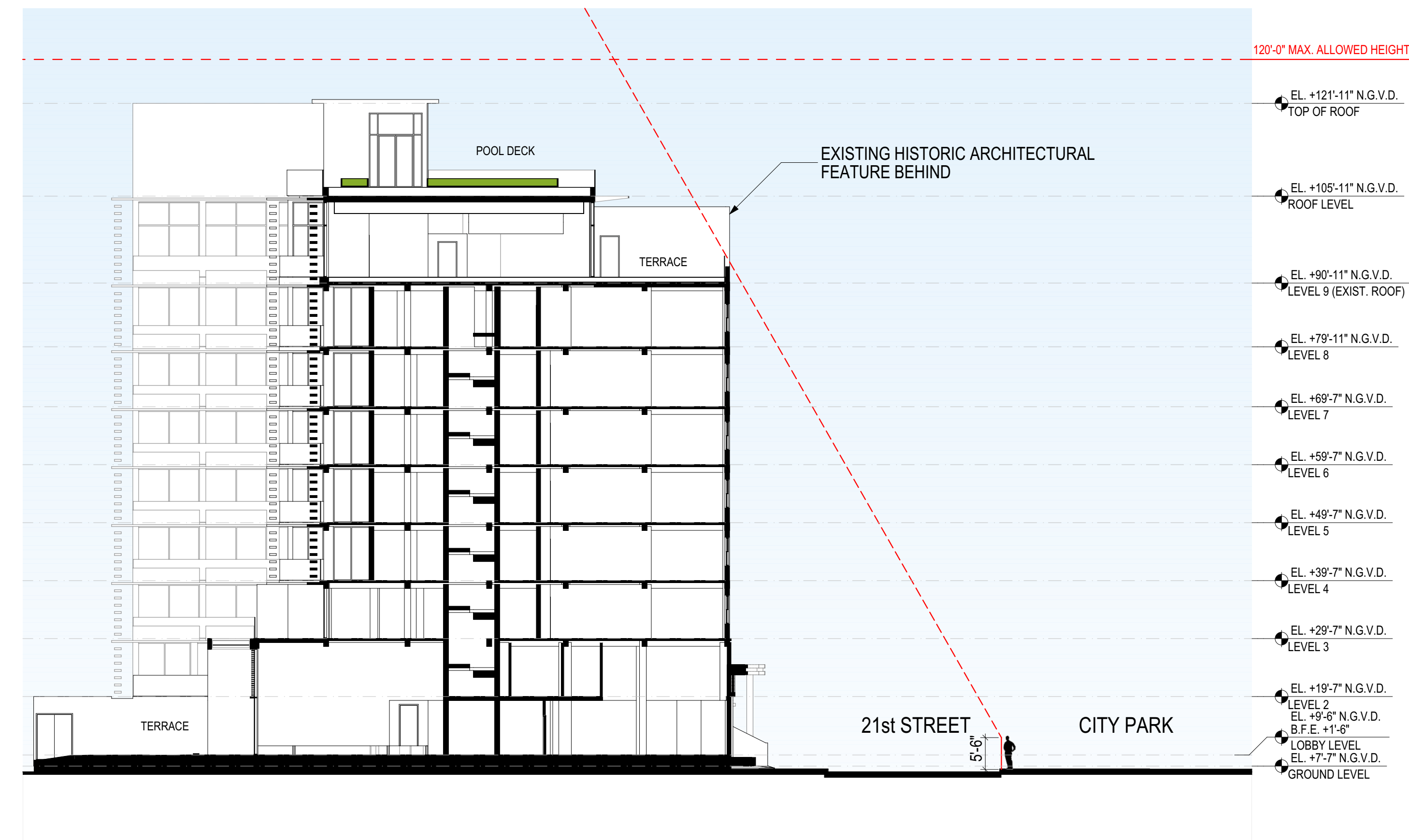


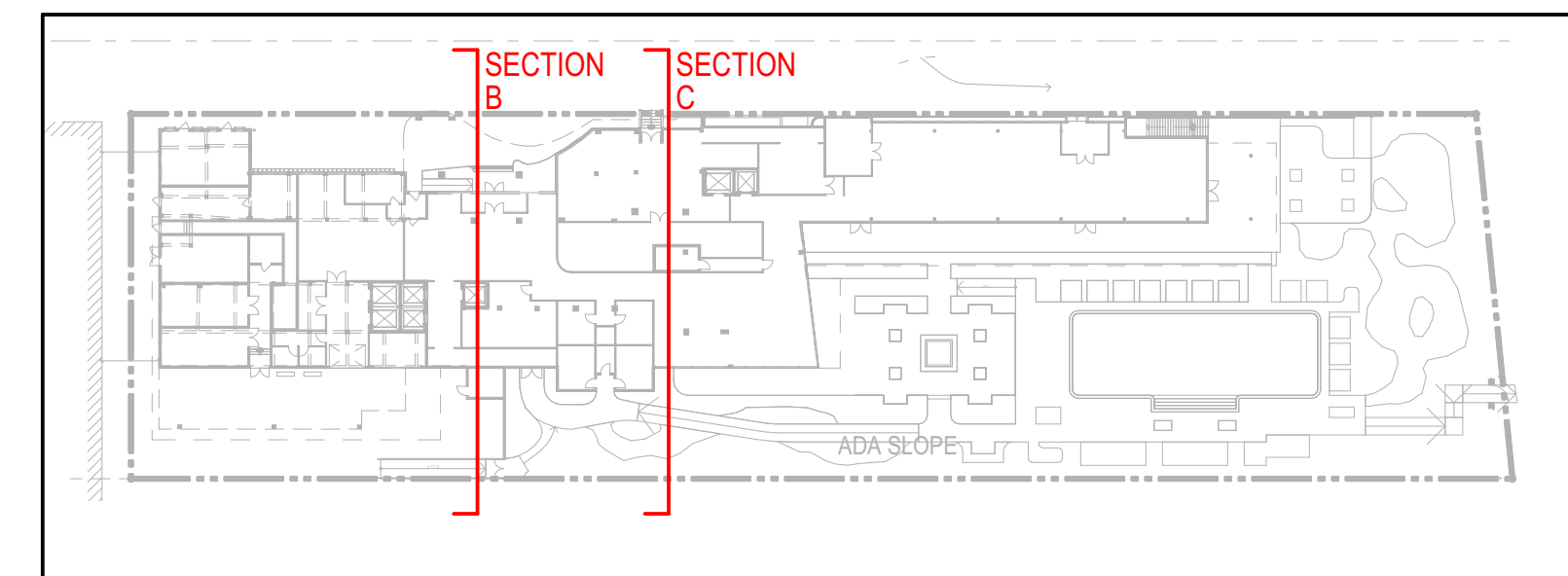
1 SECTION B
SCALE: 1/16" = 1'-0"

- EL. +121'-11" N.G.V.D.
TOP OF ROOF
- EL. +105'-11" N.G.V.D.
ROOF LEVEL
- EL. +90'-11" N.G.V.D.
LEVEL 9 (EXIST. ROOF)
- EL. +79'-11" N.G.V.D.
LEVEL 8
- EL. +69'-7" N.G.V.D.
LEVEL 7
- EL. +59'-7" N.G.V.D.
LEVEL 6
- EL. +49'-7" N.G.V.D.
LEVEL 5
- EL. +39'-7" N.G.V.D.
LEVEL 4
- EL. +29'-7" N.G.V.D.
LEVEL 3
- EL. +19'-7" N.G.V.D.
LEVEL 2
- EL. +9'-6" N.G.V.D.
B.F.E. +1'-6"
- EL. +7'-7" N.G.V.D.
LOBBY LEVEL
- EL. +7'-7" N.G.V.D.
GROUND LEVEL



2 SECTION C
SCALE: 1/16" = 1'-0"

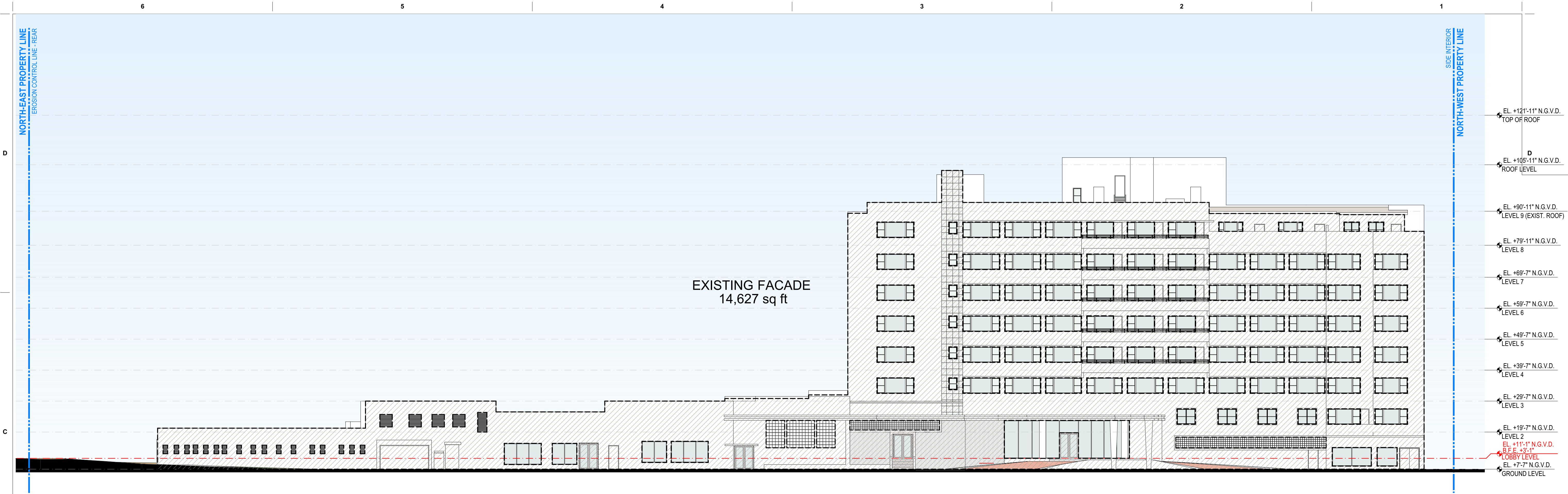
- EL. +121'-11" N.G.V.D.
TOP OF ROOF
- EL. +105'-11" N.G.V.D.
ROOF LEVEL
- EL. +90'-11" N.G.V.D.
LEVEL 9 (EXIST. ROOF)
- EL. +79'-11" N.G.V.D.
LEVEL 8
- EL. +69'-7" N.G.V.D.
LEVEL 7
- EL. +59'-7" N.G.V.D.
LEVEL 6
- EL. +49'-7" N.G.V.D.
LEVEL 5
- EL. +39'-7" N.G.V.D.
LEVEL 4
- EL. +29'-7" N.G.V.D.
LEVEL 3
- EL. +19'-7" N.G.V.D.
LEVEL 2
- EL. +9'-6" N.G.V.D.
B.F.E. +1'-6"
- EL. +7'-7" N.G.V.D.
LOBBY LEVEL
- EL. +7'-7" N.G.V.D.
GROUND LEVEL



KEY PLAN

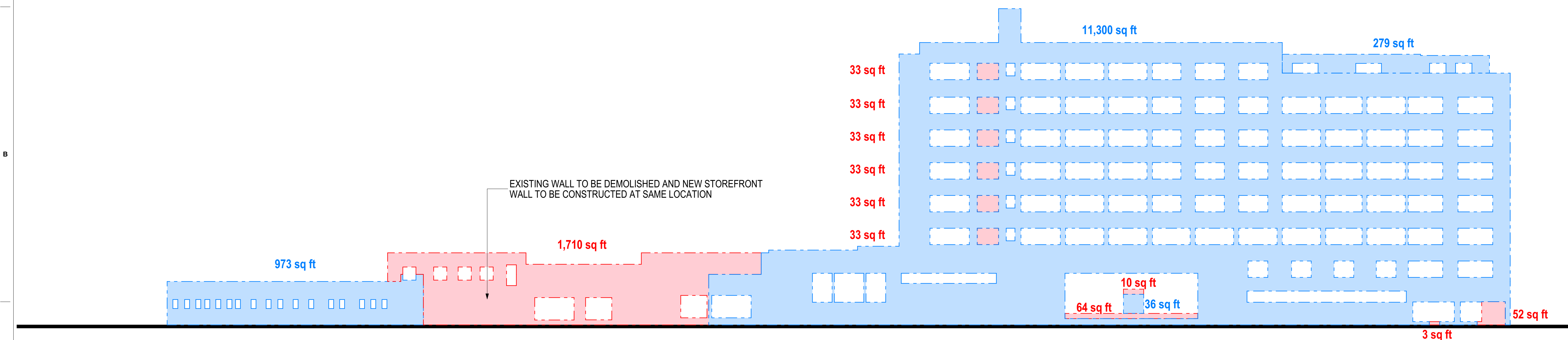
LINE OF SIGHT DIAGRAMS

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 The Architect, P.A., Shall Not Be Responsible For ARCHICAD 28.0.060.001. By default, C. Date: 3/29/2021



EXISTING FACADE
14,627 sq ft

EXISTING NORTH ELEVATION
 TOTAL FACADE WALL AREA = 14,627 SF



CALCULATION DIAGRAM

TOTAL FACADE WALL AREA	14,627 SF
WALLS TO BE RETAINED	12,552 SF = 85.8%
WALLS TO BE DEMOLISHED	2,037 SF = 14.2%

87.3%
 OF THE FACADE TO BE RETAINED AND PRESERVED
 COMPLIES WITH SECTION 118-395 (B)(2)(D)(2)
 HPB WAIVER REQUIRED

1 SCHEMATIC NORTH ELEVATION DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

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DESIGN ARCHITECT

**CITTERIO-VIEL
 & PARTNERS**

Project
**BVLGARI HOTEL
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 100 21st STREET
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Consultant

Digitally signed by Luis O. Revuelta
 DN:
 cn=Luis O. Revuelta,
 o=Revuelta Architecture International, LLC,
 ou=Revuelta, c=US
 Reason: I am the author of this document.
 Date: 2021.03.05 13:33:00Z

Luis O. Revuelta
 AR-007972

HPB SET

Date
03/05/2021

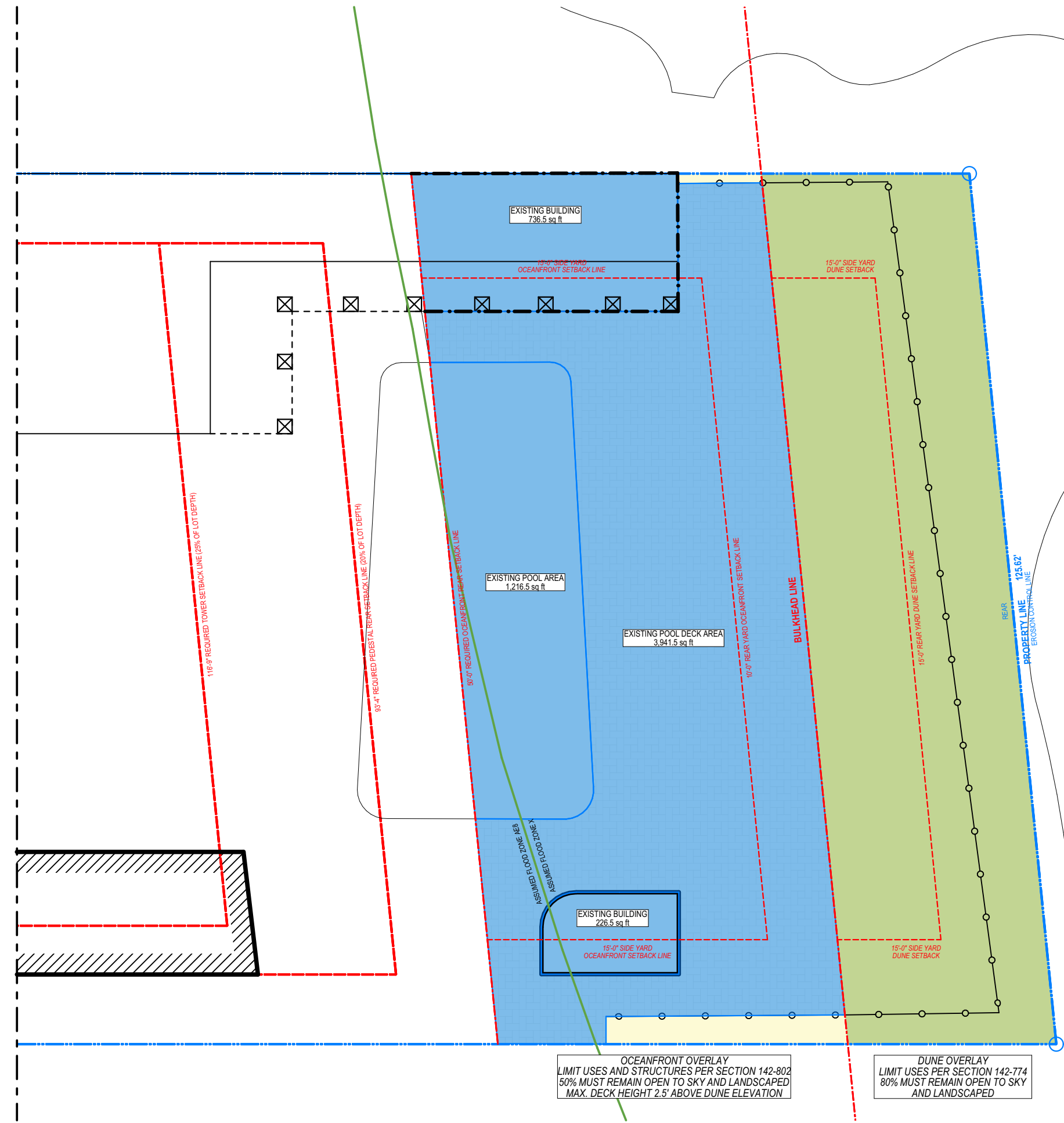
Scale
AS SHOWN

Project No.
2005

Sheet Name
NORTH ELEVATION SCHEMATIC
DEMOLITION PLAN

Sheet No.
A-028

NOT FOR CONSTRUCTION



OCEANFRONT OVERLAY

- OCEAN FRONT OVERLAY AREA
- EXISTING CONSTRUCTION

TOTAL OCEANFRONT OVERLAY AREA:	6,280 S.F.
REQUIRED OCEANFRONT OVERLAY OPEN TO SKY:	3,140 S.F. (50%)
DECK:	3,943 S.F.
POOL:	1,216 S.F.
BUILDINGS	962 S.F.
TOTAL CONST. AREA:	6,121 S.F.

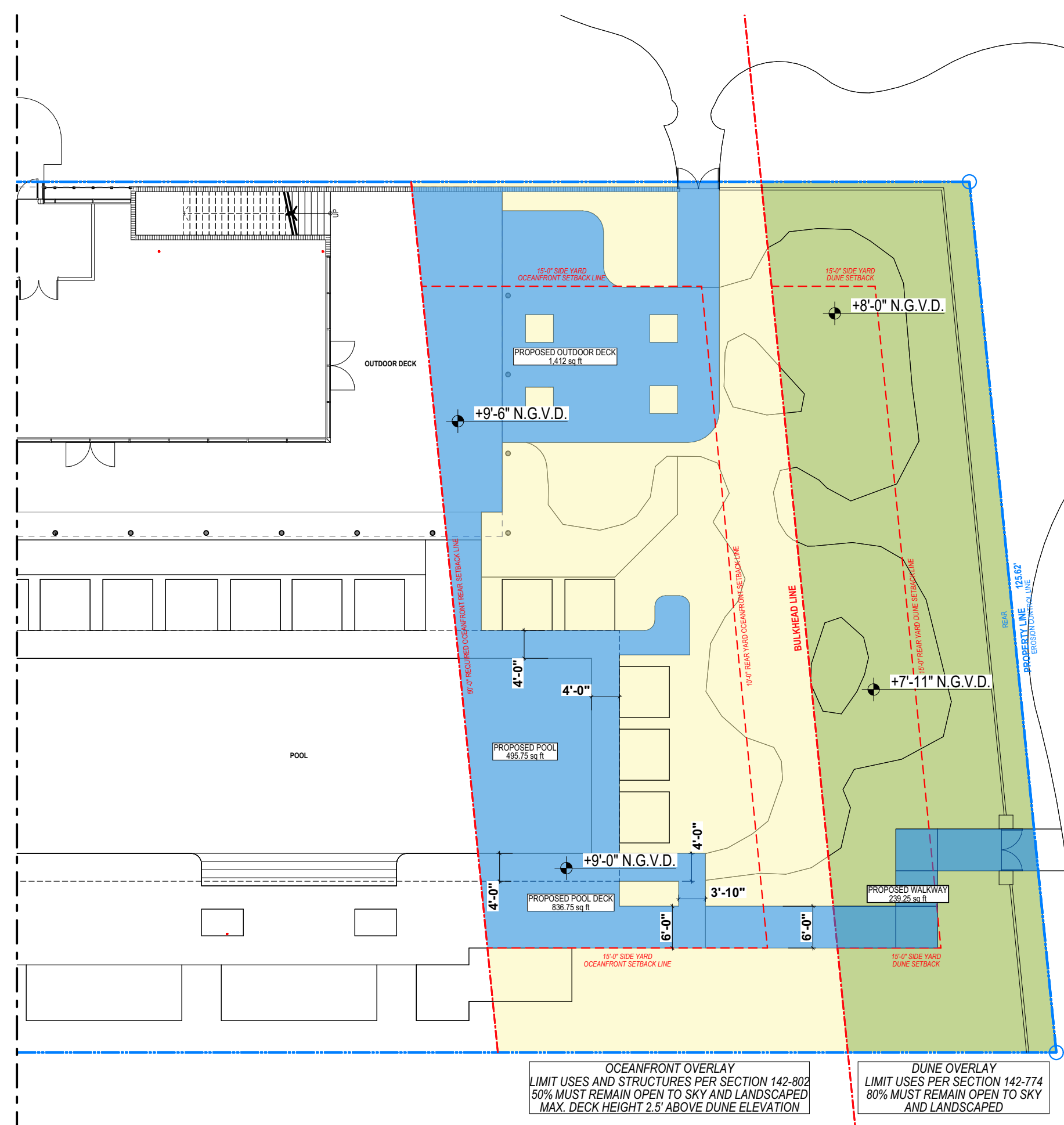
EXISTING OCEAN FRONT OVERLAY OPEN TO SKY: 2.54%
DEFICIENCY 2,981 S.F. (+47.46%)

DUNE OVERLAY

- OCEANFRONT DUNE OVERLAY AREA
- EXISTING CONSTRUCTION

TOTAL DUNE OVERLAY AREA:	3,739 S.F.
REQUIRED DUNE OVERLAY OPEN TO SKY:	2,991 S.F. (80%)
EXISTING DUNE OVERLAY OPEN TO SKY:	100%

EXISTING



OCEANFRONT OVERLAY

- OCEANFRONT OVERLAY AREA
- PROPOSED NEW CONSTRUCTION

TOTAL OCEANFRONT OVERLAY AREA:	6,280 S.F.
REQUIRED OCEANFRONT OVERLAY OPEN TO SKY:	3,140 S.F. (50%)
OUTDOOR DECK:	1,412 S.F.
POOL:	495.75 S.F.
POOL DECK:	836.75 S.F.
TOTAL CONST. AREA:	2,744.5 S.F.

PROPOSED OCEAN FRONT OVERLAY OPEN TO SKY: 56.3%

NOTE:
 OCEANFRONT OVERLAY LIMIT USES AND STRUCTURES PER SECTION 142-802
 PER SECTION 142-802
 50% MUST REMAIN OPEN TO SKY AND LANDSCAPED
 MAX. DECK HEIGHT 2.5' ABOVE DUNE ELEVATION

DUNE OVERLAY

- OCEANFRONT DUNE OVERLAY AREA
- PROPOSED NEW CONSTRUCTION

TOTAL DUNE OVERLAY AREA:	3,739 S.F.
REQUIRED DUNE OVERLAY OPEN TO SKY:	2,991 S.F. (80%)
PROPOSED WALKWAY:	240 S.F.
TOTAL CONST. AREA:	240 S.F.

PROPOSED DUNE OVERLAY OPEN TO SKY: 93.59%

NOTE:
 DUNE OVERLAY LIMIT USES PER SECTION 142-774
 80% MUST REMAIN OPEN TO SKY AND LANDSCAPED

PROPOSED

OCEAN FRONT OVERLAY DIAGRAM COMPARISON



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CITTERIO-VIEL
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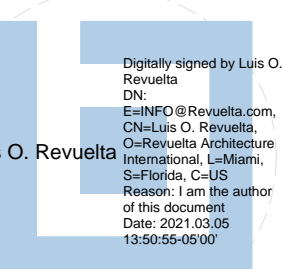
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HPB SET

Date
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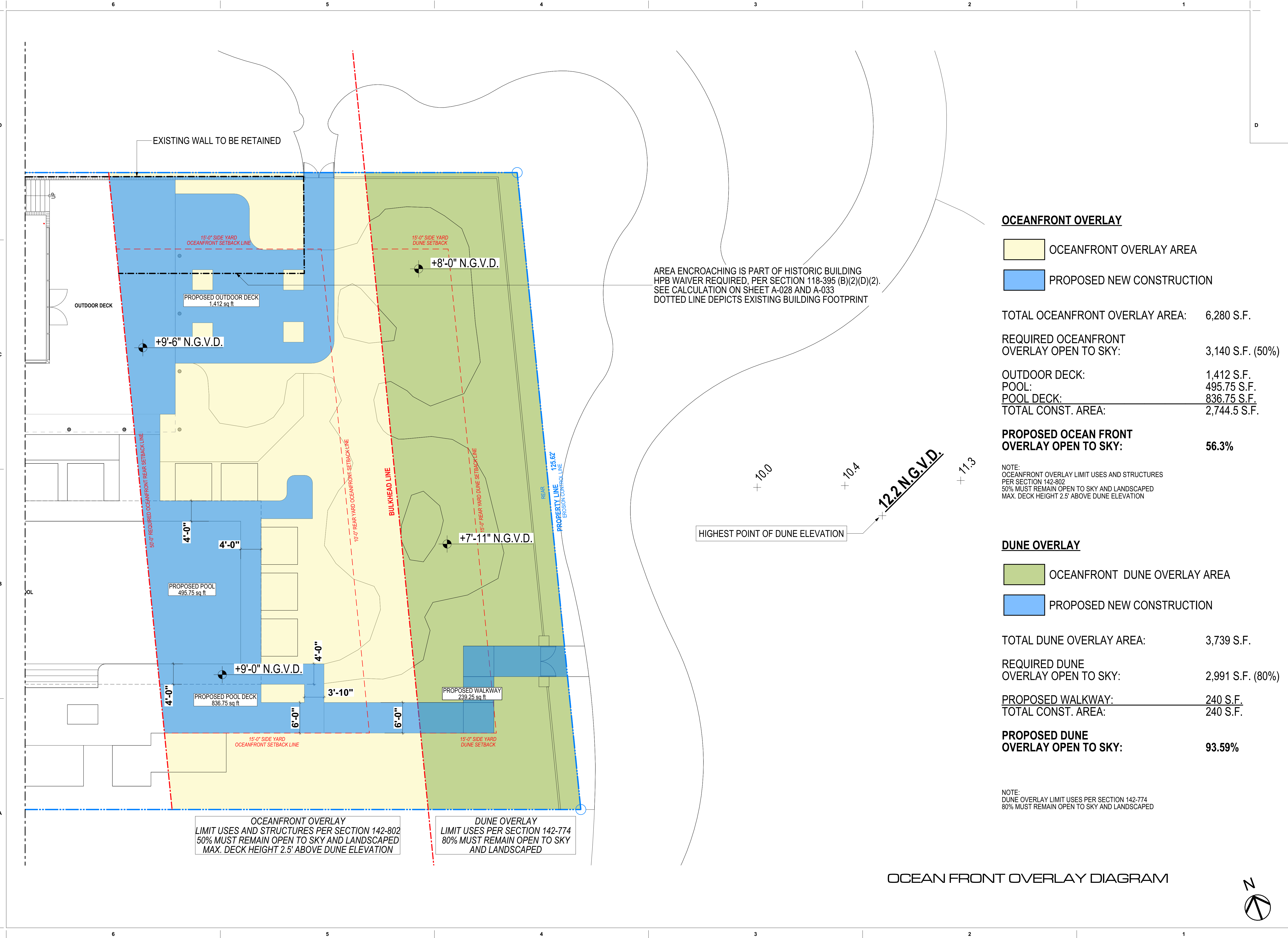
Scale
AS SHOWN

Project No.
2005

Sheet Name
OCEAN FRONT OVERLAY DIAGRAM
COMPARISON

Sheet No.

A-029



OCEANFRONT OVERLAY

- OCEANFRONT OVERLAY AREA
- PROPOSED NEW CONSTRUCTION

TOTAL OCEANFRONT OVERLAY AREA:	6,280 S.F.
REQUIRED OCEANFRONT OVERLAY OPEN TO SKY:	3,140 S.F. (50%)
OUTDOOR DECK:	1,412 S.F.
POOL:	495.75 S.F.
POOL DECK:	836.75 S.F.
TOTAL CONST. AREA:	2,744.5 S.F.
PROPOSED OCEAN FRONT OVERLAY OPEN TO SKY:	56.3%

NOTE:
OCEANFRONT OVERLAY LIMIT USES AND STRUCTURES PER SECTION 142-802
50% MUST REMAIN OPEN TO SKY AND LANDSCAPED
MAX. DECK HEIGHT 2.5' ABOVE DUNE ELEVATION

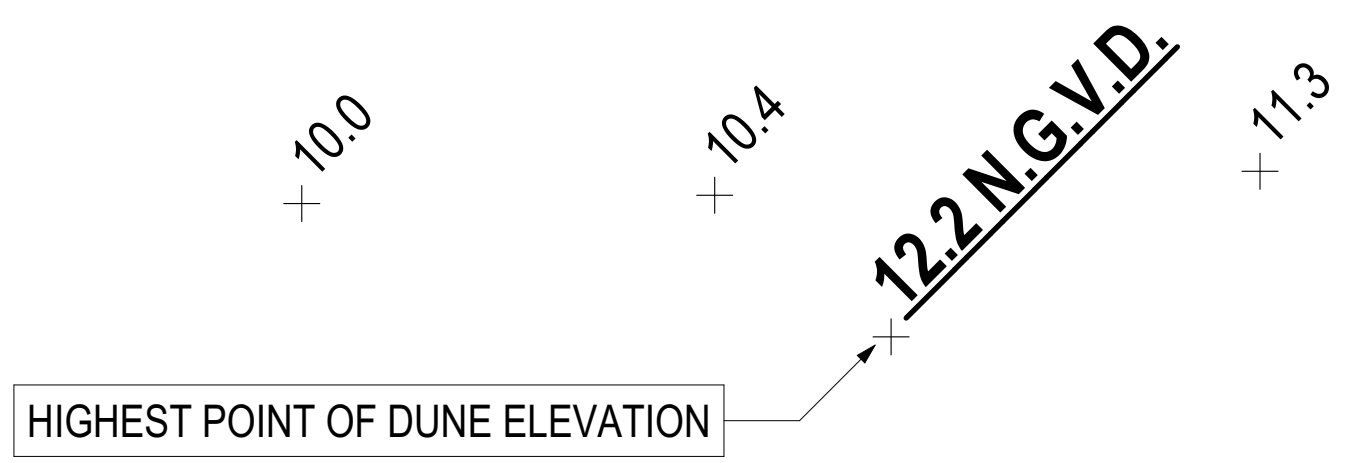
DUNE OVERLAY

- OCEANFRONT DUNE OVERLAY AREA
- PROPOSED NEW CONSTRUCTION

TOTAL DUNE OVERLAY AREA:	3,739 S.F.
REQUIRED DUNE OVERLAY OPEN TO SKY:	2,991 S.F. (80%)
PROPOSED WALKWAY:	240 S.F.
TOTAL CONST. AREA:	240 S.F.
PROPOSED DUNE OVERLAY OPEN TO SKY:	93.59%

NOTE:
DUNE OVERLAY LIMIT USES PER SECTION 142-774
80% MUST REMAIN OPEN TO SKY AND LANDSCAPED

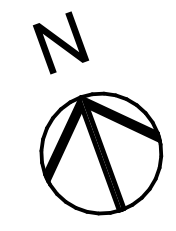
AREA ENCRACING IS PART OF HISTORIC BUILDING
HPB WAIVER REQUIRED, PER SECTION 118-395 (B)(2)(D)(2).
SEE CALCULATION ON SHEET A-028 AND A-033
DOTTED LINE DEPICTS EXISTING BUILDING FOOTPRINT

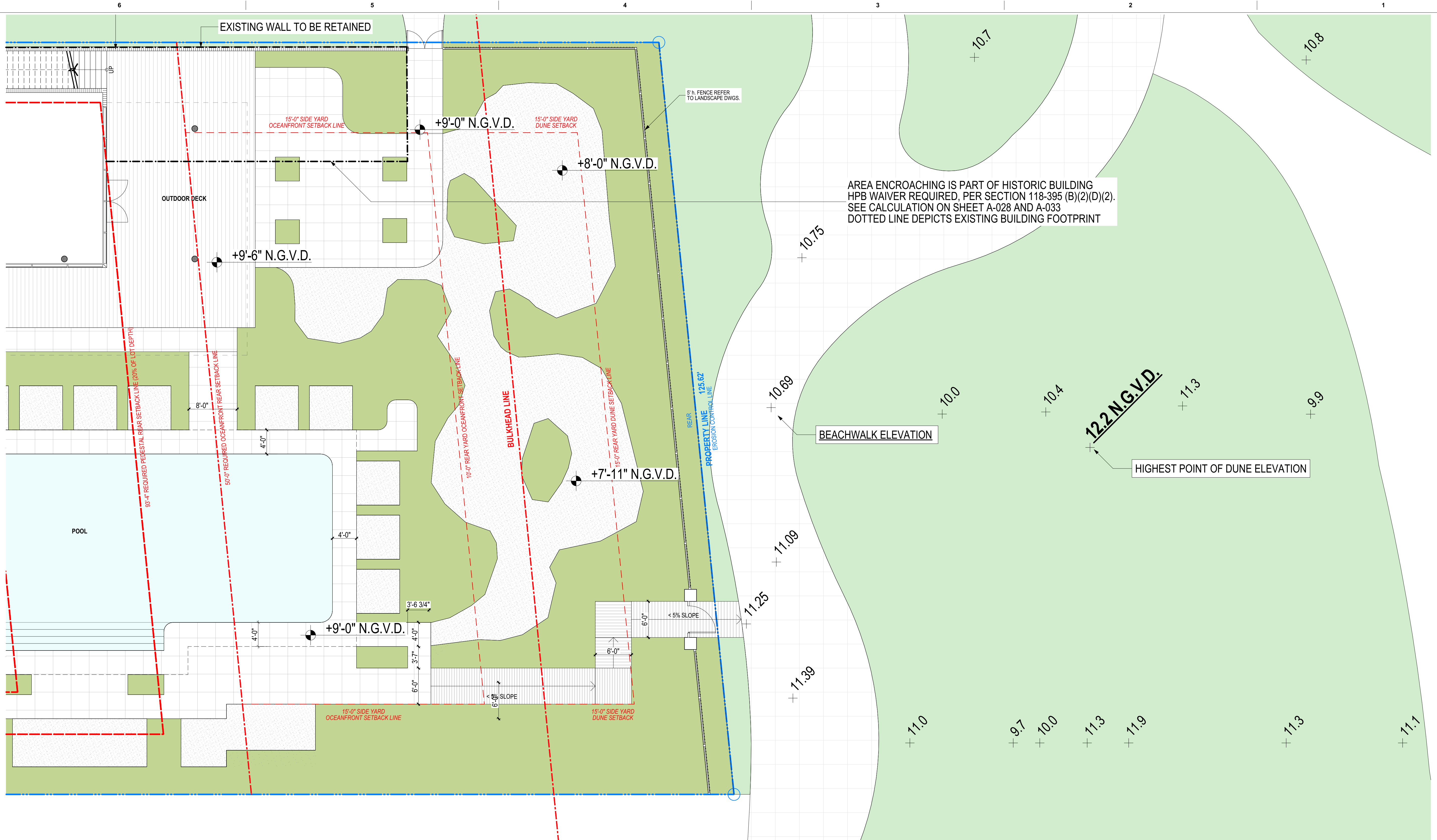


OCEANFRONT OVERLAY
LIMIT USES AND STRUCTURES PER SECTION 142-802
50% MUST REMAIN OPEN TO SKY AND LANDSCAPED
MAX. DECK HEIGHT 2.5' ABOVE DUNE ELEVATION

DUNE OVERLAY
LIMIT USES PER SECTION 142-774
80% MUST REMAIN OPEN TO SKY
AND LANDSCAPED

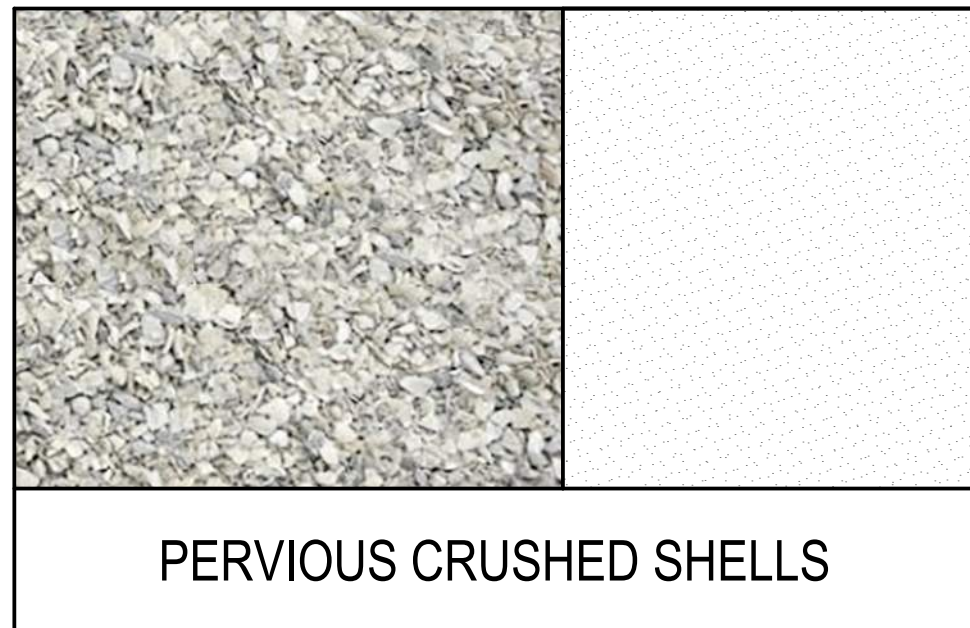
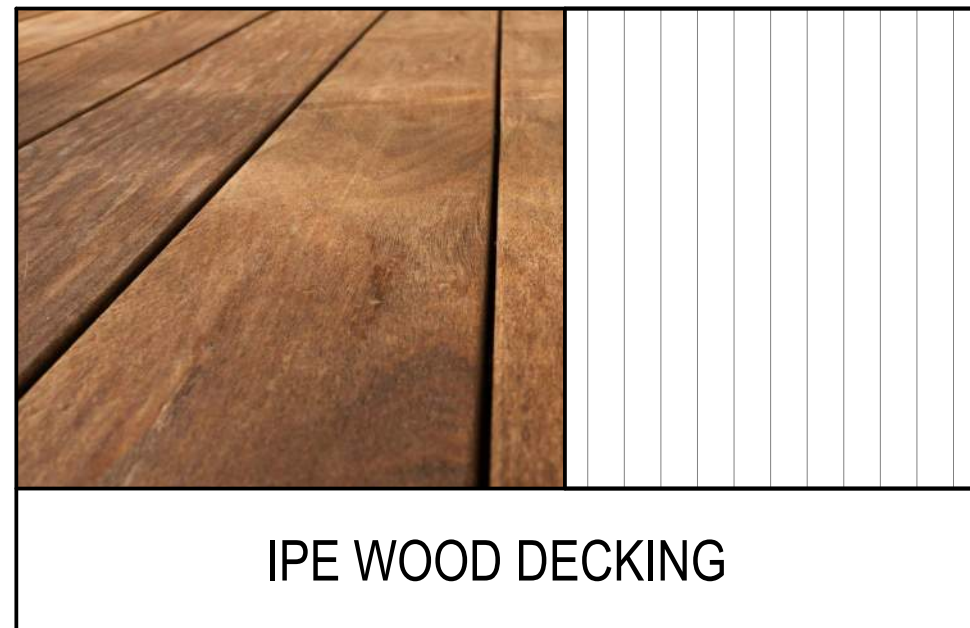
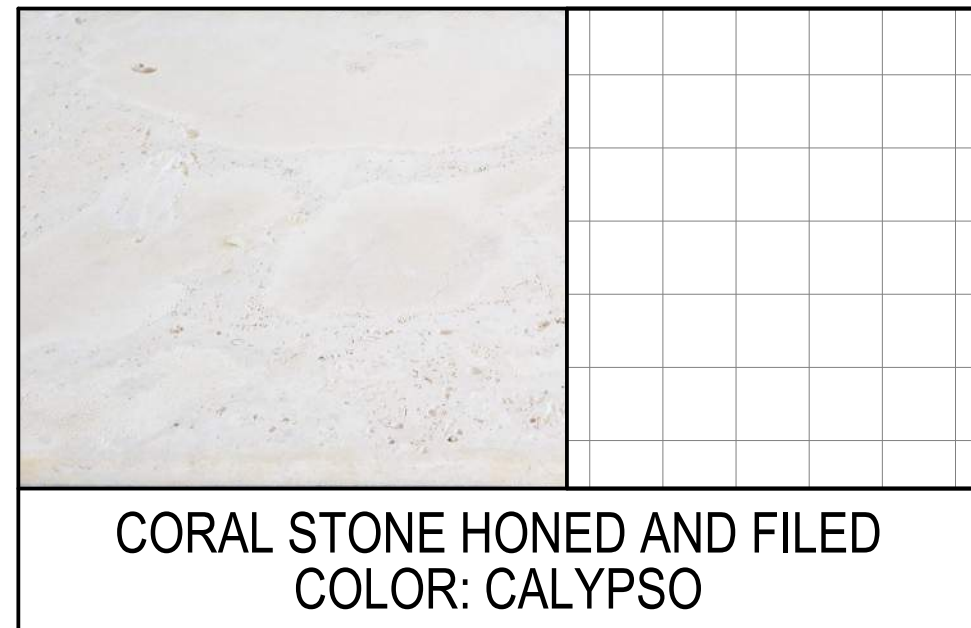
OCEAN FRONT OVERLAY DIAGRAM





AREA ENCROACHING IS PART OF HISTORIC BUILDING
HPB WAIVER REQUIRED, PER SECTION 118-395 (B)(2)(D)(2).
SEE CALCULATION ON SHEET A-028 AND A-033
DOTTED LINE DEPICTS EXISTING BUILDING FOOTPRINT

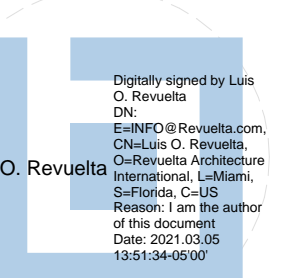
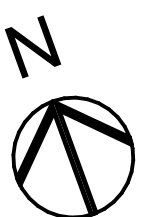
LEGEND
PROPOSED MATERIALS



FOR MATERIAL DETAILS PLEASE REFER TO LANDSCAPE DRAWINGS

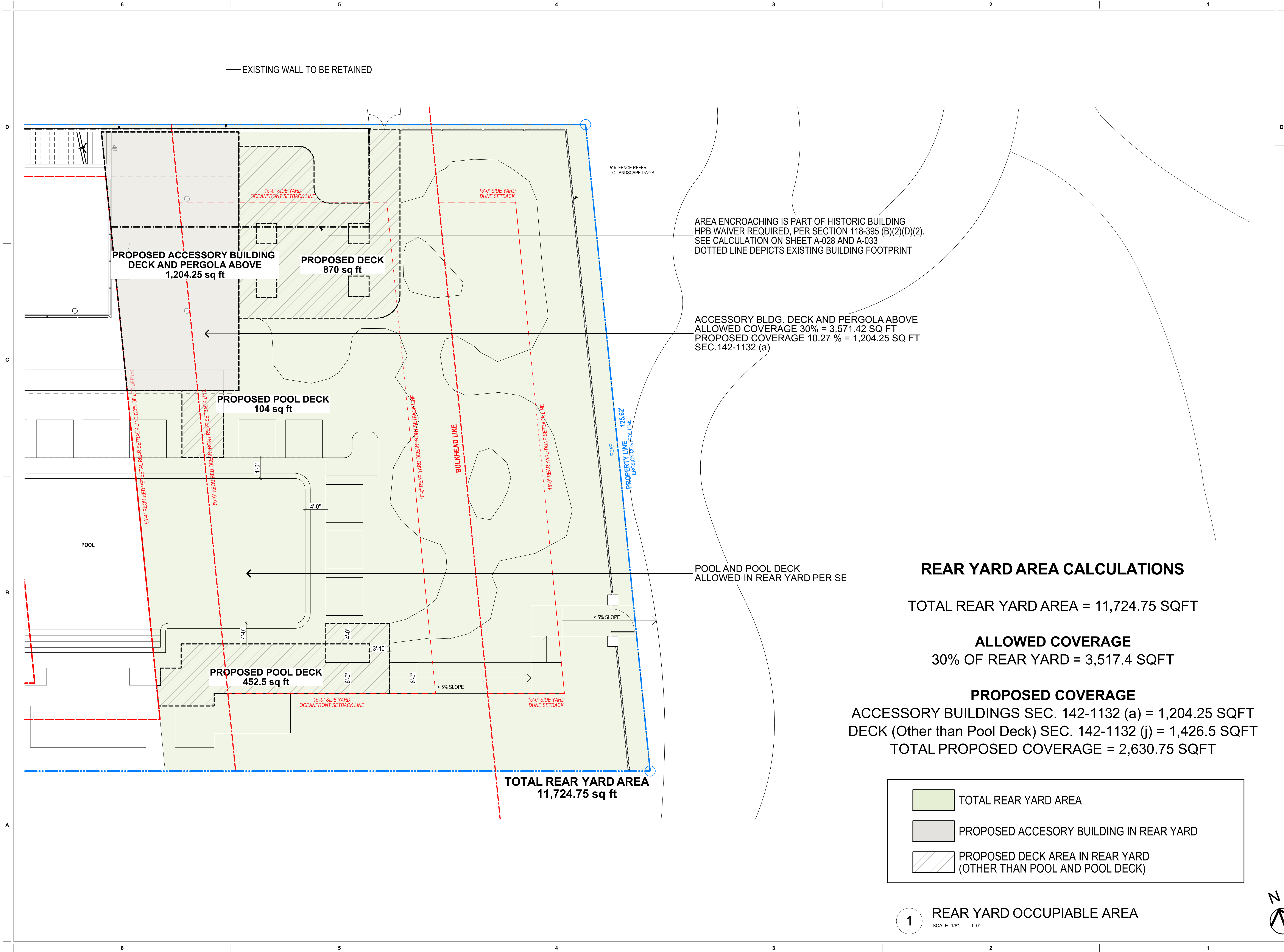
HIGHEST POINT OF DUNE ELEVATION	12.2' N.G.V.D.
POOL DECK ELEVATION	9.0' N.G.V.D.
OUTDOOR DECK ELEVATION	9.5' N.G.V.D.
FOR CALCULATIONS PLEASE REFER TO SHEET A-032	

1 REAR YARD ENLARGED PLAN
SCALE: 1/8" = 1'-0"



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REAR YARD AREA CALCULATIONS

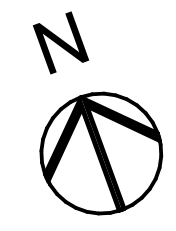
TOTAL REAR YARD AREA = 11,724.75 SQFT

ALLOWED COVERAGE
30% OF REAR YARD = 3,517.4 SQFT

PROPOSED COVERAGE
ACCESSORY BUILDINGS SEC. 142-1132 (a) = 1,204.25 SQFT
DECK (Other than Pool Deck) SEC. 142-1132 (j) = 1,426.5 SQFT
TOTAL PROPOSED COVERAGE = 2,630.75 SQFT

- TOTAL REAR YARD AREA
- PROPOSED ACCESORY BUILDING IN REAR YARD
- PROPOSED DECK AREA IN REAR YARD (OTHER THAN POOL AND POOL DECK)

1 REAR YARD OCCUPIABLE AREA
SCALE: 1/8" = 1'-0"



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DESIGN ARCHITECT

**CITTERIO-VIEL
& PARTNERS**

Project

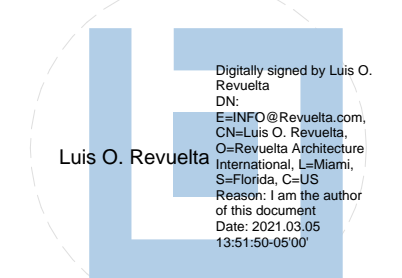
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Revisions

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Consultant



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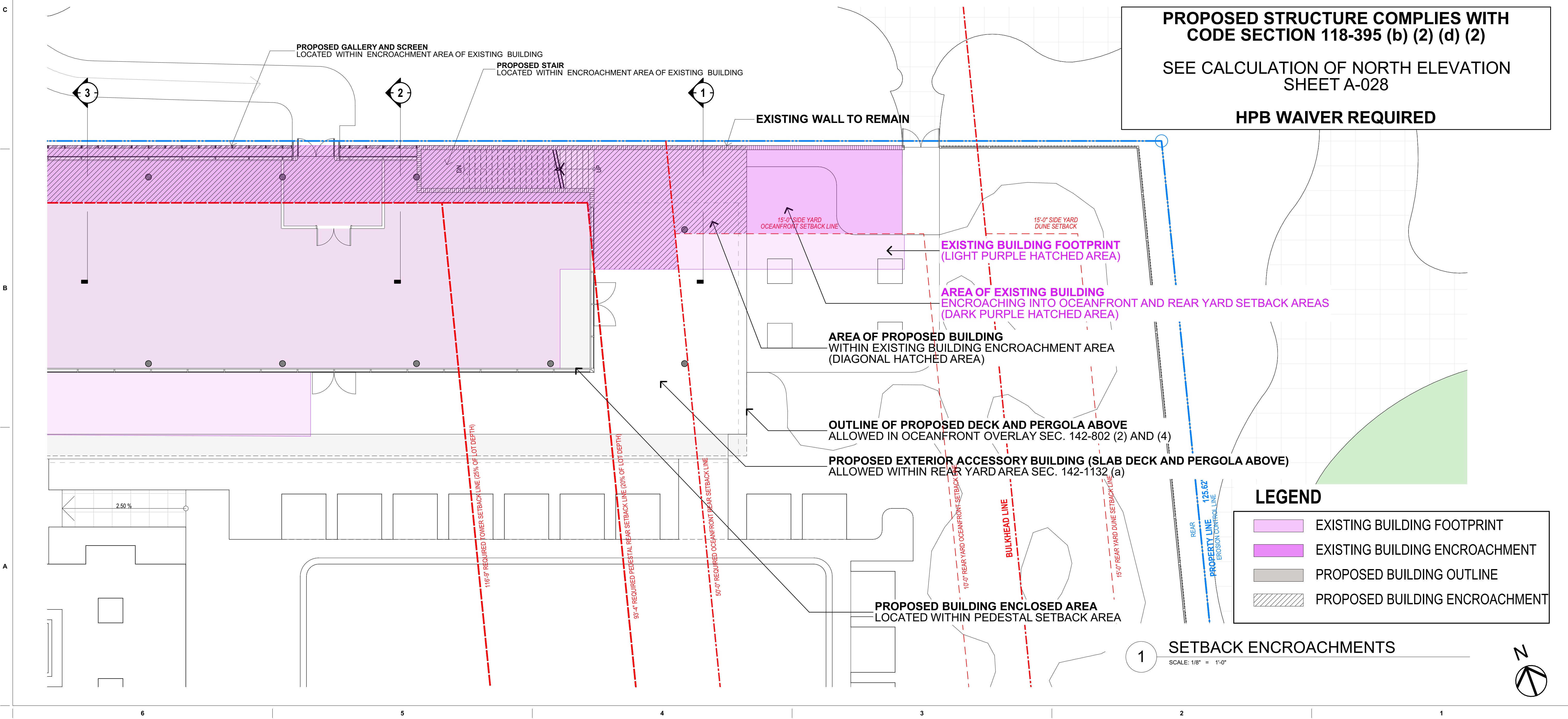
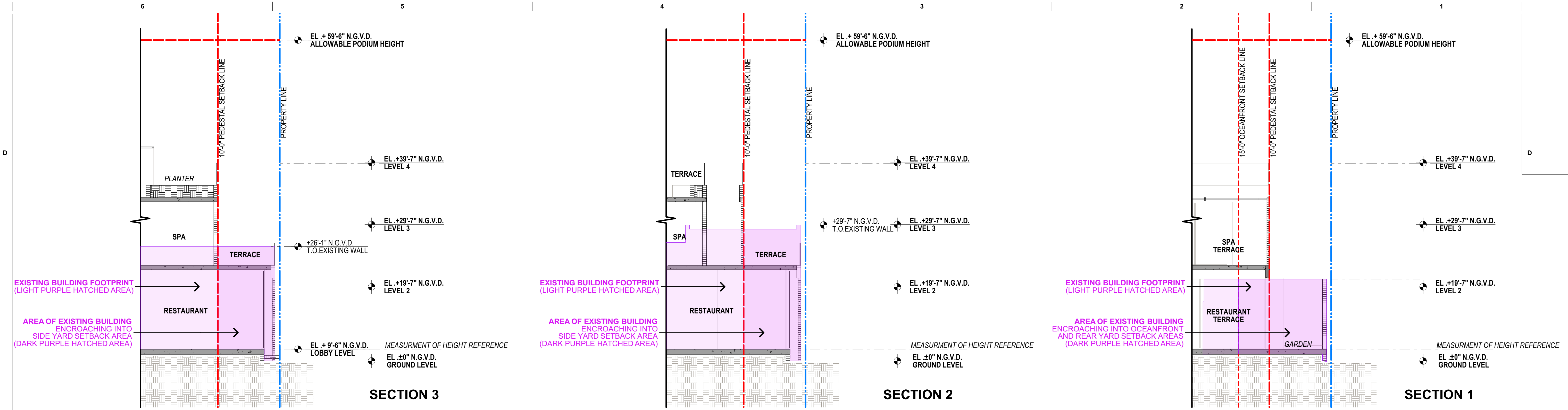
HPB SET

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2005

Sheet Name
REAR YARD CALCULATION
Sheet No.

A-032

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**PROPOSED STRUCTURE COMPLIES WITH
CODE SECTION 118-395 (b) (2) (d) (2)**

**SEE CALCULATION OF NORTH ELEVATION
SHEET A-028**

HPB WAIVER REQUIRED

LEGEND

- EXISTING BUILDING FOOTPRINT
- EXISTING BUILDING ENCRANCHMENT
- PROPOSED BUILDING OUTLINE
- PROPOSED BUILDING ENCRANCHMENT

1 SETBACK ENCROACHMENTS

SCALE: 1/8" = 1'-0"

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**CITTERIO-VIEL
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Project

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Luis O. Revuelta
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SCHEMATIC DESIGN

Date
3/5/2021

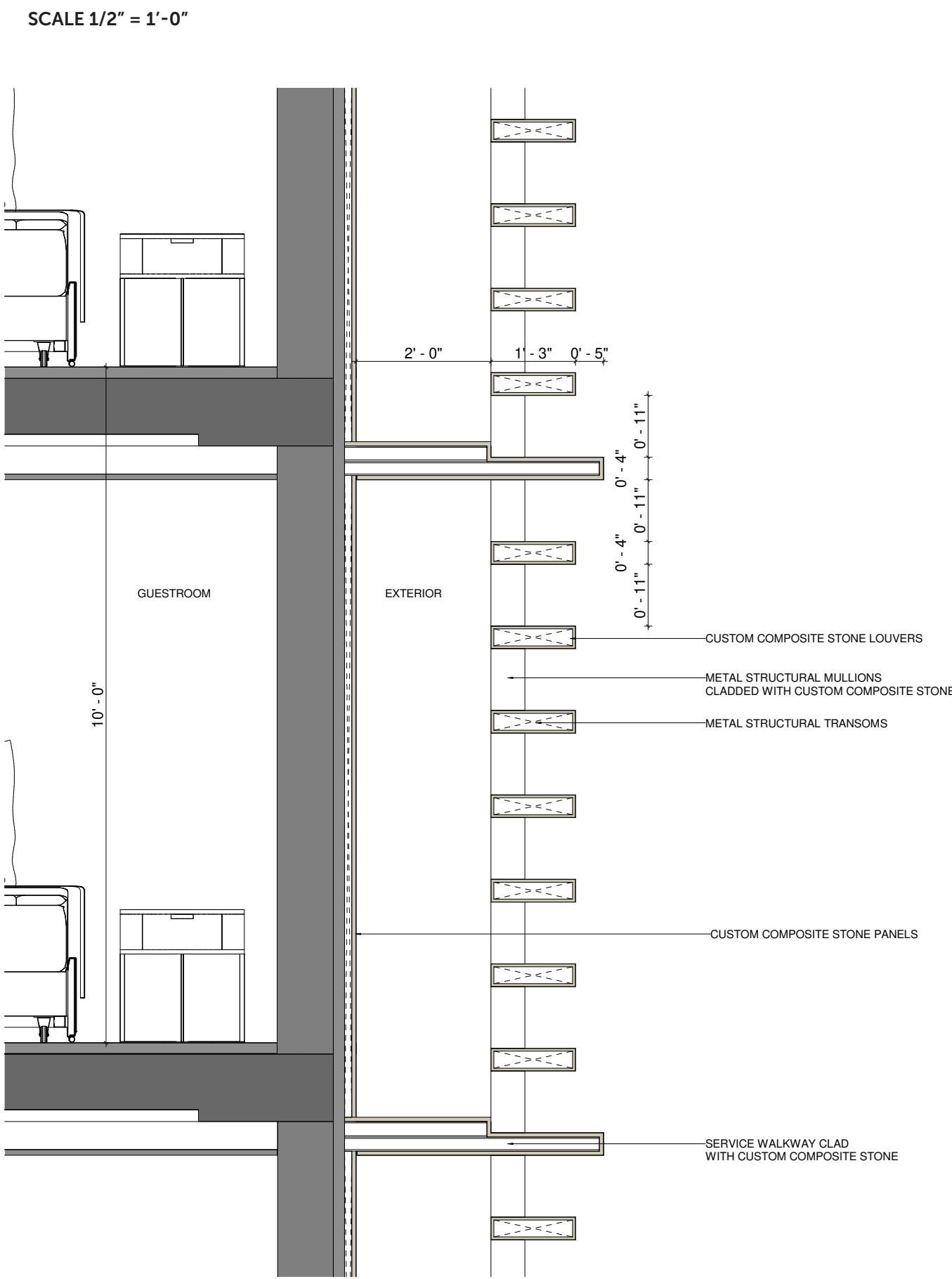
Scale
AS SHOWN

Project No.
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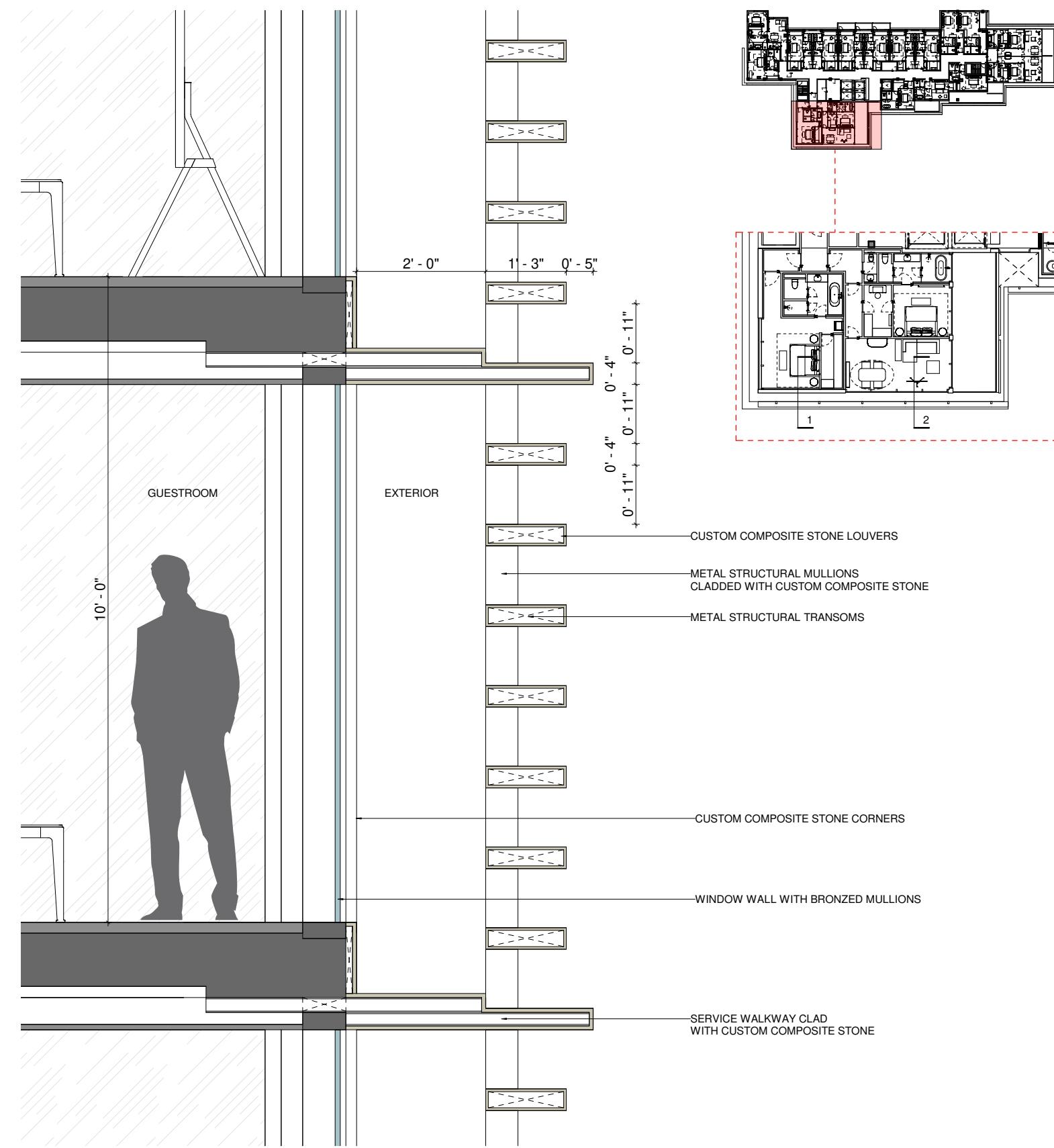
Sheet Name
ENCROACHMENT DIAGRAMS

Sheet No.
A-033

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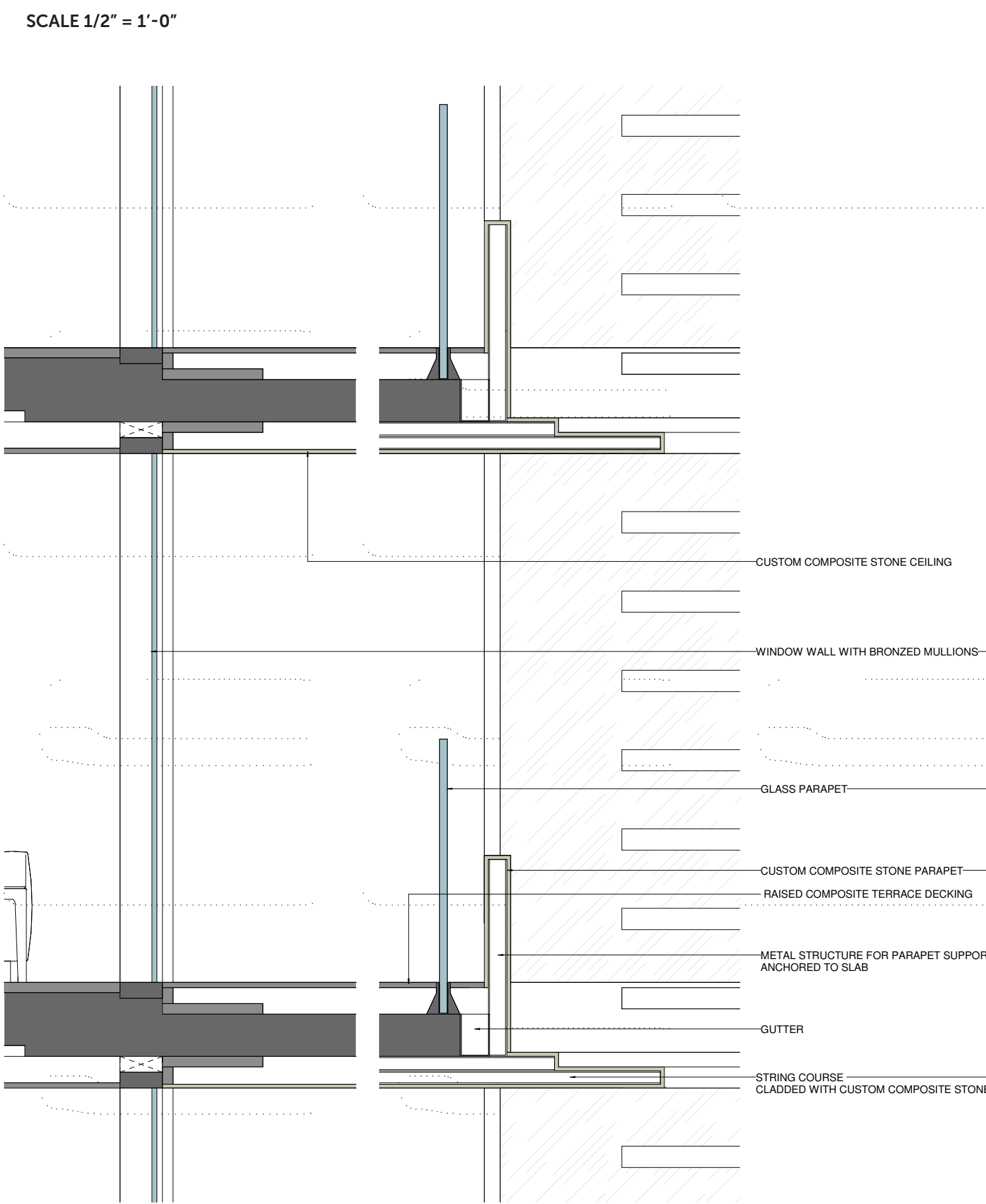


1 SOUTH EXTENSION - SECTION DETAIL
1/2" = 1'-0"

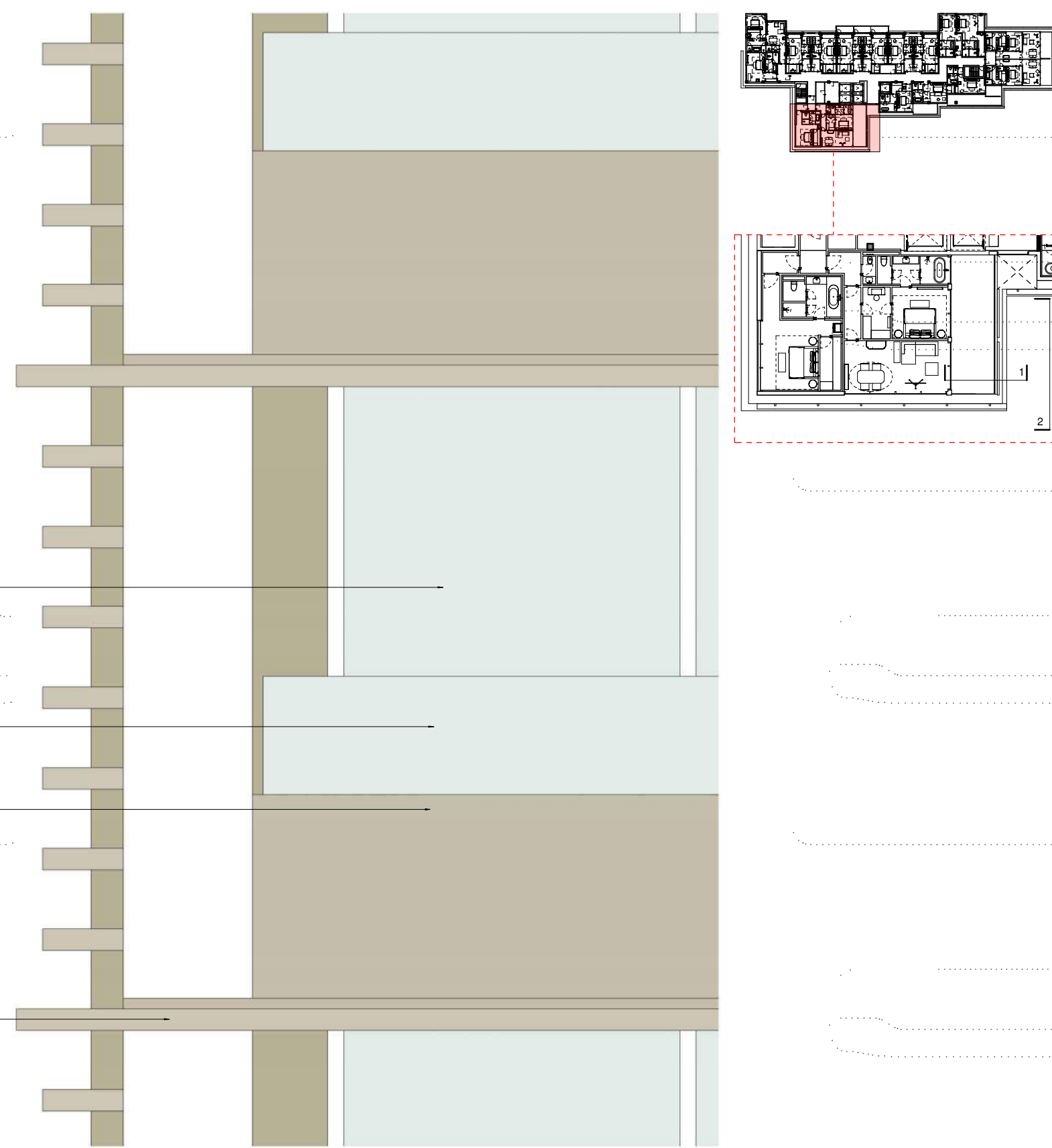


2 SOUTH EXTENSION - SECTION DETAIL AT WINDOW
1/2" = 1'-0"

1 FACADE HORIZONTAL SCREENING ELEMENTS 1

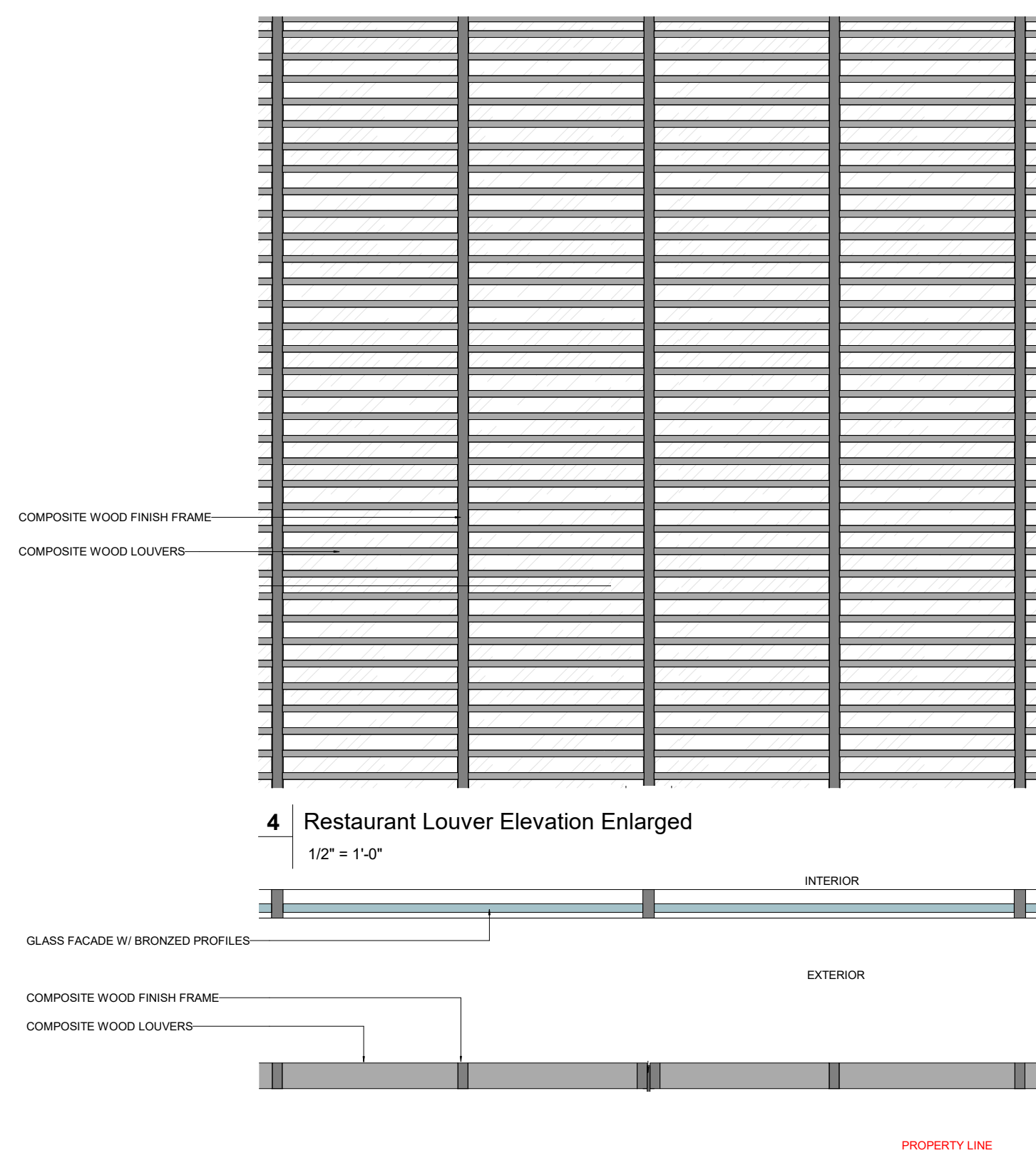


1 SOUTH EXTENSION - SECTION DETAIL AT BALCONY
1/2" = 1'-0"



2 SOUTH EXTENSION - BALCONY ELEVATION
1/2" = 1'-0"

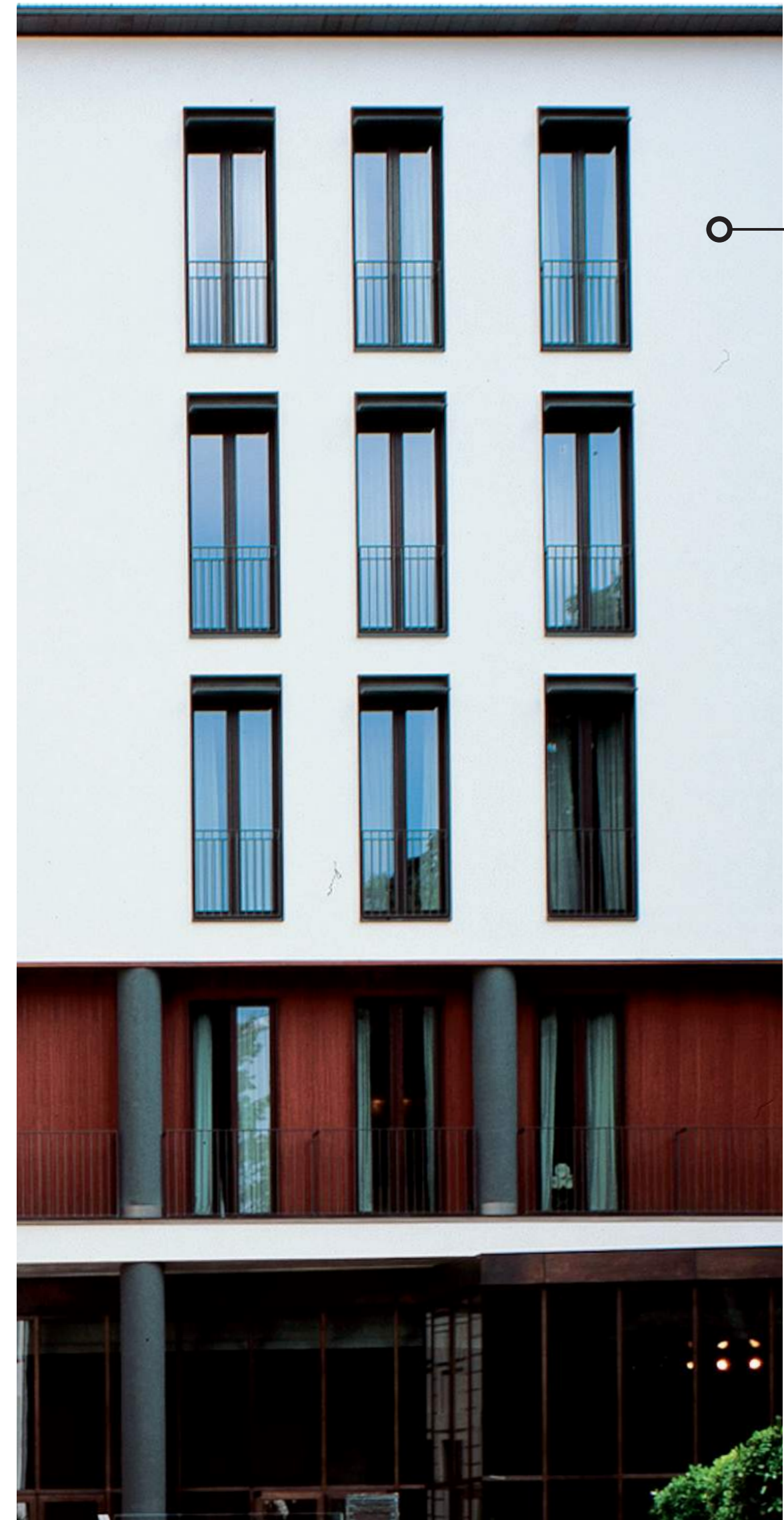
2 FACADE HORIZONTAL SCREENING ELEMENTS 2



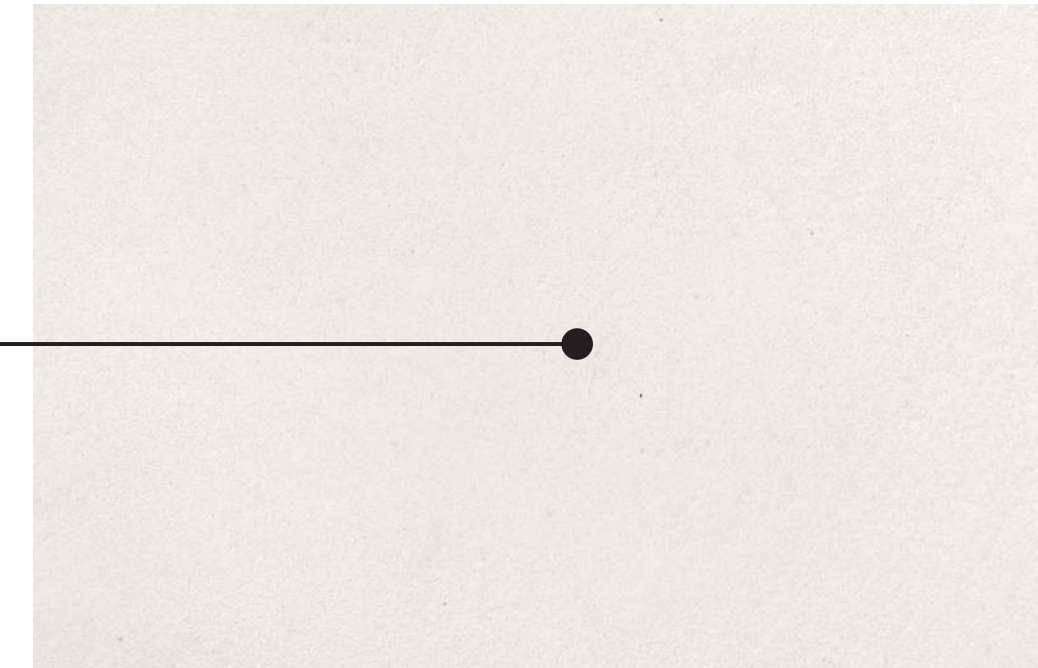
4 Restaurant Louver Elevation Enlarged
1/2" = 1'-0"

5 Restaurant Louvers Enlarged
1/2" = 1'-0"

3 RESTAURANT SCREENING DETAIL



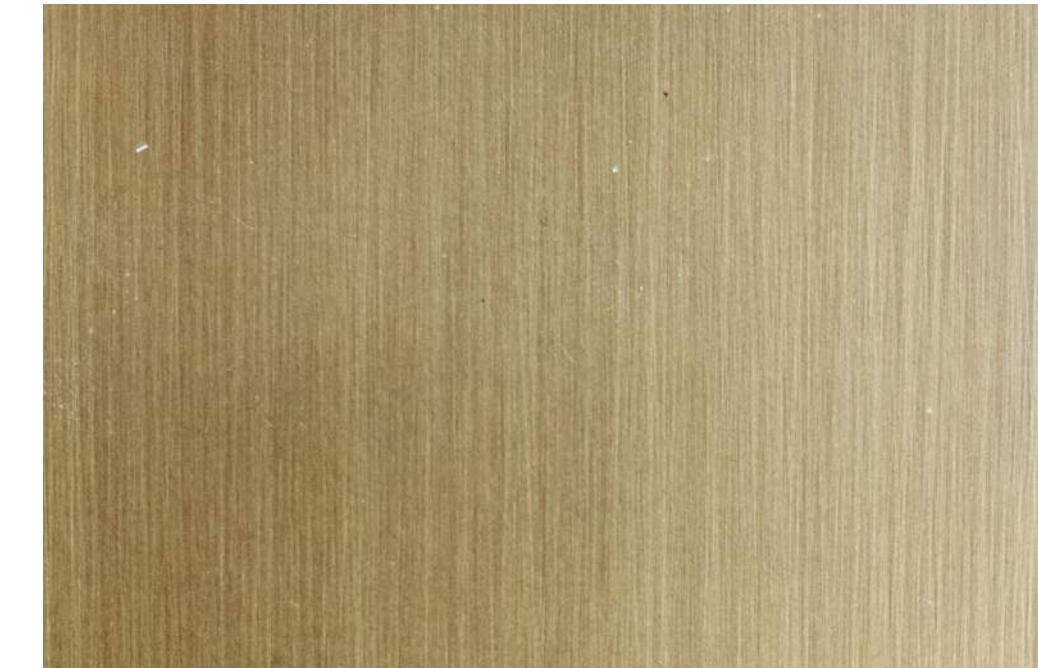
BULGARI HOTEL MILAN



STUCCO COMACINO



COMPOSITE OUTDOOR DECKING



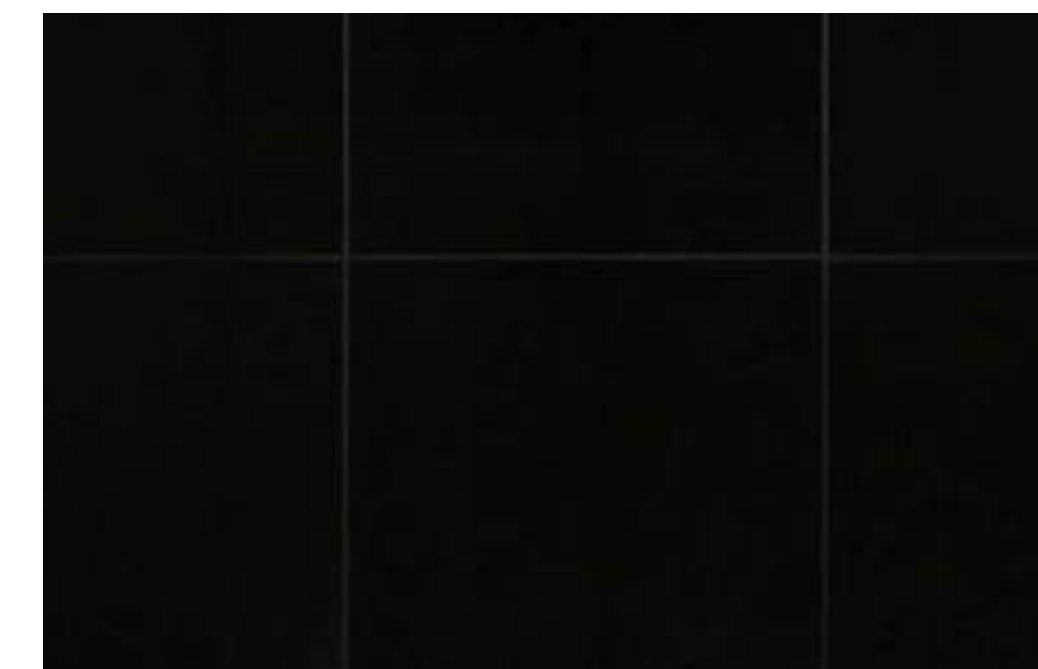
BRONZED WINDOW WALL PROFILES



CUSTOM COMPOSITE STONE LOUVERS



LIMESTONE FACADE



EXISTING/SIMILAR APPROVED LARGE FORMAT BLACK TILES



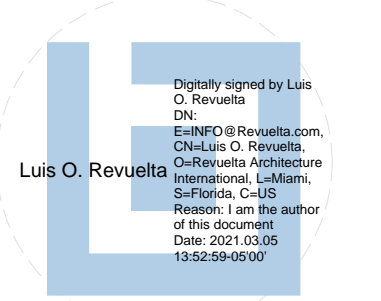
GLASS MOSAIC TILES

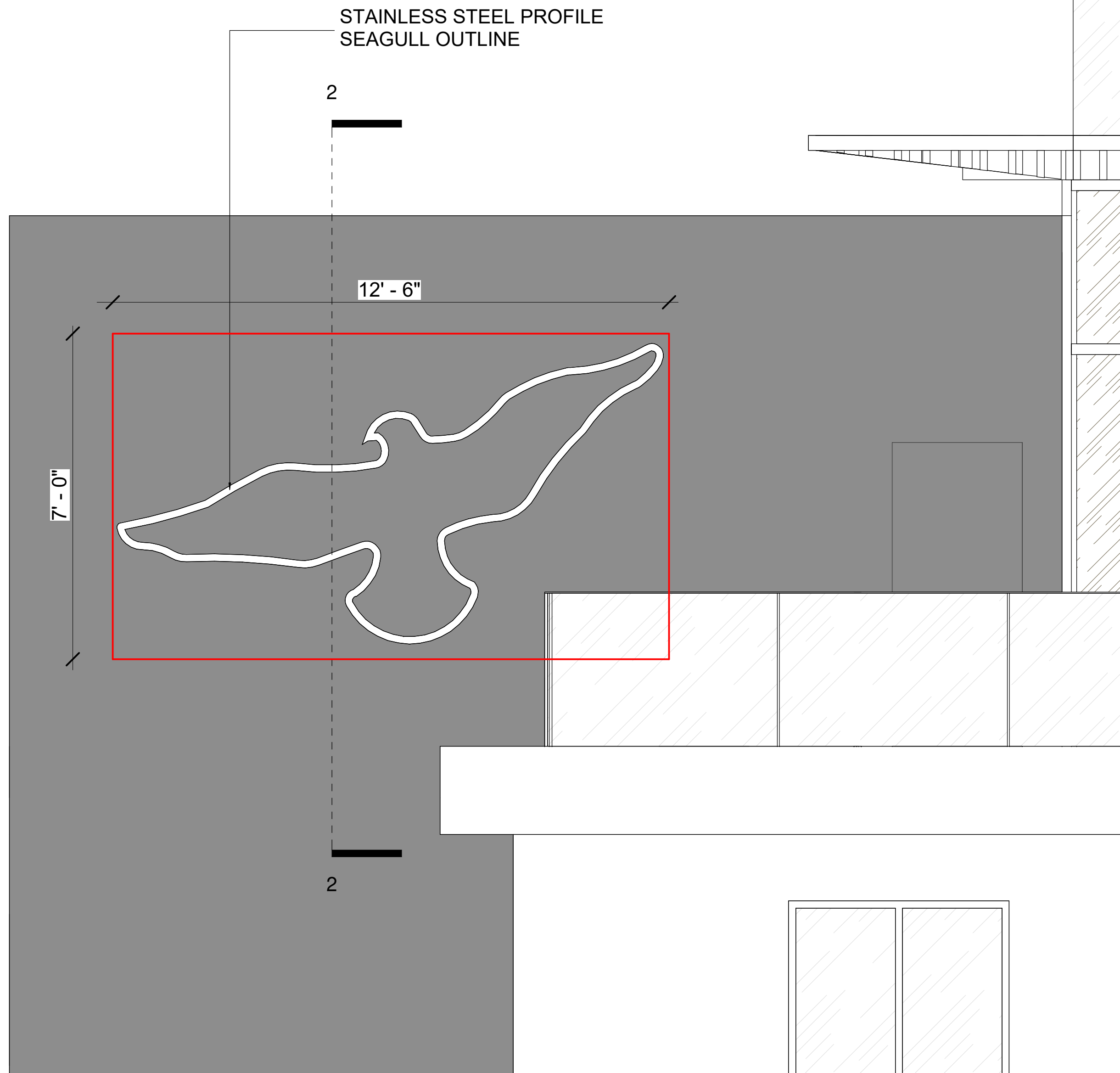
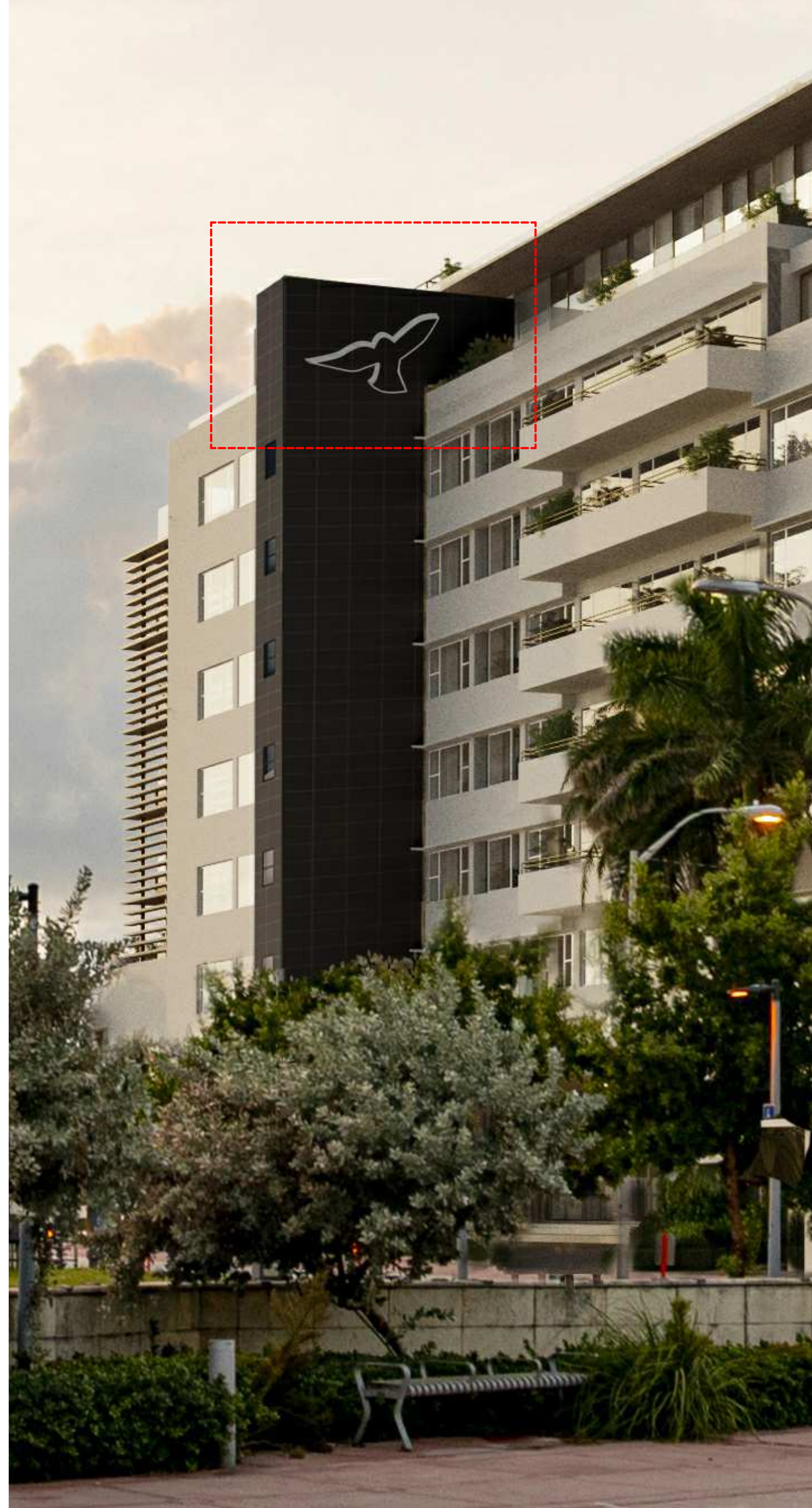


POOL MOSAIC

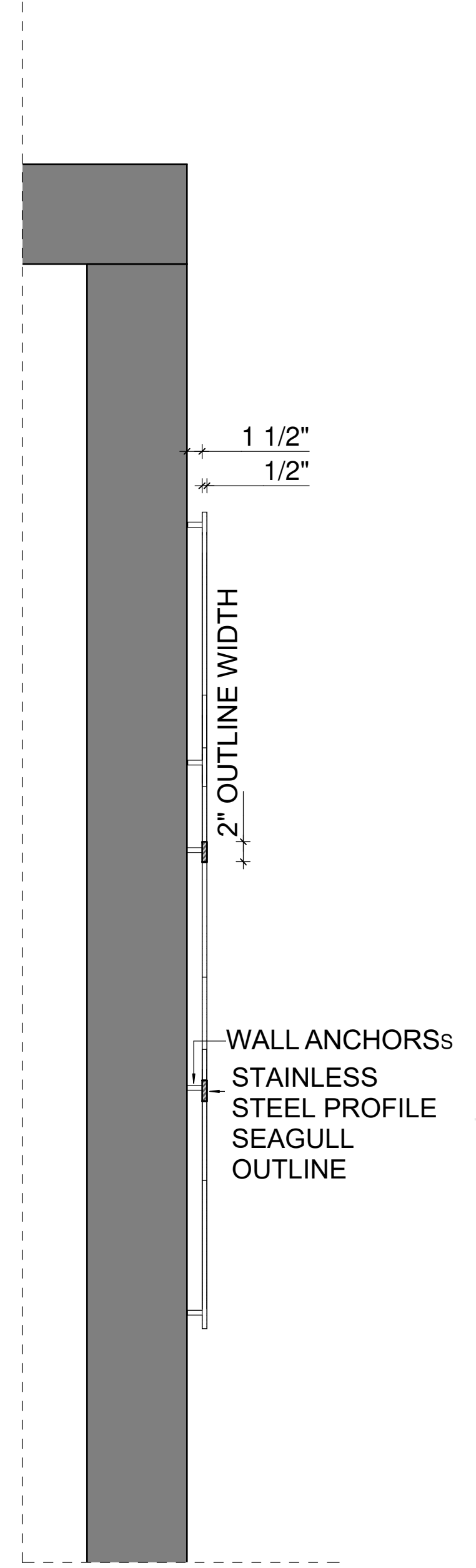
MATERIALS

1 PROPOSED MATERIALS NOT TO SCALE





1 ELEVATION



2 SECTION

1 SEAGULL TOWER SIGNAGE

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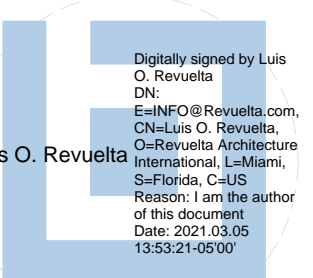
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SCHEMATIC DESIGN

Date

3/5/2021

Scale

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Project No.

2005

Sheet Name

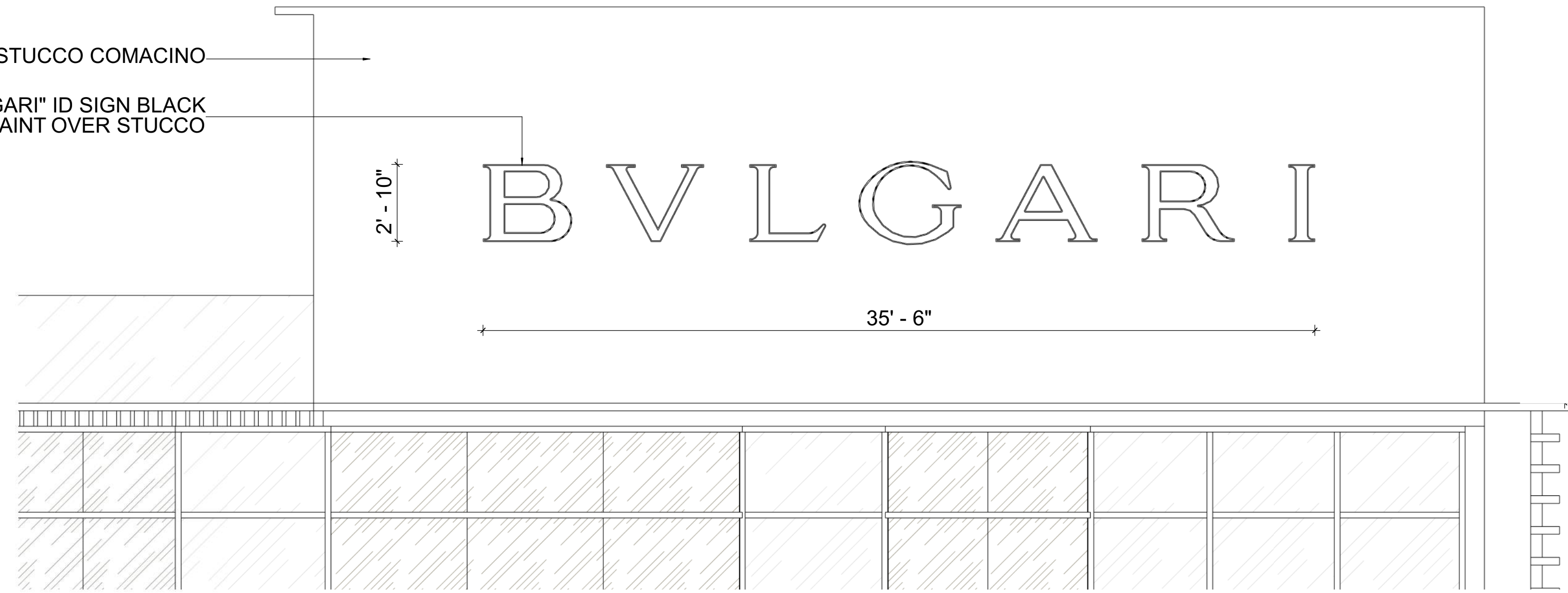
SEAGULL SIGNAGE

Sheet No.

A-036



STUCCO COMACINO
"BVLGARI" ID SIGN BLACK
OUTLINE PAINT OVER STUCCO



1 WEST ELEVATION



SIGNAGE REFERENCE

1 BVLGARI WEST SIDE ID SIGNAGE

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DESIGN ARCHITECT

CITTERIO-VIEL
& PARTNERS

Project

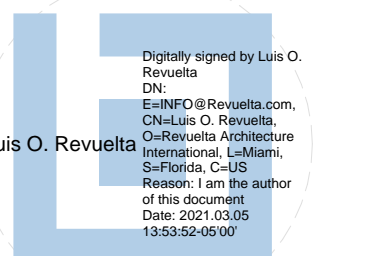
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100 21st STREET
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Revisions

Owner Information

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Consultant



Luis O. Revuelta
AR-007972

SCHEMATIC DESIGN

Date

3/5/2021

Scale

AS SHOWN

Project No.

2005

Sheet Name

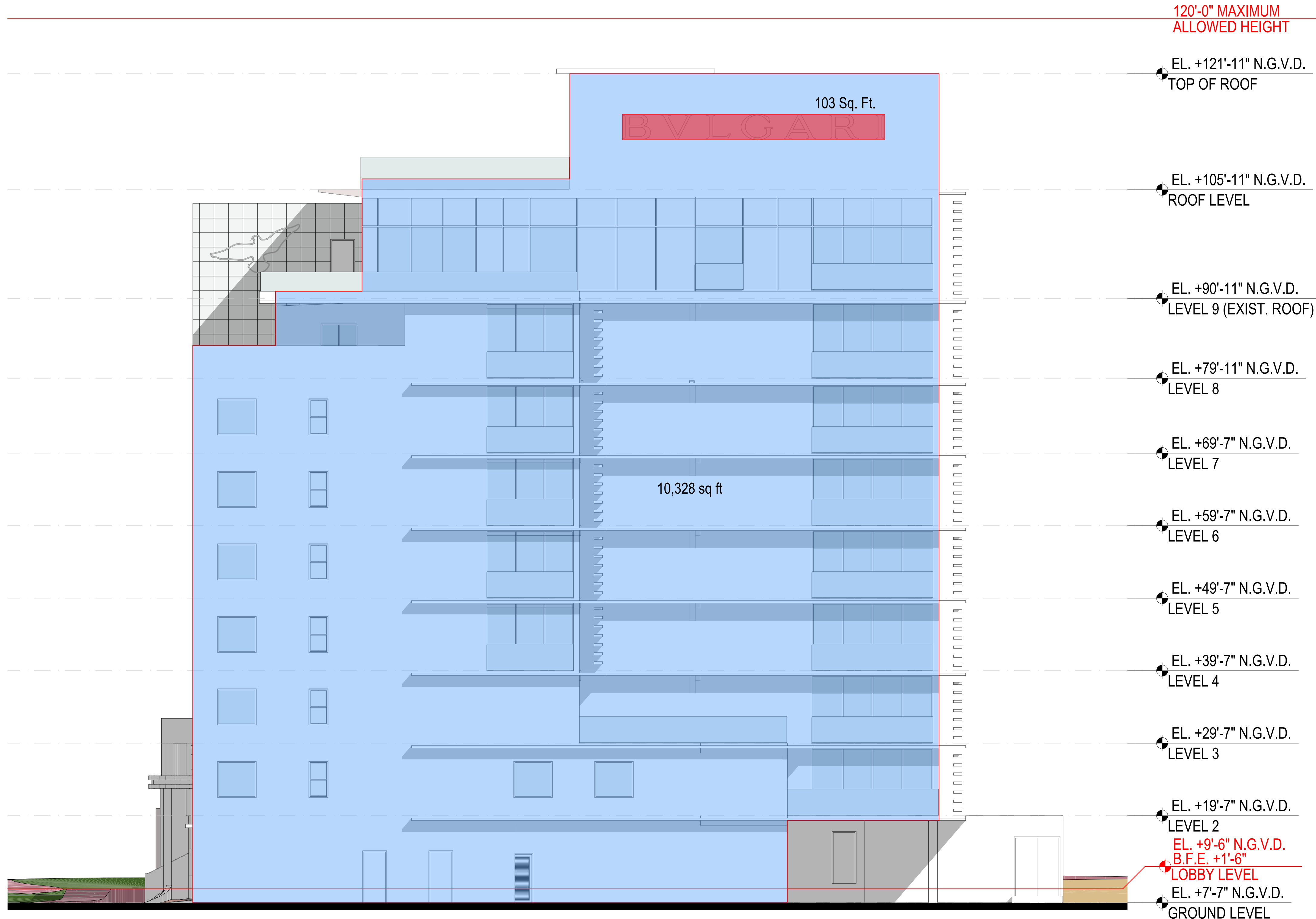
ID SIGNAGE

Sheet No.

A-037

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WEST FACADE CALCULATION DIAGRAM

 TOTAL FACADE WALL AREA	10,328 SF
 1% ALLOWED SIGNAGE AREA	103.28 SF
 PROPOSED SIGNAGE	103 SF

1 WEST ELEVATION - SIGNAGE
SCALE: 1/16" = 1'-0"

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DESIGN ARCHITECT

**CITTERIO-VIEL
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Schematic Design

Date
3/5/2021

Scale
AS SHOWN

Project No.
2005

Sheet Name
ID SIGNAGE CALCULATIONS

Sheet No.
A-038