

REQUEST FOR DRB APPROVAL FOR:  
SAN MARINO ISLAND RESIDENCE

DRB FINAL SUBMITTAL  
OCTOBER 14, 2016

40 W. SAN MARINO DRIVE

MIAMI BEACH, FLORIDA



CLIENT

40 W. SAN MARINO DRIVE  
MIAMI BEACH, FL, 33139

ARCHITECT

CHOEFF LEVY FISCHMAN  
8425 BISCAYNE BLVD. STE 201  
MIAMI, FL 33138  
(305) 434-8338

LANDSCAPE

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC  
180 NE 69TH ST. STE 1106  
MIAMI, FL 33138  
(305) 979-1525

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY  
LOCATED AT 40 W. SAN MARINO DR. MIAMI BEACH, FL.

WAIVERS:

1. REQUEST FOR WAIVER TO EXCEED THE 10%  
SECOND TO FIRST FLOOR RATIO
2. REQUEST TO WAIVE THE 24'-0" HEIGHT  
REQUIREMENT. HEIGHT REQUESTED AT 27'-0".
3. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS  
FOR THE OPEN-SPACE COURTYARD

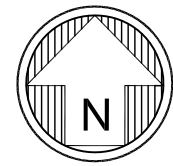
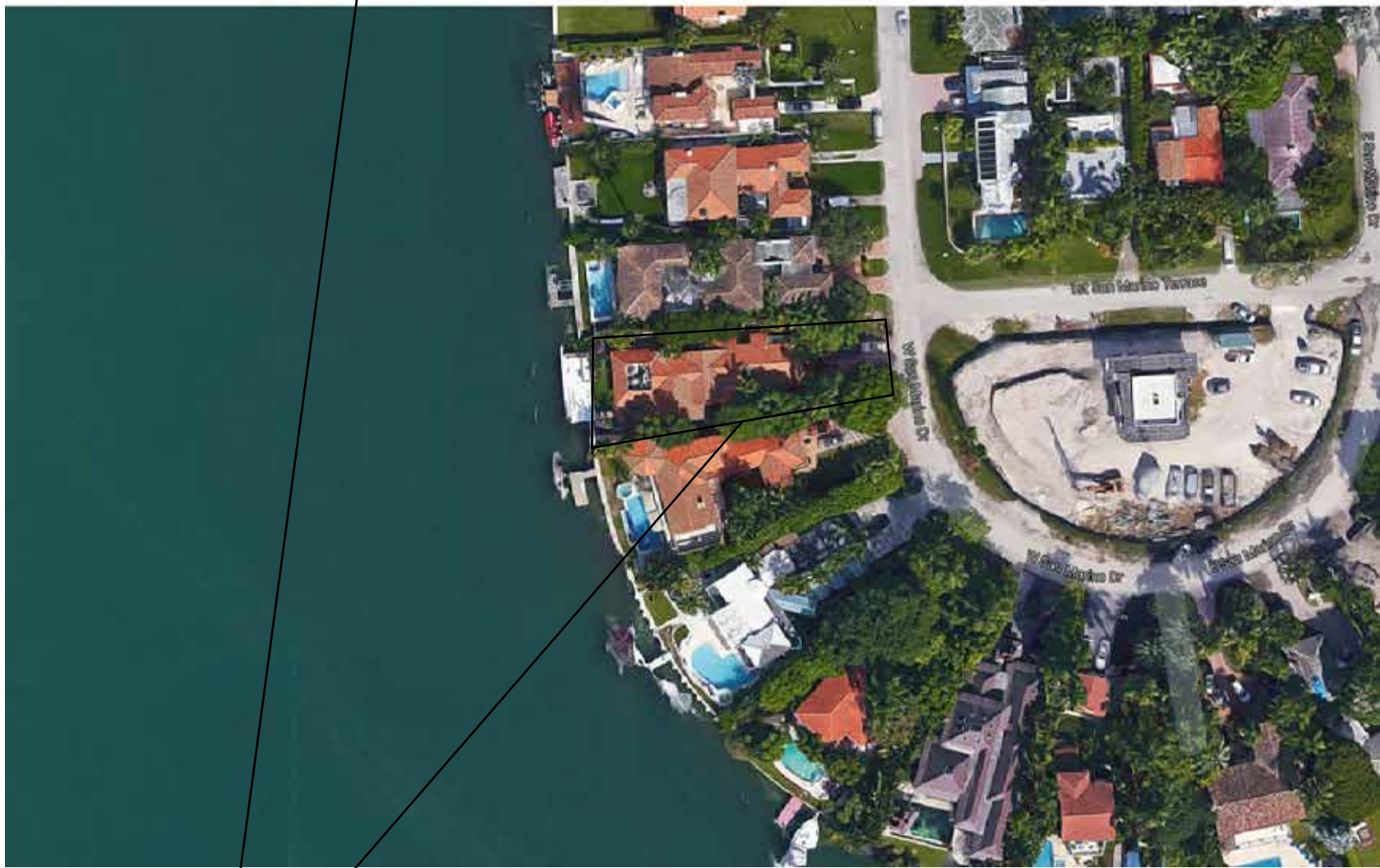


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A-3.2	REAR ELEVATION
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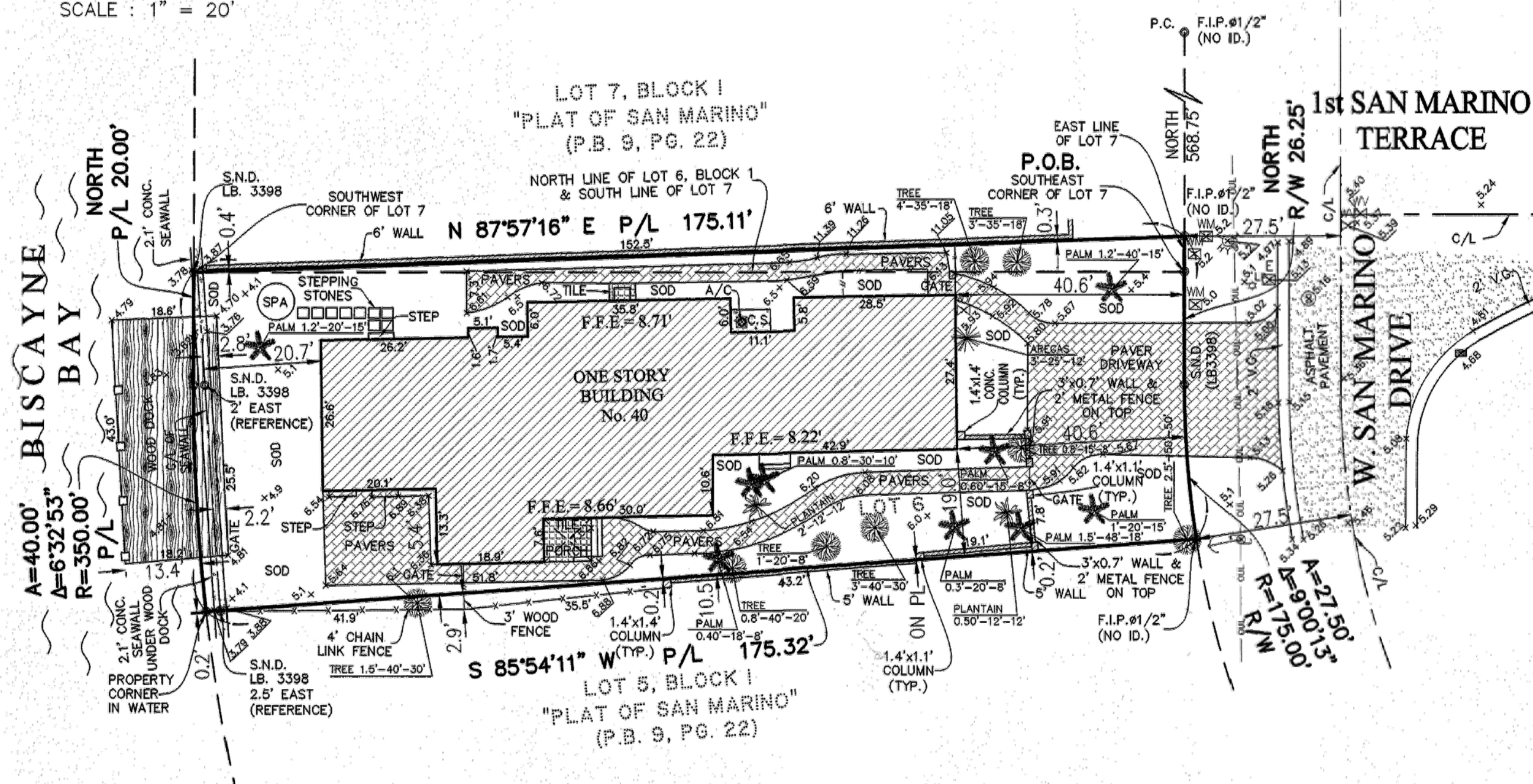
LANDSCAPE

L-0	LANDSCAPE COVER PAGE & SHEET INDEX
L-1	EXISTING TREE SURVEY & DISPOSITION CHART
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE NOTES & DETAILS



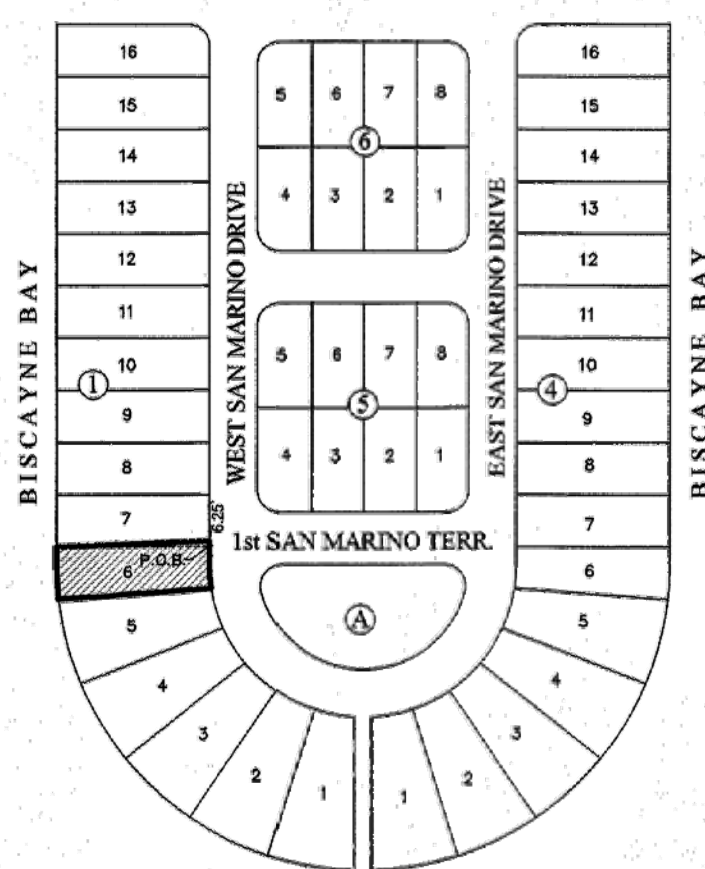
**ASSUMED**

SCALE : 1" = 20'



■ CLP	Concrete Light Pole
◆ MLP	Metal Light Pole
—○—	Guy Wire
—○—	Utility Power Pole
—○—	Fire Hydrant
—○—	Water Meter
—○—	Electric Box
—○—	Telephone Box
—○—	Sewer Manhole
—○—	Overhead Utility Lines
—○—	Light Pole
—○—	Gas Valve
—○—	Water Valve
—○—	Water Manhole
—○—	Telephone Manhole
—○—	Monitoring Well
—○—	Chain Link Fence
—○—	Back Flow Preventer

A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.C.	Curb & Gutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
DWY.	Driveway
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
I.D.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
(P)	Plot
(M)	Measured
P.B.	Plot Book
P.C.P.	Permanent Control Point
P.C.	Point of Curvature
PG.	Page
PL	Ploter
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK	Sidewalk
T.B.M.	Temporary Benchmark
Y.G.	Valley Gutter



NOT TO SCALE

1. Field Survey was completed on: September 29th, 2016.

Lot 6, Block 1, of "PLAT OF SAN MARINO", as recorded in Plat Book 9, Page 22, of the Public Records of Miami-Dade County, Florida;

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

Begin at the Southeast corner of Lot 7, Block 1, PLAT OF SAN MARINO, as recorded in Plat Book 9, Page 22, of the Public Records of Miami-Dade County, Florida, thence West along the South Line of said Lot 7 for 175 feet to the Southwest corner of said Lot 7; Easterly 175.11 feet to the East line of said Lot 7, said point being 6.25 feet North of the Southeast corner of said Lot 7; thence Southerly along the East line of said Lot 7 for 6.25 feet to the Point of Beginning.

Containing 9,953 Square feet or 0.23 Acres, more or less, by calculation.

AS TO HORIZONTAL CONTROL:

North Arrow and bearings refer to an assumed value of NORTH, along the East line of the Subject Property, Miami-Dade County Florida. Said line is considered well-established and monumented.

By scaled determination the subject property lies in Flood Zone AE, Base Flood Zone Elev.= 9 Feet, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651, Map No. 12085C0316, Suffix L, Firm Index Date: 09-11-2009, Firm Panel Effective/Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum, 1929.

Benchmarks used:  
 -Miami-Dade County Benchmark D-172 Elev.=7.79' (N.G.V.D.) Location: Venetian Causeway & San Marino Island  
 -Miami-Dade County Benchmark D-173 Elev.=7.60' (N.G.V.D.) Location: Venetian Causeway & San Marino Island

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

The above Legal Description provided by client. Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that: there may be legal restrictions on the Subject Property that are not shown on the Survey. The Survey contained in this Report that may be found in the Public Records of Miami-Dade County, the records of any other public and private entities as they may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown thereon.

This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.

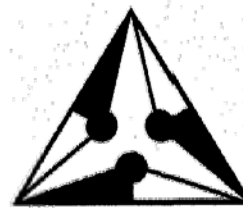
- SRR PROPERTY HOLDINGS LLC
- SCOTT R REYNOLDS
- LAW OFFICES OF JONATHAN K. CLARK
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- GIBRALTAR PRIVATE BANK

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveys and Mappers, in Chapter 53-17, Florida Administrative Code, pursuant to section 472.027 Florida Statute. Examination of the above of title will have to be made to determine recorded instruments affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC.  
Florida Certificate of Authorization No. LB 3398

ORIA JANNET SUAREZ  
PROFESSIONAL SURVEYOR AND MAPPER No. 6781  
STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



**J. Bonfill & Associates, Inc.**  
REGISTERED LAND SURVEYORS & MAPPERS  
Florida Certificate of Authorization LB3398  
7100 S.W. 99th Avenue Suite 104  
Miami, Florida 33173 (305) 598-8383

**BOUNDARY SURVEY**  
of  
40 WEST SAN MARINO DRIVE, MIAMI BEACH,  
MIAMI-DADE COUNTY, FLORIDA 33139  
for  
CHOEFF LEVY FISCHMAN ARCHITECTURE DESIGN

[illegible]

CHOEFF LEVY FISCHMAN  
ARCHITECTURE + DESIGN  
(t) 305.434.8338  
(f) 305.892.5292  
[www.clfarchitects.com](http://www.clfarchitects.com)

REYNOLDS RESIDENCE  
40 W. SAN MARINO DR.  
MIAMI BEACH, FL 33139

seal

Ralph Choeff  
registered architect  
AR0009679

comm no.  
**1639**

date:  
09/30/2016

revised:

sheet no.

A-0.3

## SURVEY PLAN

SCALE: NTS



ALL CONSTRUCTION AND/OR USE OF  
EQUIPMENT IN THE RIGHT OF WAY AND/OR  
EASEMENTS WILL REQUIRE A SEPARATE  
PUBLIC WORKS DEPARTMENT PERMIT PRIOR  
TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED, IDENTITY OF APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED.

CALCULATIONS ARE BASED ON "SMART VENT" MODEL 1540-510, CERTIFICATION: FL#5822.1-R2

OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A SAFETY BARRIER COMPLYING WITH FBC 2014, R410.17 OR A POOL COVER COMPLYING WITH ASTM F 1346.

ALL ELECTRICAL, MECHANICAL & PLUMBING  
EQUIPMENT IS TO BE ABOVE BASE FLOOD  
ELEVATION (+9'-0" NGVD) - ALL  
CONSTRUCTION & FINISH MATERIALS BELOW  
BASE FLOOD ELEVATION ARE TO BE FLOOD  
RESISTANT.

ALL ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929), UNLESS OTHERWISE INDICATED ON DRAWINGS.

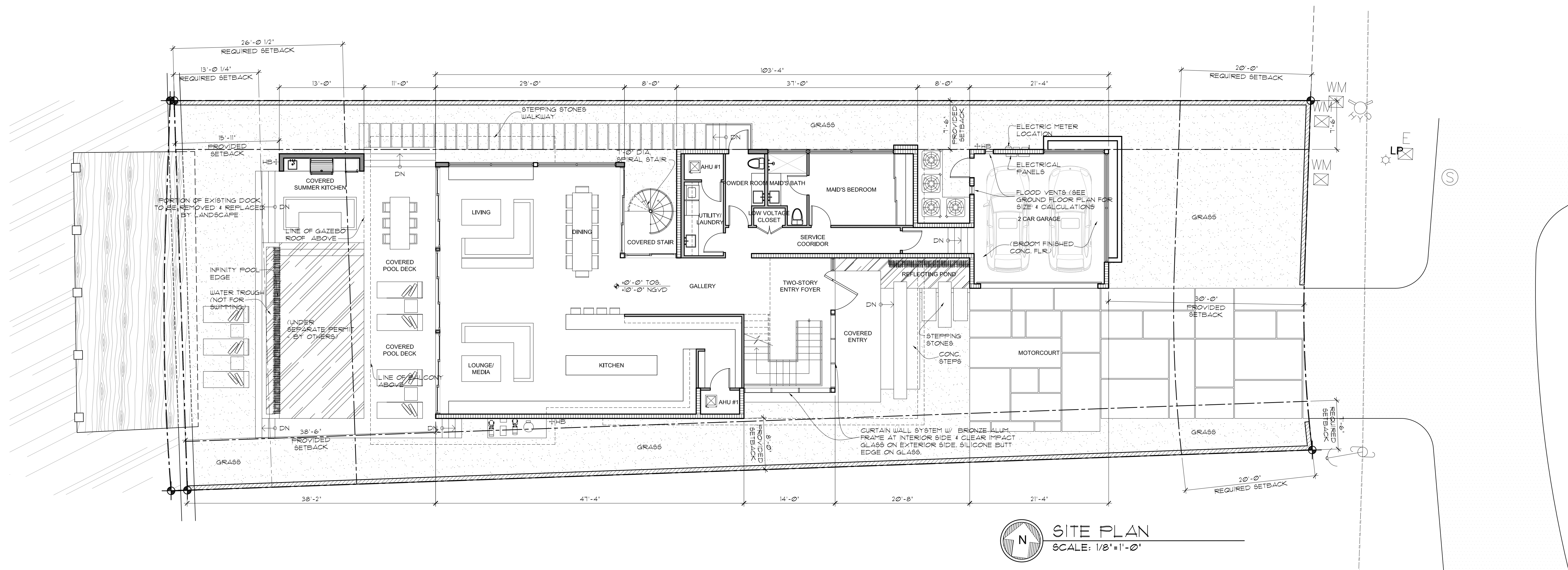
CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

APPLICABLE CODE: FBC 2014 RESIDENTIAL -  
ALL PLANS AND CALCULATIONS HAVE BEEN  
PREPARED IN COMPLIANCE WITH F.B.C. 2014  
RESIDENTIAL.

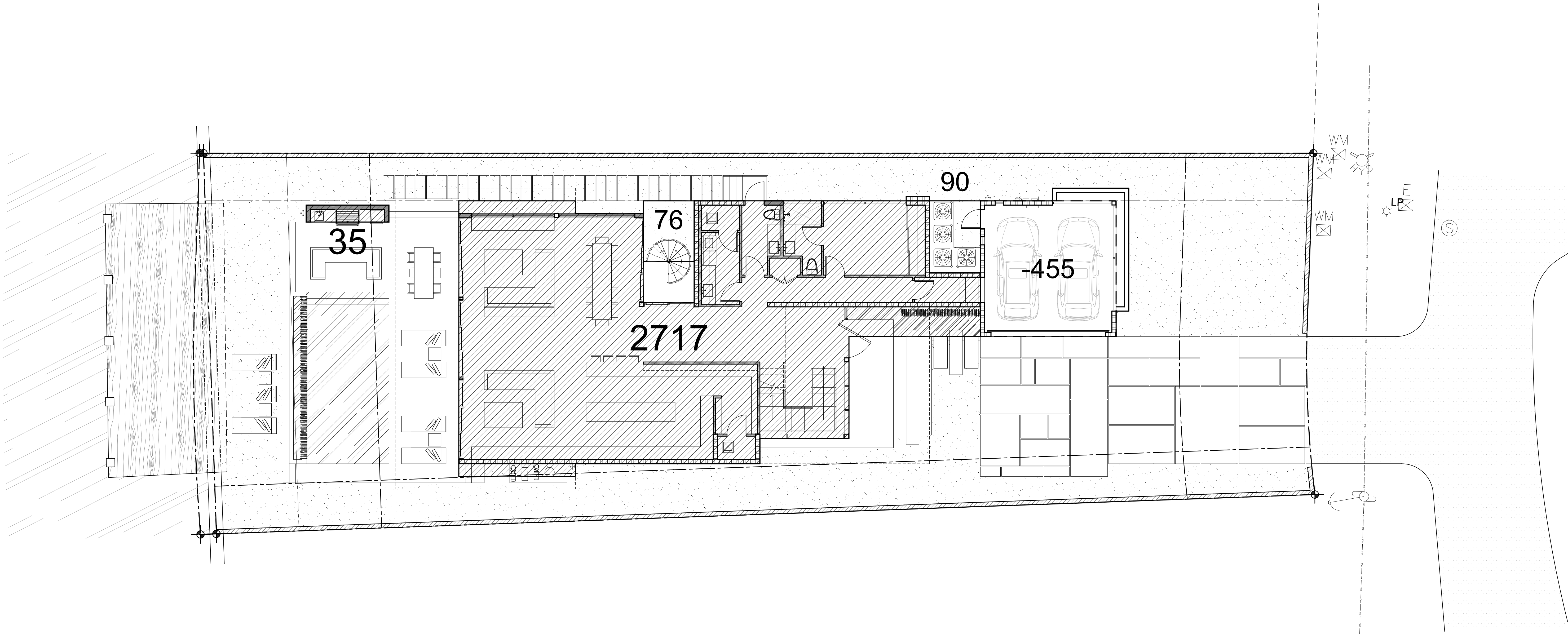
ALL DRAINAGE SHALL BE CONTAINED ON  
PROPERTY AND SHALL NOT DRAIN ONTO  
NEIGHBORING PROPERTY. SEE CIVIL FOR  
DRAINAGE PLAN.

ALL AREA CALCULATIONS PROVIDED ON THIS SHEET ARE FOR CITY OF MIAMI BEACH ZONING CALCULATIONS. FOR AIR CONDITIONED SPACE USED FOR MECHANICAL CALCULATIONS, PLEASE SEE MECH. DWGS.

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"		27'-0"	
18	Setbacks:				
19	Front First level:	20'-0"		30'-0"	
20	Front Second level:	30'-0"		58'-10"	
21	Side 1:	7'-6"		8'-0"	
22	Side 2 or (facing street):	7'-6"		7'-6"	
23	Rear:	26' - 1/2"		38'-6"	
	Accessory Structure Side 1:	7'-6"		7'-6"	
24	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
25	Accessory Structure Rear:	13' - 1/4"		15'-11"	
26	Sum of Side yard :	20'-0"			
27	Located within a Local Historic District?			Yes or no	
28	Designated as an individual Historic Single Family Residence Site?			Yes or no	
29	Determined to be Architecturally Significant?			Yes or no	
<b>Notes:</b>					
If not applicable write N/A					







#### BUILDING DATA

MAIN HOUSE:	
FIRST FLOOR (AC)	2,541 S. F.
SECOND FLOOR (AC)	2,434 S. F.
TOTAL (AC):	4,981 S. F.
GARAGE (NON A/CX455-500)	0 S. F.
CABANA	0 S. F.
BALCONIES & OVERHANGS	0 S. F.
TOTAL (NON AC):	0 S.F.
TOTAL UNIT SIZE (AC + NON AC):	4,981 SQ. FT. (50%)

#### FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	3,002 S. F.
TOTAL SECOND FLOOR (VOLUMETRIC)	2,511 S. F.
TOTAL:	85.8%

#### ROOF DECK CALCULATIONS

TOTAL SECOND FLOOR AREA	2,511 S. F.	100%
TOTAL ROOF AREA	644 S. F.	30.0%

#### SITE DATA

EXISTING LOT SIZE:	9,823 S. F.	(100%)
BLDG. LOT COVERAGE:		
MAIN HOUSE	2,717 S. F.	
CABANA	35 S. F.	
TOTAL BLDG. LOT COVERAGE:	2,752 SQ. FT.	(28.0%)

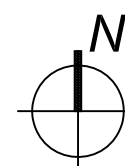
#### FRONT SETBACK CALCULATIONS

AREA:	1,082 S. F.	100%
IMPERVIOUS AREA:	400 S. F.	
LANDSCAPE AREA:	682 S. F.	63.0%

#### REAR SETBACK CALCULATIONS

AREA:	1,521 S. F.	100%
IMPERVIOUS AREA:	439 S. F.	
LANDSCAPE AREA:	1,082 S. F.	71.3%

1  
A-05  
SCALE  
1/8" = 1'-0"



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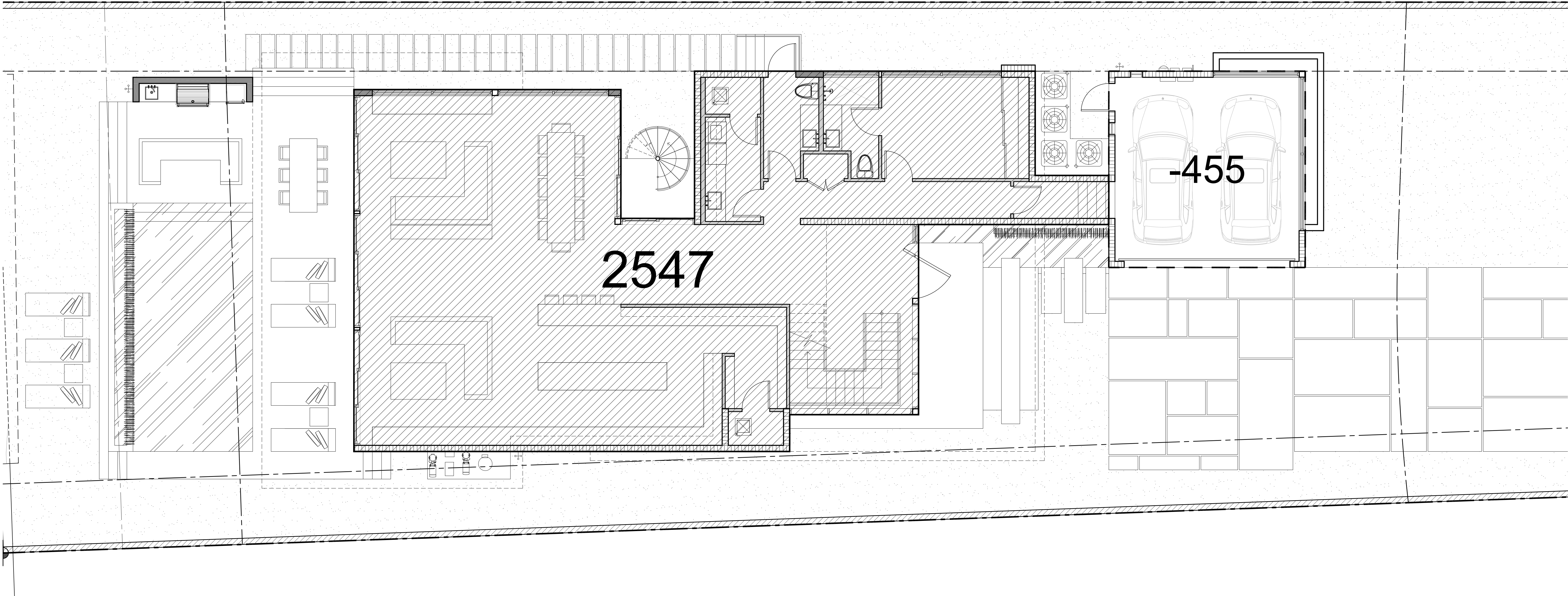
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sheet no.

A-05

seal





BUILDING DATA

MAIN HOUSE:	
FIRST FLOOR (AC)	2,547 S. F.
SECOND FLOOR (AC)	2,434 S. F.
TOTAL (AC):	4,981 S. F.
GARAGE (NON A/CX455-500)	0 S. F.
CABANA	0 S. F.
BALCONIES & OVERHANGS	0 S. F.
TOTAL (NON AC):	0 S.F.
TOTAL UNIT SIZE (AC + NON AC):	4,981 SQ. FT. (50%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	3,002 S. F.
TOTAL SECOND FLOOR (VOLUMETRIC)	2,511 S. F.
TOTAL:	85.8%

ROOF DECK CALCULATIONS

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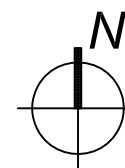
EXISTING LOT SIZE:	9,823 S. F.	(100%)
BLDG. LOT COVERAGE:		
MAIN HOUSE	2,717 S. F.	
CABANA	35 S. F.	
TOTAL BLDG. LOT COVERAGE:	2,752 SQ. FT.	(28.0%)

FRONT SETBACK CALCULATIONS

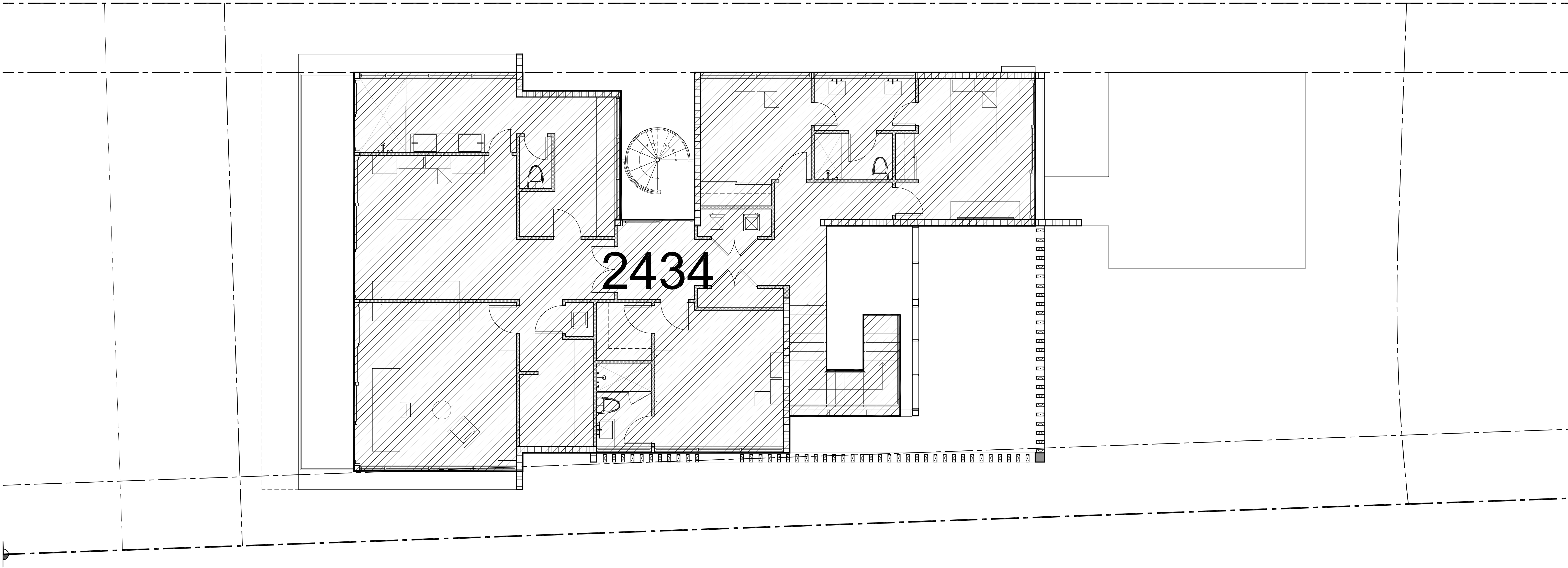
AREA:	1,082 S. F.	100%
IMPERVIOUS AREA:	400 S. F.	
LANDSCAPE AREA:	682 S. F.	63.0%

REAR SETBACK CALCULATIONS

AREA:	1,527 S. F.	100%
IMPERVIOUS AREA:	439 S. F.	
LANDSCAPE AREA:	1,088 S. F.	71.3%







#### BUILDING DATA

MAIN HOUSE:	
FIRST FLOOR (AC)	2,541 S. F.
SECOND FLOOR (AC)	2,434 S. F.
TOTAL (AC):	4,981 S. F.
GARAGE (NON A/CX455-500)	0 S. F.
CABANA	0 S. F.
BALCONIES & OVERHANGS	0 S. F.
TOTAL (NON AC):	0 S.F.
TOTAL UNIT SIZE (AC + NON AC):	4,981 SQ. FT. (50%)

#### FLOOR RATIO PERCENTAGE

MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	3,002 S. F.
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#### SITE DATA

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BLDG. LOT COVERAGE:		
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CABANA	35 S. F.	
TOTAL BLDG. LOT COVERAGE:	2,752 SQ. FT.	(28.0%)

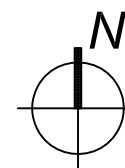
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PROPOSED  
SECOND FLOOR UNIT SIZE  
3  
A-05  
SCALE 3/16" = 1'-0"



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CHOEFF **LEVY** FISCHMAN  
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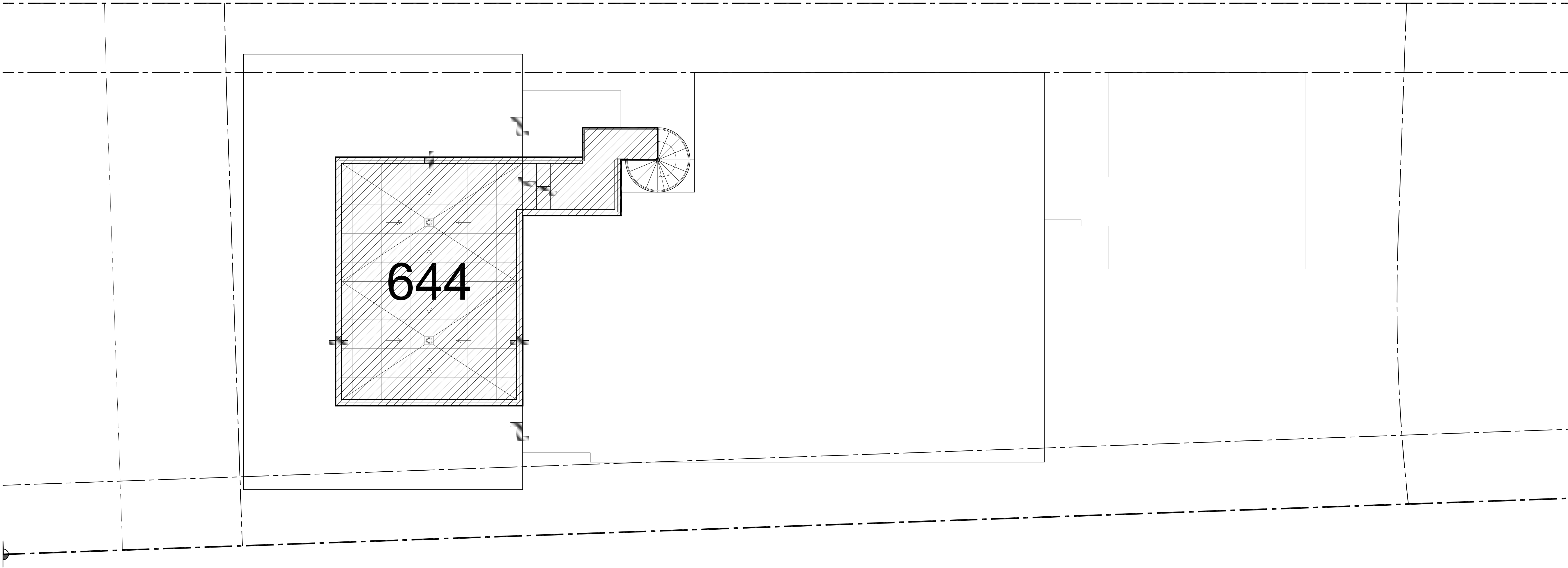
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**A-0.5**

seal





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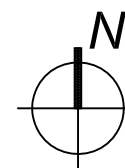
EXISTING LOT SIZE:	9,823 S. F. (100%)
BLDG. LOT COVERAGE:	
MAIN HOUSE	2,711 S. F.
CABANA	35 S. F.
TOTAL BLDG. LOT COVERAGE:	2,752 SQ. FT. (28.0%)

#### FRONT SETBACK CALCULATIONS

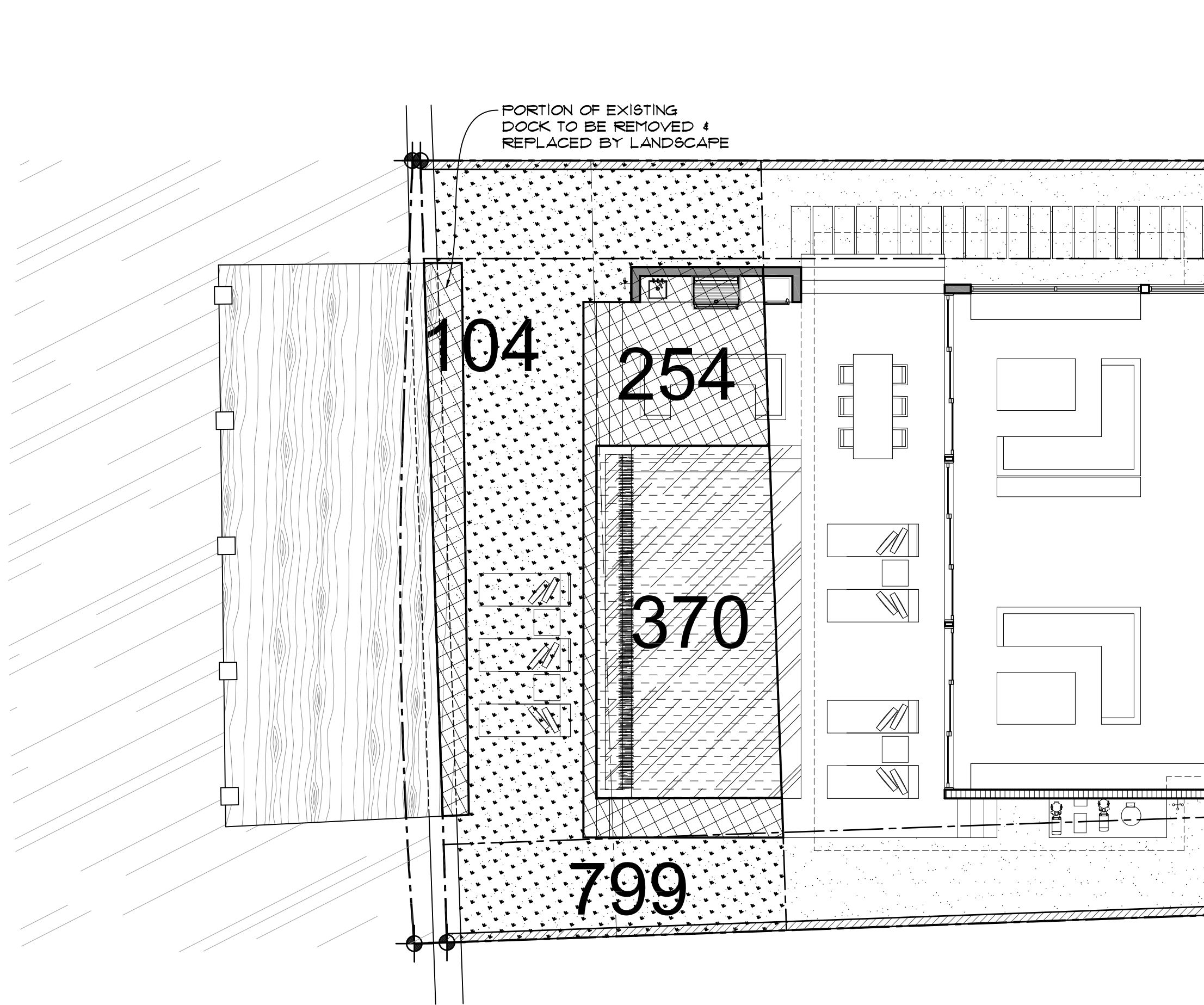
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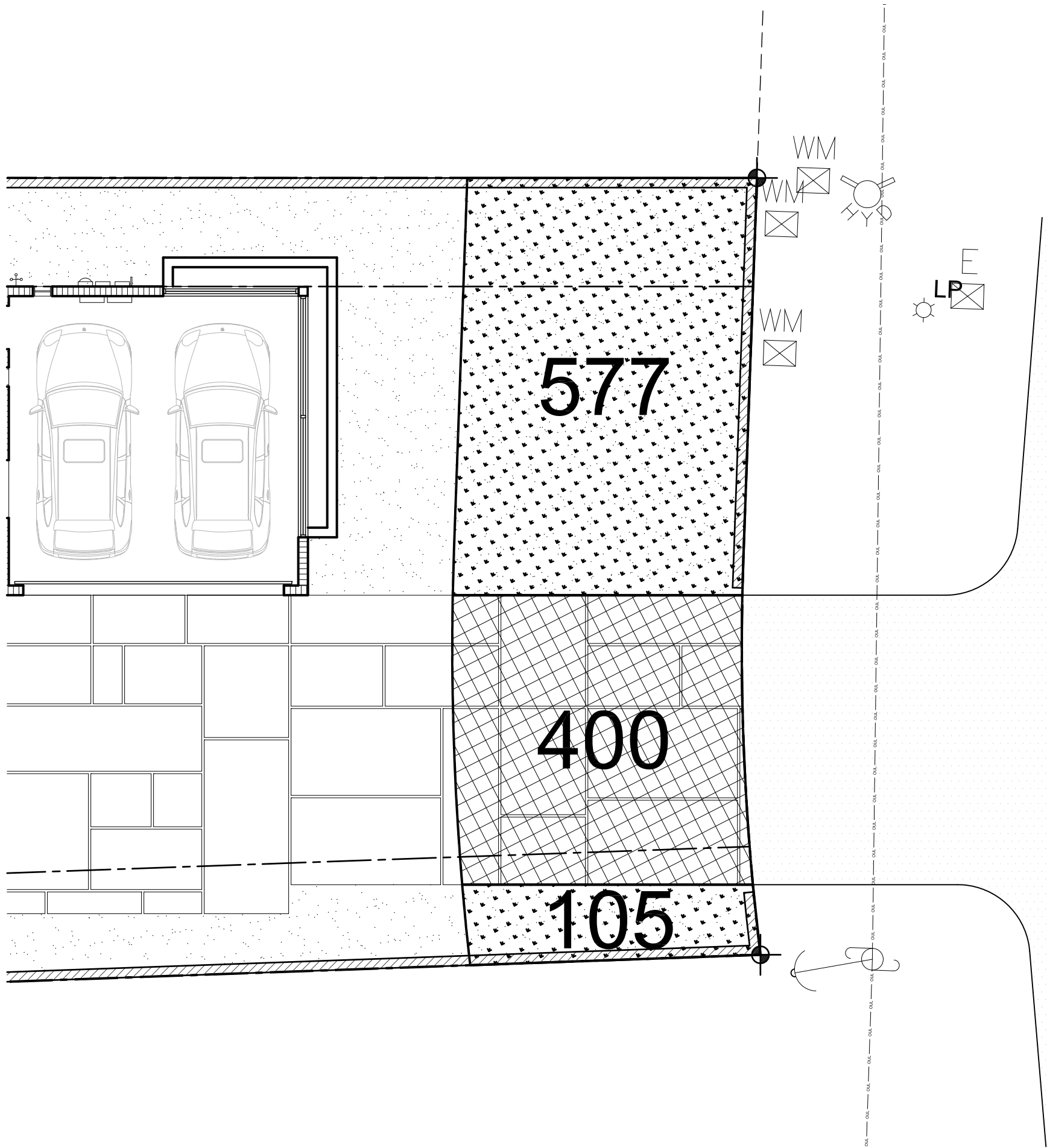
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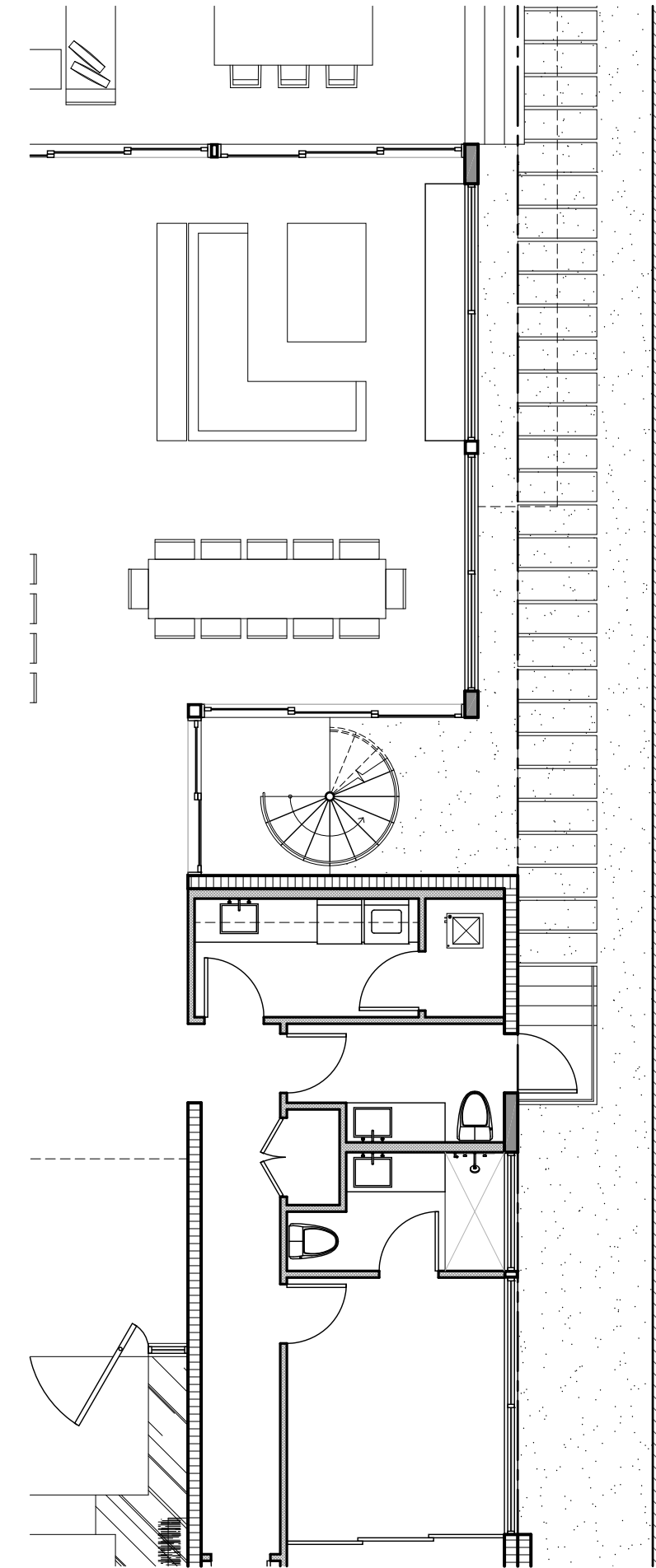




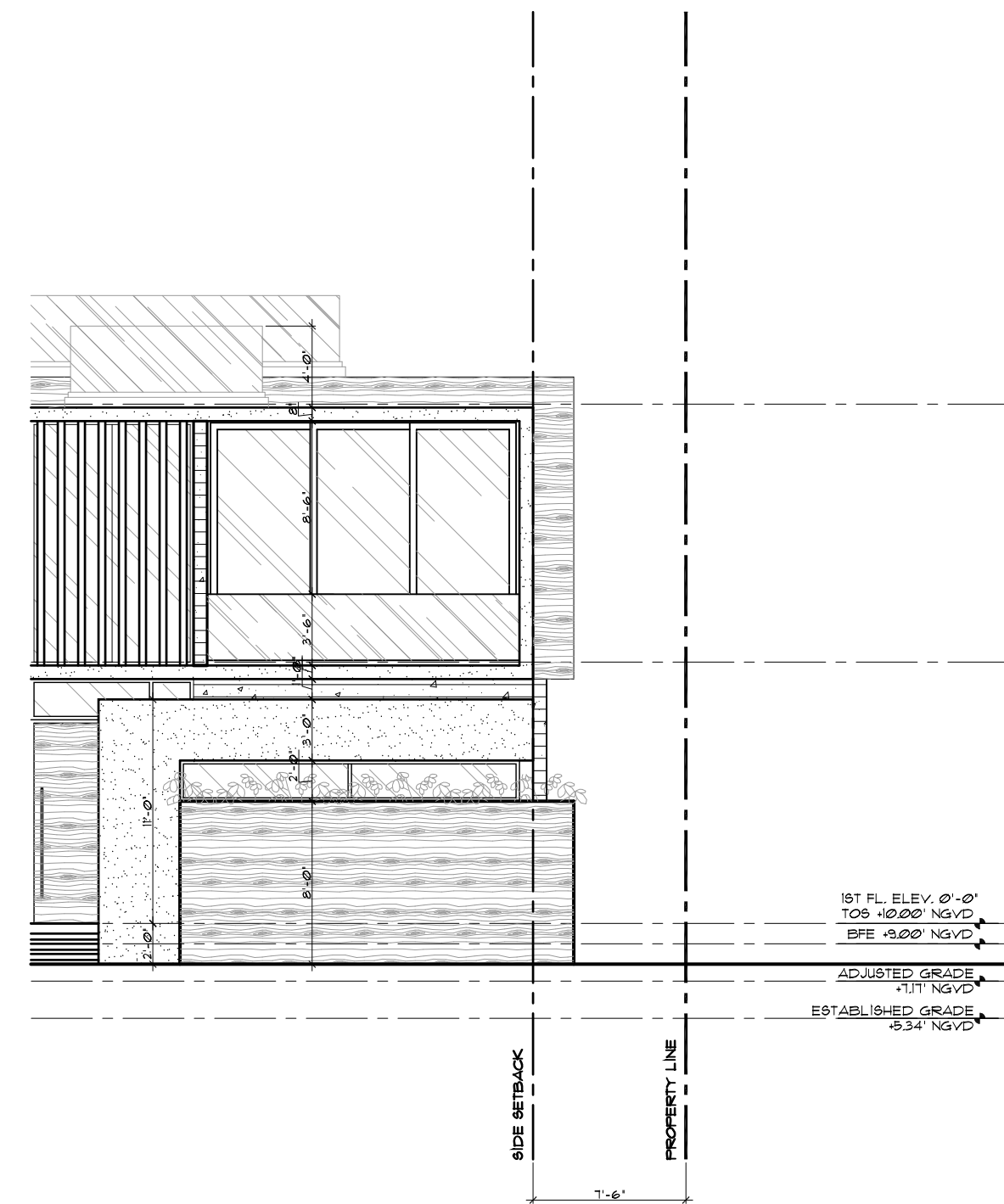
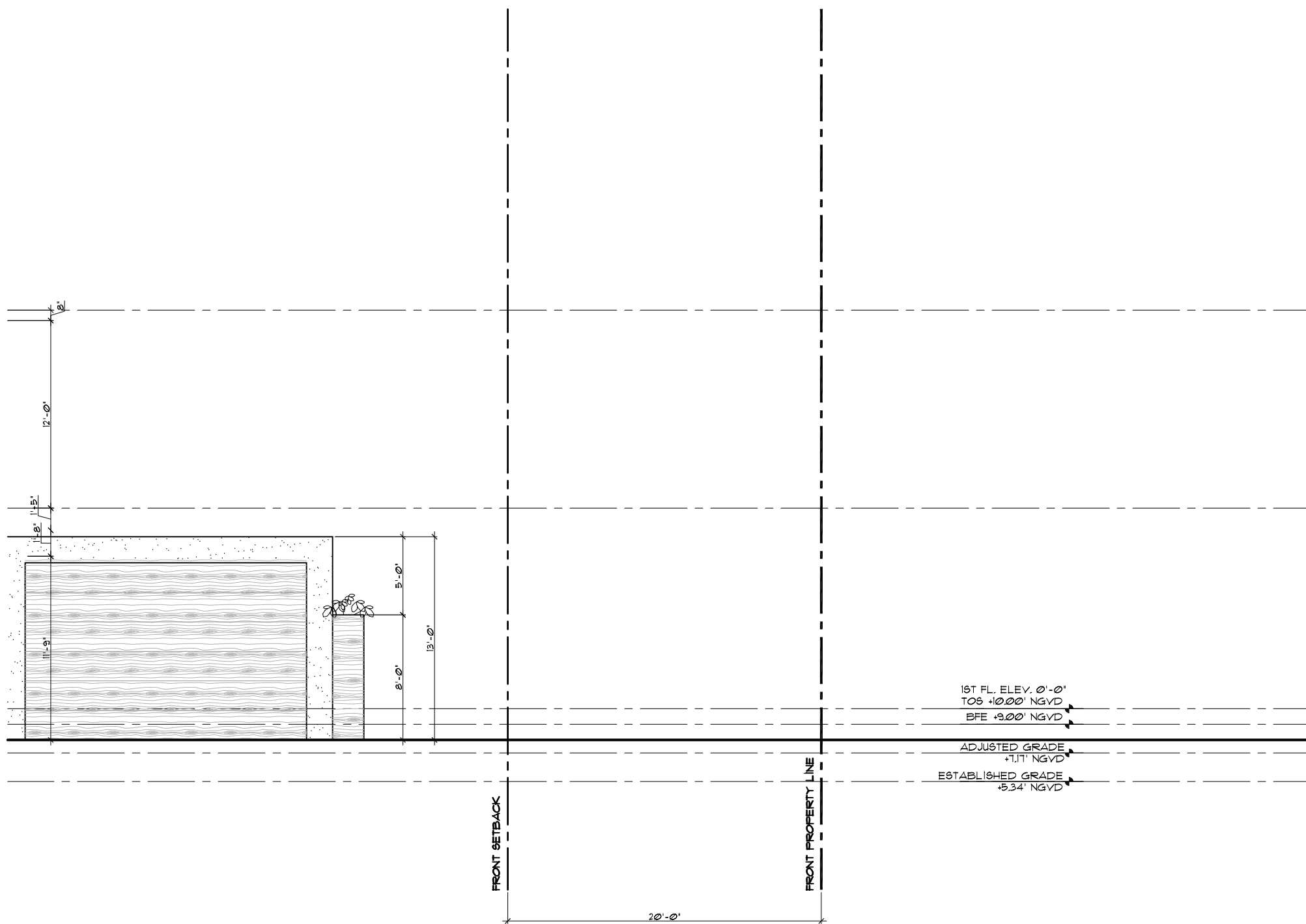
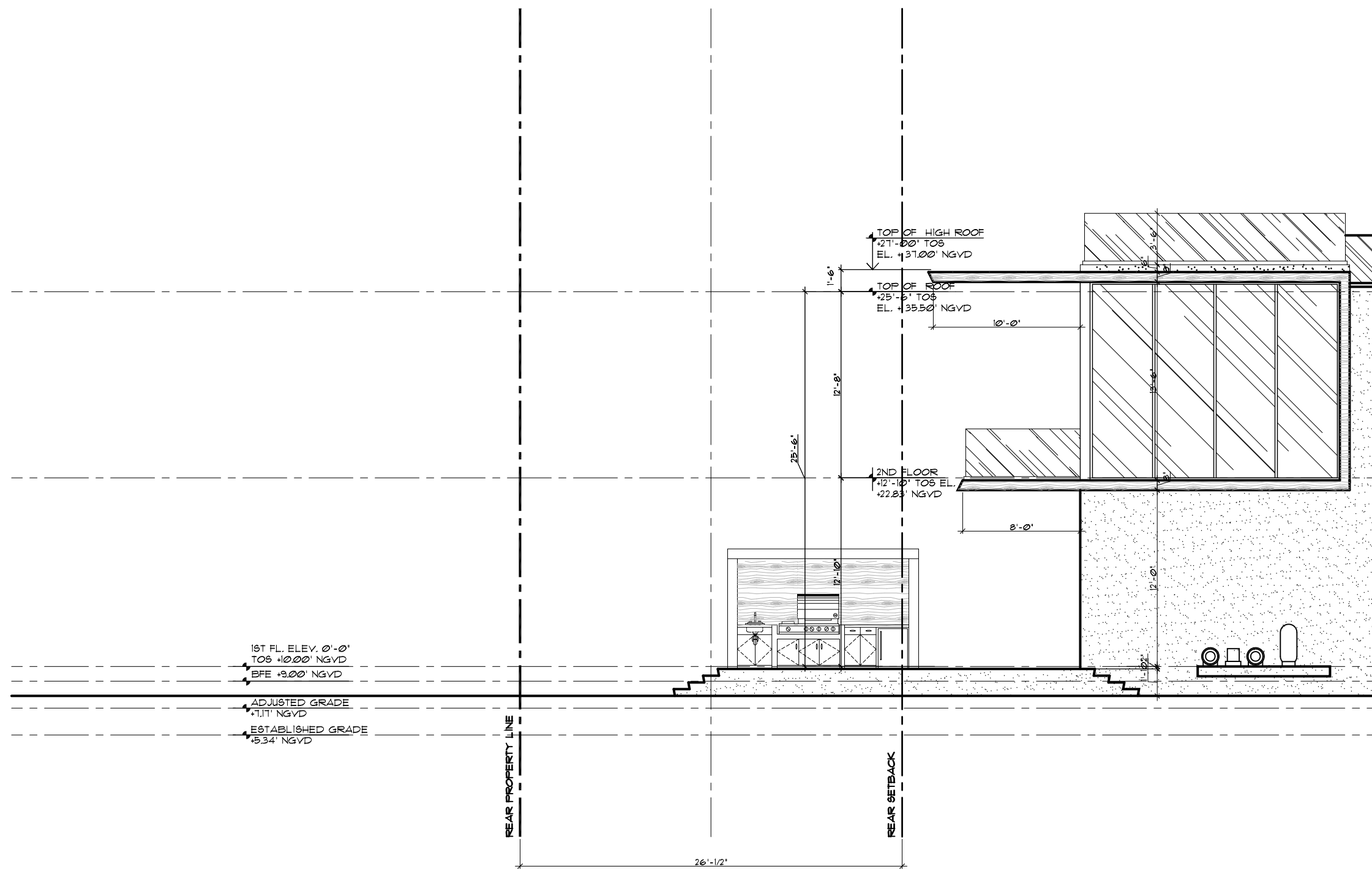
5 PROPOSED REQUIRED REAR YARD  
SCALE 1/8" = 1'-0"  
N



6 PROPOSED REQUIRED FRONT YARD  
SCALE 1/8" = 1'-0"  
N



7 PROPOSED REQUIRED SIDE YARD  
SCALE 1/8" = 1'-0"  
N







Front View





Rear View





Front Elevation (EAST)

Scale: 3/16" = 1'-0"





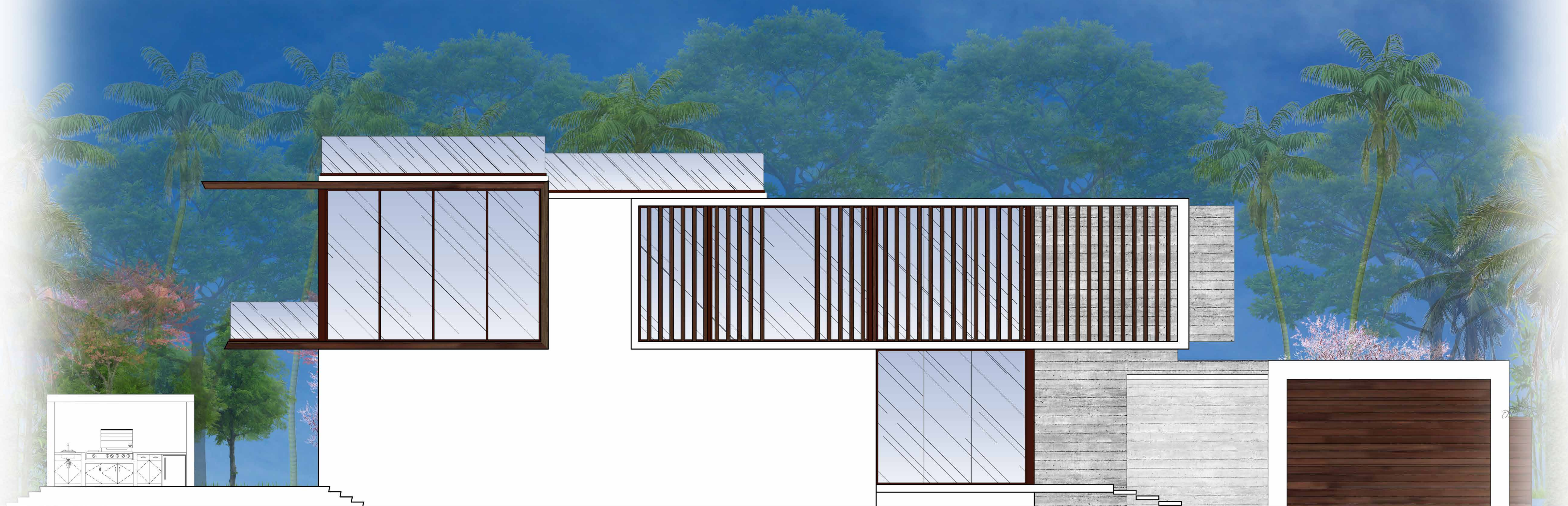
Rear Elevation (WEST)

Scale: 3/16" = 1'-0"

sheet no.  
C-2.2

CHOEFF **LEVY** FISCHMAN  
ARCHITECTURE + DESIGN





Side Elevation (SOUTH)

Scale: 3/16" = 1'-0"





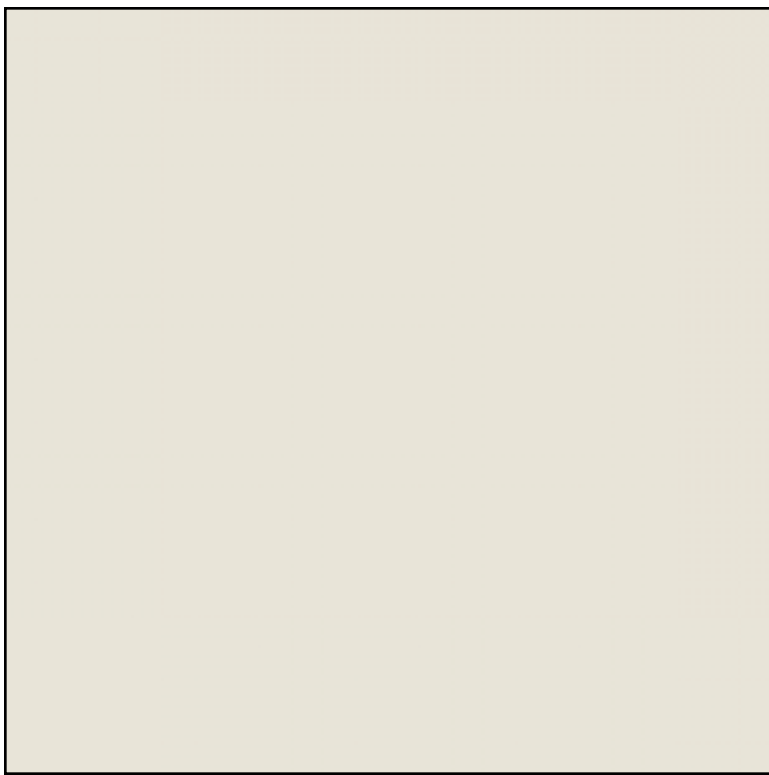
Side Elevation (NORTH)

Scale: 3/16" = 1'-0"

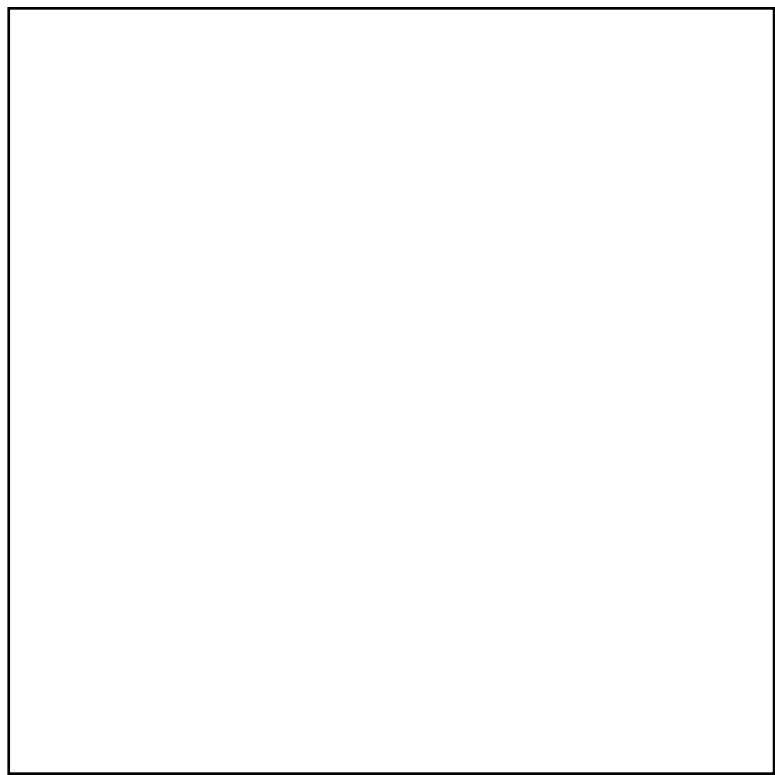




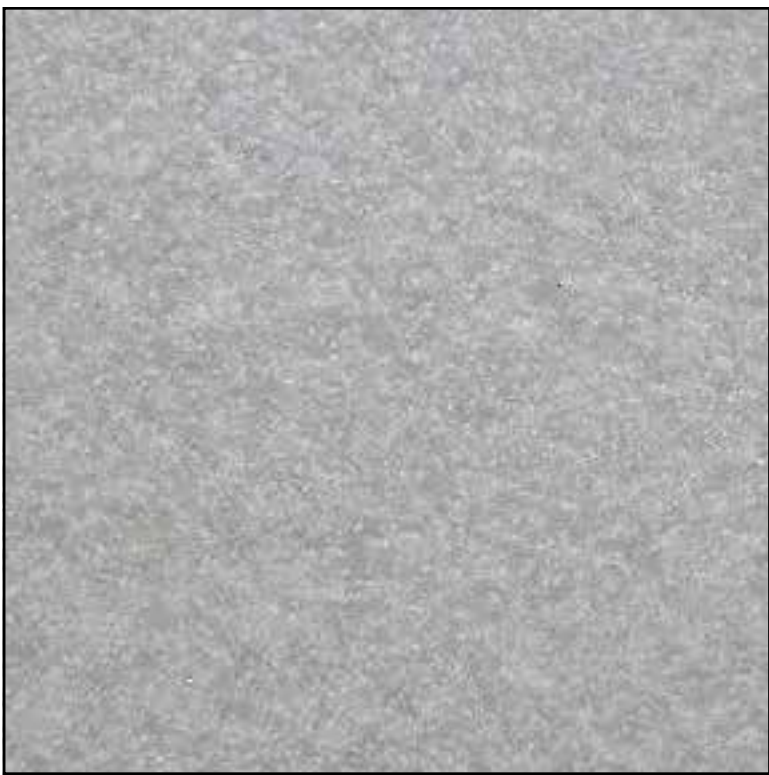




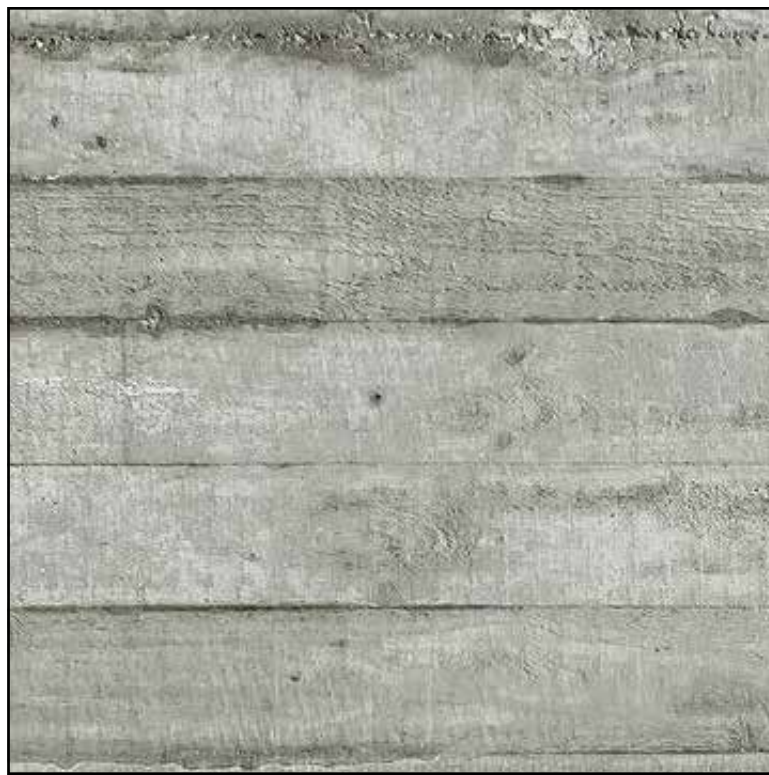
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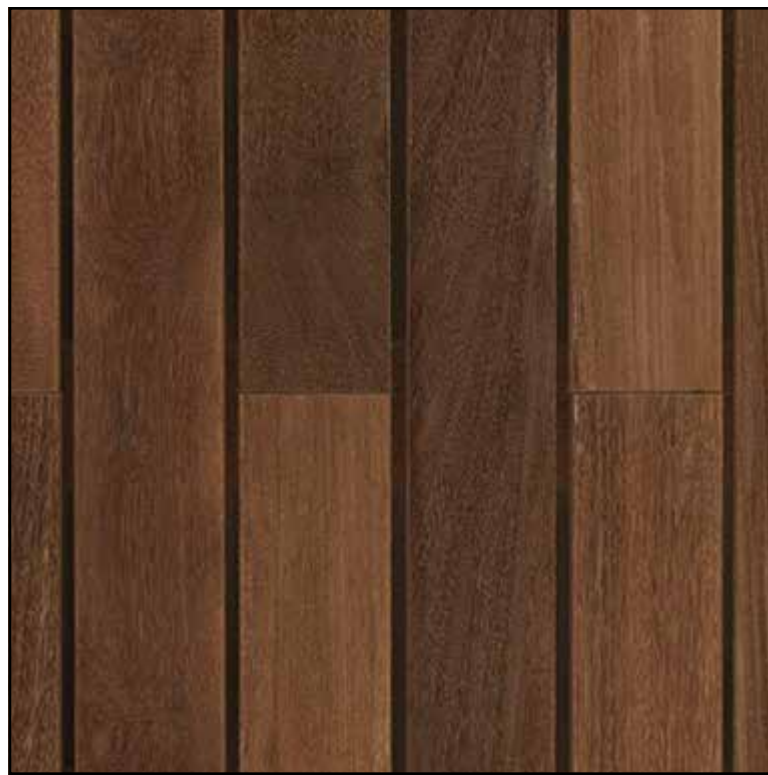
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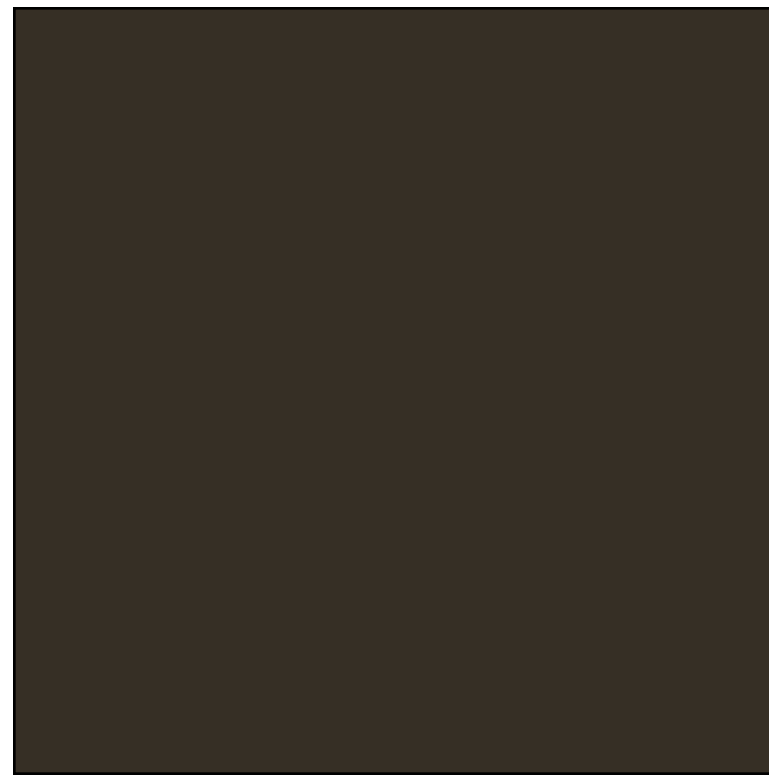
3



4



5



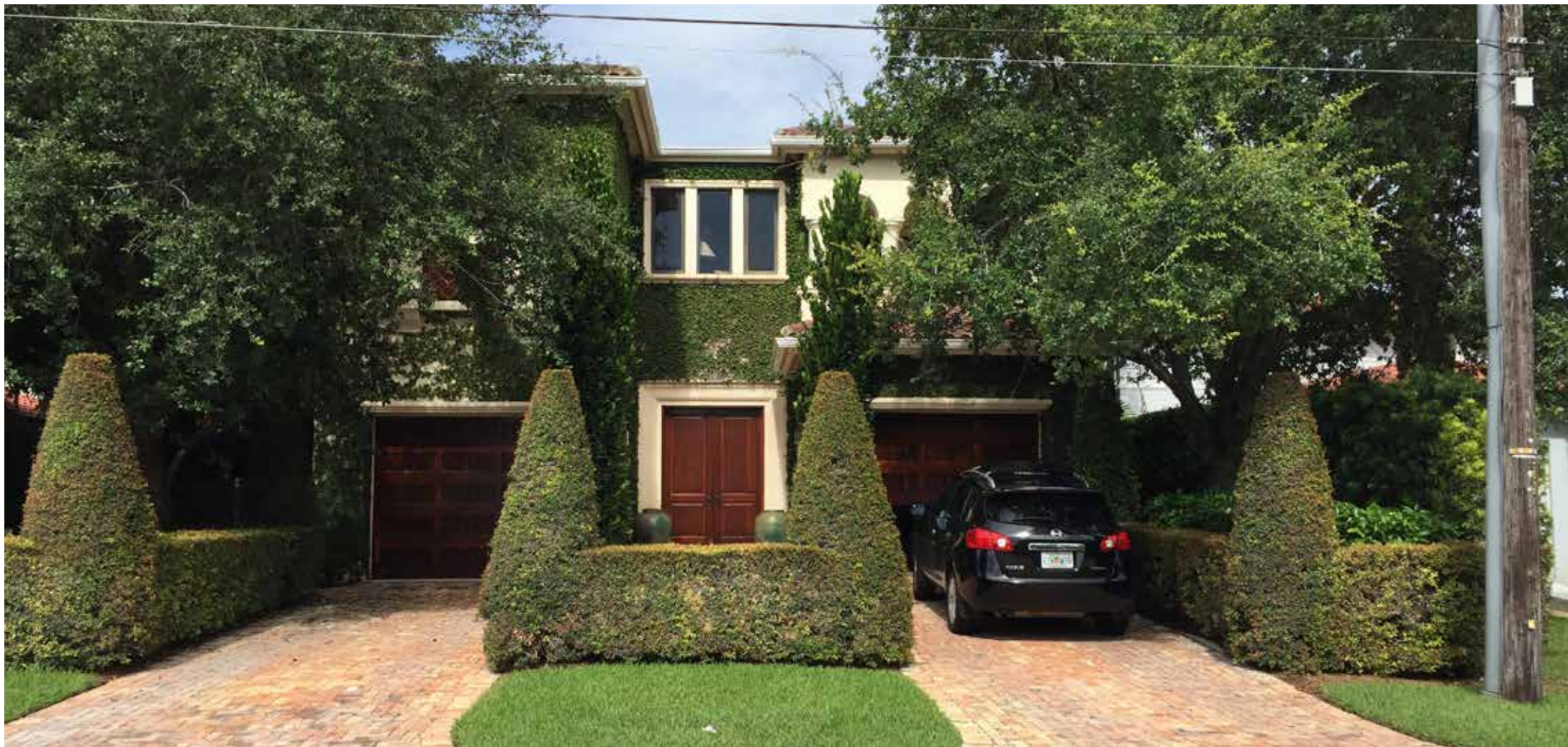
6

	DESCRIPTION	SPECIFICATION
1	Exterior Paint	Benjamin Moore China White
2	Glazing	
3	Quartzite Decking	White Lotus Bush - Hammered Quartzite
4	Concrete Finish	Board Form Concrete
5	Ipe Wood	Finished Ipe Decking - Natural Inc.
6	Mullion Coating	Tiger Drylac Powder Coatings - Statuary Bronze





Residence 1



Residence 2



Subject Property ( 40 W San Marino Dr )



Residence 3



Residence 4



Residence 5



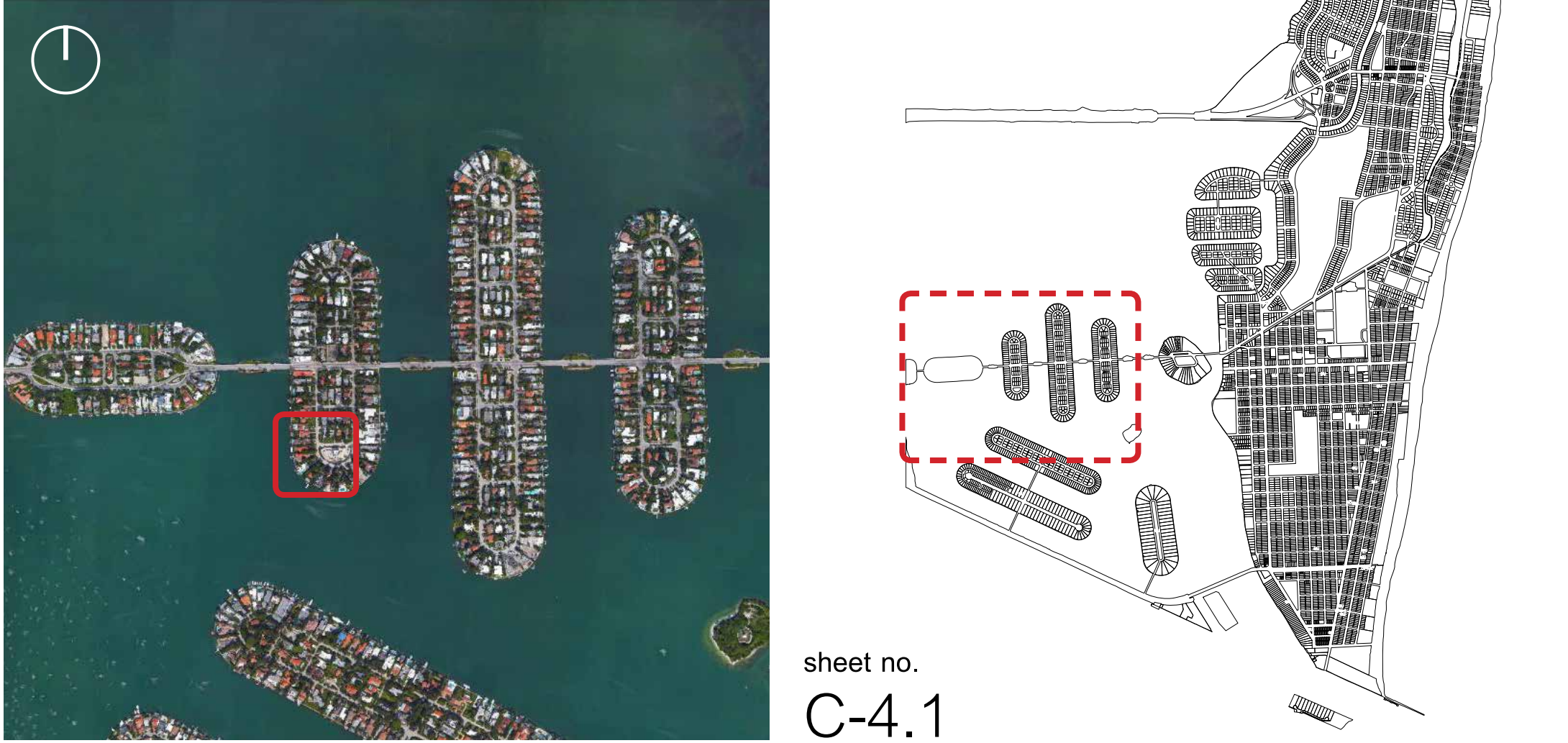
Residence 6



Aerial Photograph of Surrounding Properties



Aerial Photograph of Surrounding Properties







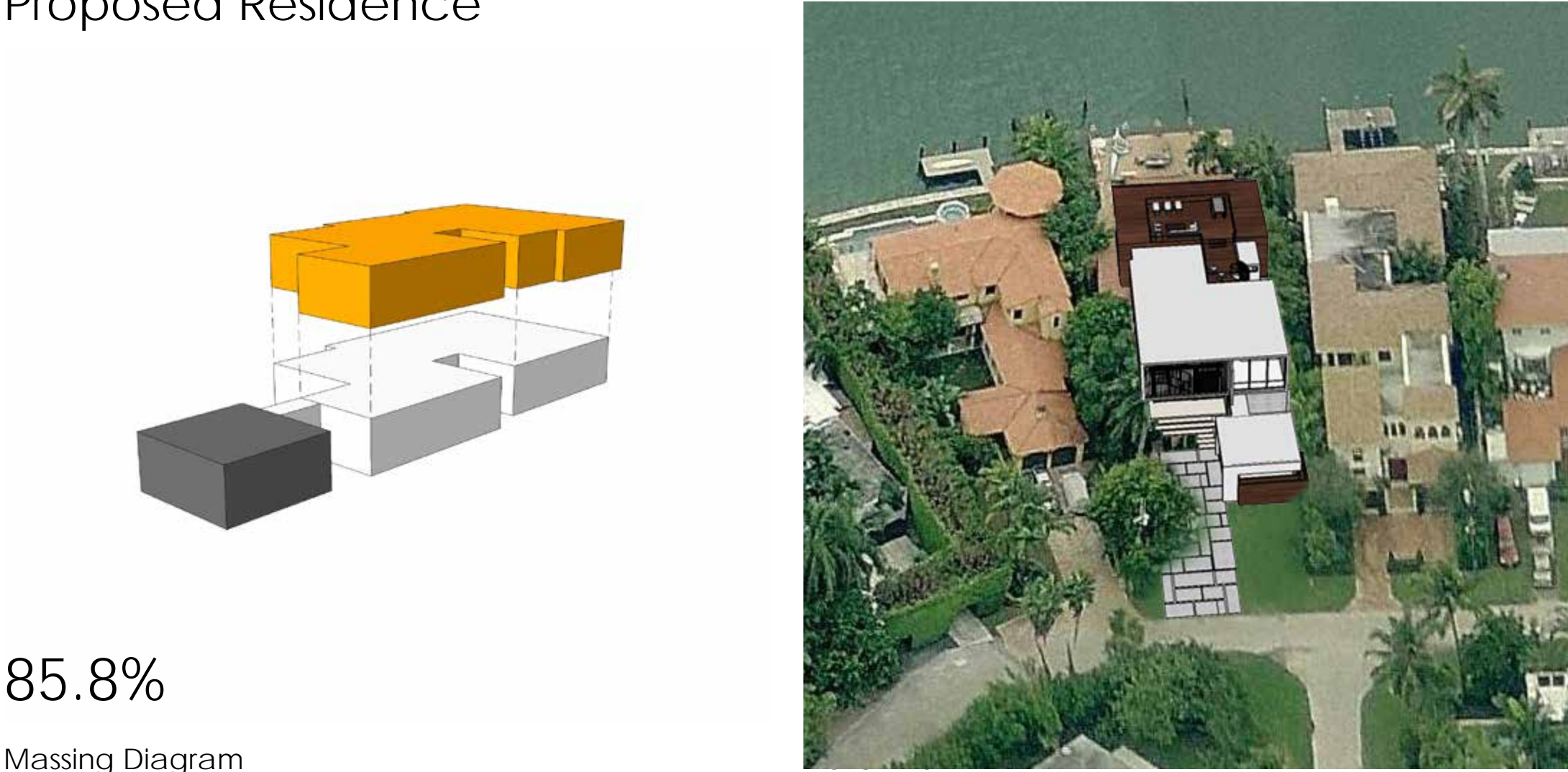
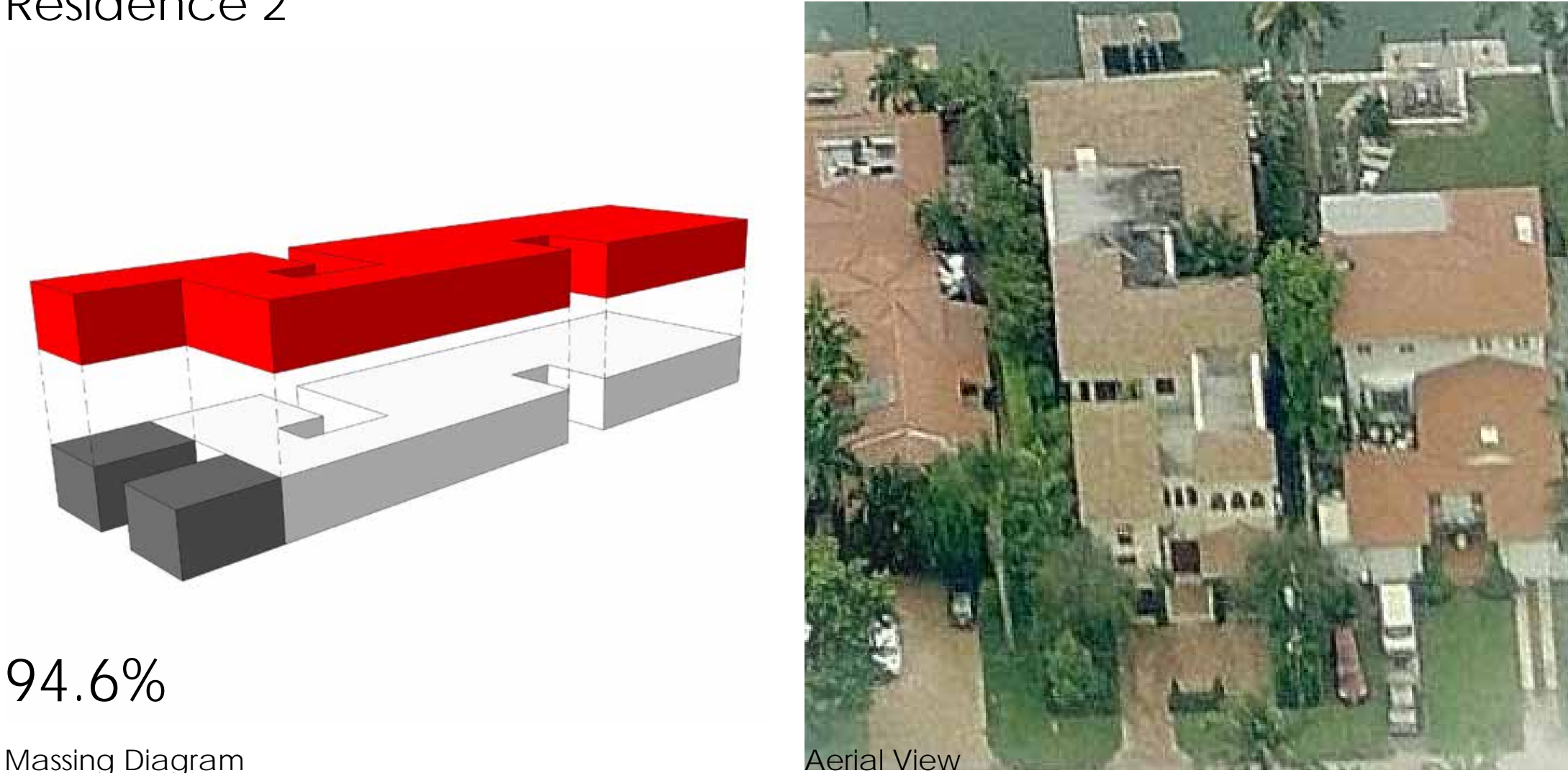
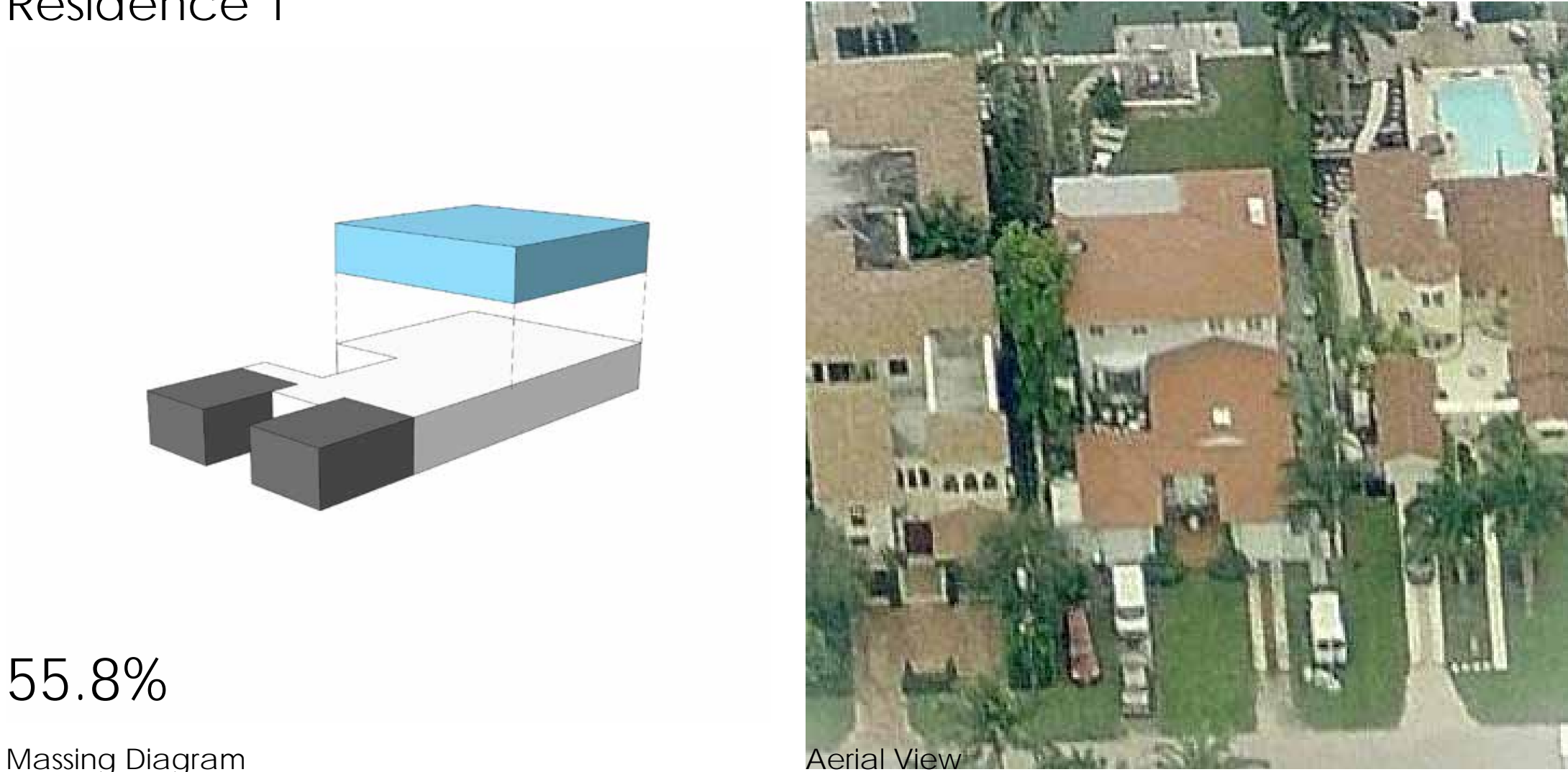
Residence 1



Residence 2



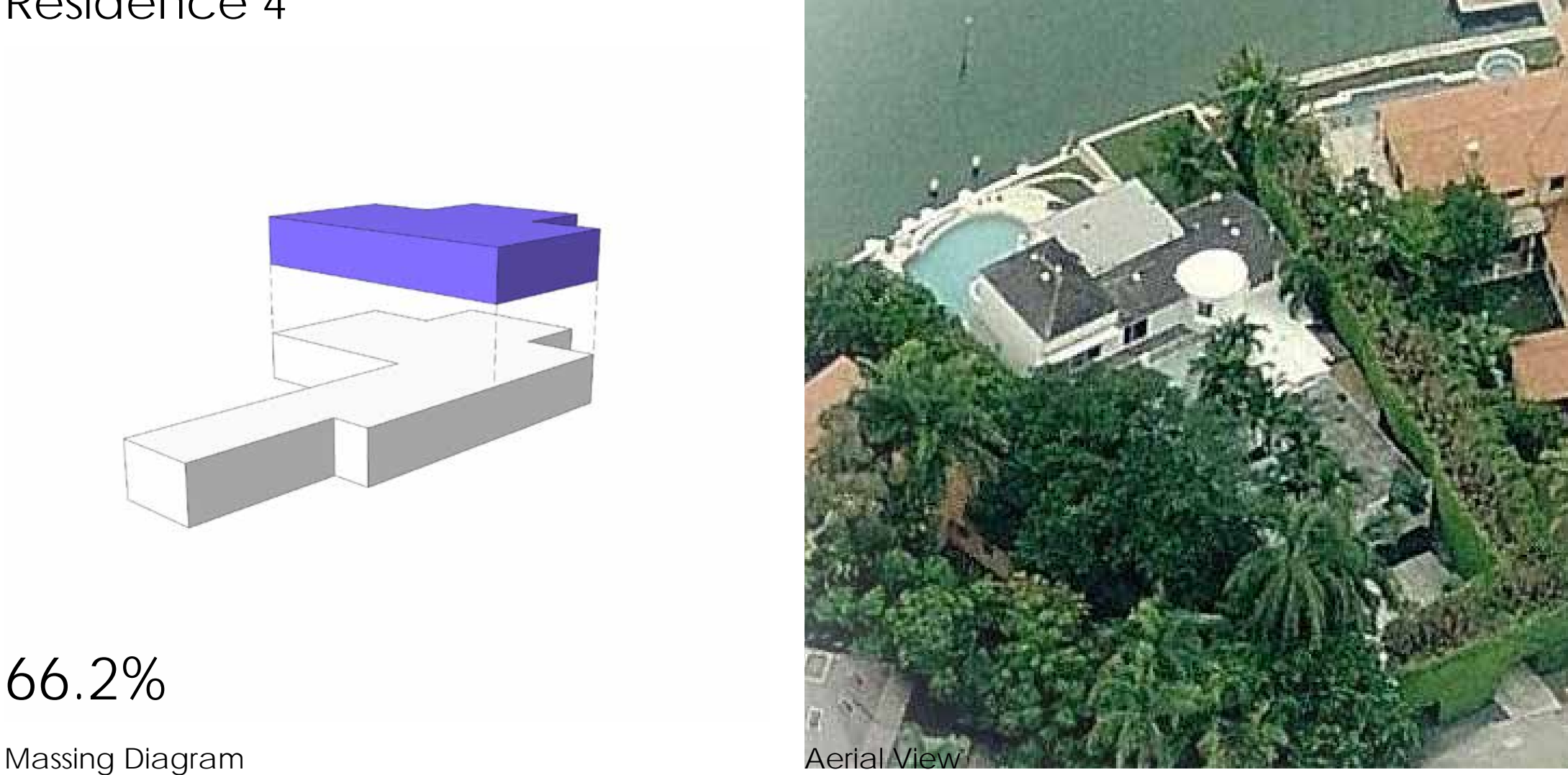
Proposed Residence



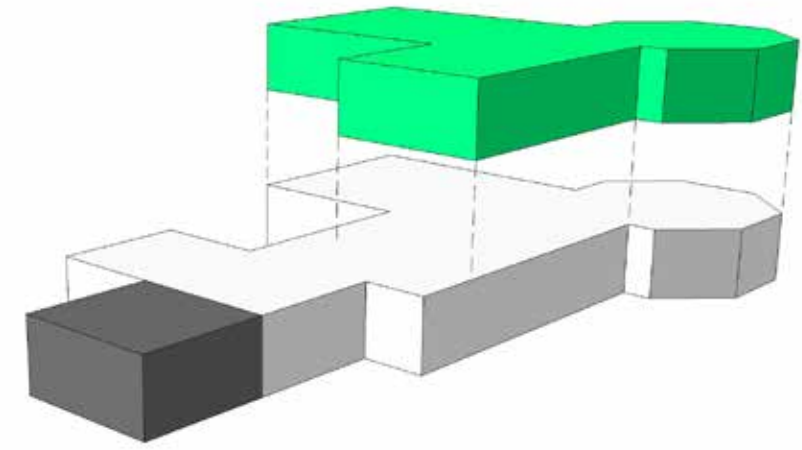
Residence 3



Residence 4







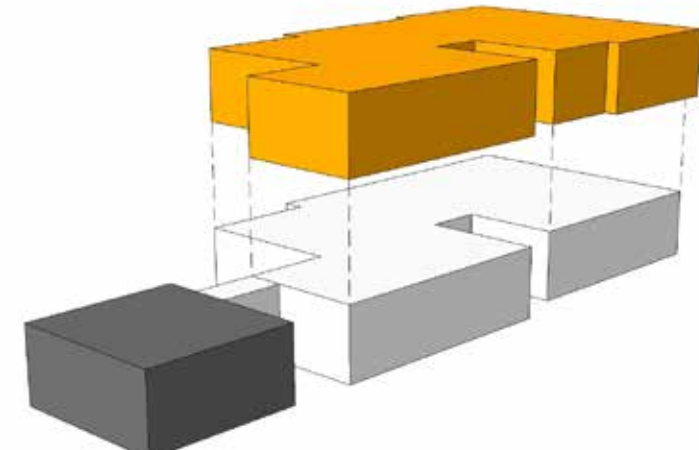
### 34 W San Marino Dr

Adjacent Property

Lot Size: 12,906 Sq. Ft

Approx. Lot Coverage: 28.1%

Approx. First-Second Ratio: 64.5%



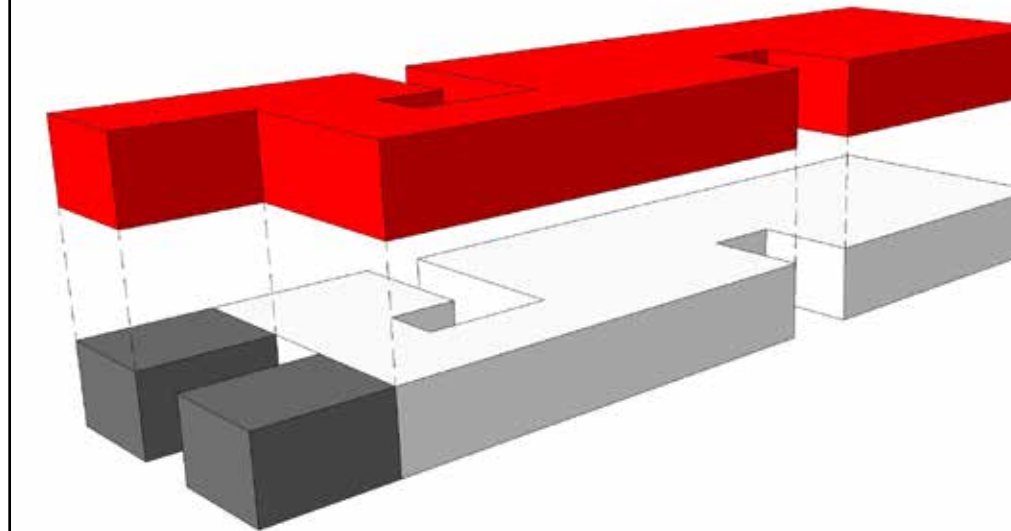
### 40 W San Marino Dr

Proposed Property

Lot Size: 9,823 Sq. Ft

Lot Coverage: 28.0%

First-Second Ratio: 85.8%



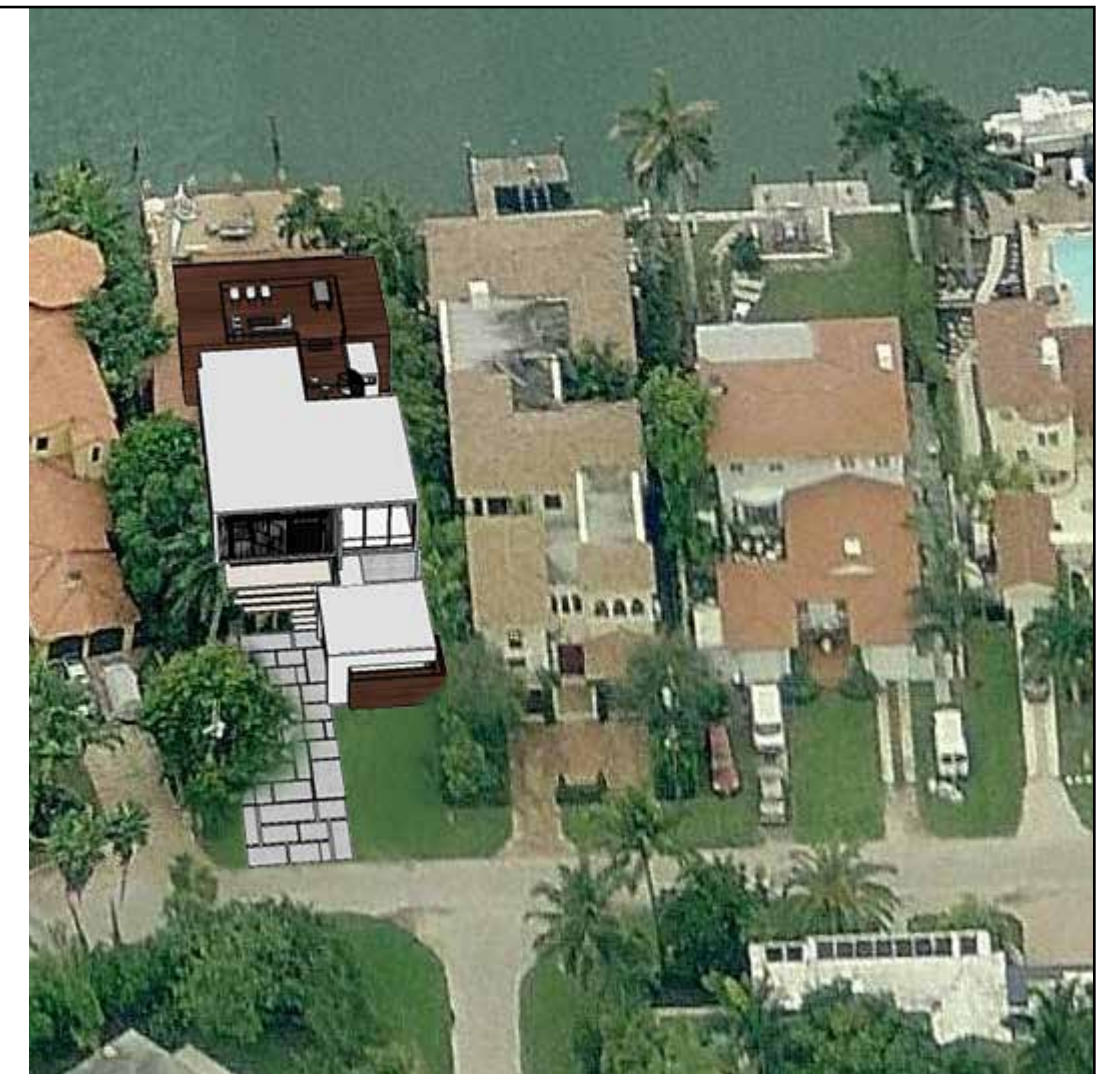
### 70 W San Marino Dr

Adjacent Property

Lot Size: 9,973 Sq. Ft

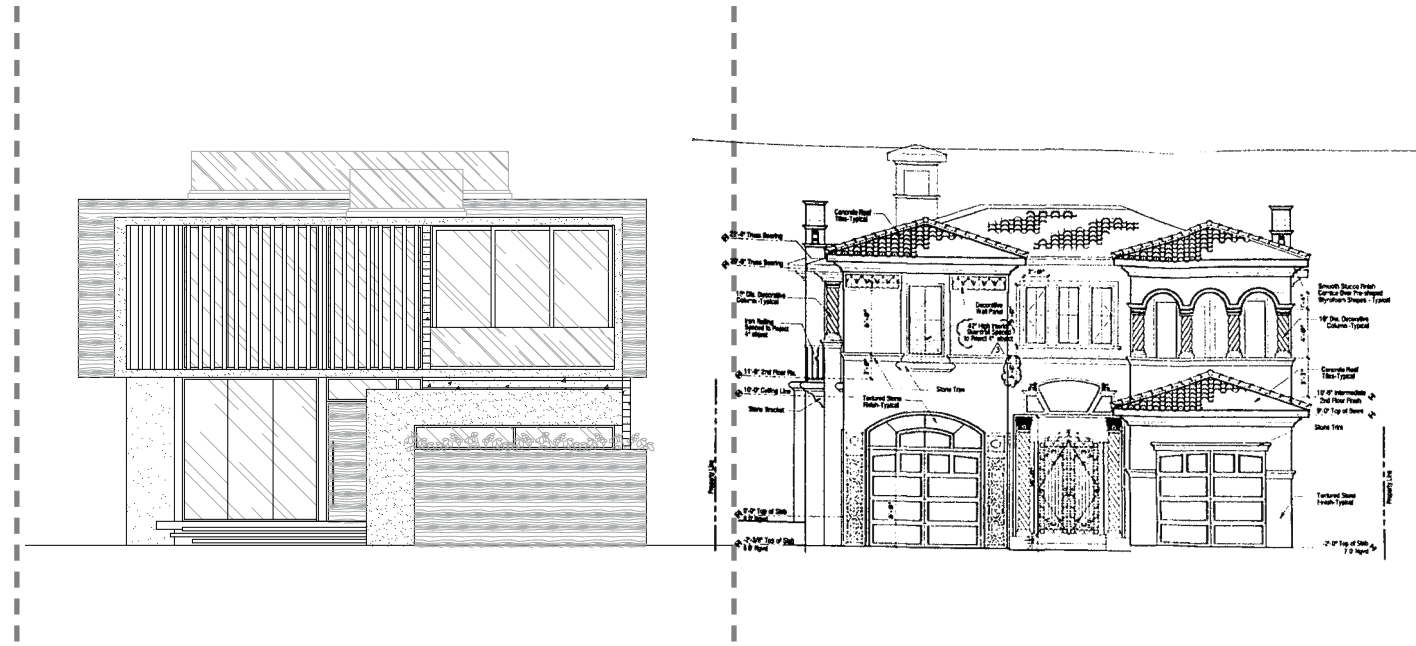
Approx. Lot Coverage: 36.3%

Approx. First-Second Ratio: 94.6%

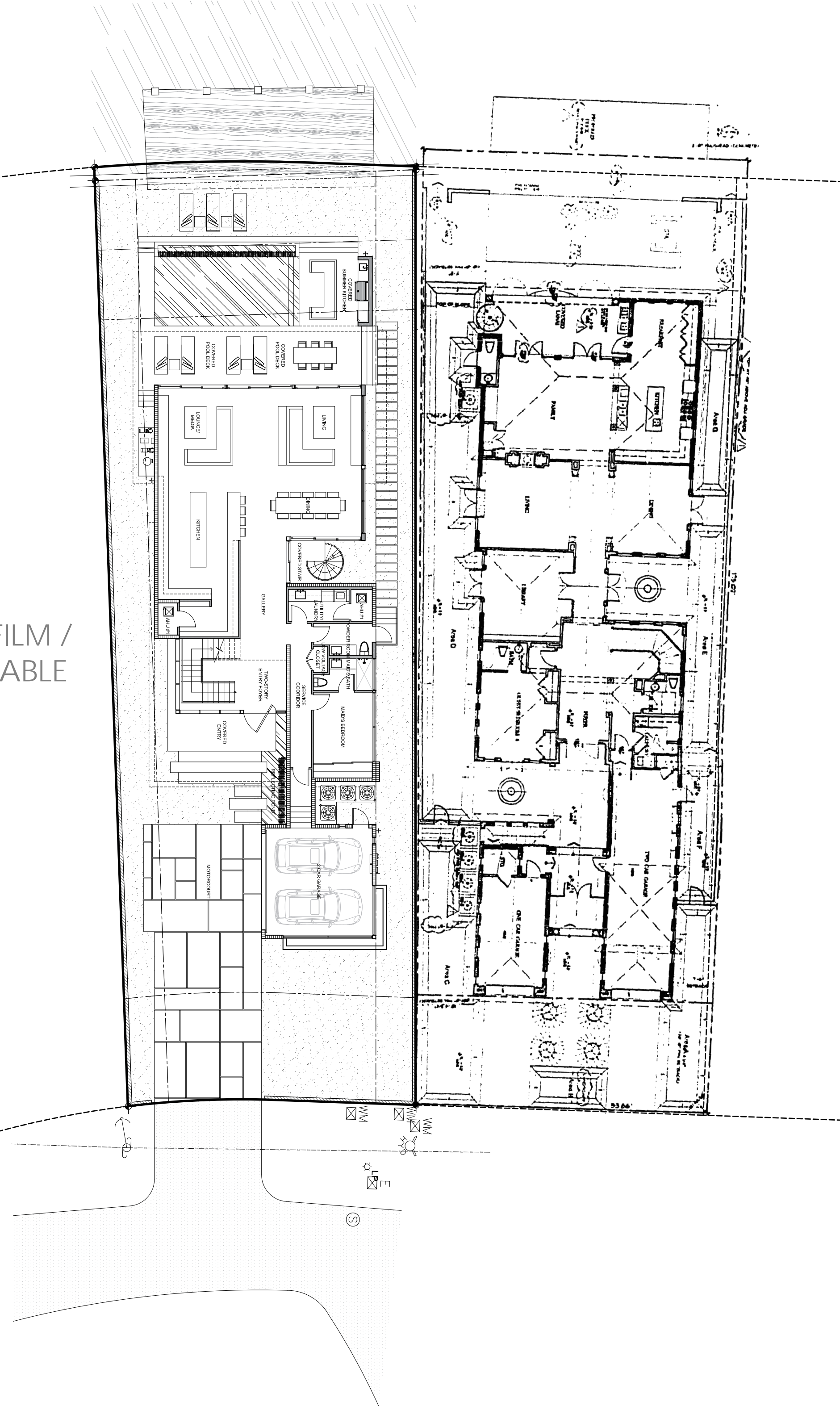




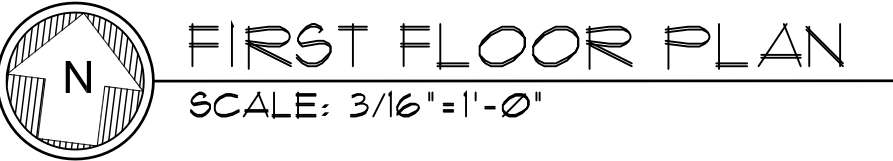
EXISTING MICROFILM /  
PLAN NOT AVAILABLE



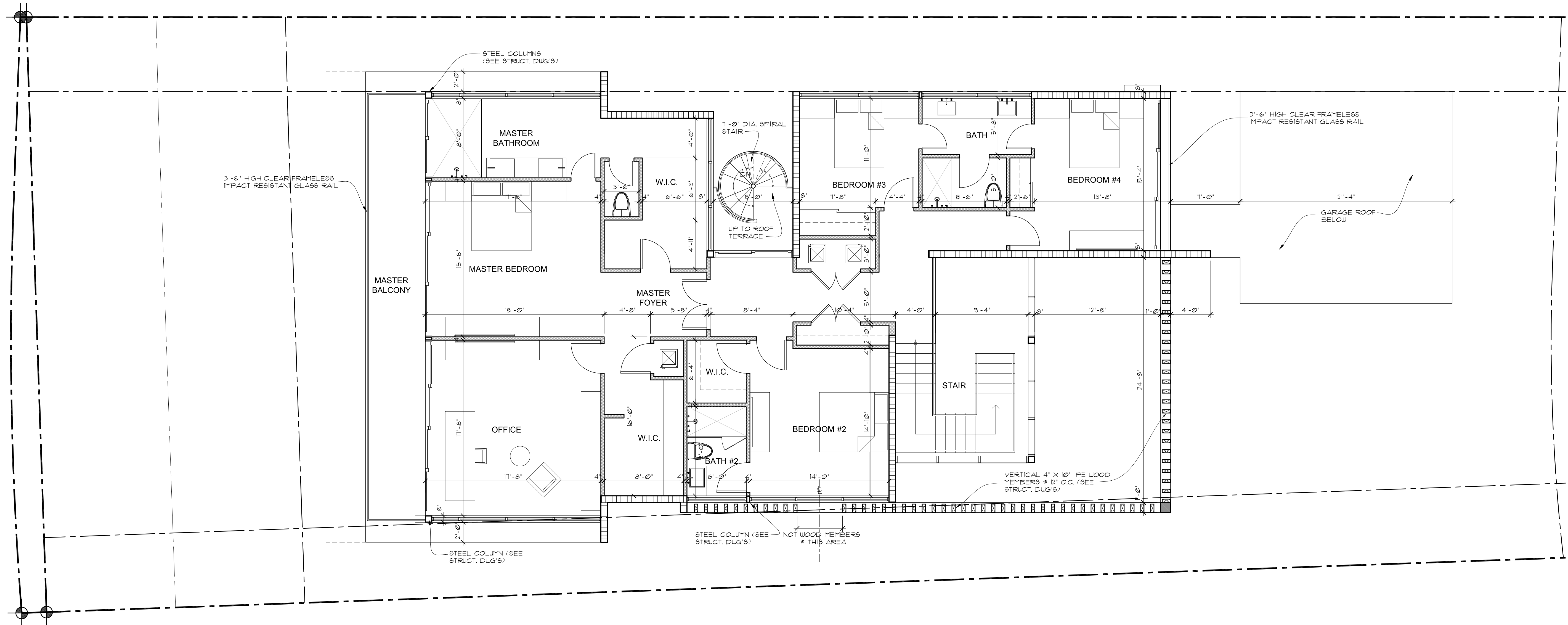
EXISTING MICROFILM /  
PLAN NOT AVAILABLE











**SECOND FLOOR PLAN**  
SCALE: 3/16"=1'-0"

**REYNOLDS RESIDENCE**  
40 W. SAN MARINO DR.  
MIAMI BEACH, FL 33139

seal

Ralph Choëff  
registered architect  
AR0009679

comm no.  
**1639**

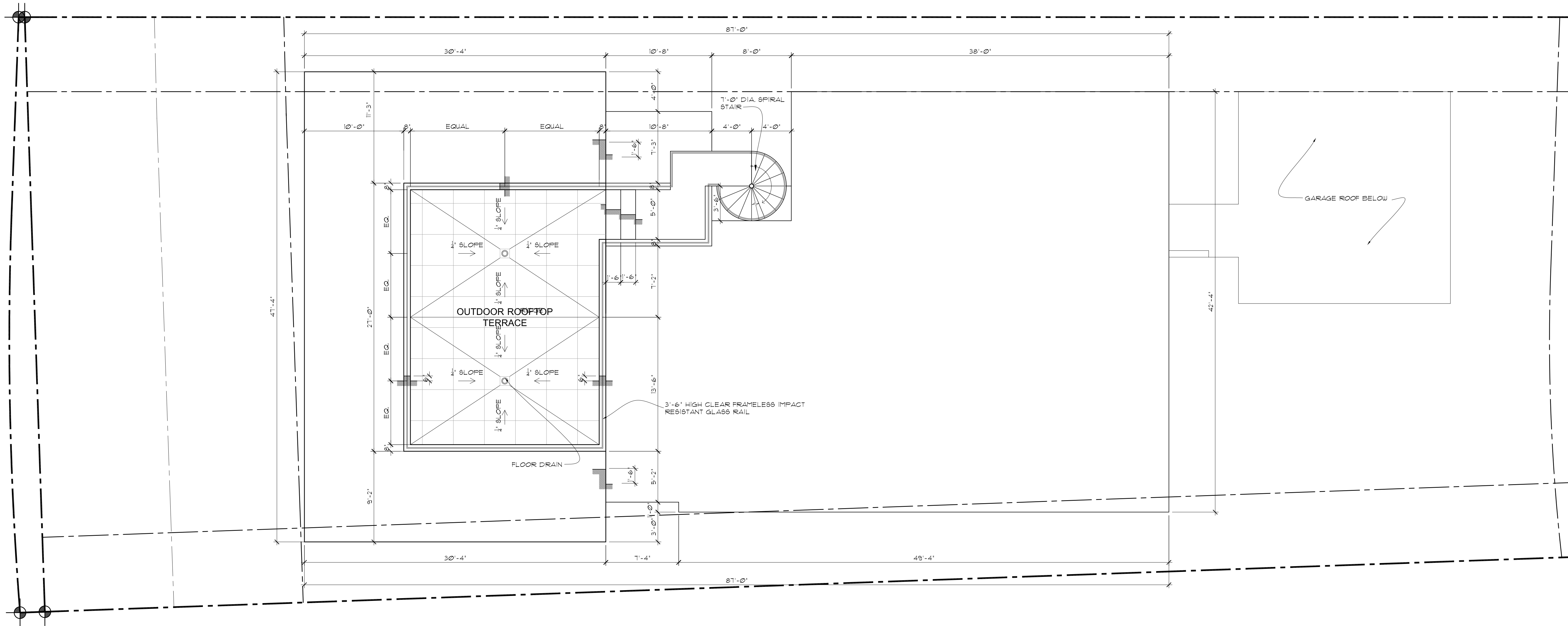
date:  
09/30/2016

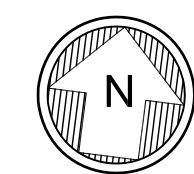
revised:

sheet no.

**A-1.2**





 **ROOF PLAN**  
SCALE: 3/16"=1'-0"

**REYNOLDS RESIDENCE**  
40 W. SAN MARINO DR.  
MIAMI BEACH, FL 33139

seal

Ralph Choeff  
registered architect  
AR0009679

comm no.  
**1639**

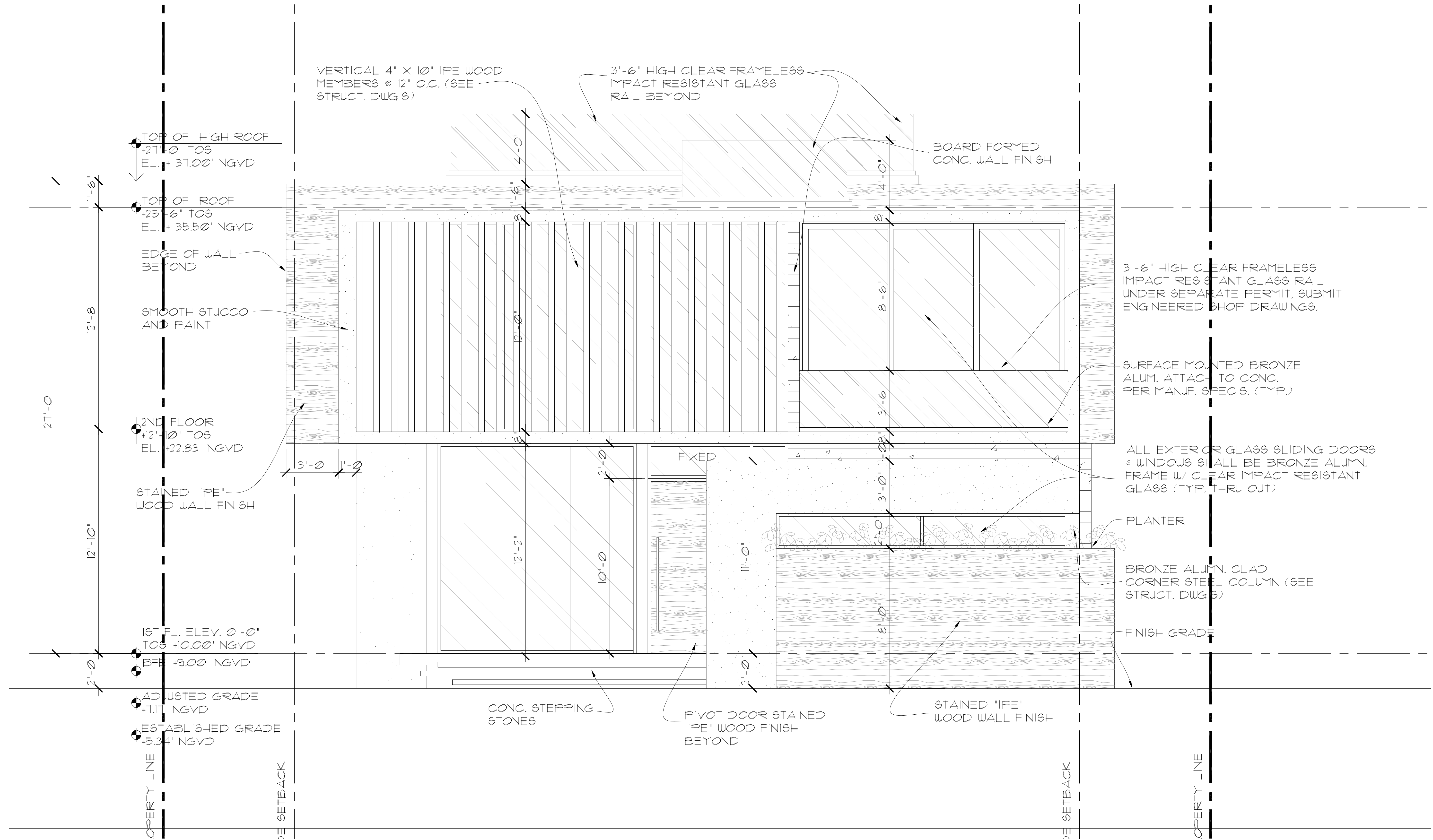
date:  
09/30/2016

revised:

sheet no.

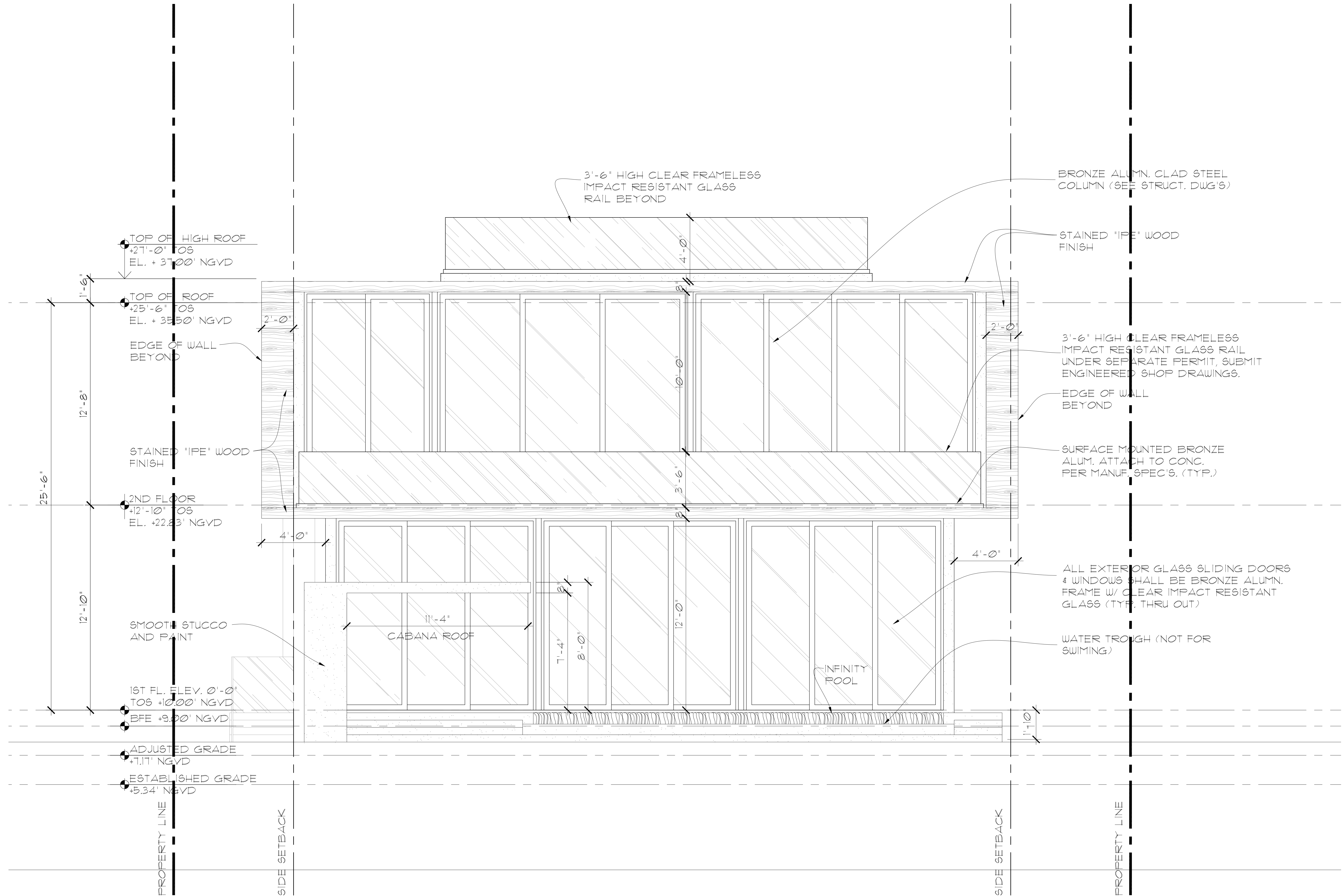
**A-1.3**





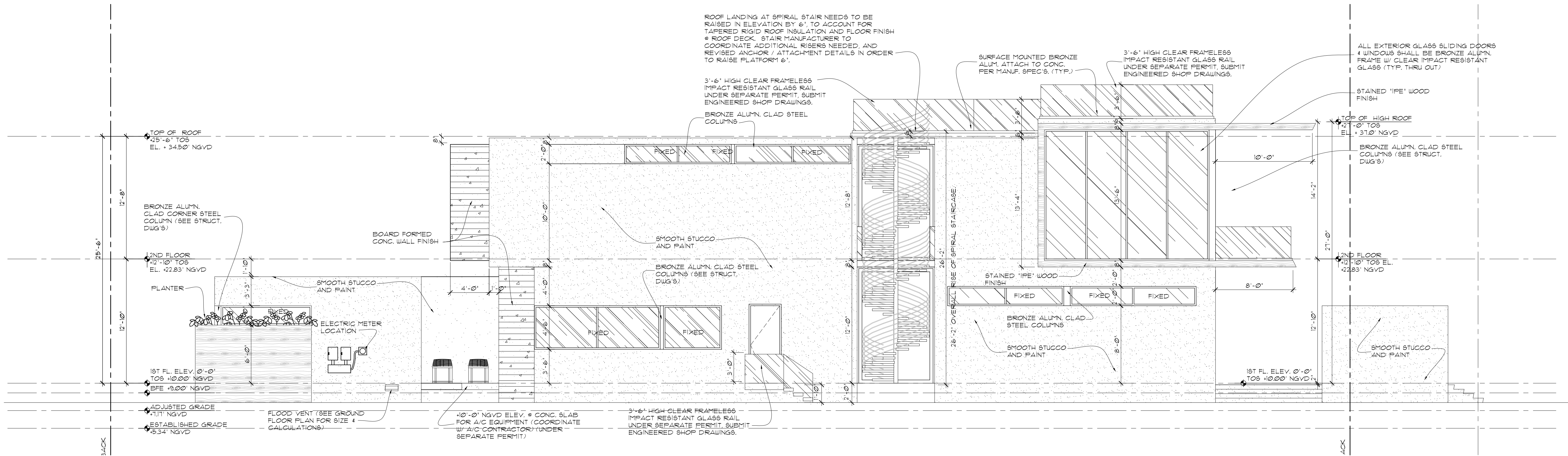
FRONT ELEVATION (EAST)  
SCALE: 3/8"=1'-0"





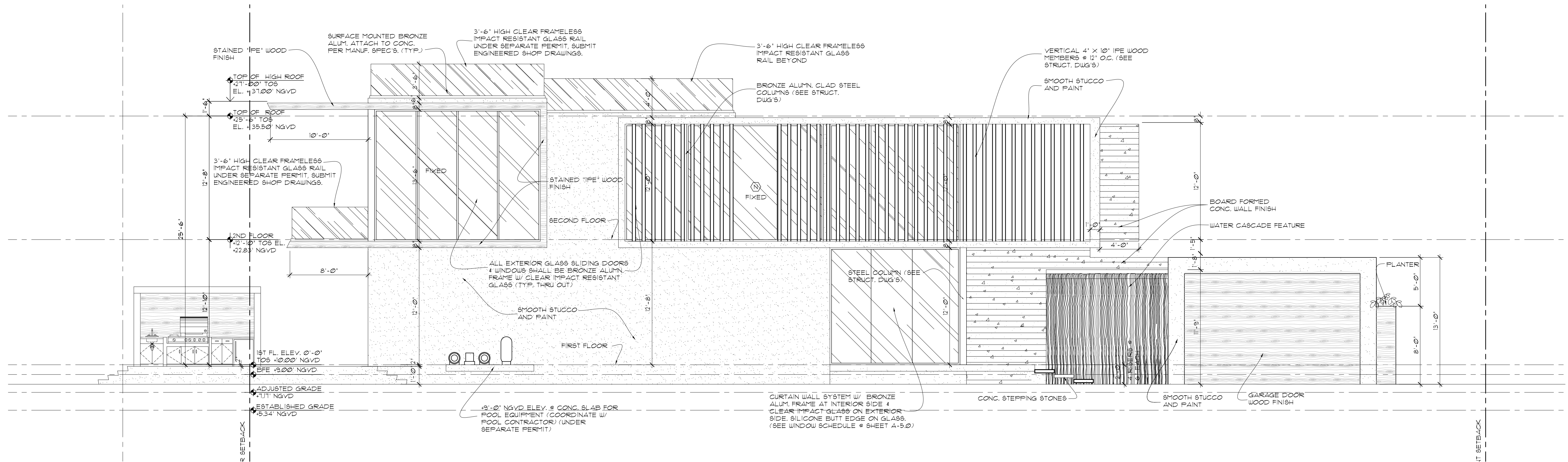
REAR ELEVATION (WEST)  
SCALE: 3/8"=1'-0"





RIGHT SIDE ELEVATION (NORTH)  
SCALE: 3/16"=1'-0"





LEFT SIDE ELEVATION (SOUTH)

SCALE: 3/16"=1'-0"

REYNOLDS RESIDENCE  
40 W. SAN MARINO DR.  
MIAMI BEACH, FL 33139

seal

Ralph Choieff  
registered architect  
AR0009679

comm no.  
1639

date:  
09/30/2016

revised:

sheet no.  
A-3.4