

850 COMMERCE STREET

850 COMMERCE STREET, MIAMI BEACH, FL 33139

DRB final submittal: 10.14.2016
DRB board meeting: 12.06.2016

ADD FIXED STORE FRONT TO ENCLOSE EXISTING TERRACE



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STAMP

TODD TRAGASH, A.I.A. FLORIDA
REGISTRATION NUMBER #11053

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LOCATION 850 COMMERCE STREET
MIAMI BEACH, FL 33139

SCOPE
THE SCOPE OF WORK INCLUDES:
-ADD FIXED STOREFRONT WINDOWS AND DOORS TO ENCLOSE EXISTING COVERED TERRACE.

SITE ZONING DATA

LEGAL DESCRIPTION: LOTS 10 THROUGH 12, BLOCK 51 OF "OCEAN BEACH, FLA ADDITION NO. 3" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, AT PAGE 81 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

LOT AREA: 9,000 S.F.

ZONING: CPS-1

EXISTING BLDG. HEIGHT: 25'-5 1/2" (40' / 75' max.)

PARKING: RESTAURANT USE:
200 SEATS, W/1 PARKING SPACE PER 14 SEATS = 50 SPACES
CREDIT FOR 32 EXIST. ROOMING HOUSE UNITS = 32 SPACES
REQUIRED PARKING = 18 SPACES - TO BE LOCATED AT 49 COLLINS AVENUE PARKING GARAGE AND TIED TO 850 COMMERCE STREET WITH A COVENANT IN LIEU OF A UNITY TITLE
BACK OF HOUSE SHELL BUILDING 1,988 SF NET (1 SPACE/1,000 SF) = 2 SPACES REQUIRED. 2 SPACES PROVIDED.

	ALLOWED	EXISTING	PROPOSED
MAX F.A.R.	1.5	0.57	0.86
MIN. LOT AREA:	6,000 S.F.	9,000 S.F.	NO CHANGE
MIN. LOT WIDTH:	50'	90'	NO CHANGE
SETBACKS			
FRONT (NORTH) SIDE	0'	12'	NO CHANGE
INTERIOR SIDES	0'	0'	NO CHANGE
REAR (SOUTH) SIDE	5'	5'	NO CHANGE

PROJECT INFORMATION

CODE: SEE COVER PAGE FOR APPLICABLE CODES

USE/OCCUPANCY: A2 - ASSEMBLY RESTAURANT

SQUARE FOOTAGE: EXISTING BUILDING 5,159 S.F. (GROSS)
TOTAL NEW CONSTRUCTION 2,610 S.F. (GROSS)
TOTAL EXIST. + NEW 7,769 S.F. (GROSS)

CONSTRUCTION TYPE: TYPE II B
TO BE FULLY SPRINKLERED (FBC TABLE 504.2)

CLASSIFICATION OF WORK: ALTERATION LEVEL 3 (EXISTING STRUCTURE)

APPLICABLE CODES AND REGULATIONS

ALL APPLICABLE DESIGN CRITERIA FOR THE ATTACHED DOCUMENTS ARE TO BE UNDER THE GUIDELINES OF THE FLORIDA BUILDING CODE 2010.

MIAMI BEACH ZONING CODE
FLORIDA BUILDING CODE, 2010 EDITION WITH AMENDMENTS
FLORIDA EXISTING BUILDING CODE 2010
2010 FLORIDA FIRE PREVENTION AND NFPA 101 LIFE SAFETY CODE, 2009 EDITION.

FIRE RESISTANCE

FBC 2012 TABLE 601			
CONSTRUCTION TYPE II B FIRE ALARM & SPRINKLER SYSTEM	BUILDING ELEMENT		
	COLUMNS:		FR (HOURS)
	BEAMS, GIRDERS, TRUSSES, & ARCHES:		0
	BEARING WALLS		0
	EXTERIOR		
	INTERIOR		0
	NONBEARING EXTERIOR WALLS (TABLE 602)		0
	HORIZONTAL SEPARATION		
	LESS THAN 5'-0"		
	OVER 5'-0" TO 10'-0":		
	OVER 10'-0" TO 20'-0":		1
	PROVIDED OVER 20'-0" TO 30'-0":		1
	OVER 30'-0":		1
	NONBEARING INTERIOR WALLS		0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		0	
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		0	
			0
FBC 2012 TABLE 602			
	WALL	SEPARATION	FIRE RESISTANCE REQUIRED
	NORTH	X>30'	0
	SOUTH	10'-X<20'	0
	EAST	x < 5'	1
	WEST	x < 5'	1

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TERMITE PROTECTION

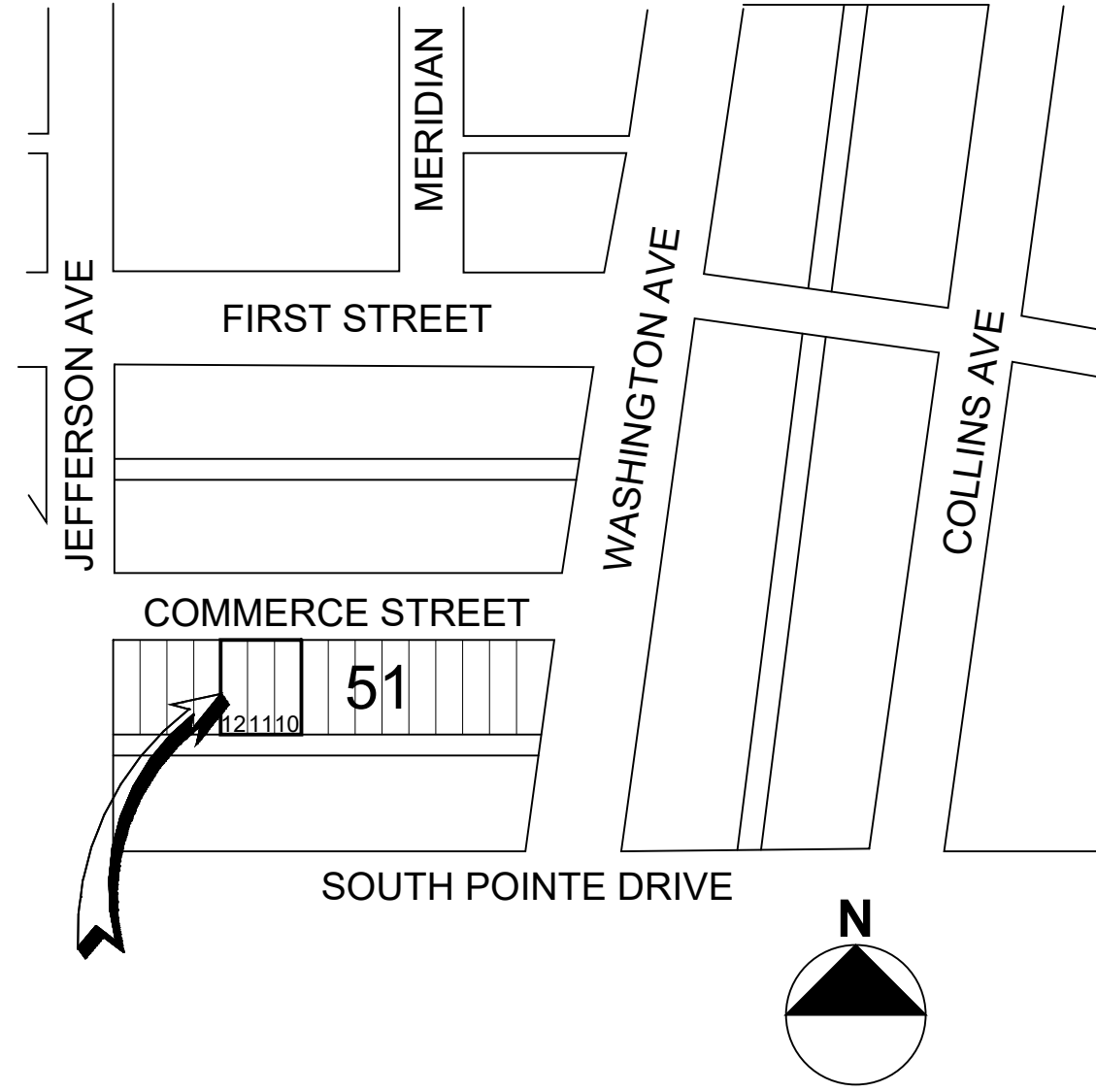
PROVIDE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. BASED ON THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES IT SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." 1816.2 PENETRATION. PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE-CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF A TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.

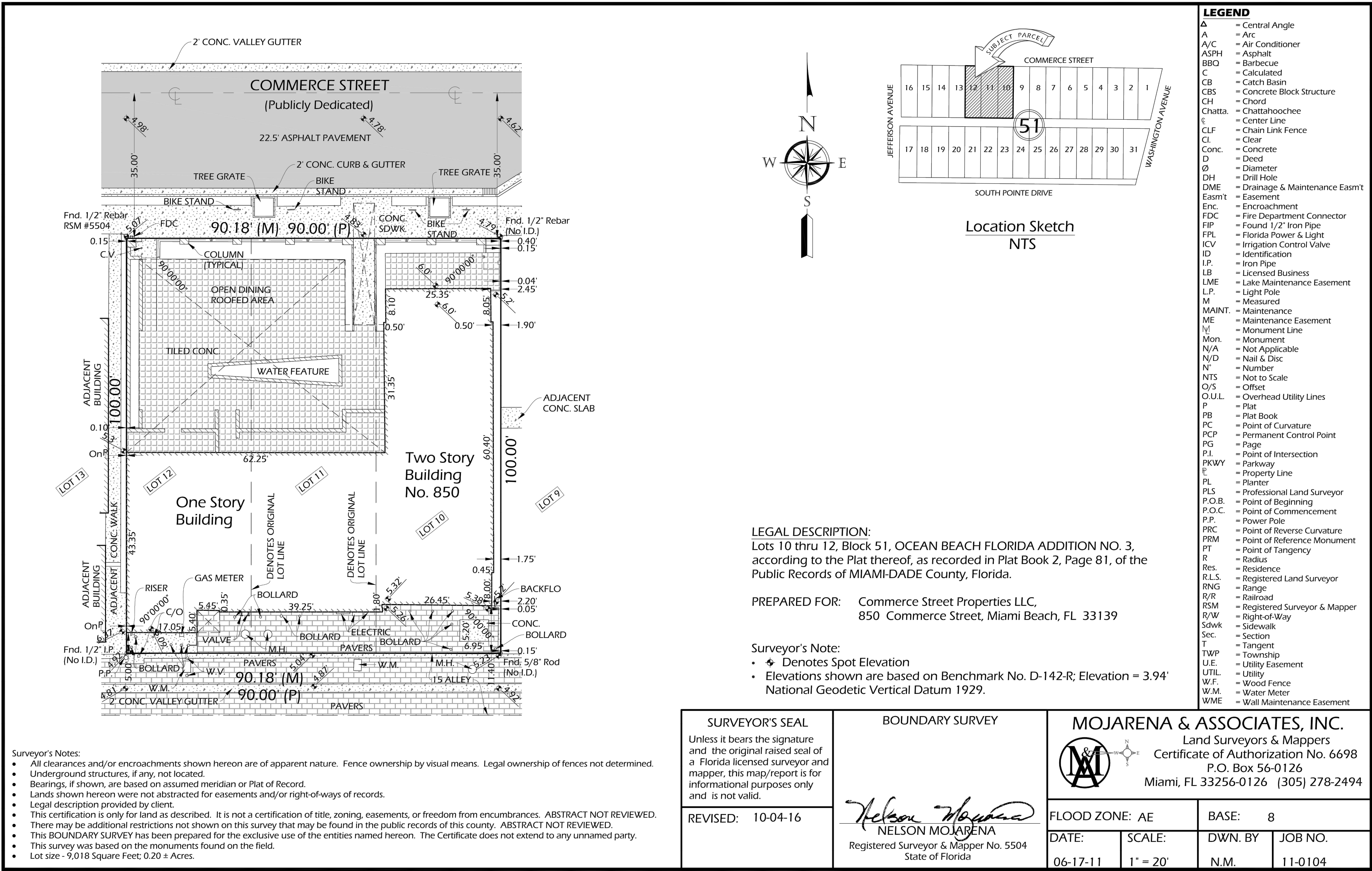
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



1 LOCATION PLAN
SCALE: NTS



- Surveyor's Notes:
- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
 - Underground structures, if any, not located.
 - Bearings, if shown, are based on assumed meridian or Plat of Record.
 - Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
 - Legal description provided by client.
 - This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
 - There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
 - This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
 - This survey was based on the monuments found on the field.
 - Lot size - 9,018 Square Feet, 0.20 ± Acres.

2 SITE SURVEY
SCALE: NTS

EXISTING PLUMBING FIXTURE COUNT TO REMAIN

OCCUP.	PEOPLE		W/C REQUIRED		W/C PROVIDED		LAVATORIES REQ'D		LAVATORIES PROV'D		D. FOUNTAINS		OTHER	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	REQ'D	PROV'D	REQ.	PROV.
A-2 RESTAURANT	263 PPL		1 PER 75	1 PER 75	2 WC				1 ADA LAV. + 2 LAV.		1 PER 500	-	1 SERVICE SINK	1 SERVICE SINK
	132 M - 132 F		1.8 WC	1.8 WC	+ 2 UR	3 WC								

MIAMI BEACH

Planning Department, 1700 Convention Center Drive,2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	850 COMMERCE STREET, MIAMI BEACH, FL 33139			
2	Board and file numbers :	DRB 22868			
3	Folio number(s):	02-4203-009-2100			
4	Year constructed:	2014	Zoning District / Overlay:	CPS-1	
5	Based Flood Elevation:	8.0'	Grade value in NGVD:	4.0'	
6	Lot Area:	9,000 SF	Lot Depth:	100.00'	
7	Lot width:	90 FT			
8	Minimum Unit Size	N/A	Average Unit Size:	N/A	
9	Existing use:	A2- Assembly Restaurant	Proposed use:	A2- Assembly Restaurant	
		Maximum	Existing	Proposed	Deficiencies
10	Height:	40'/75'	25'-5 1/2"	25'-5 1/2"	N/A
11	Number of Stories:	N/A	2	2	N/A
12	FAR:	1.5	0.57	0.86	N/A
13	Gross square footage:	9,000	5,159	7,769	N/A
14	Square Footage by use:				N/A
15	Number of units Residential:	N/A	N/A	N/A	N/A
16	Number of units Hotel:	N/A	N/A	N/A	N/A
17	Number of seats:	N/A	172	200	N/A
18	Occupancy load:	257	257	NO CHANGE	N/A
19	Density (per Comprehensive Plan):				
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
20	Front Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback:	N/A	N/A	N/A	N/A
23	Side Setback facing street:	N/A	N/A	N/A	N/A
24	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
25	Front Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback:	N/A	N/A	N/A	N/A
28	Side Setback facing street:	N/A	N/A	N/A	N/A
29	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
30	Front Setback:	0	0	0	N/A
31	Side Setback:	0	0	0	N/A
32	Side Setback:	0	0	0	N/A
33	Side Setback facing street:	0	0	0	N/A
34	Rear Setback:	5.0'	5.0'	5.0'	N/A
	Tower:				
35	Front Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback:	N/A	N/A	N/A	N/A
38	Side Setback facing street:	N/A	N/A	N/A	N/A
39	Rear Setback:	N/A	N/A	N/A	N/A

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district: no. 1				
41	Total number of parking spaces: Number of parking spaces per use	Existing - 13 Proposed - 20	2 PROVIDED 11 SPACES AS ANNUAL FEE	2 PROVIDED 18 SPACES AT 49 COLLINS AVE	N/A
42	(Provide a separate chart for a breakdown calculation):	Existing - 13 Proposed - 20	2 PROVIDED 11 SPACES AS ANNUAL FEE	2 PROVIDED 18 SPACES AT 49 COLLINS AVE	N/A
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	N/A
44	Parking Space Dimensions:	N/A	N/A	N/A	N/A
45	Parking Space configuration (45°,60°,90°,Parallel):	N/A	N/A	N/A	N/A
46	ADA Spaces:	N/A	N/A	N/A	N/A
47	Tandem Spaces:	N/A	N/A	N/A	N/A
48	Drive aisle width:	N/A	N/A	N/A	N/A
49	Valet drop off and pick up:	N/A	850 COMMERCE ST	850 COMMERCE ST	N/A
50	Loading spaces:	1	1	1	N/A
51	Trash collection area:	YES	YES	YES	N/A
52	<u>Short-term</u> Bicycle Parking, location and Number of racks:	N/A	N/A	N/A	N/A
53	<u>Long-Term</u> Bicycle Parking, location and Number of racks	N/A	N/A	N/A	N/A
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	RESTAURANT	RESTAURANT	N/A
55	Number of seats located outside on private property:	N/A	99	6	N/A
56	Number of seats inside:	N/A	73	194	N/A
57	Total number of seats:	N/A	172	200	N/A
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	172	200	N/A
59	Total occupant content:	257	257	257	N/A
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	257	257	257	N/A
61	Proposed hours of operation:				
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	NO			
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	NO			
64	Is this a contributing building?:	NO			
65	Located within a Local Historic District?:	NO			

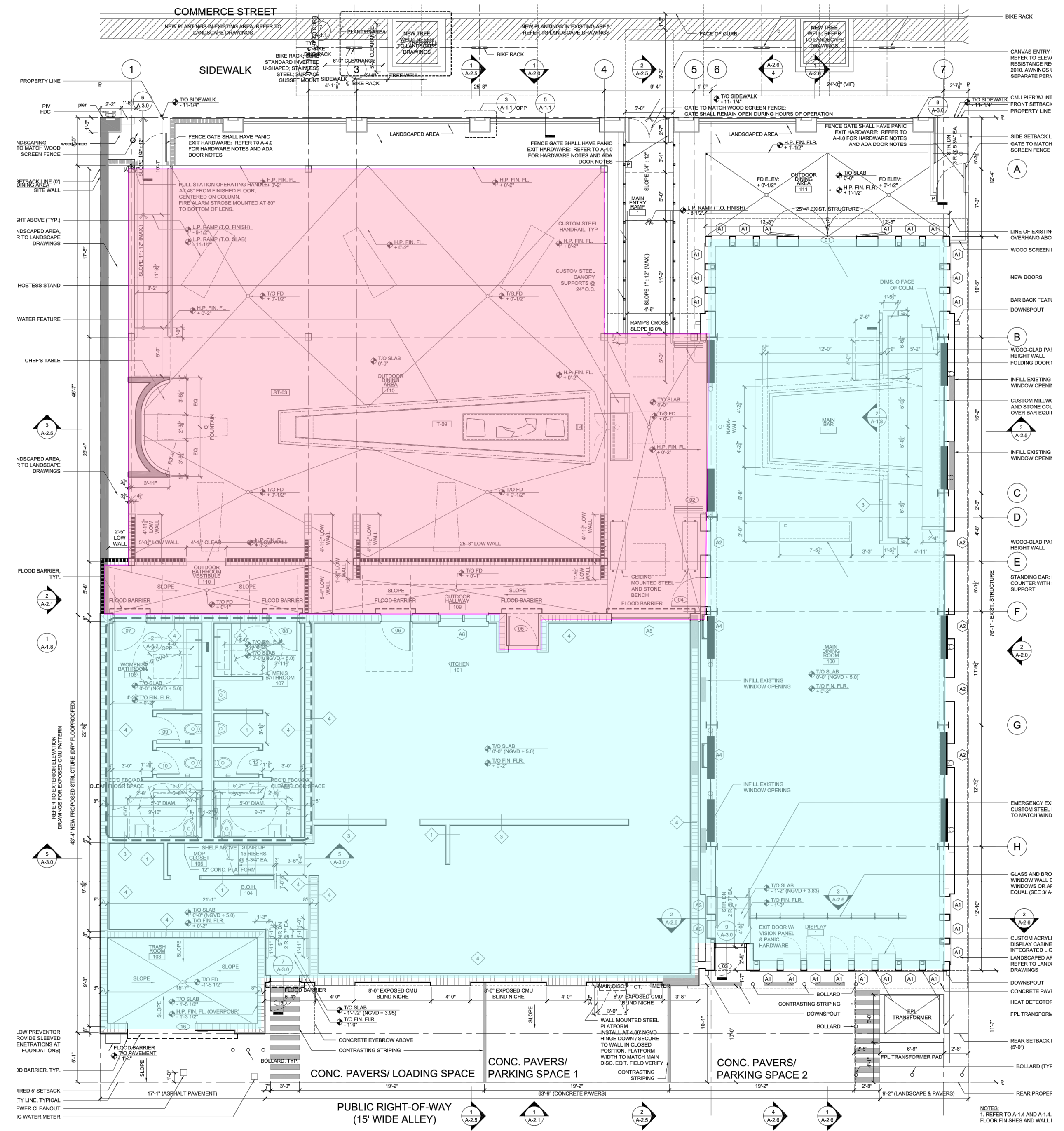
Notes:

Please write N/A if section is Not Applicable

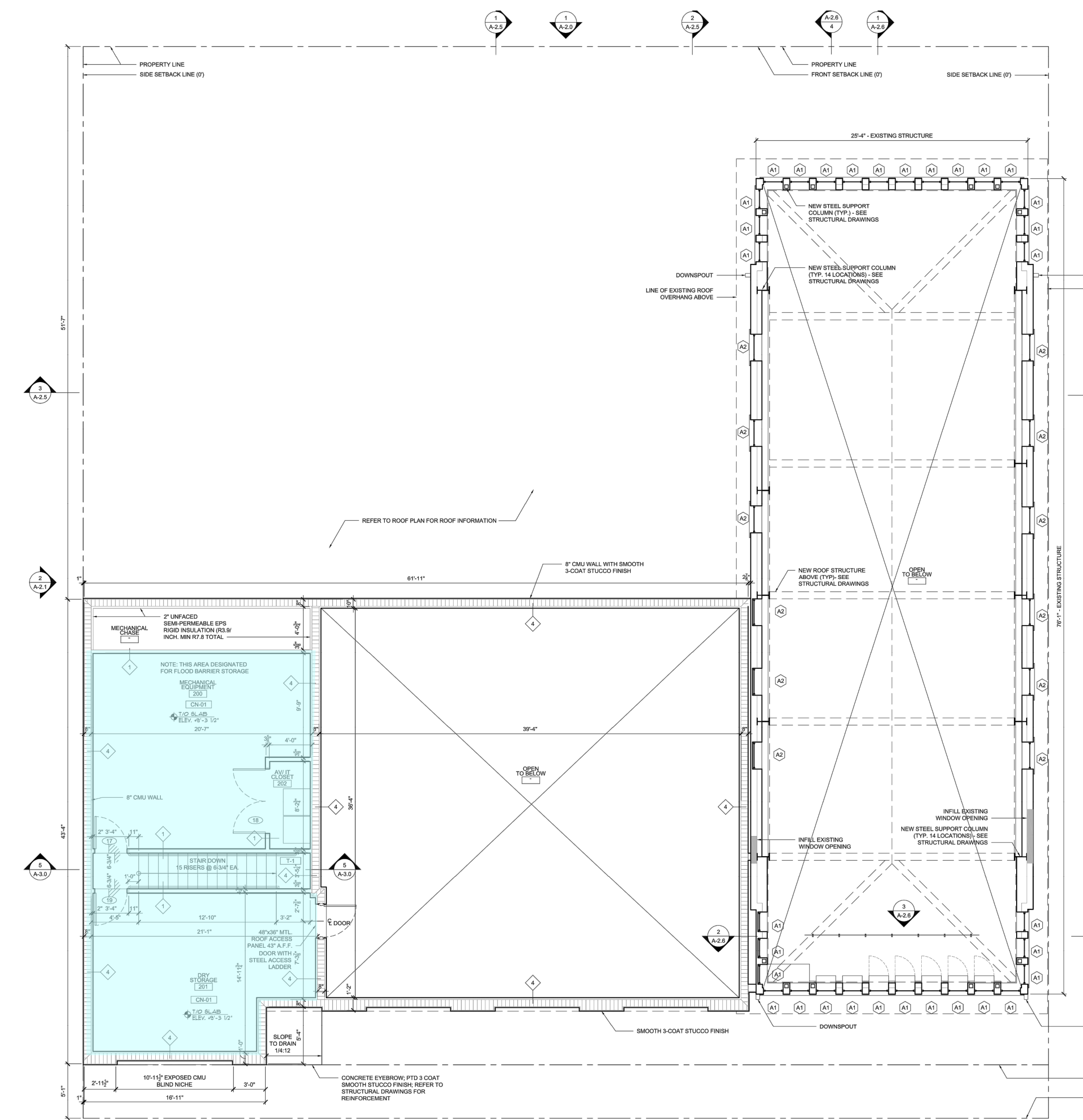
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1 FAR DIAGRAM - GROUND FLOOR
SCALE: NTS



2 FAR DIAGRAM - MEZZANINE
SCALE: NTS

FAR CALCULATIONS

TOTAL SITE FAR	
EXISTING GROUND FLOOR	4224 S.F.
EXISTING MEZZANINE	0935 S.F.
TOTAL EXISTING	5159 S.F.
NEW GROUND FLOOR	2610 S.F.
TOTAL EXISTING + NEW	7769 S.F.

KEY

EXISTING

NEW

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OCCUPANT LOAD

TABLE 7.3.1.2 FPPC NFPA 1 ED. 2006

ASSEMBLY USE		PROVIDED
INDOOR TERRACE DINING	1786 SF /15	119
OUTDOOR DINING	210 SF /15	14
MAIN DINING ROOM	1221 SF /15	82
BAR	40 LF /18"	23
		<u>238</u>

BACK OF HOUSE		
KITCHEN AREAS	1540 SF /100	16
BAR & SERVICE	158 SF /100	2
STORAGE MEZZANINE	368 SF /300	2
DRY STORAGE	279 SF /300	1
		<u>19</u>

TOTAL OCCUPANT LOAD 257

SEATING COUNT

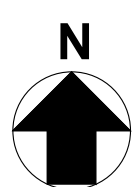
ASSEMBLY USE	SEATING
INDOOR TERRACE DINING	107 (INC. 6 ADA)
OUTDOOR DINING	6
MAIN DINING ROOM	71 (INC. 4 ADA)
BAR	16 (INC. 1 ADA)
TOTAL SEATS	<u>200 (INC. 11 ADA)</u>

SCOPE OF WORK

ADD **FIXED** STOREFRONT AT EXISTING COVERED TERRACE WITH (2) SWING DOORS FOR ACCESS. ALL EXISTING STRUCTURE AND BUILDING TO REMAIN AS IS.

KEY

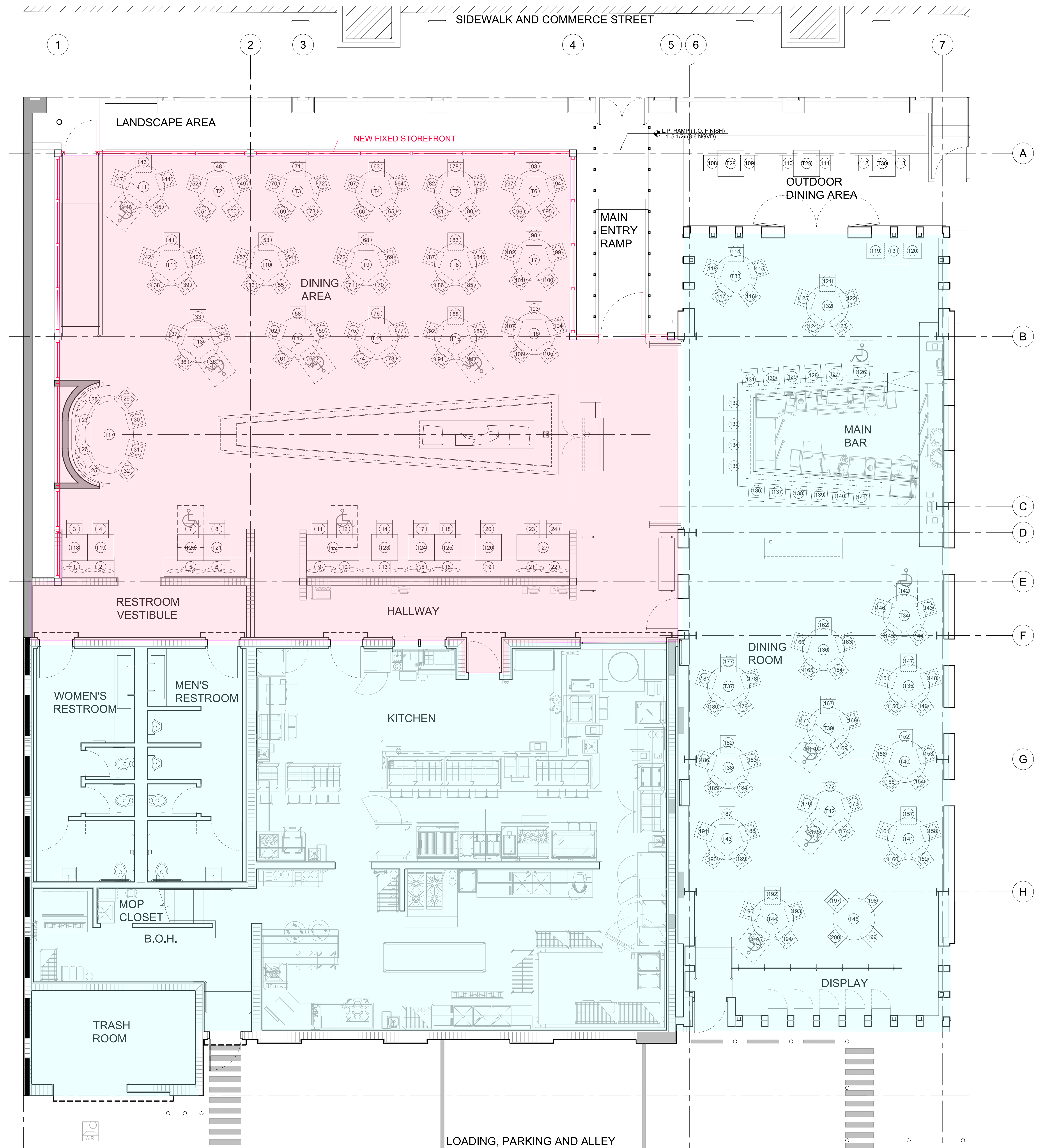
- NEW FIXED STOREFRONT, TO ENCLOSE EXISTING COVERED TERRACE
- EXISTING CONDITIONED SPACE
- EXISTING COVERED TERRACE TO BE ENCLOSED AND CONDITIONED



1

FLOOR PLAN

SCALE: 1/4"=1'-0"



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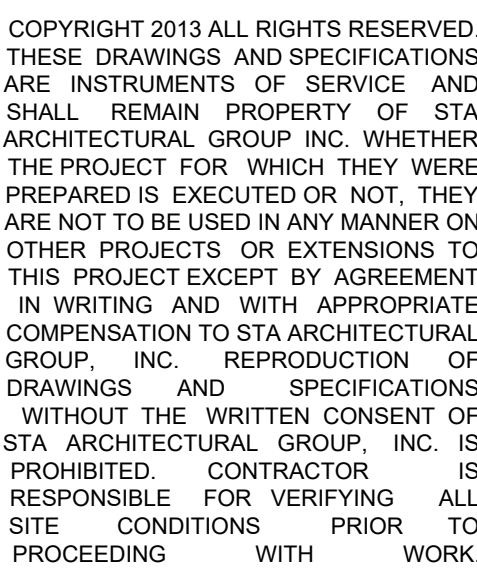
DESIGN REVIEW BOARD
City of Miami Beach
777 17th Street, Suite 201
Miami Beach, FL 33139

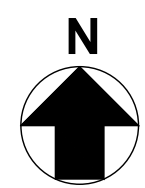


850 COMMERCE STREET
Project # 3227
850 COMMERCE ST.
Miami Beach, FL 33139

A-3.0B

PROPOSED GROUND FLOOR PLAN

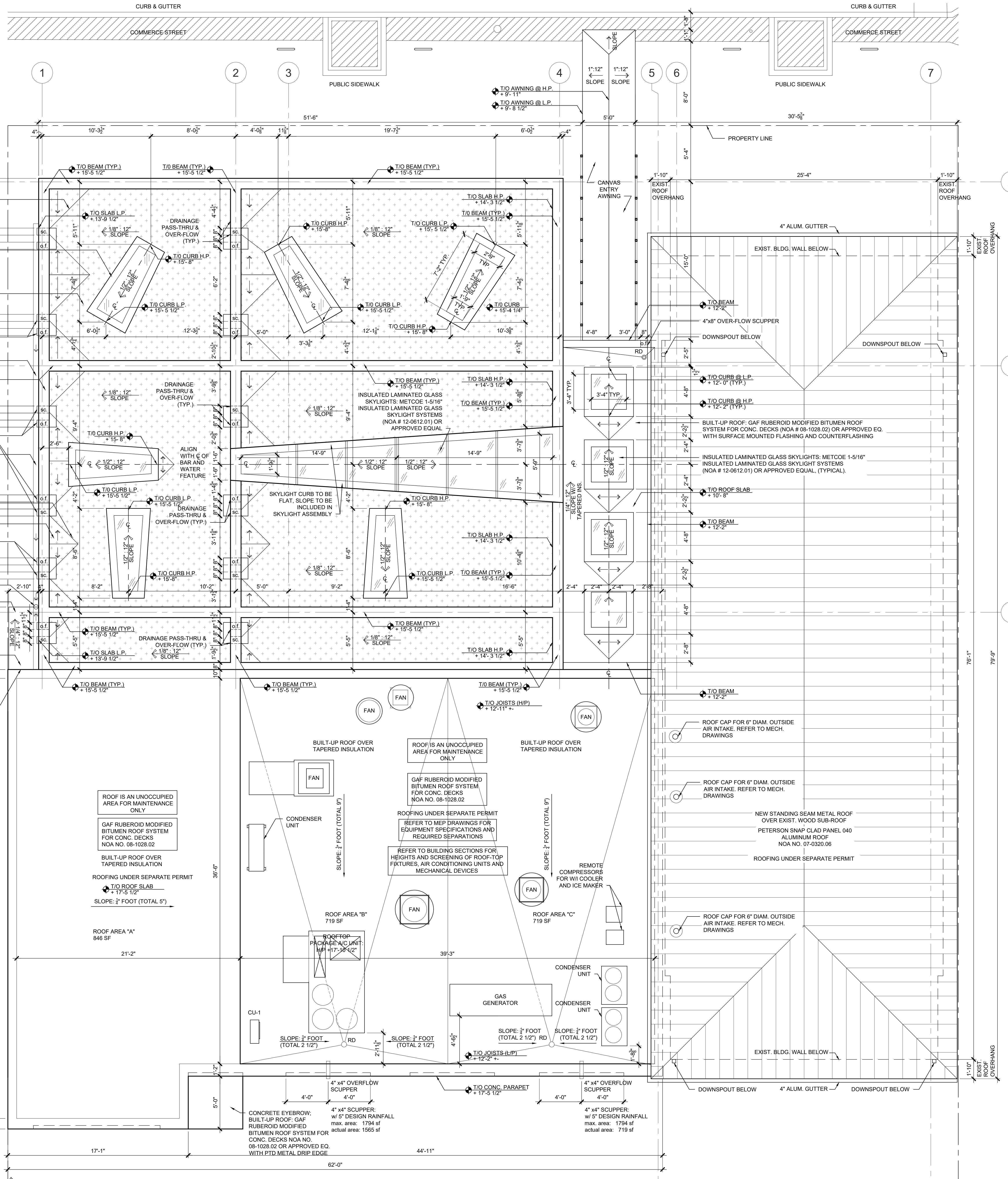




ROOF PLAN - EXISTING TO REMAIN

SCALE: 1/4"=1'-0"

NOTE:
±0'-0" = +5.0 NGVD



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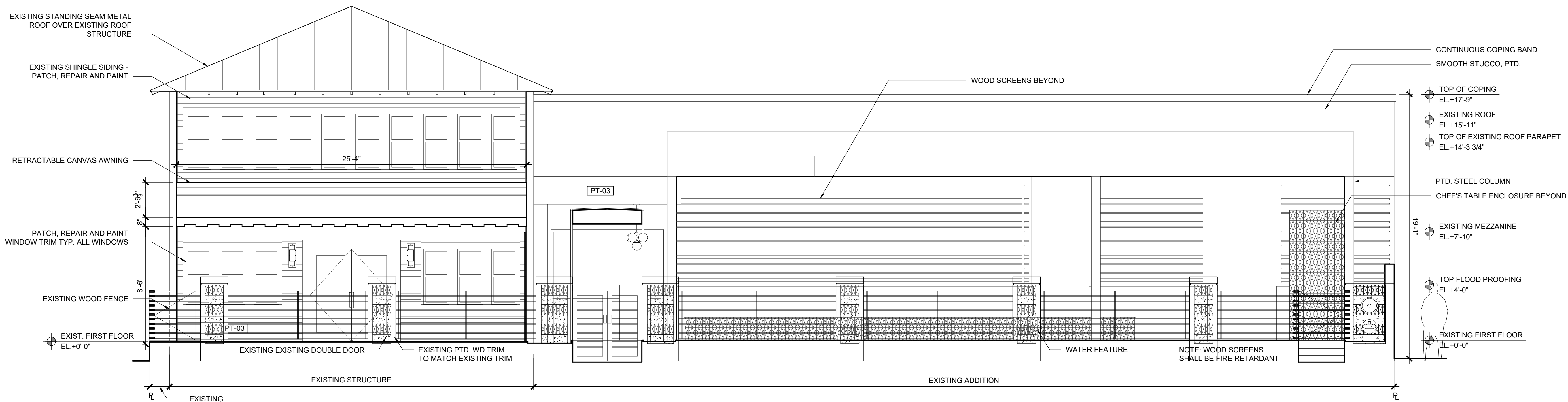
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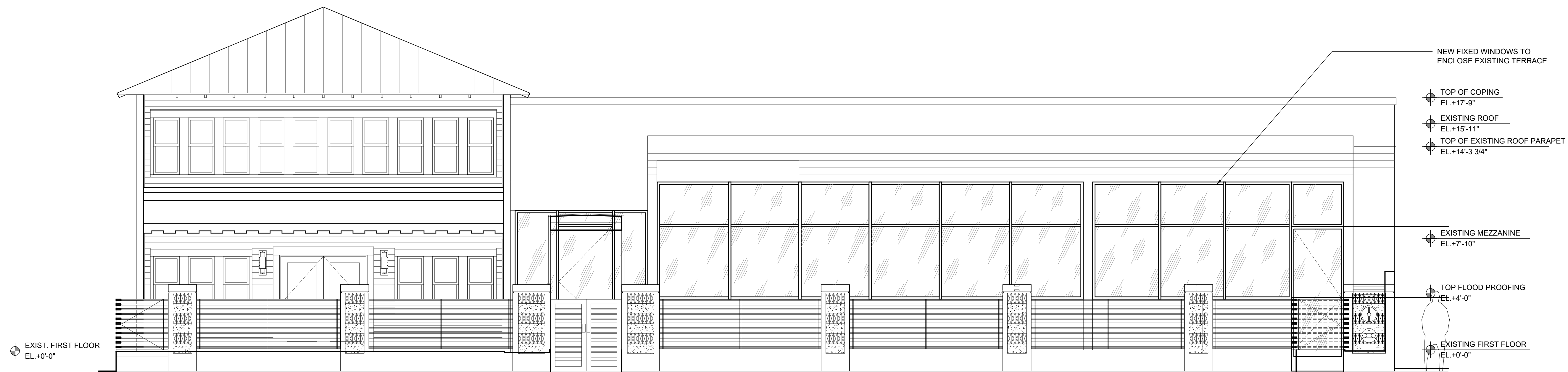




1A EXISTING NORTH ELEVATION IMAGE
SCALE: NTS



1B EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

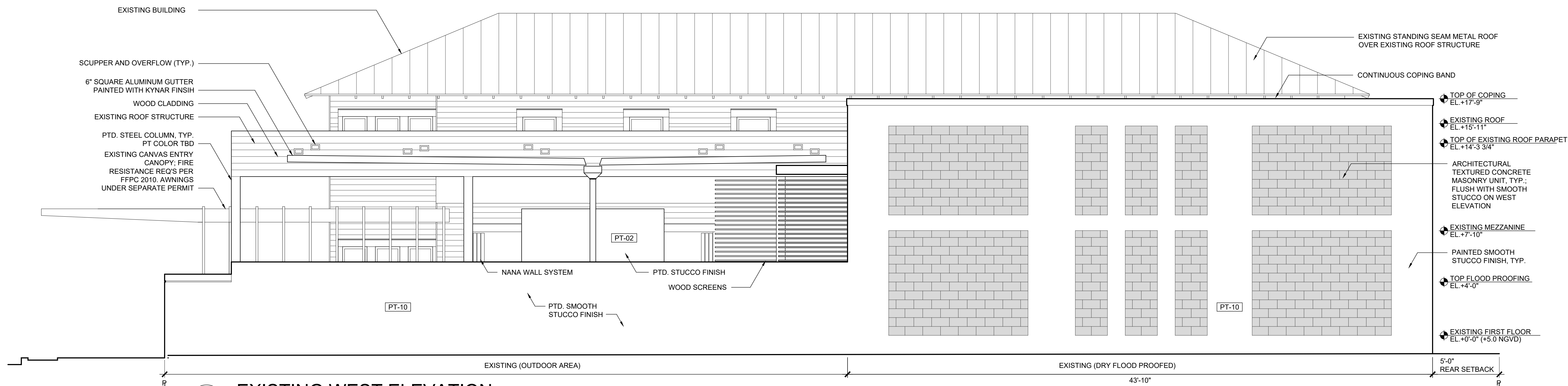
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1A EXISTING IMAGES OF WEST ELEVATION
SCALE: NTS



1B EXISTING WEST ELEVATION
SCALE: 1/4\"=1'-0\"



2 PROPOSED WEST ELEVATION
SCALE: 1/4\"=1'-0\"

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1 EXTERIOR RENDERING
SCALE: N.T.S.

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