

- 1/2 MILE RADIUS

South Pointe Dr

South Pointe Beach

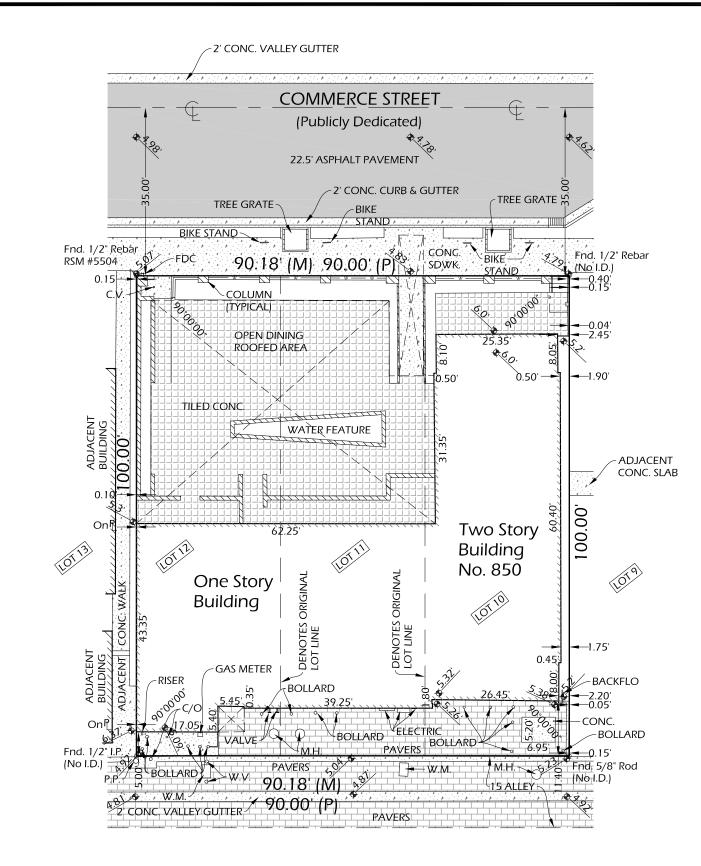
LOCATION PLAN AERIAL 1/2 MILE RADIUS SCALE: N.T.S. 1





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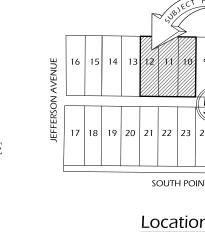
TODD TRAGASH, A.I.A. FLORIDA REGISTRATION NUMBER #11053



Surveyor's Notes:

All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
 Underground structures, if any, not located.

- Bearings, if shown, are based on assumed meridian or Plat of Record.
- Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
- Legal description provided by client.
- This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
- This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- This survey was based on the monuments found on the field.
- Lot size 9,018 Square Feet; 0.20 ± Acres.



LEGAL DESCRIPTION: Lots 10 thru 12, Block 51, OCEAN BEACH FLORI

according to the Plat thereof, as recorded in Plat Public Records of MIAMI-DADE County, Florida.

PREPARED FOR: Commerce Street Properties L 850 Commerce Street, Miam

Surveyor's Note:

- Denotes Spot Elevation
- Elevations shown are based on Benchmark No National Geodetic Vertical Datum 1929.

SURVEYOR'S SEAL Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.

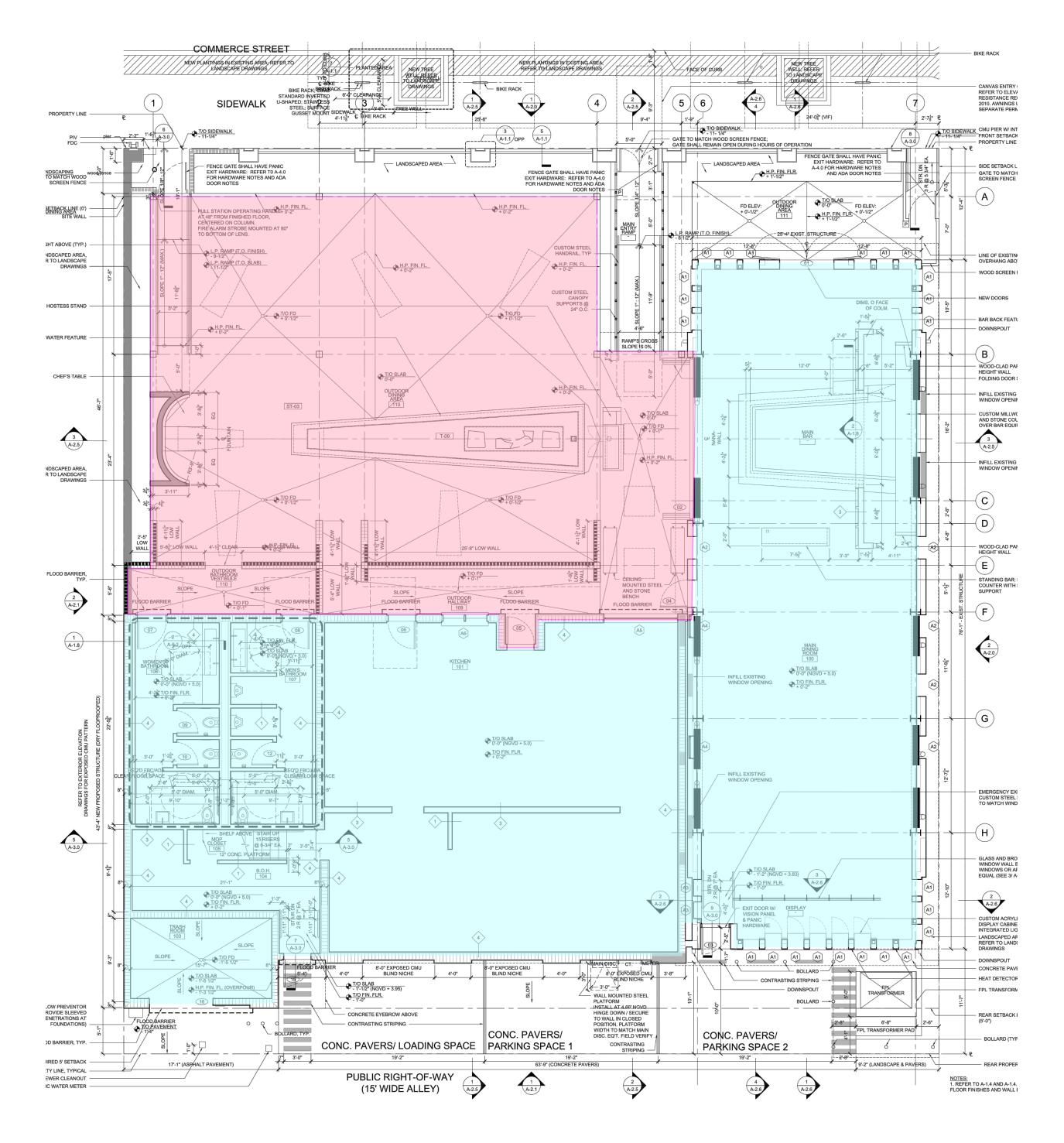
REVISED: 10-04-16

NELSON MOJARENA

BOUNDARY SURVEY

Registered Surveyor & Mapper No. 550 State of Florida

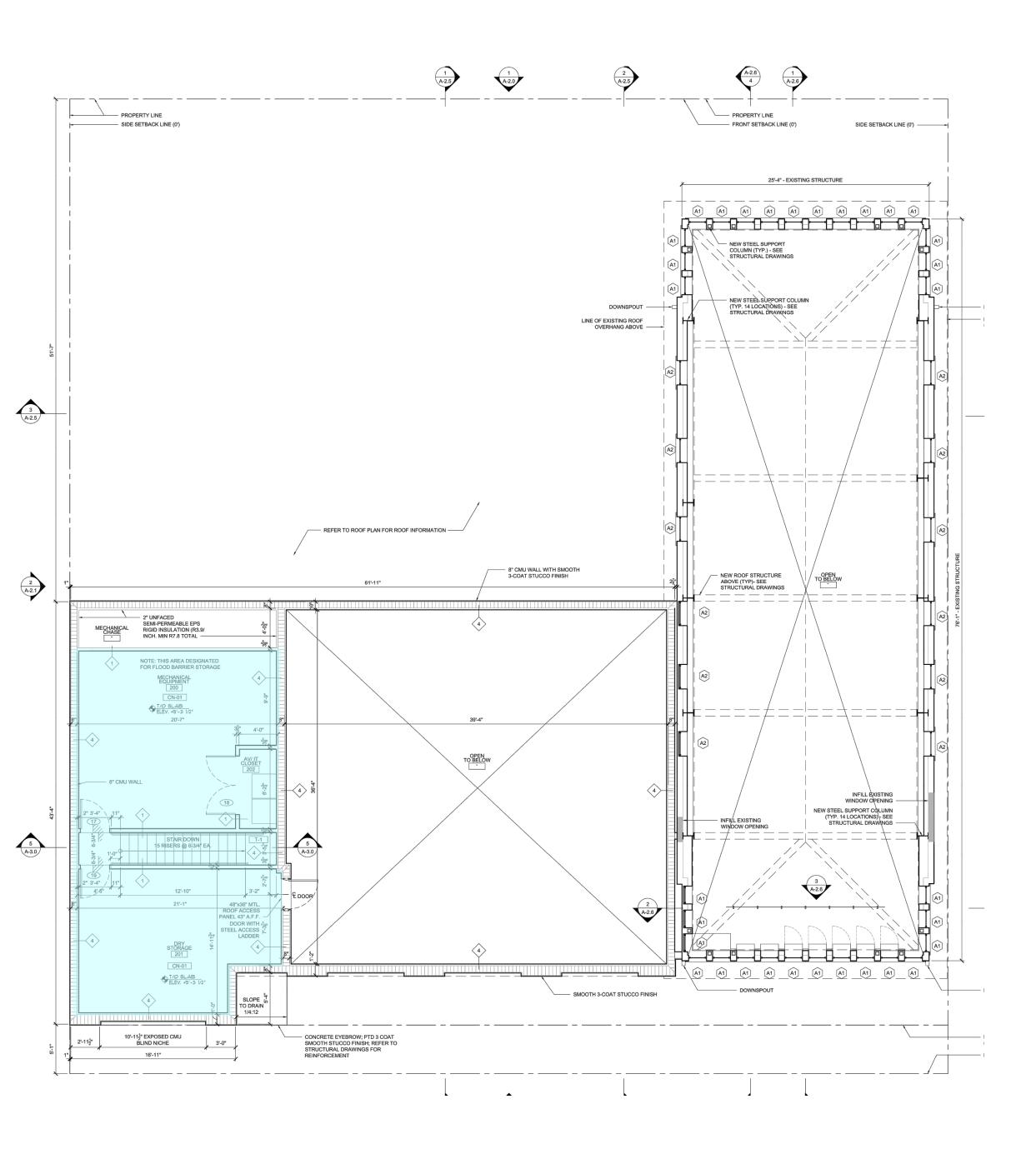
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PRC = Point of Reverse Curvature PRM = Point of Reference Monument PT = Registered Land Surveyor RNG = Range R/R = Railroad RSM = Registered Surveyor & Mapper R/W = Right-of-Way Sdwk = Sidewalk Sec. = Section T = Tangent TWP = Township U.E. = Utility Easement UTIL = Utility W.F. = Wood Fence W.M. = Water Meter WME = Wall Maintenance Easement MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 (305) 278-2494 PLOOD ZONE: AE DATE: SCALE: DWN. BY JOB NO.					
IDA ADDITION NO. 3, PT = Point of Tangency It Book 2, Page 81, of the R = Radius LLC, = Registered Land Surveyor mi Beach, FL 33139 RSM = Registered Surveyor & Mapper No. D-142-R; Elevation = 3.94' RVW = Right-of-Way Sold Sidewalk Sec. = Section T = Tangent TWP = Township UEL = Utility Easement UTIL = Utility WF = Wall Maintenance Easement UTIL = Wall Maintenance Easement MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 (305) 278-2494 Maintening Easement: SCALE: DWN. BY JOB NO.		PRC = Point of Reverse Curvature			
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LLC, Registered Land Surveyor ni Beach, FL 33139 RAME No. D-142-R; Elevation = 3.94' Registered Surveyor & Mapper No. D-142-R; Elevation = 3.94' Registered Surveyor & Mapper MOJARENA & ASSOCIATES, INC. UTIL Land Surveyors & Mappers WME WME Water Meter WME Water Meter MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 Miami, FL 33256-0126 Matter: SCALE: DATE: SCALE:		n on reingeney			
LLC, hi Beach, FL 33139 No. D-142-R; Elevation = 3.94' MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers W.F. = Wood Fence W.M. = Water Meter WME = Wall Maintenance Easement The Wood Fence W.M. = Water Meter WME = Wall Maintenance Easement FLOOD ZONE: AE DATE: SCALE: DWN. BY JOB NO.	t book 2, rage or, or the	Res. = Residence			
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LLC, RSM = Registered Surveyor & Mapper mi Beach, FL 33139 RSM = Registered Surveyor & Mapper R/W = Right-of-Way Sdwk = Sidewalk Sec. = Section T = Tangent TWP = Township U.E. = Utility Easement UTIL. = Utility = Wader Meter WME = Wall Maintenance Easement MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 (305) 278-2494 FLOOD ZONE: AE BASE: 8 DATE: SCALE: DWN. BY JOB NO.		rteirige			
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No. D-142-R; Elevation = 3.94' T = Tangent TWP = Township U.E. = Utility Easement UTIL. = Utility W.F. = Wood Fence W.M. = Wall Maintenance Easement MOJARENA & ASSOCIATES, INC. WME = Wall Maintenance Easement MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 (305) 278-2494 FLOOD ZONE: AE BASE: 8 DATE: SCALE: DWN. BY JOB NO.		-			
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MOJARENA & ASSOCIATES, INC. Land Surveyors & Mappers Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 Miami, FL 33256-0126 FLOOD ZONE: AE BASE: BASE: BASE: DATE: SCALE: DWN. BY JOB NO.		W.M. = Water Meter			
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Certificate of Authorization No. 6698 P.O. Box 56-0126 Miami, FL 33256-0126 (305) 278-2494 FLOOD ZONE: AE BASE: 8 DATE: SCALE: DWN. BY JOB NO.					
Miami, FL 33256-0126 (305) 278-2494 FLOOD ZONE: AE BASE: 8 DATE: SCALE: DWN. BY JOB NO.	│ / ヽ゚゚゚゚ / ヽ゚゚゚→ ヽ゚゚→ ヽ Certifica	te of Authorization No. 6698			
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FLOOD ZONE: AE BASE: 8 504 DATE: SCALE: DWN. BY JOB NO.	Miami, FL	33256-0126 (305) 278-2494			
DATE: SCALE: DWN. BY JOB NO.		. ,			
504		C .			
06-17-11 1° = 20° N.M. 11-0104	504				
	06-17-11 1" = 20"	IN.IVI. 0 04			







FAR DIAGRAM - GROUND FLOOR





FAR CALCULATIONS

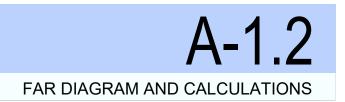
TOTAL SITE FAR	
EXISTING GROUND FLOOR	4224 S.F.
EXISTING MEZZANINE	0935 S.F.
TOTAL EXISTING	5159 S.F.
NEW GROUND FLOOR	2610 S.F.
TOTAL EXISTING + NEW	7769 S.F.

KEY

EXISTING

NEW





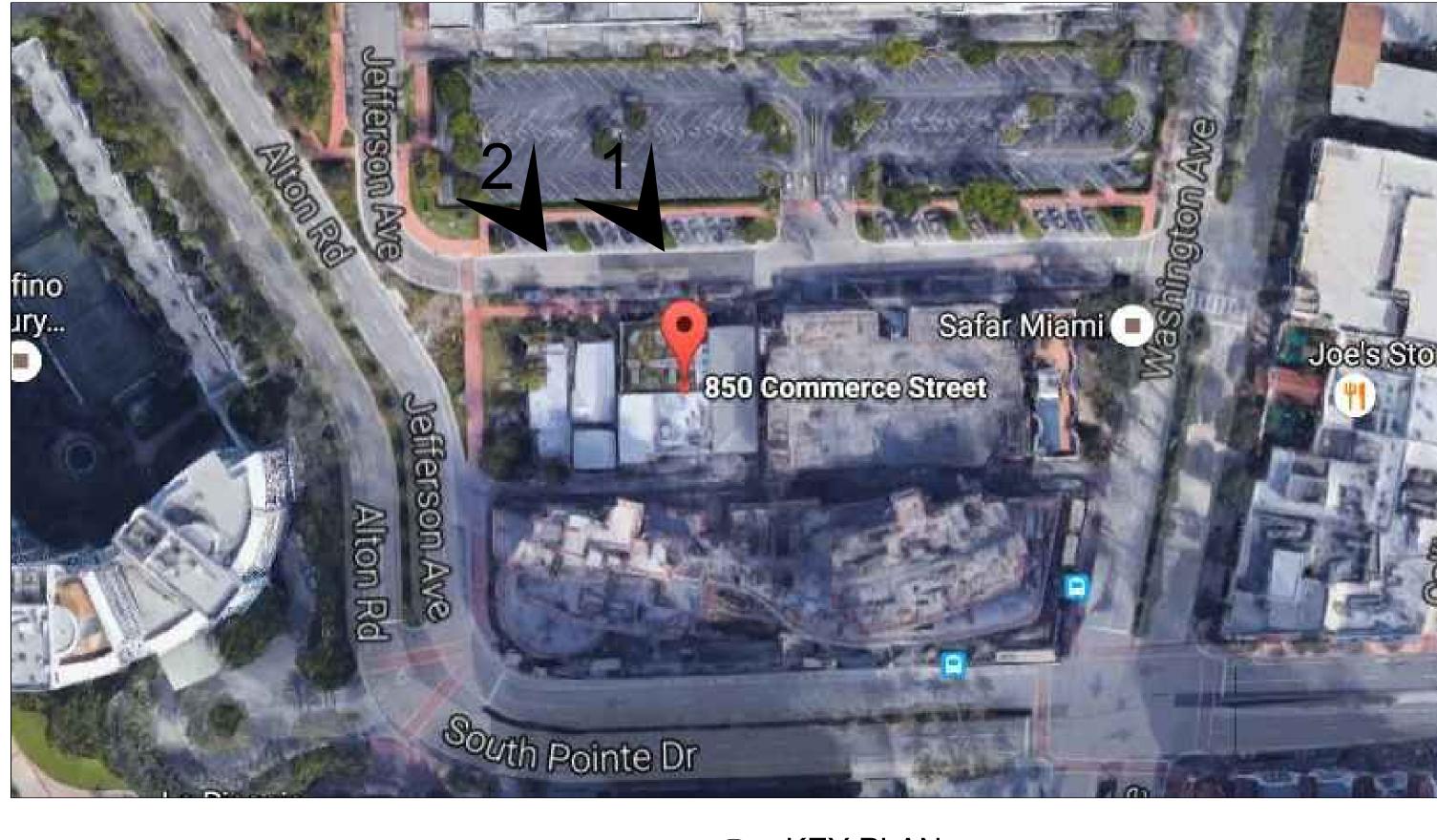
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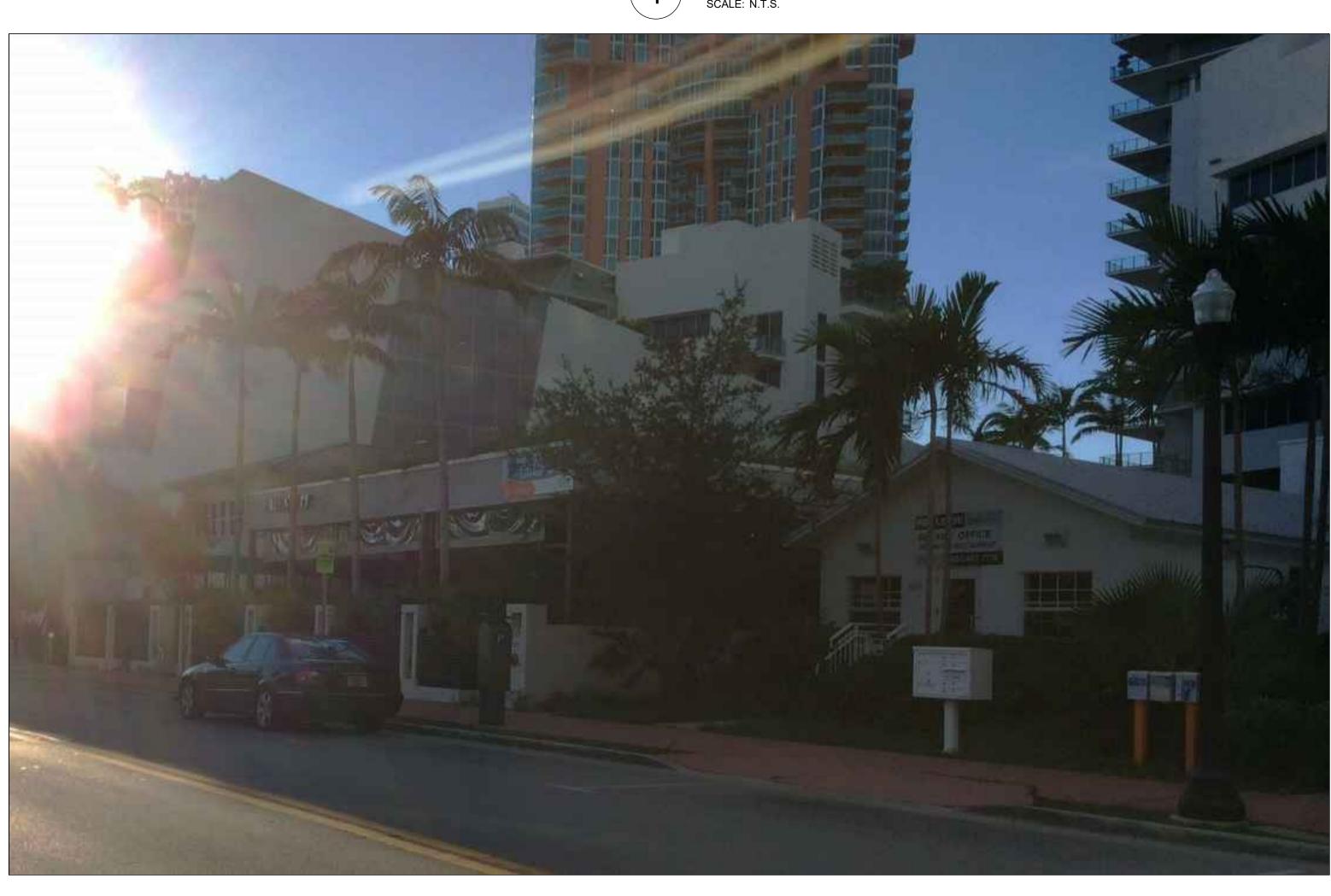
TODD TRAGASH, A.I.A. FLORIDA **REGISTRATION NUMBER #11053**











(3)

2 IMAGE 1 FACING SOUTH EAST - SHOWING NEIGHBOR TO THE EAST SCALE: N.T.S. - PHOTO TAKEN 09.29.2016



IMAGE 2 FACING SOUTH EAST SHOWING NEIGHBOR TO THE WEST SCALE: N.T.S. - PHOTO TAKEN 09.29.2016

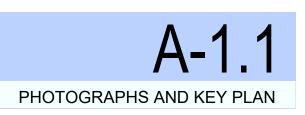




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PIV

woodfence

FDC

SCREEN FENCE -

SITE WALL

DRAWINGS

HOSTESS STAND -

WATER FEATURE -

CHEF'S TABLE -

LANDSCAPED AREA,

FLOOD BARRIER,

TYP.

DRAWINGS

REFER TO LANDSCAPE

GATE TO MATCH WOOD

SIDE SETBACK LINE (0')

SKYLIGHT ABOVE (TYP.) -

LANDSCAPED AREA,

REFER TO LANDSCAPE

ESS

OCCUPANT LOAD TABLE 7.3.1.2 FPPC NFPA 1 ED. 2006 ASSEMBLY USE PROVIDED OUTDOOR DINING 1 1786 SF /15 119 OUTDOOR DINING 2 210 SF /15 14 MAIN DINING ROOM 1221 SF /15 82 40 LF /18" 23 BAR 238 BACK OF HOUSE KITCHEN AREAS 1540 SF /100 16 158 SF /100 2 BAR & SERVICE 368 SF /300 STORAGE MEZZANINE DRY STORAGE 279 SF /300 TOTAL OCCUPANT LOAD 257 SEATING COUNT

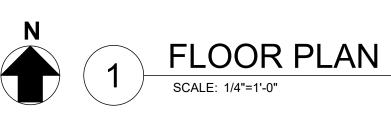
SEATING

ASSEMBLY USE	SEATIN	G
OUTDOOR DINING 1	93	(INC. 6 ADA)
OUTDOOR DINING 2	6	
MAIN DINING ROOM	57	(INC. 4 ADA)
BAR	16	(INC. 1 ADA)
TOTAL SEATS	172	(INC. 11 ADA)

BACKFLOW PREVENTOR (PROVIDE SLEEVED **PENETRATIONS AT** FOUNDATIONS)

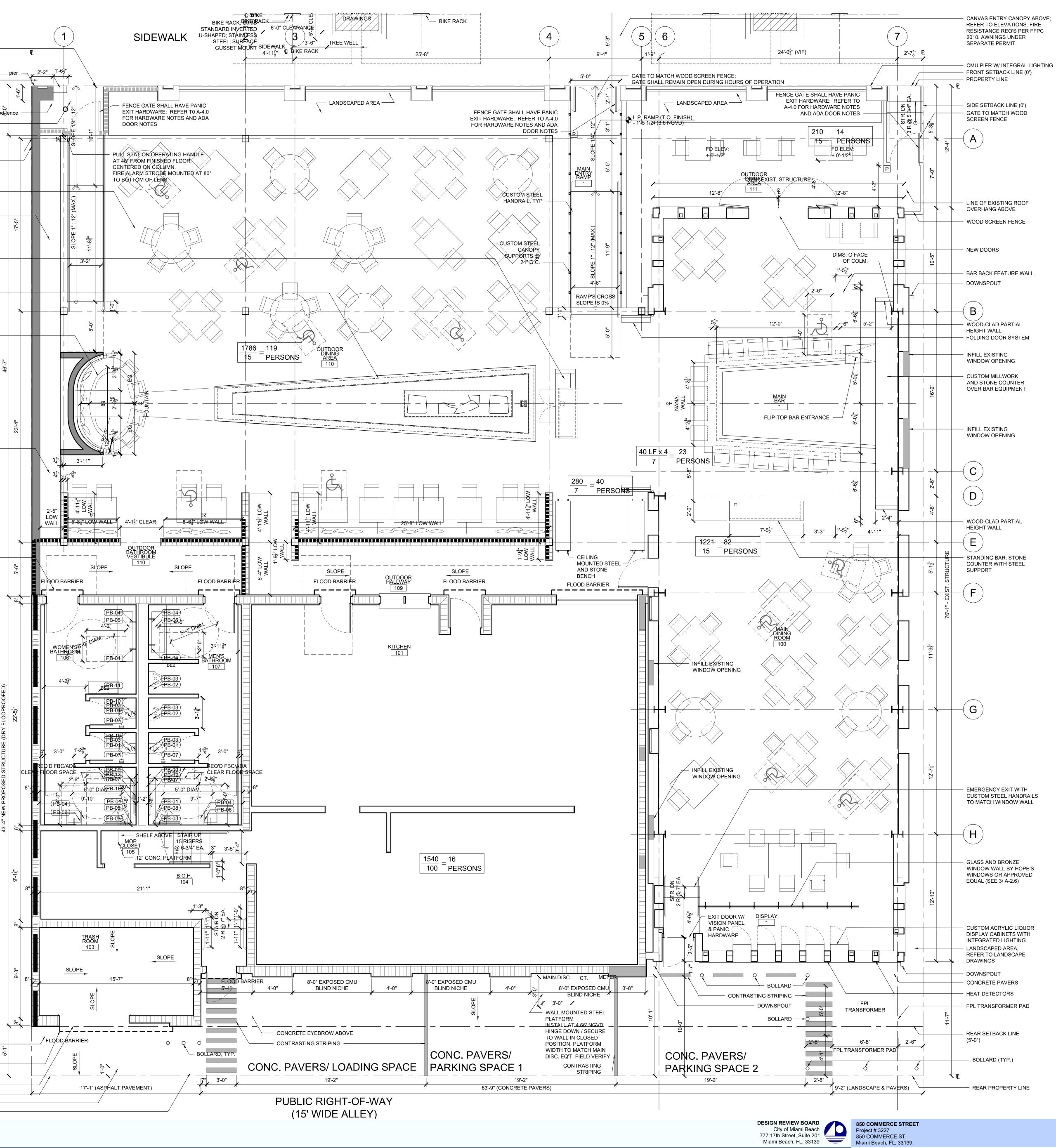
FLOOD BARRIER, TYP.

REQUIRED 5' SETBACK PROPERTY LINE, TYPICAL SANITARY SEWER CLEANOUT DOMESTIC WATER METER





STA ARCHITECTURAL GROUP



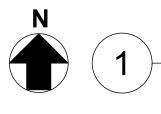
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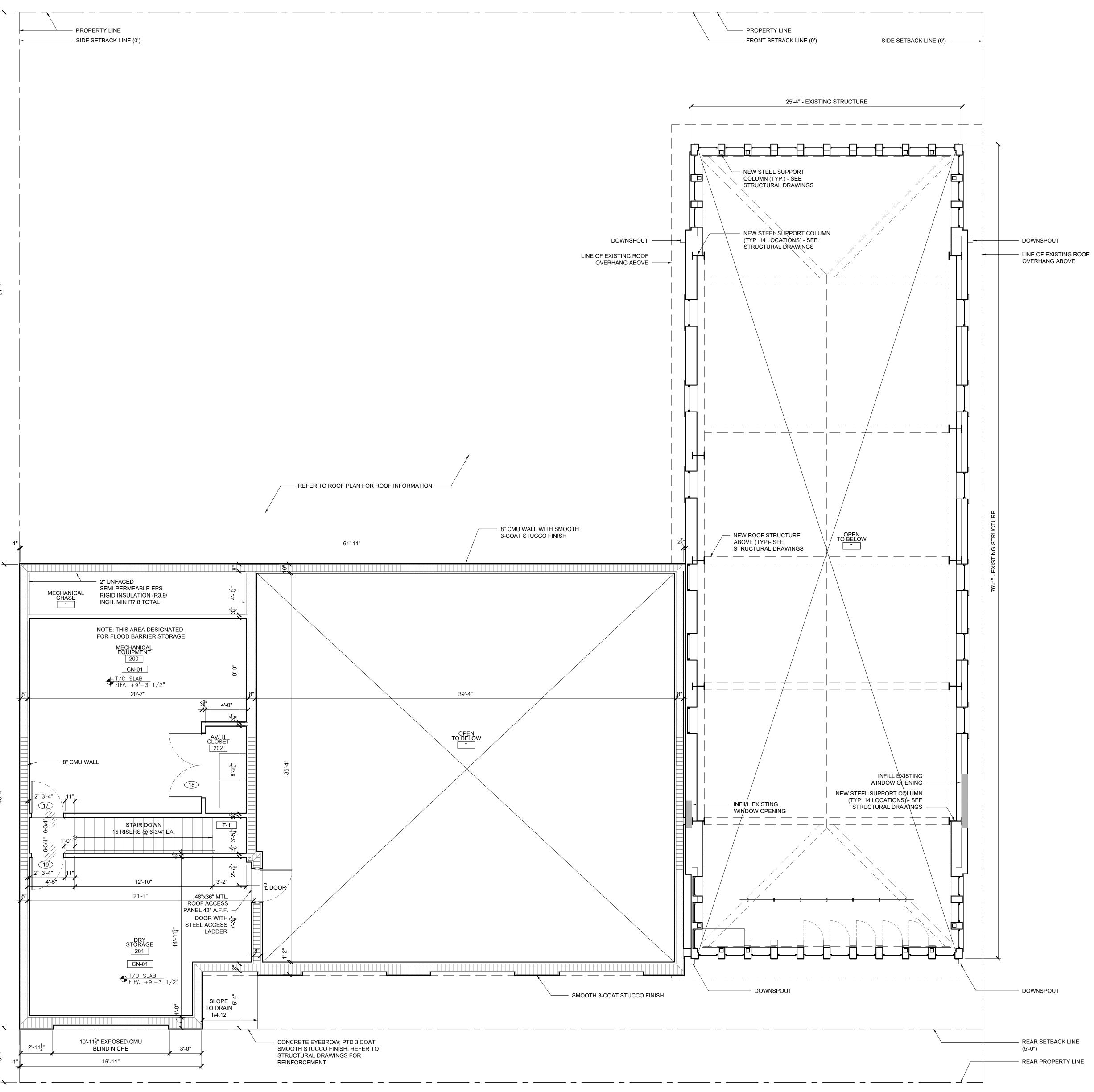
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A-3.0A EXISTING GROUND FLOOR PLAN



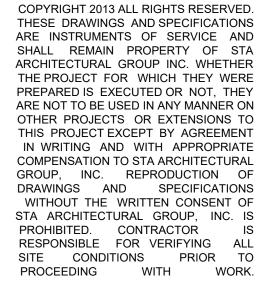


FLOOR PLAN: MEZZANINE - EXISTING TO REMAIN





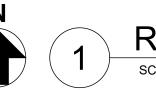


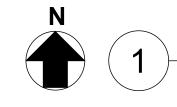


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STA ARCHITECTURAL GROUP





BUILT-UP ROOF: GAF RUBEROID MODIFIED BITUMEN ROOF SYSTEM FOR CONC. DECKS NOA NO. 08-1028.02 OR

 T/O ROOF SLAB L.P.
 N

 + 13'- 6 1/2"
 ▲

RAIN WATER LEADER -

SCUPPER & OVER-FLOW (TYP.) ----

PLANTED AREA, TYP. -

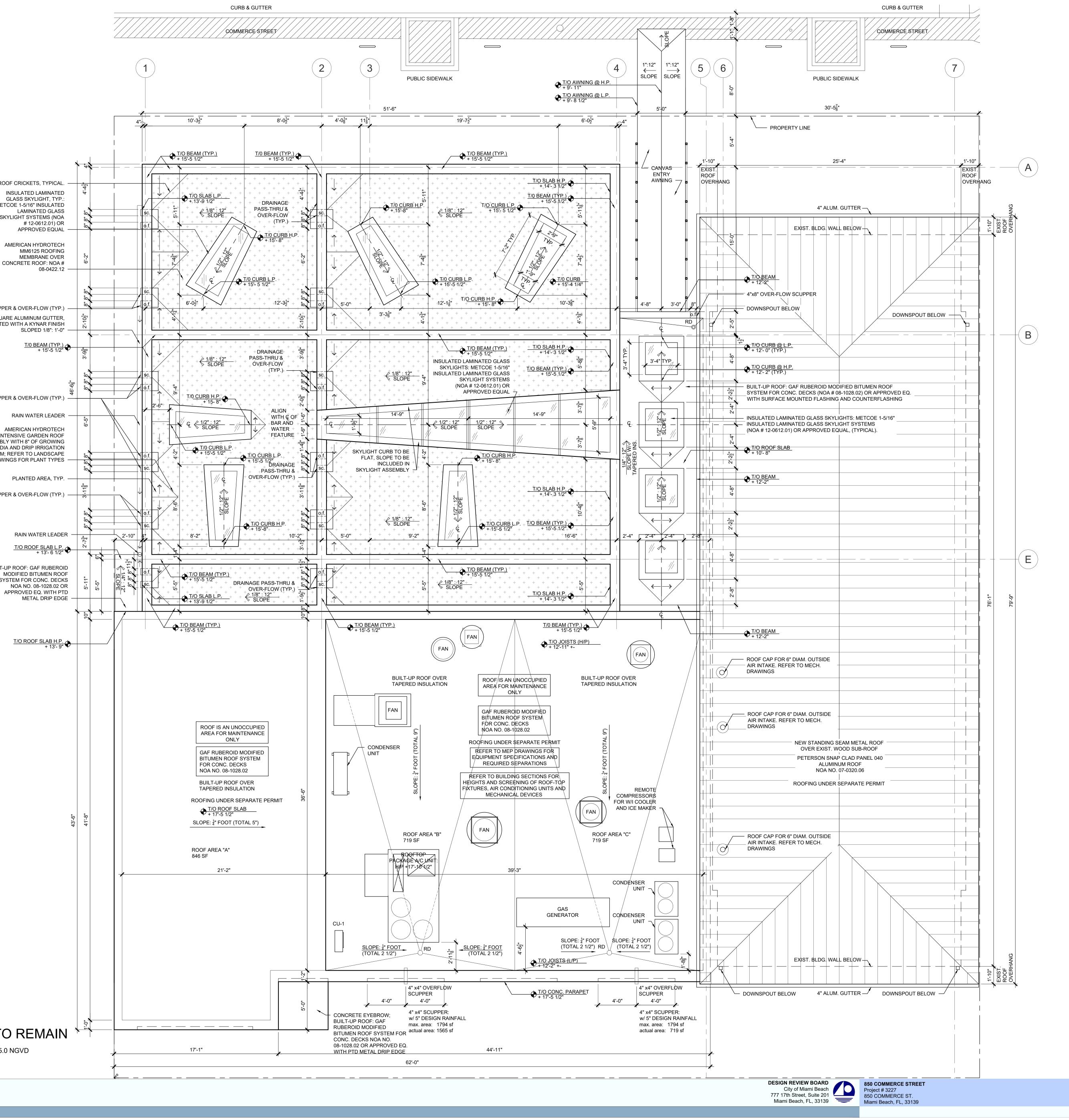
INTENSIVE GARDEN ROOF ASSEMBLY WITH 8" OF GROWING MEDIA AND DRIP IRRIGATION SYSTEM; REFER TO LANDSCAPE DRAWINGS FOR PLANT TYPES -

SCUPPER & OVER-FLOW (TYP.) -RAIN WATER LEADER AMERICAN HYDROTECH

SCUPPER & OVER-FLOW (TYP.) 6" SQUARE ALUMINUM GUTTER, PAINTED WITH A KYNAR FINISH

APPROVED EQUAL AMERICAN HYDROTECH MM6125 ROOFING MEMBRANE OVER CONCRETE ROOF: NOA # 08-0422.12 -

ROOF CRICKETS, TYPICAL. INSULATED LAMINATED GLASS SKYLIGHT, TYP.: METCOE 1-5/16" INSULATED LAMINATED GLASS SKYLIGHT SYSTEMS (NOA # 12-0612.01) OR



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PROHIBITED. CONTRACTOR IS

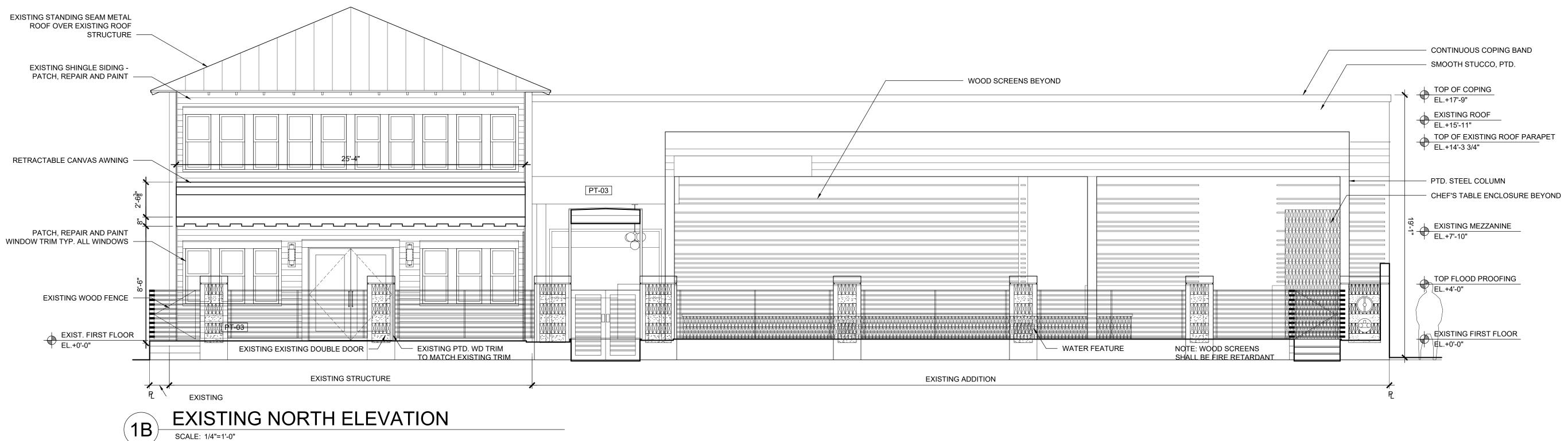
RESPONSIBLE FOR VERIFYING ALL

SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

EXISTING ROOF PLAN

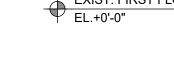


EXISTING NORTH ELEVATION IMAGE (**1A**)-SCALE: NTS

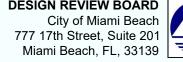




2 PROPOSED NORTH ELEVATION SCALE: 1/4"=1"-0"









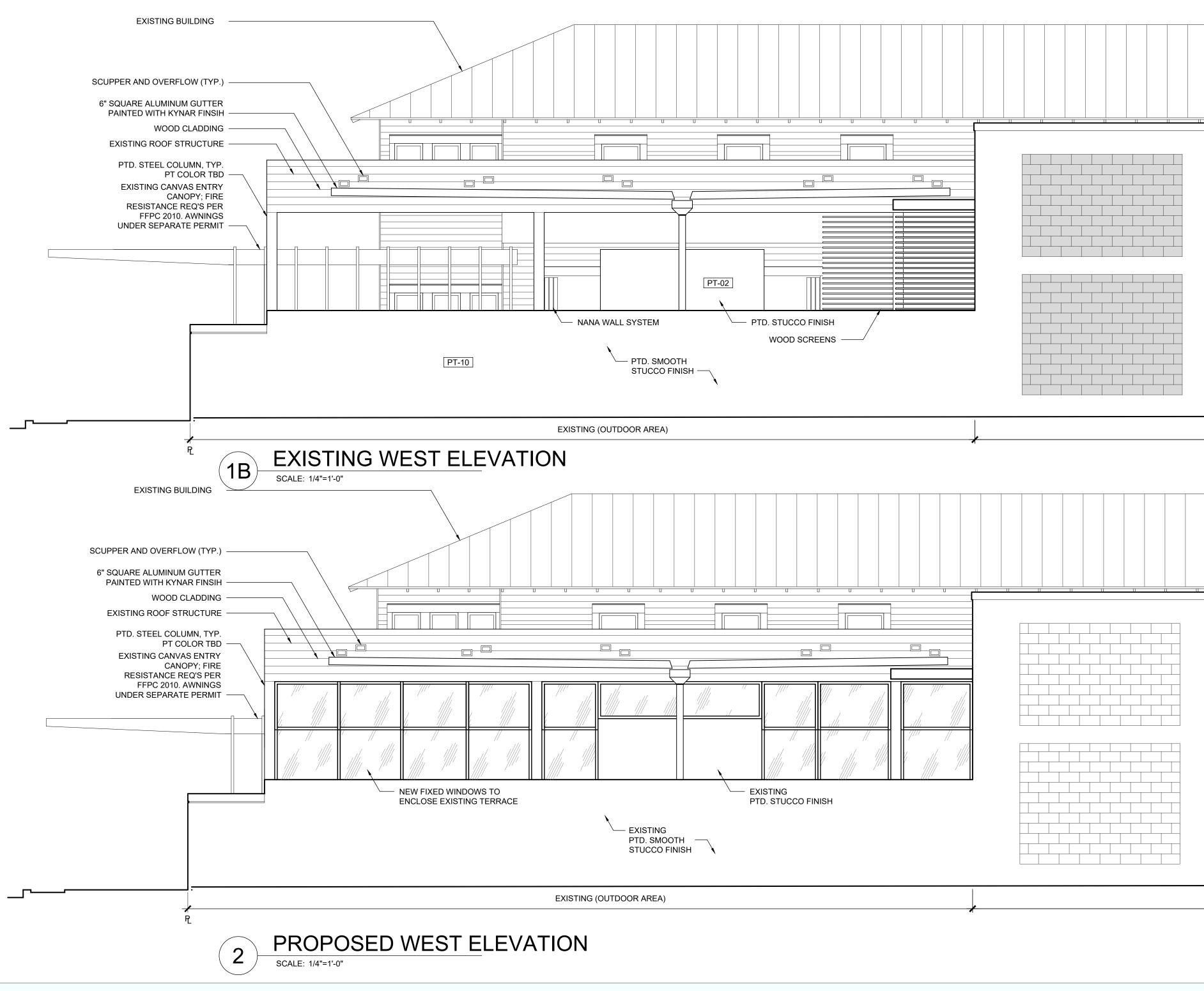


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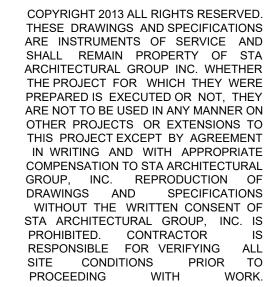




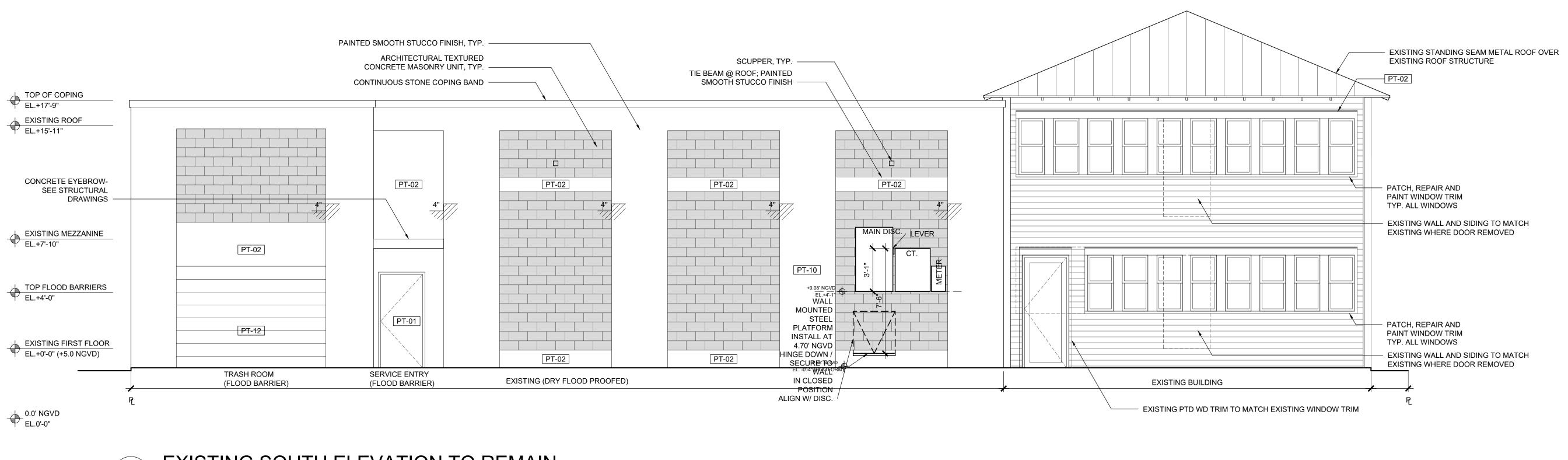
EXISTING (DRY FLOOD PROOFED)	5'-0" REAR SETBACK
43'-10"	
	XISTING STANDING SEAM METAL ROOF VER XISTING ROOF STRUCTURE ONTINUOUS COPING BAND → TOP OF COPING EL.+17'-9"
	EXISTING ROOF EL.+15'-11" TOP OF EXISTING ROOF PARAPET EL.+14'-3 3/4" ARCHITECTURAL TEXTURED CONCRETE MASONRY UNIT, TYP.; FLUSH WITH SMOOTH STUCCO ON WEST ELEVATION
	EXISTING MEZZANINE EL.+7'-10" PAINTED SMOOTH STUCCO FINISH, TYP. TOP FLOOD PROOFING EL.+4'-0" EXISTING FIRST FLOOR EL.+0'-0" (+5.0 NGVD)
EXISTING (DRY FLOOD PROOFED)	5'-0" REAR SETBACK
43'-10"	

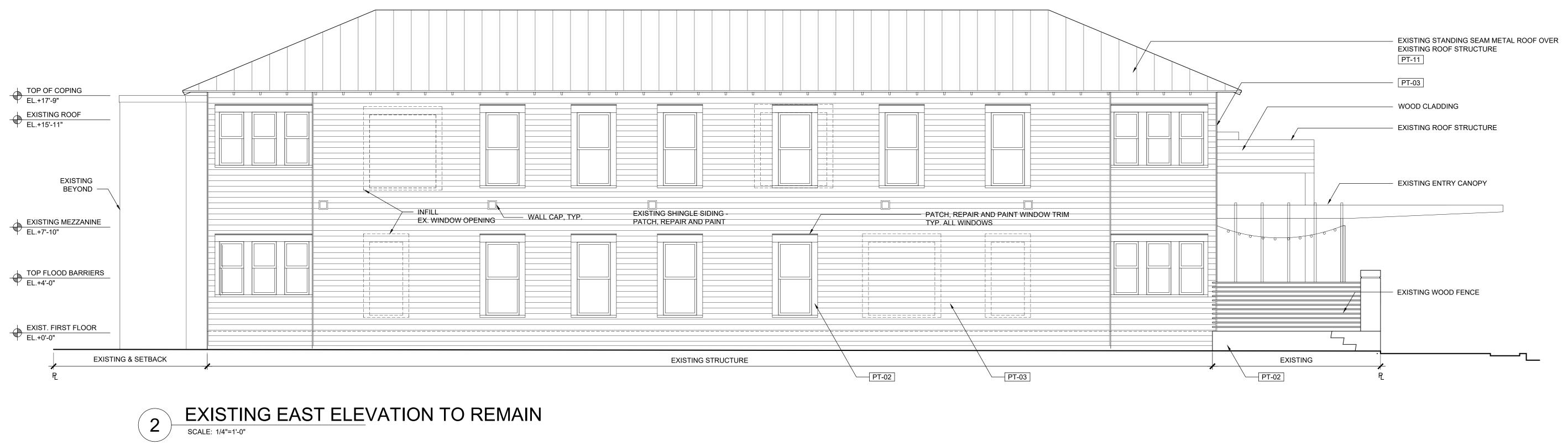
CONTINUOUS COPING BAND		EXISTING STANDING OVER EXISTING ROO	
EXISTING ROOF EXISTING ROOF PARAPET C ELI-115-11 ⁻ C DP OF EXISTING ROOF PARAPET C ELI-114-3 334 ⁻ ARCHITECTURAL TEXTURED CONCRETE MASONRY UNIT, TYP: HUSH WITH SMOOTH STUCCO ON WEST ELEVATION C ELI-17-10 ⁻ PAINTED SMOOTH STUCCO FINISH, TYP. C DP FLOOD PROOFING ELI-14-0 ⁻ EXISTING FIRST FLOOR EXISTING FIRST FLOOR EXISTING CRY FLOOD PROOFED. 5-0 ⁻ REAR SETBACK			
EXISTING ROOF Image: Constraint of the second se			TOP OF COPING EL.+17'-9"
EXISTING (DRY FLOOD PROOFED)			 EXISTING ROOF EL.+15'-11" TOP OF EXISTING ROOF PARAPET EL.+14'-3 3/4" ARCHITECTURAL TEXTURED CONCRETE MASONRY UNIT, TYP.; FLUSH WITH SMOOTH STUCCO ON WEST ELEVATION EXISTING MEZZANINE EL.+7'-10" PAINTED SMOOTH STUCCO FINISH, TYP. TOP FLOOD PROOFING EL.+4'-0"
43-10	43'-10"		REAR SETBACK





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EXISTING SOUTH ELEVATION TO REMAIN

1





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