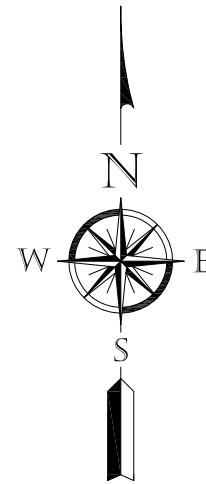


1 LOCATION PLAN AERIAL 1/2 MILE RADIUS  
SCALE: N.T.S.

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REGISTRATION NUMBER #11053

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- LEGAL DESCRIPTION:**  
Lots 10 thru 12, Block 51, OCEAN BEACH FLORIDA ADDITION NO. 3,  
 according to the Plat thereof, as recorded in Plat Book 2, Page 81, of the  
 Public Records of MIAMI-DADE County, Florida.

PREPARED FOR: Commerce Street Properties LLC,  
850 Commerce Street, Miami Beach, FL 33139

Surveyor's Note:

-  Denotes Spot Elevation
- Elevations shown are based on Benchmark No. D-142-R; Elevation = 3.94' National Geodetic Vertical Datum 1929.

- Surveyor's Notes:
- All clearances and/or encroachments shown hereon are of apparent nature. Fence ownership by visual means. Legal ownership of fences not determined.
  - Underground structures, if any, not located.
  - Bearings, if shown, are based on assumed meridian or Plat of Record.
  - Lands shown hereon were not abstracted for easements and/or right-of-ways of records.
  - Legal description provided by client.
  - This certification is only for land as described. It is not a certification of title, zoning, easements, or freedom from encumbrances. ABSTRACT NOT REVIEWED.
  - There may be additional restrictions not shown on this survey that may be found in the public records of this county. ABSTRACT NOT REVIEWED.
  - This BOUNDARY SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
  - This survey was based on the monuments found on the field.
  - Lot size - 9,018 Square Feet; 0.20 ± Acres.

SURVEYOR'S SEAL

Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.

REVISÉ: 10-04-16

BOUNDARY SURVEY

*Nelson Mojarena*  
NELSON MOJARENA  
Registered Surveyor & Mapper No. 5504  
State of Florida

MOJARENA & ASSOCIATES, INC.

Land Surveyors & Mappers  
Certificate of Authorization No. 6698  
P.O. Box 56-0126  
Miami, FL 33256-0126 (305) 278-2494

FLOOD ZONE: AE

DATE:  
06-17-11

SCALE:  
1" = 20'

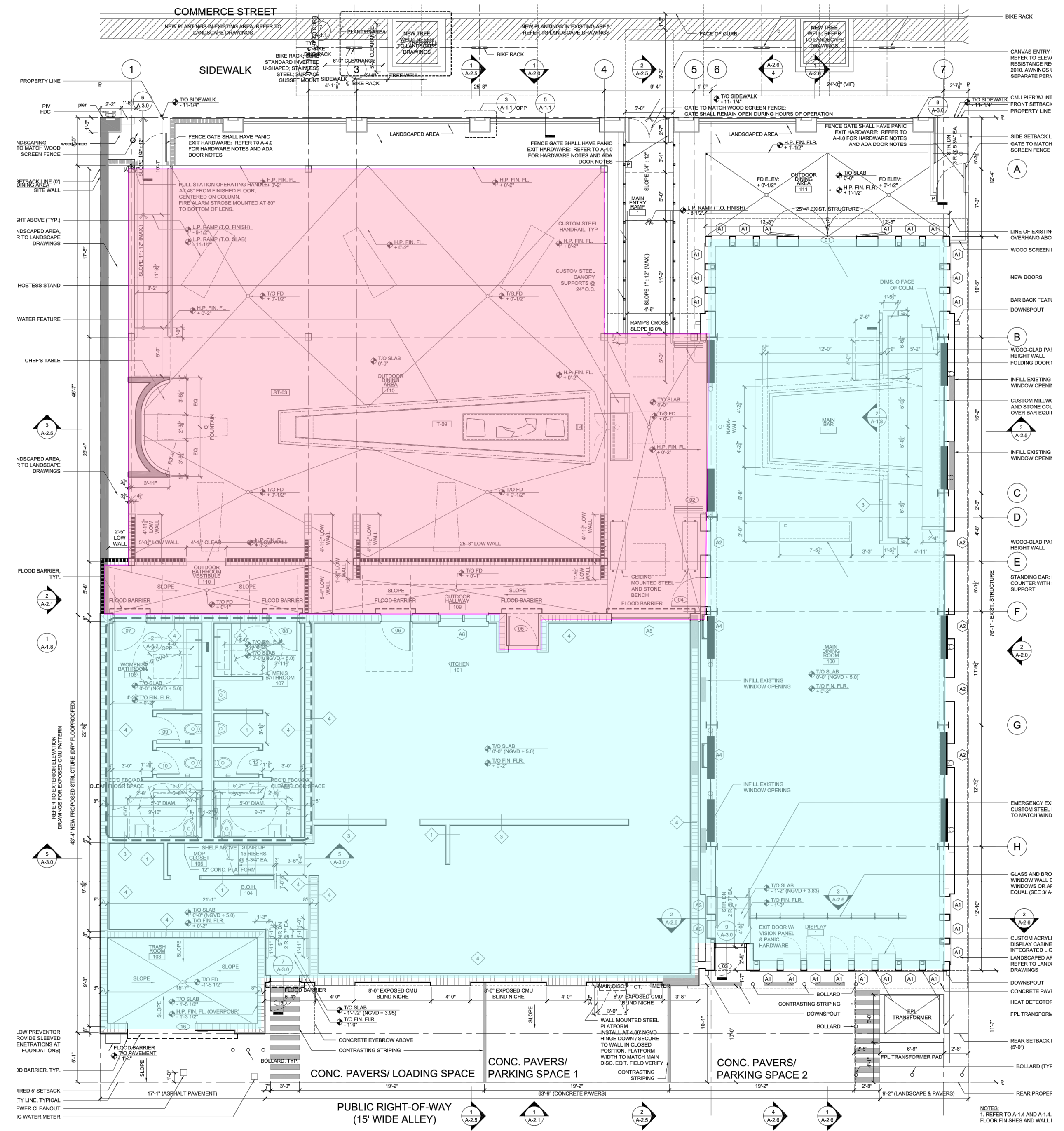
BASE: 8

DWN. BY  
N.M.

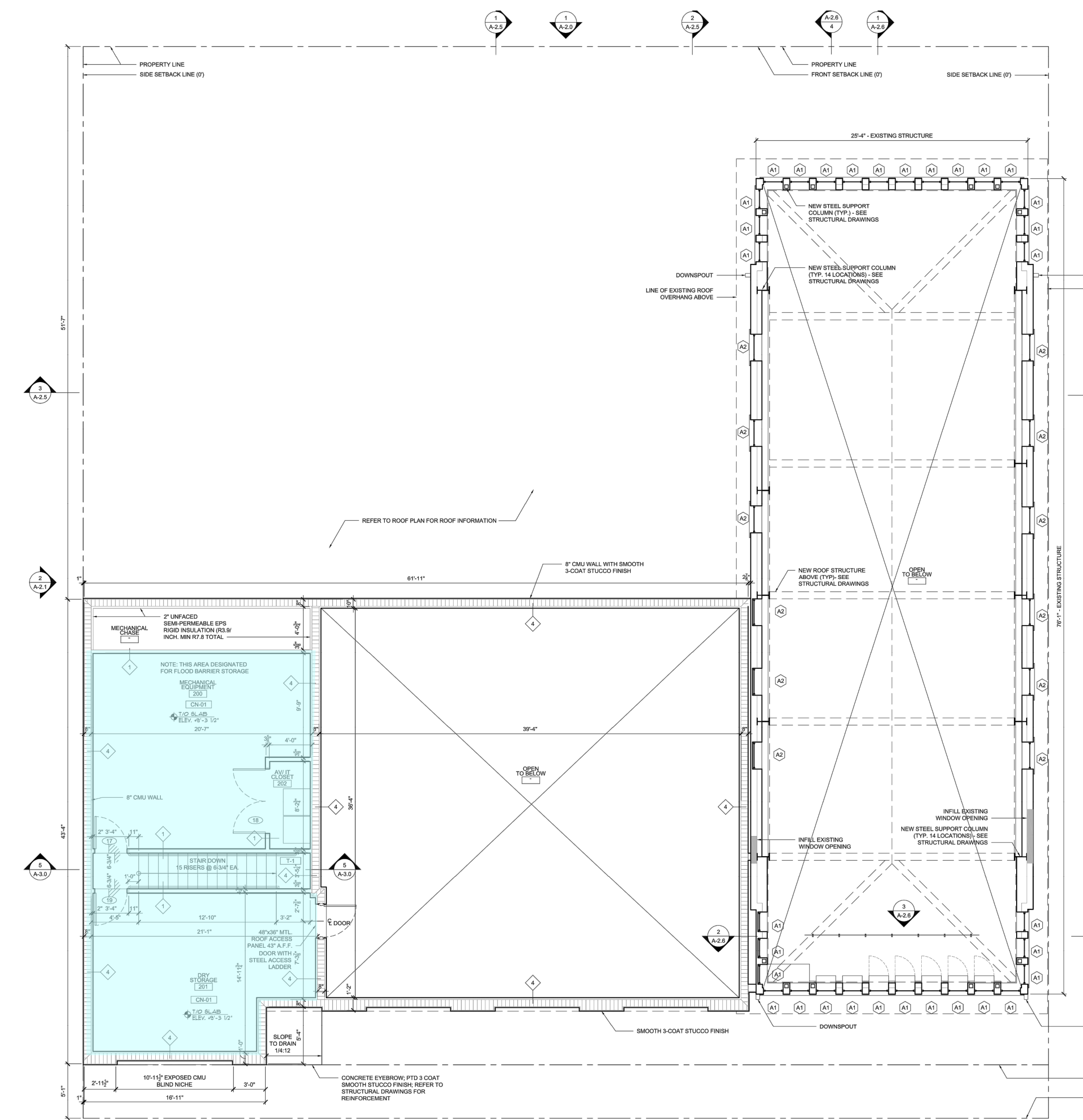
JOB NO.

11-0104





**1 FAR DIAGRAM - GROUND FLOOR**  
SCALE: NTS



**2 FAR DIAGRAM - MEZZANINE**  
SCALE: NTS

## FAR CALCULATIONS

|                       |           |
|-----------------------|-----------|
| TOTAL SITE FAR        |           |
| EXISTING GROUND FLOOR | 4224 S.F. |
| EXISTING MEZZANINE    | 0935 S.F. |
| TOTAL EXISTING        | 5159 S.F. |
| NEW GROUND FLOOR      | 2610 S.F. |
| TOTAL EXISTING + NEW  | 7769 S.F. |

### KEY

EXISTING

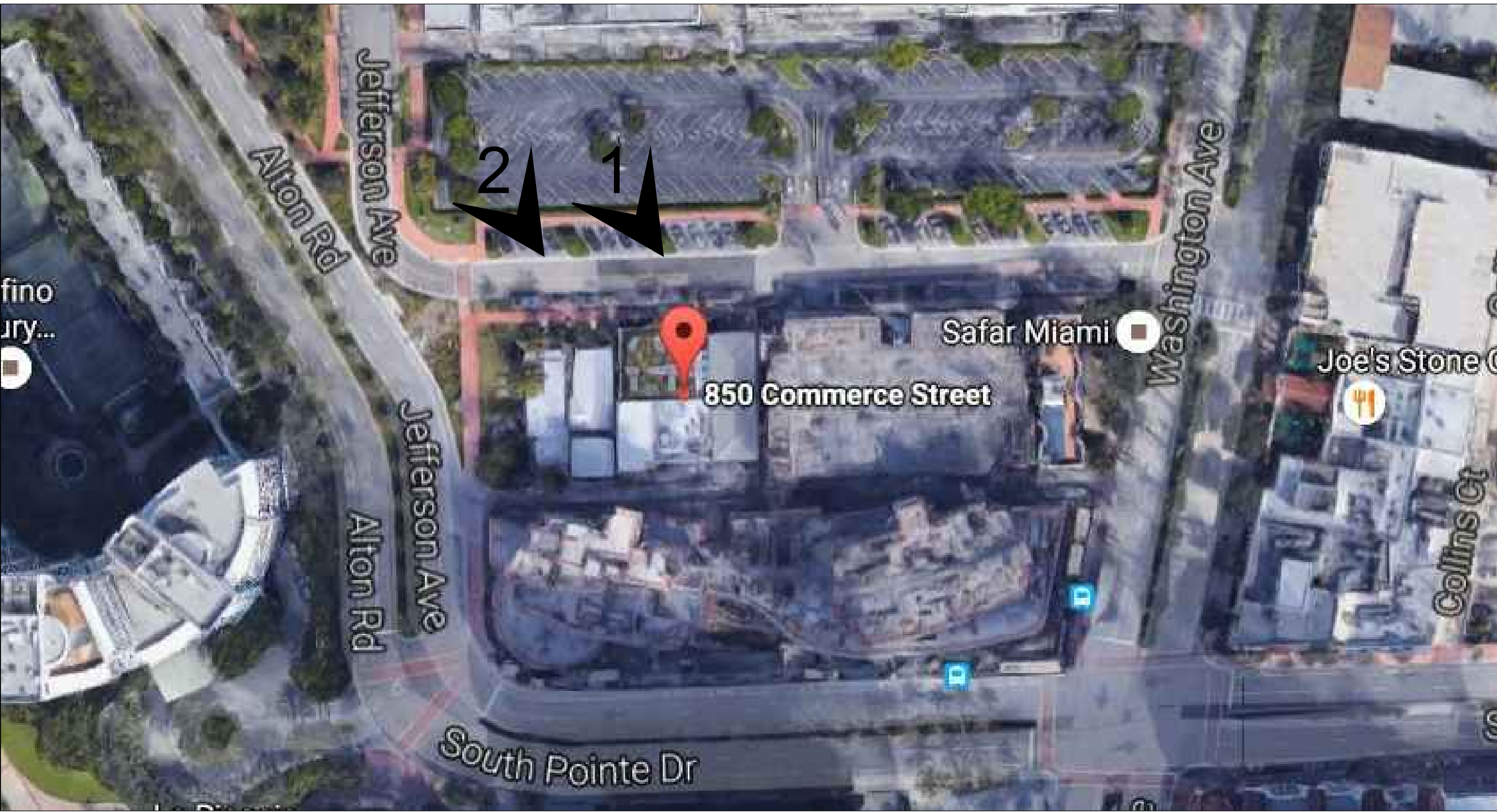
NEW

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1 KEY PLAN  
SCALE: N.T.S.



2 IMAGE 1 FACING SOUTH EAST - SHOWING NEIGHBOR TO THE EAST  
SCALE: N.T.S. - PHOTO TAKEN 09.29.2016



3 IMAGE 2 FACING SOUTH EAST SHOWING NEIGHBOR TO THE WEST  
SCALE: N.T.S. - PHOTO TAKEN 09.29.2016

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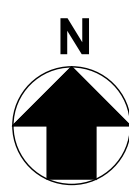
# OCCUPANT LOAD

TABLE 7.3.1.2 FPPC NFPA 1 ED. 2006

| ASSEMBLY USE        | PROVIDED     |     |
|---------------------|--------------|-----|
| OUTDOOR DINING 1    | 1786 SF /15  | 119 |
| OUTDOOR DINING 2    | 210 SF /15   | 14  |
| MAIN DINING ROOM    | 1221 SF /15  | 82  |
| BAR                 | 40 LF /18"   | 23  |
|                     |              | 238 |
| BACK OF HOUSE       |              |     |
| KITCHEN AREAS       | 1540 SF /100 | 16  |
| BAR & SERVICE       | 158 SF /100  | 2   |
| STORAGE MEZZANINE   | 368 SF /300  | 2   |
| DRY STORAGE         | 279 SF /300  | 1   |
|                     |              | 19  |
| TOTAL OCCUPANT LOAD |              | 257 |

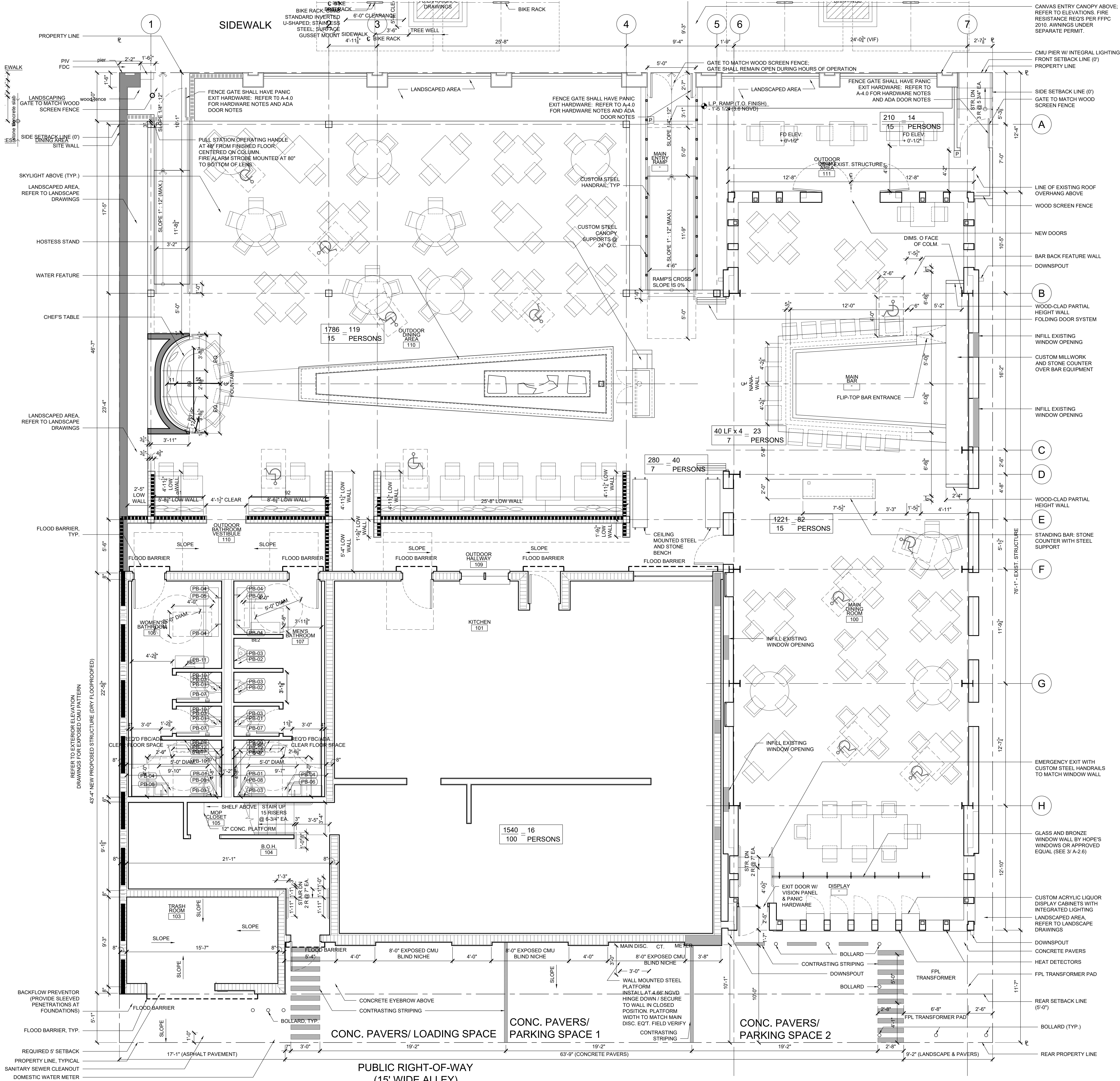
# SEATING COUNT

| ASSEMBLY USE     | SEATING           |
|------------------|-------------------|
| OUTDOOR DINING 1 | 93 (INC. 6 ADA)   |
| OUTDOOR DINING 2 | 6                 |
| MAIN DINING ROOM | 57 (INC. 4 ADA)   |
| BAR              | 16 (INC. 1 ADA)   |
| TOTAL SEATS      | 172 (INC. 11 ADA) |



# FLOOR PLAN

SCALE: 1/4"=1'-0"



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DESIGN REVIEW BOARD  
City of Miami Beach  
777 17th Street, Suite 201  
Miami Beach, FL 33139

850 COMMERCE STREET  
Project # 3227  
850 COMMERCE ST.  
Miami Beach, FL 33139

A-3.0A

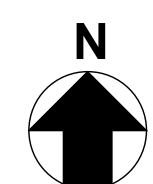
EXISTING GROUND FLOOR PLAN





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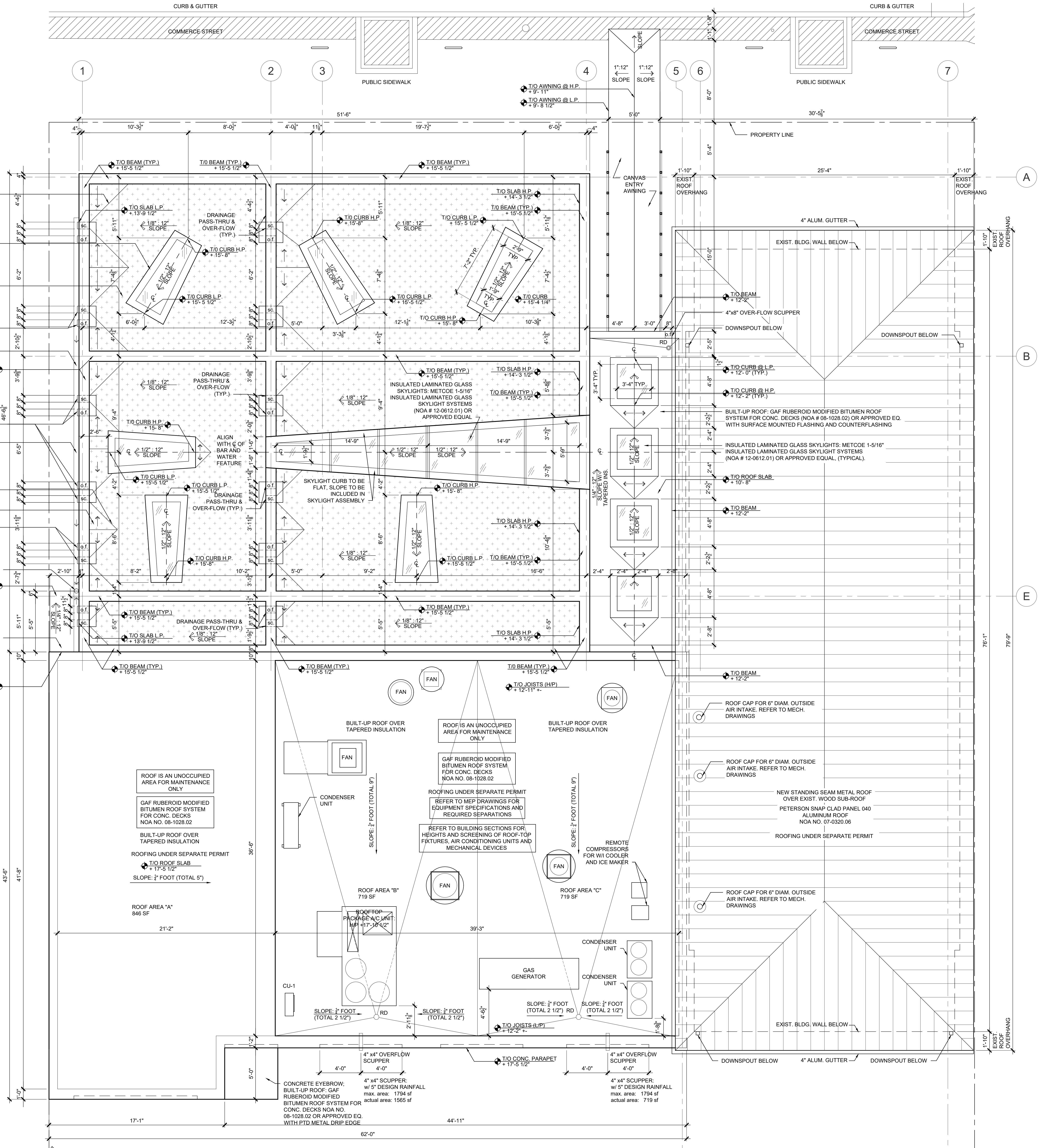


1

## ROOF PLAN - EXISTING TO REMAIN

SCALE: 1/4"=1'-0"

NOTE:  
±0'-0" = +5.0 NGVD



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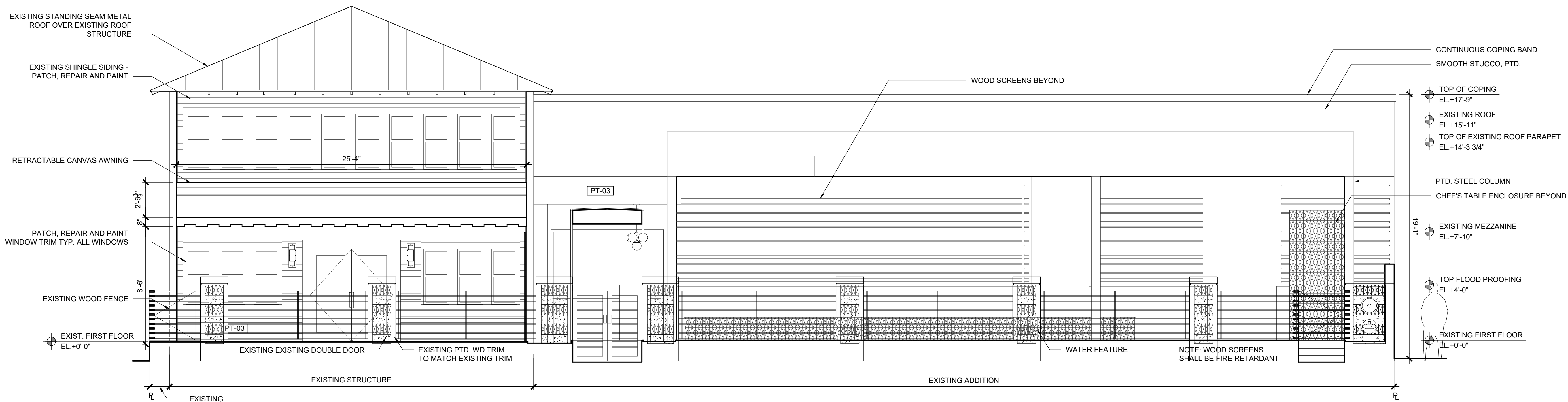
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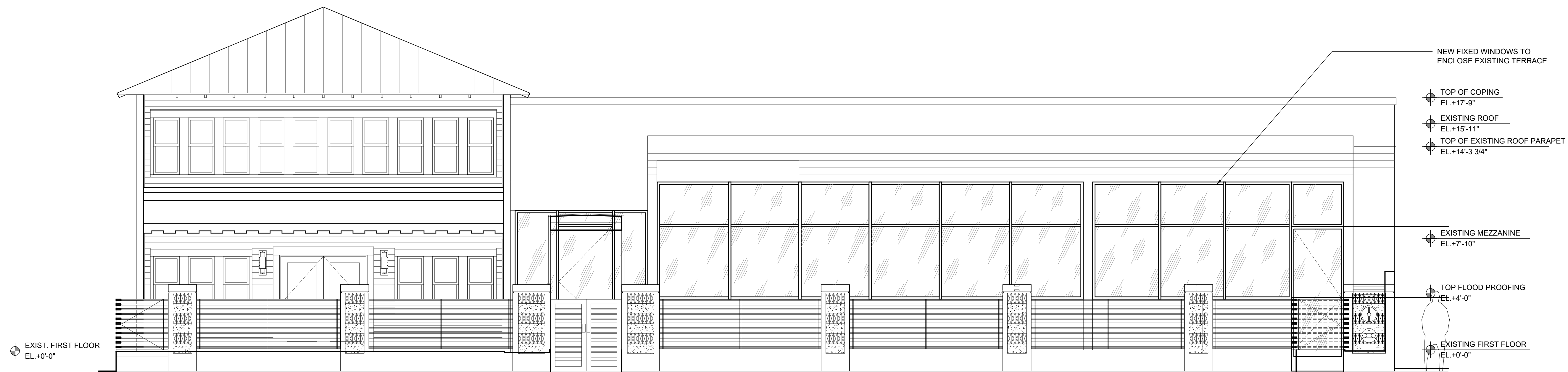




1A EXISTING NORTH ELEVATION IMAGE  
SCALE: NTS



1B EXISTING NORTH ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"

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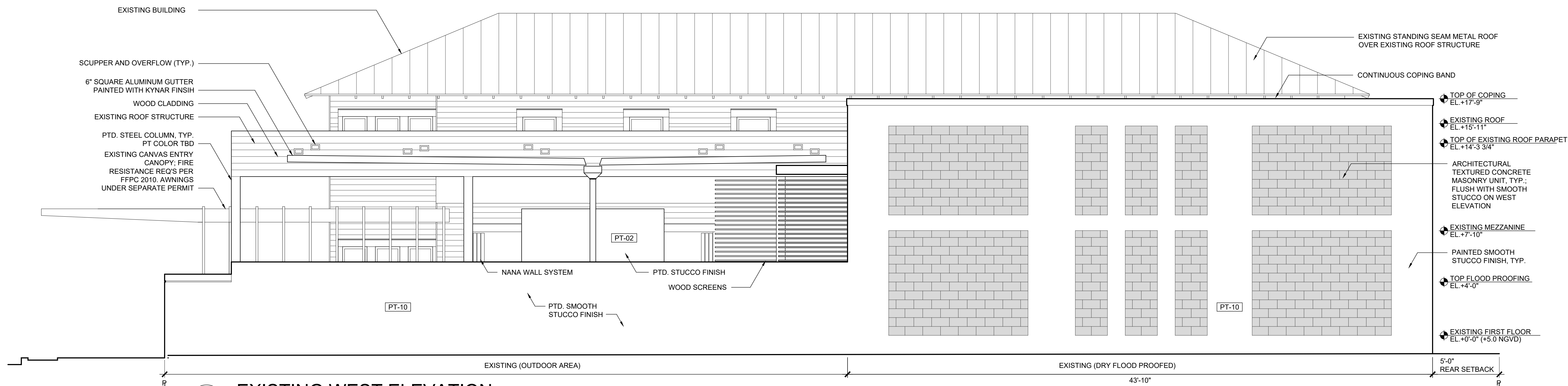
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1A EXISTING IMAGES OF WEST ELEVATION  
SCALE: NTS



1B EXISTING WEST ELEVATION  
SCALE: 1/4\"=1'-0\"



2 PROPOSED WEST ELEVATION  
SCALE: 1/4\"=1'-0\"

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