

# Palomar Suites 1790 Alton Road

PB21-0428

April 27, 2021

**1790 Alton Road**

**Chronology for Hotel - Zoning Reliance**

<b>November 19, 2020</b>	Entered into contract to purchase property
<b>December 4, 2020</b>	Meeting with Tom Mooney regarding hotel use on property; confirmed hotel use and entitlements
<b>Dec 2020 – Jan 2021</b>	Negotiation of agreement with Kimpton Hotels
<b>December 14, 2020</b>	Land acquisition loan approved
<b>February 1, 2021</b>	Contract for purchase of property goes hard; deposits are now non-refundable
<b>February 10, 2021</b>	Commission discussed and refers hotel prohibition in Sunset Harbour

**Applicability:** Notwithstanding any provision of these regulations to the contrary, the hotel prohibition in this ordinance shall not apply to real property where a Design Review Board application with an assigned file number has been filed prior to April 27, 2021, and a purchase and sale agreement was entered into for the sale of the property prior to February 10, 2021.

(a) Except as otherwise provided in these land development regulations, prohibited uses in the CD-2 commercial medium intensity district in the Sunset Harbour Neighborhood, generally bounded by Purdy Avenue, 20th Street, Alton Road and Dade Boulevard, are the following:

1. Hotels, apartment hotels, suite hotels and hHostels; **however, this prohibition shall not apply to hotels and suite hotels on CD-2 properties with a lot line on Dade Boulevard and with a lot line within 100 feet of the western ROW line of Alton Road;**
2. Outdoor entertainment establishments;
3. Neighborhood impact establishments;
4. Open air entertainment establishments;
5. Bars;
6. Dance halls; and
7. Entertainment establishments (as defined in section 114-1 of this Code).;
8. Pawnshops;
9. Tobacco and vape dealers;
10. Check cashing stores;
11. Convenience stores;
12. Occult science establishments;
13. Souvenir and T-shirt shops;
14. Tattoo studios.









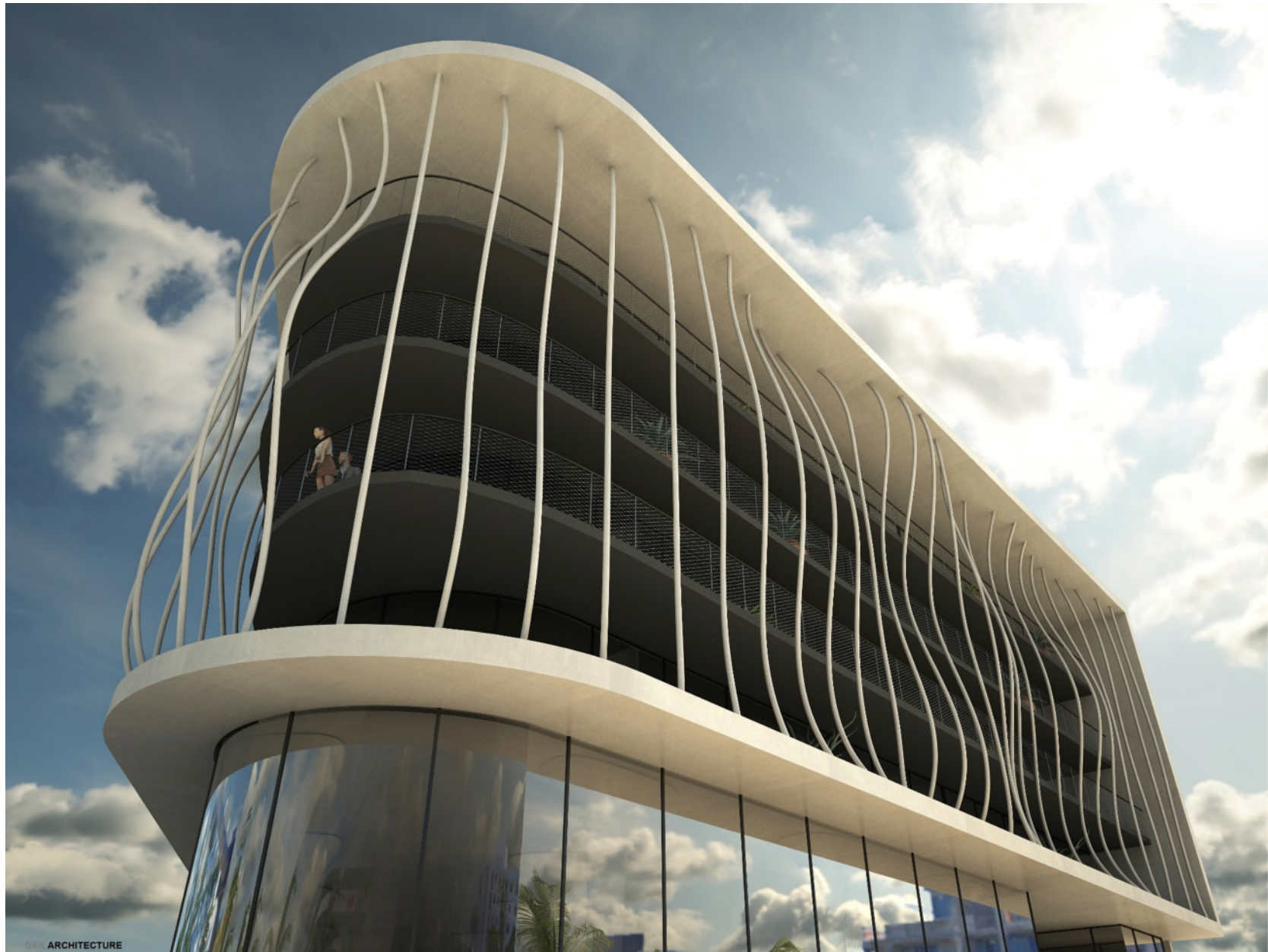


















# Spot Zoning

- Defined as:  
“piecemeal **rezoning** of small parcels of land to a greater density, leading to disharmony with the surrounding area.” *Southwest Ranches Homeowner’s Association v. Broward County*, 502 So. 2d 931 935 (Fla. 4th DCA 1987) (emphasis added)
- Challengers must show that decision has no relationship to public health, safety, morals, or welfare