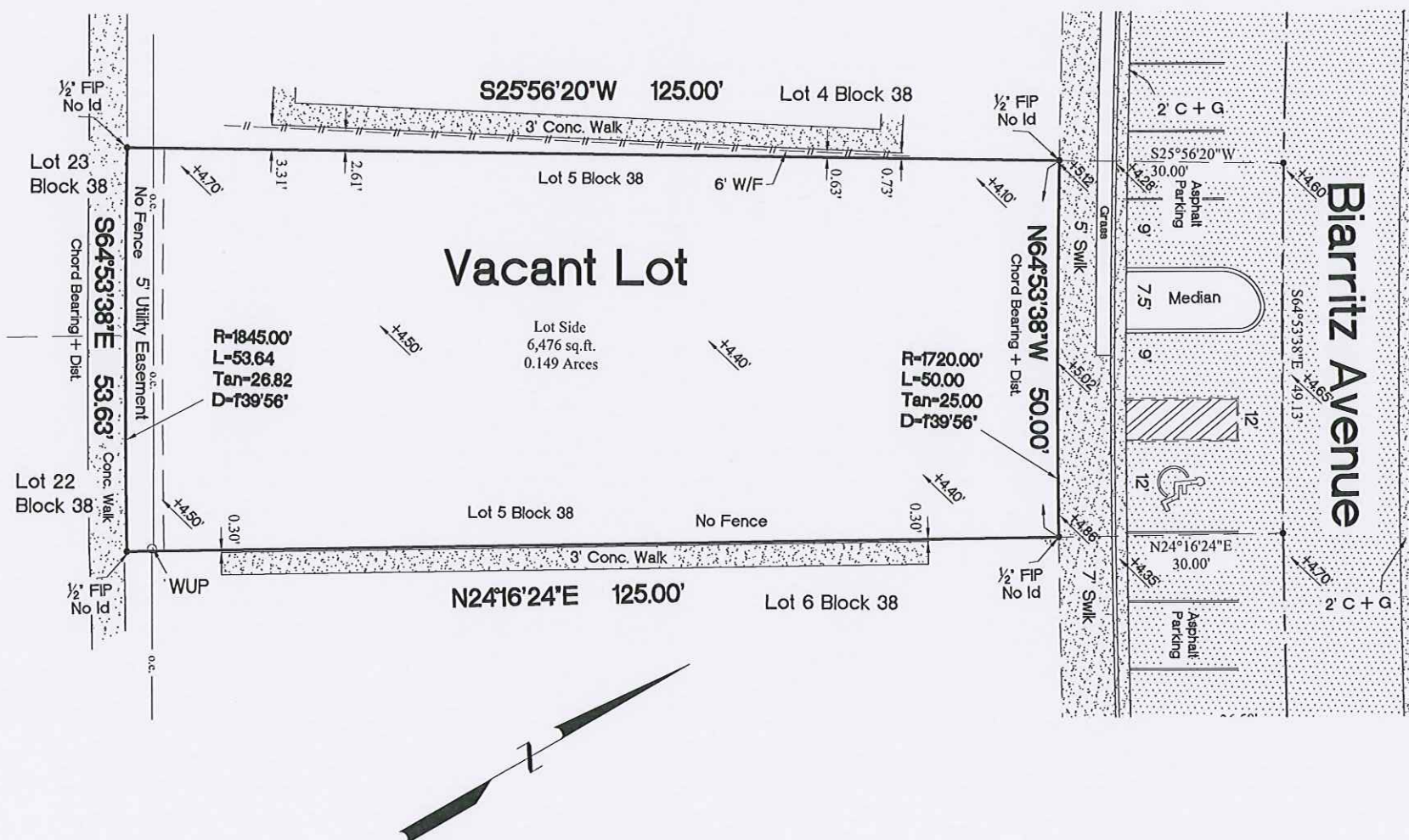




**Graphic Scale 1" = 15"**

[illegible]

South Everglades Concourse 71st STREET



Dean Trantalis  
ACM LLC

1966 Biarritz Drive  
Miami Beach, Florida 33139

#11 the herein captioned Property was surveyed and described based on the Legal Description provided by Client.

#12 This Certification is Only for the Lands as Described. It is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. **ABSTRACT NOT REVIEWED.**

#13 There may be additional Restrictions not Shown on this survey that may be found in the public Records of St. Johns County. Examination of **ABSTRACT OF TITLE** will have to be made to determine recorded instruments, if any affecting this property.

#14 Accuracy:  
The expected use of land, as classified in the Minimum technical standards (31-157.016), is residential, the minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet, the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.

#15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown herein.

#16 not valid without the signature and original seal of a Florida Licensed Surveyor. This is not a substitute for defendant to survey maps or reports by other than the signing party or parties.

#17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.

#18 Underground Utilities are not depicted herein, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown herein.

#19 Ownership subject to Opinion of Title.

Lot 5, Block 38 of: " MIAMI VIEW SECTION  
OF THE ISLE OF NORMANDY, PART 1",  
according to the Plat Thereof as Recorded in Plat  
Book 34, Page 80 of the Public Records of  
Miami-Dade County, Florida.

*National Flood Insurance Program  
FEMA Elev. Reference to NGVD 1929*

Comm Panel	120651
Panel #	0182
Firm Zone:	"AE"
Date of Firm:	09-11-2009
Base Flood Elev.	8.00'
F.Floor Elev.	N/A
Garage Elev.	N/A
Suffix:	"L"
Elev. Reference to NGVD 1929	

JOB #	16-888
DATE	09-28-2016
PB	34-80

#1 Land Shown Hereon were not abstracted for Easement and/or Right of Way Records. The Easement / Right of Way Shown on Survey are as per plat of record unless otherwise noted.

#2 Benchmark: Miami-Dade County Public Works Dep.  
Loc. 3231 S, Name A-24 MCD, Elev. 5.9' NGVD 1929

#3 Bearings as Shown hereon are Based upon  
South Everglades Concourse, N90°00'00"E

#4 Please See Abbreviations

#5 Drawn By A. Alvarez, A. Torres

#6 Date: 09-08-14; 9-28-16

#7 Completed Survey Field Date: 09-08-14; 9-27-16

#8 Disc No 2016, Station Surveying Scion

#9 Last Revised:

#10 Zoned Building setback line not determined



**Professional  
Surveyors & Mappers LB 7498  
13050 S.W. 133rd Court  
Miami Florida, 33186  
E-mail: afaco@bellsouth.net  
Ph. # (305) 234-0588  
Fax # (206) 495-0778**

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17.050 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

& That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

Armando F. Alvarez  
Professional Surveyor & Mapper #5526  
State of Florida  
Not Valid unless Signed & Stamped with Embossed Seal