REQUEST FOR DRB APPROVAL FOR: SAN MARINO ISLAND RESIDENCE

40 W. SAN MARINO DRIVE



DRB FINAL SUBMITTAL OCTOBER 14, 2016

MIAMI BEACH, FLORIDA

CLIENT 40 W. SAN MARINO DRIVE MIAMI BEACH, FL, 33139

ARCHITECT

CHOEFF LEVY FISCHMAN 8425 BISCAYNE BLVD. STE 201 MIAMI, FL 33138 (305) 434-8338

LANDSCAPE

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC 780 NE 69TH ST. STE 1106 MIAMI, FL 33138 (305) 979-1585

	SCOPE OF WORK
	QUEST FOR DRB APPROVAL FOR THE PROPERTY OCATED AT 40 W. SAN MARINO DR. MIAMI BEACH, FL.
JД	
	REQUEST FOR WAIVER TO EXCEED THE 70% SECOND TO FIRST FLOOR RATIO
-	REQUEST TO WAIVE THE 24'-0" HEIGHT REQUIREMENT, HEIGHT REQUESTED AT 27'-0",

3. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS FOR THE OPEN-SPACE COURTYARD

A 8425

DS RESIDENCE

REYNOI

40 DR 33139

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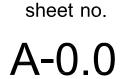
Ralph Choeff registered architect AR0009679

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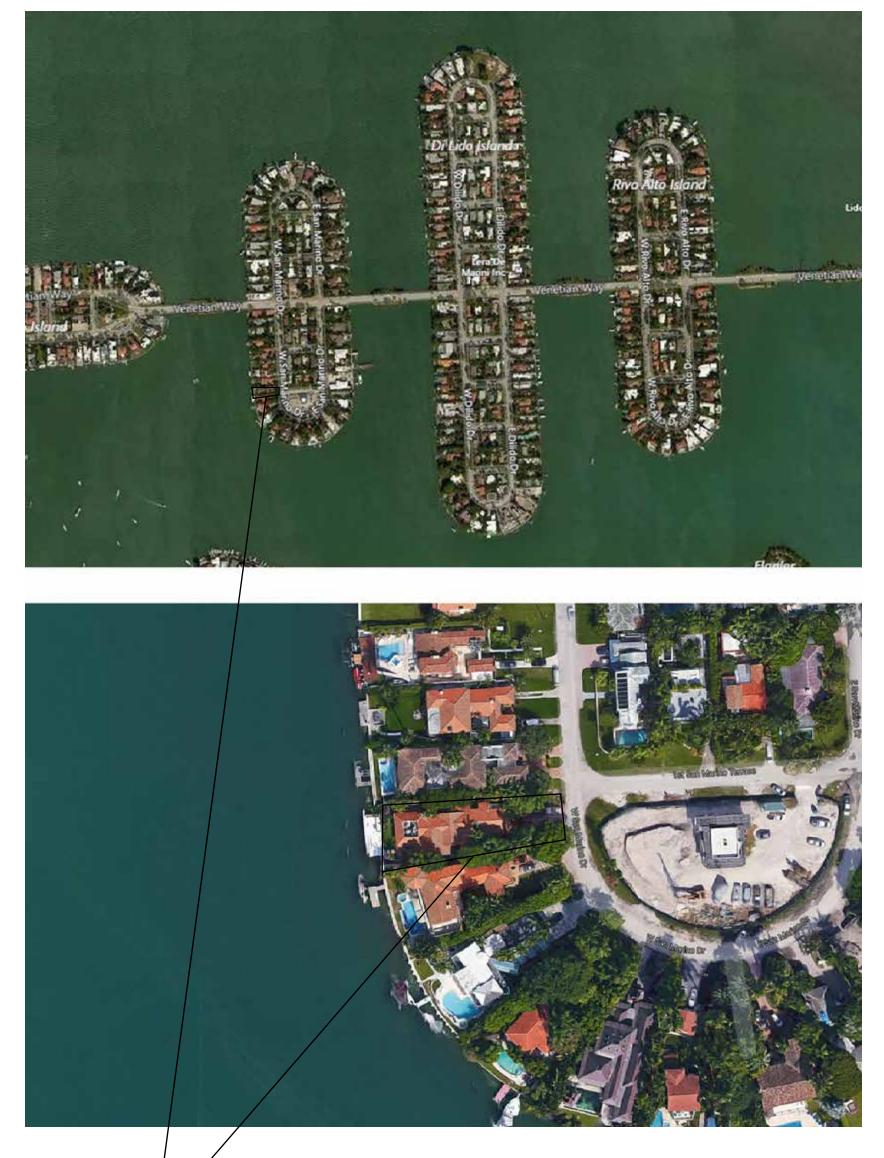
date: 09/30/2016

revised:



REQUEST FOR DRB APPROVAL FOR: SAN MARINO ISLAND RESIDENCE

40 W. SAN MARINO DRIVE





40 W, SAN MARINO DR. MIAMI BEACH, FL, 33139

	OF DRAWINGS
A-0.0 A-0.1 A-0.3 A-0.4 A-0.5 A-0.5a	COVER SHEET / S INDEX OF DRAWIN SURVEY SITE PLAN CALCULATIONS (F CALCULATIONS (E

CONTEXT

C-1.1 C-1.2 C-1.3 C-2.1 C-2.2 C-2.3 C-2.4 C-3.1 C-3.2 C-4.1 C-4.2	FRONT RENDERING REAR RENDERING REAR RENDERING RENDERED ELEV, RENDERED ELEV, RENDERED ELEV, AXONOMETRIC DI MATERIAL BOARE CONTEXT PHOTOS CONTEXT ANALYS
C-4.1	CONTEXT PHOTOS
C-4,3 C-4,4	CONTEXT RENDER EXISTING MICROFI
C-4,5 C-5,1	EXISTING BUILDING PHOTOGRAPH DIF
C-5.2 C-5.3	EXISTING CONDITI CONT'D.
C-5,4 C-5,5	CONT'D. CONT'D.
C-5.6	CONT'D.

ARCHITECTURAL

GROUND FLOOR F
SECOND FLOOR F
ROOF PLAN
FRONT ELEVATION
REAR ELEVATION
SIDE ELEVATION
SIDE ELEVATION

LANDSCAPE

L-Ø LANDSCAPE C	\sim
L-1 EXISTING TREE	S
L-2 LANDSCAPE P	LZ
L-3 LANDSCAPE N	O^{\dagger}

DRB FINAL SUBMITTAL OCTOBER 14, 2016

MIAMI BEACH, FLORIDA

SCOPE OF WORK JINGS / LOCATION MAP

(PROPOSED) (EXISTING RESIDENCE)

/ATION (FRONT) ATION (REAR) ATION (SIDE) ATION (SIDE) AGRAMS RING & MASSING STUDIES =ilm NG CARD IRECTORY TIONS PHOTOGRAPHY

PLAN PLAN

VER PAGE & SHEET INDEX SURVEY & DISPOSITION CHART AN DTES & DETAILS

M A N S I G N (†) 305.434.8338 (f) 305.892.5292 CHM S 5 ß ____ U CHOEFF U A R 8425 Bis

OLDS RESIDENCE W. SAN MARINO DR. MI BFACH FI 33130 REYNOI 40 V MIAN

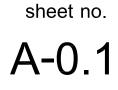
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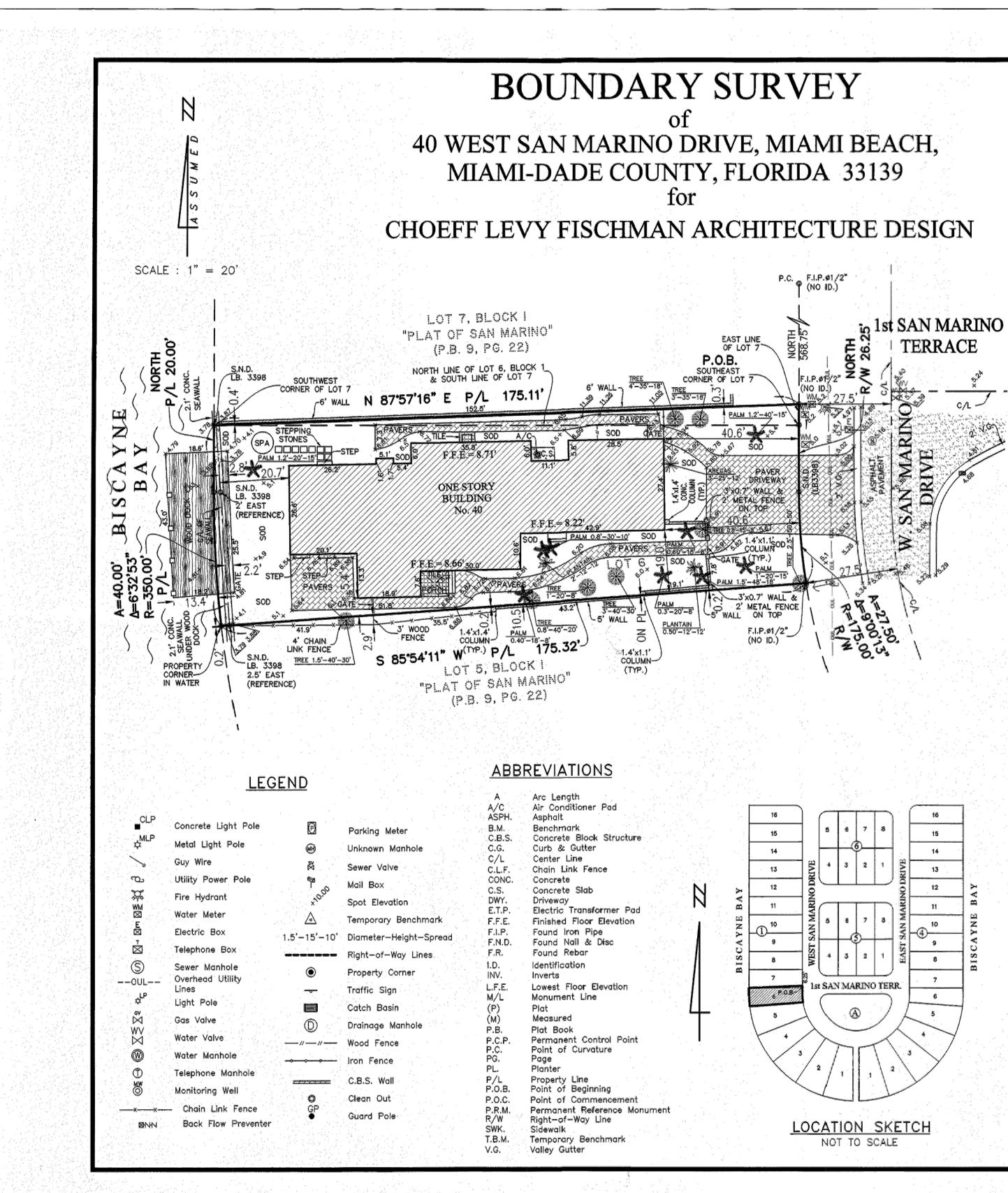
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SURVEYOR'S NOTES:

1. Field Survey was completed on: September 29th,

2. LEGAL DESCRIPTION:

Lot 6, Block 1, of "PLAT OF SAN MARINO", as record Public Records of Miami—Dade County, Florida; TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:

Begin at the Southeast corner of Lot 7, Block 1, PLA Plat Book 9, Page 22, of the Public Records of Miam along the South Line of said Lot 7 for 175 feet to Easterly 175.11 feet to the East line of said Lot 7, s Southeast corner of said Lot 7; thence Southerly alo 6.25 feet to the Point of Beginning. Containing 9,953 Square feet or 0.23 Acres, more a

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and bearings refer to an assumed value Subject Property, Miami-Dade County Florida. Said I monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in 9 Feet, as per Federal Emergency Management Agence 120651, Map No. 12086C0316, Suffix L, Firm Index Do Effective/Revised Date: 09-11-2009. An accurate Zone determination should be made by Emergency Management Agency, or the Local Government such matters prior to any judgments being made fro Federal Emergency Management Agency Map states for insurance purposes only".

The vertical control element of this survey was derived fro 1929.

Benchmarks used: -Miami-Dade County Benchmark D-172 Elev.=7.79' (N.G.V. Marino Island -Miami-Dade County Benchmark D-173 Elev.=7.60' (N.G.V.

Marino Island 4. ACCURACY:

The accuracy obtained by measurement and calculat found to exceed this requirement.

5. LIMITATIONS:

The above Legal Description provided by client. Since no other information other than what is cited in the is hereby advised that there may be legal restrictions on on the Survey Map or contained within this Report that m Miami-Dade County, or the records of any other public an appear. The Surveyor makes no representation as to owner by any entity or individual who may appear in public record made as to how the Subject Property is served by utilities than those shown. No underground foundations, improveme hereon.

This notice is required by the "Standards of Practice for I pursuant to Rule 5J-17 of the Florida Administrative Code

Notice is hereby given that Sunshine State One Call of Flo 1-800-432-4770 at least 48 hours in advance of any co activity within, upon, abutting or adjacent to the Subject compliance with the "Underground Facility Damage Preventi 556.101—111 of the Florida Statutes. CERTIFY TO:

-SRR PROPERTY HOLDINGS LLC

-SCOTT R REYNOLDS -LAW OFFICES OF JONATHAN K. CLARK

-FIDELITY NATIONAL TITLE INSURANCE COMPANY -GIBRALTAR PRIVATE BANK

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the and correct to the best of my knowledge and belief direction. Further, there are no above ground encroace meets the Standards of Practice set forth by the Flo and Mappers, in Chapter 5J-17, Florida Administrativ Florida Statutes. Examination of the abstract of title recorded instruments, if any, affecting the property. adjacent to the property were not secured as such Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC. Florida Certificate of Authorization No. LB 3398

-19m

ORIA JANNET SUAREZ

PROFESSIONAL SURVEYOR AND MAPPER No. 6781 STATE OF FLORIDA

Not valid without the signature and the original raise and Mapper. Additions or deletions to survey maps o party or parties is prohibited without written consent

SURVET	PLAN
SCALE: NTS	

Dade County, Florida, thence West Southwest corner of said Lot 7; I point being 6.25 feet North of the the East line of said Lot 7 for ss, by calculation. NORTH, along the East line of the is considered well-established and od Zone AE, Base Flood Zone Elev.= (FEMA) Community-Panel Number 09-11-2009, Firm Panel preparer of the map, the Federal th Agency having jurisdiction over the Zone as noted. The referenced he notes to user that "this map is the National Geodetic Vertical Datum, Location: Venetian Causeway & San Location: Venetian Causeway & San of closed geometric figures was	16. I in Plat Book 9, Page 22, of the	
preparer of the map, the Federal Int Agency having jurisdiction over the Zone as noted. The referenced the notes to user that "this map is the National Geodetic Vertical Datum, Location: Venetian Causeway & San Location: Venetian Causeway & San of closed geometric figures was	OF SAN MARINO, as recorded in -Dade County, Florida, thence West	S H S
	of Closed geometric figures was	RVEY E, MIAMI BEACH, LORIDA 33139 ITTECTURE DESIGN
	above described property is true recently surveyed under my nents unless shown. This survey a Board of Professional Surveyors ode, pursuant to section 472.027 I have to be made to determine ation and identification of utilities rmation was not requested.	
recently surveyed under my ents unless shown. This survey a Board of Professional Surveyors ode, pursuant to section 472.027 I have to be made to determine ation and identification of utilities		Project: 14-0186 Job: 16-0277 Date: 09-29-2016 Drawn: G.P., J.S., T.P., A.A.P., C.B. Checked: J.B. Scale: AS SHOWN
recently surveyed under my nents unless shown. This survey a Board of Professional Surveyors ode, pursuant to section 472.027 I have to be made to determine ation and identification of utilities rmation was not requested. Project: 14-0186 Job: 16-0277 Date: 09-29-2016 Drawn: G.P., J.S., T.P., Checked: J.B. Scale: AS SHOWN	seal of a Florida Licensed Surveyor eports by other than the signing f the signing party or parties.	Field Book: ON FILE SHEET 1 OF 1

(t) 305 434 8338				suite 201	Biscayne Blvd, suite 201	8425 E
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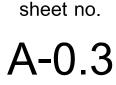
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CITY OF MIAMI BEACH PUBLIC WORKS NOTE:

RECONSTRUCT THE SWALE/SOD ALONG THE ENTIRE FRONTAGE OF THE PROPERTY

MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN THE ENTIRE WIDTH OF DILIDO DR. ALONG AND ADJACENT TO THE PROPERTY.

LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CMB PLANNING DEPARTMENT AND PARKS (GREEN MANAGEMENT) DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.

ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND/OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

TERMITE PROTECTION NOTE

USED,

TERMITE PROTECTION SHALL BE PROVIDE BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL POST A WEATHER REGISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OF APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED PERCENT CONCENTRATION & NUMBER OF GALLONS

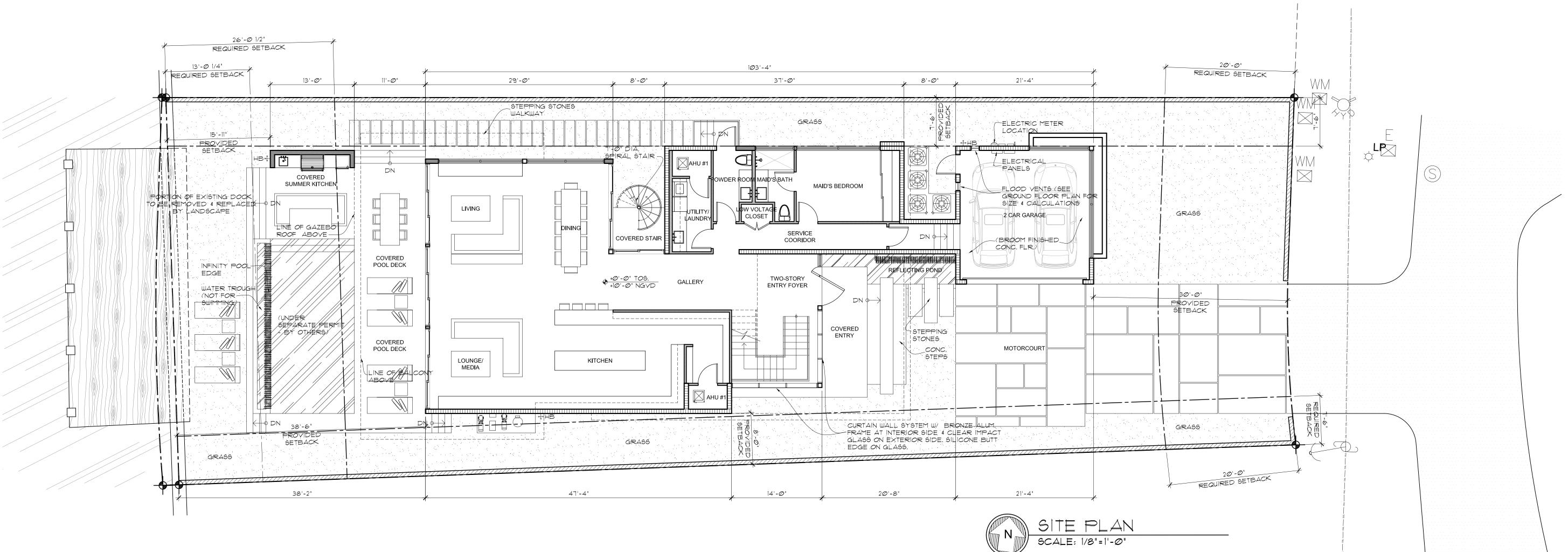
FLOOD VENT CALCULATIONS TOTAL GARAGE AREA = 400 SQ. FT.

ENGINEERED FLOOD VENTS @ BLOCK WALL "SMART VENTS" = 200 SQ. INCHES EA.

CALCULATIONS ARE BASED ON "SMART VENT" MODEL 1540-510, CERTIFICATION: FL#5822,1-R2

1346,

ITEM #	New Construction Floodplain Management Data	
1	Flood Zone:	AE +9
2	FIRM Map Number	12086C0316L
3	Base Flood Elevation (BFE):	9.00' NGVD
4	Proposed Flood Design Elevation:	10.00' NGVD
5	Crown of Road Elevation:	5.36' NGVD
6	Classification of Structure:	Category II
7	Building Use:	Single-Family Residence, Garage, & Cabana
8	Lowest Elev. of Equip	10.00' NGVD
9	Lowest Adjacent Grade	6.00' NGVD
10	Highest Adjacent Grade	6.50' NGVD



FLOOD VENT REQUIRED = 400 SQ. INCHES

200 SQ, IN, $\times 2$ VENTS = 400 SQ, INCHES

SWIMMING POOL SAFETY BARRIER NOTE OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A SAFETY BARRIER COMPLYING WITH FBC 2014, R4101.17 OR A POOL COVER COMPLYING WITH ASTM F

FLOOD ELEVATION NOTE:

ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD) - ALL CONSTRUCTION & FINISH MATERIALS BELOW BASE FLOOD ELEVATION ARE TO BE FLOOD RESISTANT,

ELEVATION NOTE:

ALL ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929), UNLESS OTHERWISE INDICATED ON DRAWINGS.

SURVEYOR NOTE

CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2014 RESIDENTIAL -ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2014 RESIDENTIAL.

DRAINAGE NOTE

DRAINAGE PLAN.

SLOPE GRADE AWAY FROM NEW CONSTRUCTION.

A / C SPACE NOTE:

ZONING CALCULATIONS, FOR AIR CALCULATIONS, PLEASE SEE MECH. DWGS.

						17
ITEM #	Zoning Information					18
1	Address:		Miami Beach, FL 33139			19
			T OF SAN MARINO", as recorde Florida; Begin at the Southeast			20
		recorded in Plat Book	9, Page 22, of the Public Recor	ds of Miami-Dade County, Flor	ida, thence West along the	21
			7 for 175 feet to the Southwes at being 6.25 feet North of the S			22
			for 6.25 feet to the Point of Beg			23
2	Folio number(s):	02-3232-003-0060				
3	Board and file numbers :	DRB #TBD				24
4	Year built:	1936	Zoning District:		RS-3	
5	Based Flood Elevation:	9.00' NGVD	Grade value in NGVD:		5.34' NGVD	25
6	Adjusted grade (Flood+Grade/2):	7.17' NGVD	Free board:		10.00' NGVD	26
7	Lot Area:	9,824 SF				
8	Lot width:	56.88' (AVG.)	Lot Depth:		175.21' (AVG.)	27
9	Max Lot Coverage SF and %:	2,947 SF (30%)	Proposed Lot Coverage S	Fand %:	2,752 SF (28.0%)	28
10	Existing Lot Coverage SF and %:	3,579 SF (36.4%)	Lot coverage deducted (garage-storage) SF:	455 SF	29
11	Front Yard Open Space SF and %:	682 SF (63%)	Rear Yard Open Space SF	and %:	1087 SF (71.3%)	Not
12	Max Unit Size SF and %:	4,912 SF (50%)	Proposed Unit Size SF an	d %:	4,981 SF (50%)	If no
13	Existing First Floor Unit Size:	3,579 SF	Proposed First Floor Unit	Size:	2,547 SF	
			Proposed First Floor Unit	Size (Volumetric):	3,002 SF	
14				olumetric Unit Size SF and % the first floor of the main wal)	2,577 SF (85.8%)	
15			Proposed Second Floor L	Init Size:	2,434 SF	
16				a SF and % (Note: Maximum oor area immediately below):	644 SF (25%)	



ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY. SEE CIVIL FOR

ALL AREA CALCULATIONS PROVIDED ON THIS SHEET ARE FOR CITY OF MIAMI BEACH CONDITIONED SPACE USED FOR MECHANICAL

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"		27'-0"	
18	Setbacks:				
19	Front First level:	20'-0"		30'-0"	
20	Front Second level:	30'-0"		58'-10"	
21	Side 1:	7'-6"		8'-0"	
22	Side 2 or (facing street):	7'-6"		7'-6"	
23	Rear:	26' - 1/2"		38'-6"	
	Accessory Structure Side 1:	7'-6"		7'-6"	
24	Accessory Structure Side 2 or (facing street) :	N/A		N/A	
25	Accessory Structure Rear:	13' - 1/4"		15'-11"	
26	Sum of Side yard :	20'-0"			
27	Located within a Local Historic District?			Yes or no	
28	Designated as an individual Historic Single Family Residence Site?			Yes or no	
29	Determined to be Architecturally Significant?			Yes or no	
Notes:					
lf not a	applicable write N/A				

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RESIDENCE MARINO DR. CH, FL 33139 LDS V. SAN P MI BEAC > 5 REYNOI 40 W MIAN

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Ralph Choeff registered architect AR0009679

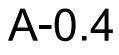
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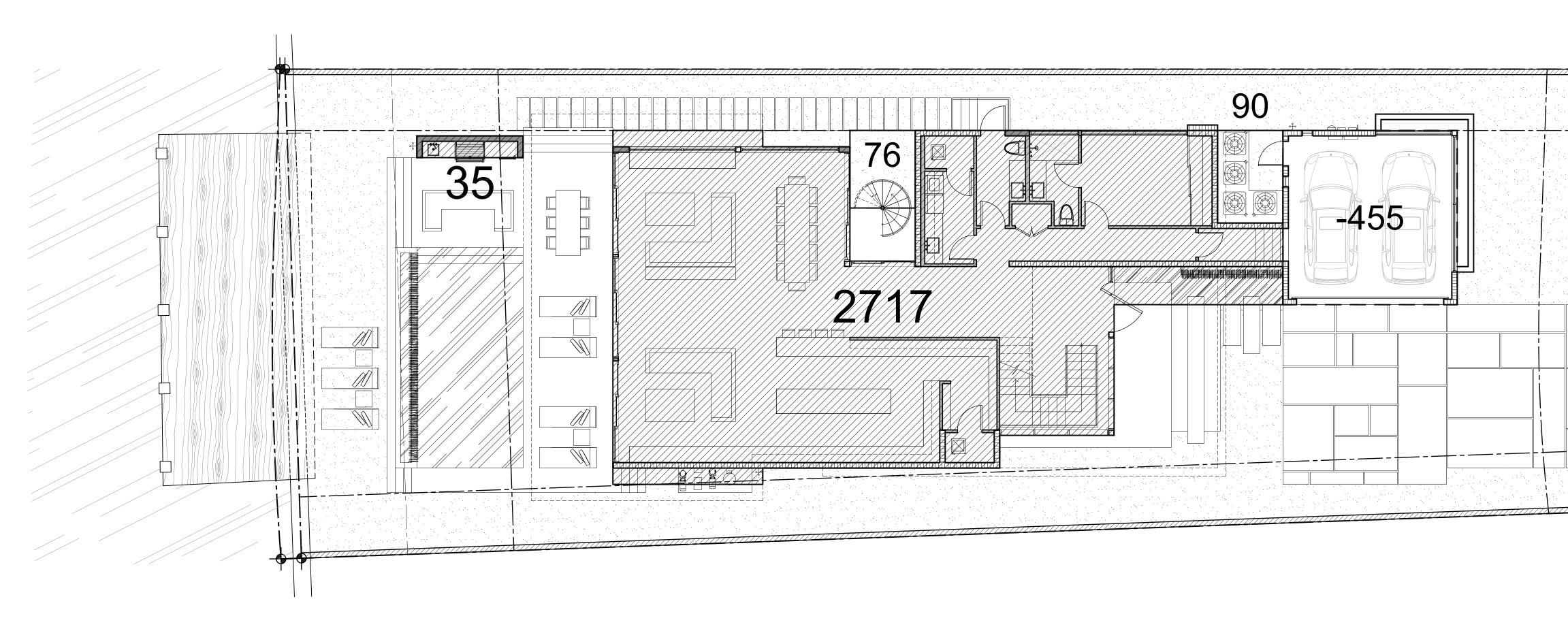
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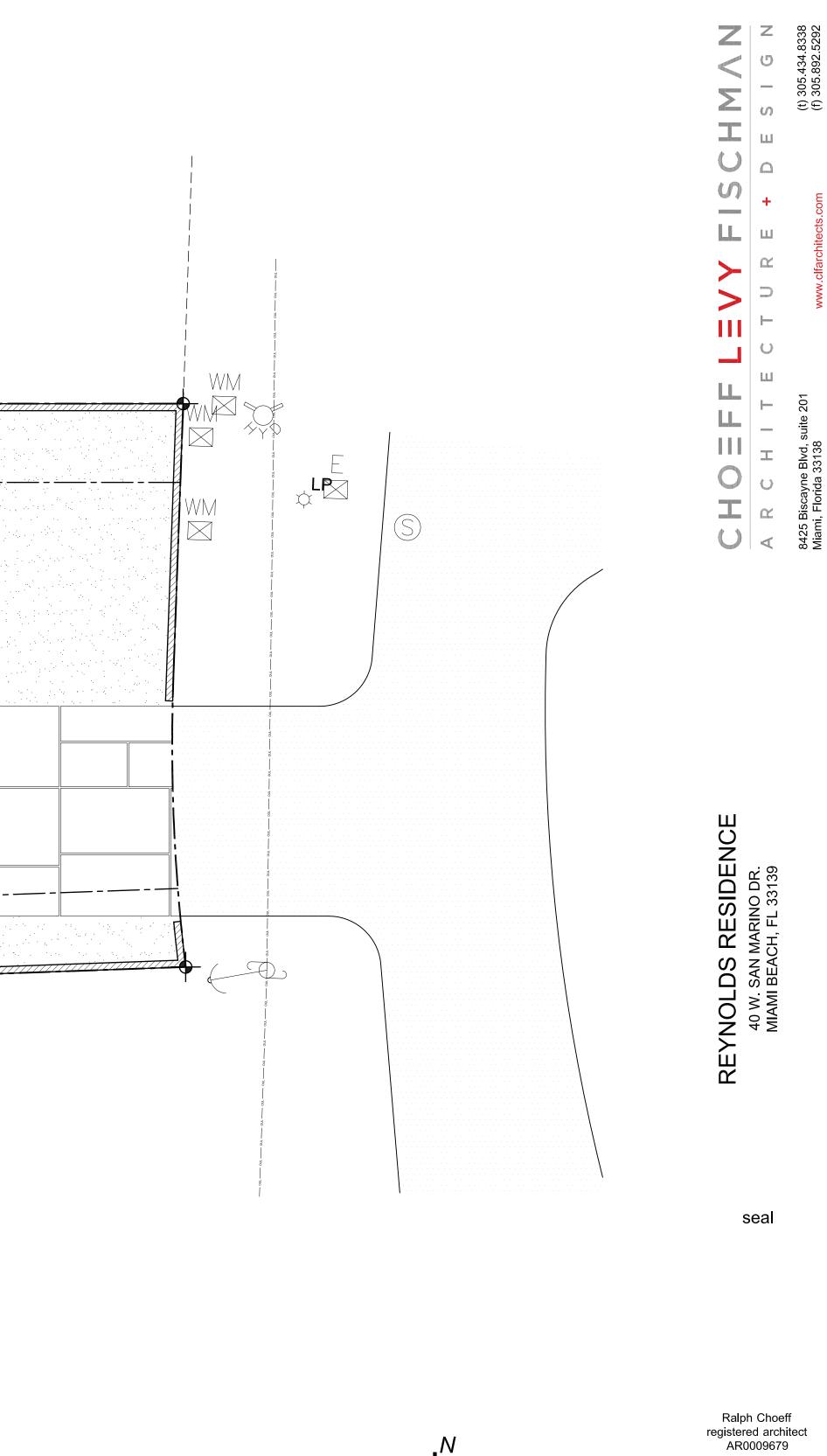
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BUILDING DATA			SITE DATA		
MAIN HOUSE:			EXISTING LOT SIZE:	ç	9,823 S. F.
FIRST FLOOR (AC)		2,547 S. F.			(100%)
SECOND FLOOR (AC)		2,434 S. F.	BLDG, LOT COVERAGE:		
TOTAL (AC):		4,981 S. F.	MAIN HOUSE		2,717 S. F.
TOTAL (AC)		4,301 5. F.	CABANA		35 S. F.
GARAGE (NON A/C)(455-500)		Ø S. F.			
CABANA		Ø S. F.	TOTAL BLDG, LOT COVERAGE:	2,7	52 SQ. FT.
BALCONIES & OVERHANGS		Ø S. F.			(28,0%)
TOTAL (NON AC):		ØS.F.	FRONT SETBACK CALCULATIONS		
TOTAL UNIT SIZE (AC + NON AC):	4,9	881 SQ. FT. (50%)	AREA:	1,082 S. F.	100%
_FLOOR RATIO PERCEN	NTAGE		IMPERVIOUS AREA:	400 S.F.	
MAIN HOUSE:			LANDSCAPE AREA:	682 S.F.	63.0%
TOTAL FIRST FLOOR (VOLUME	TRIC)	3 <i>,00</i> 2 S. F.			
TOTAL SECOND FLOOR (VOLUT	1ETRIC)	2,577 S. F.	REAR SETBACK CALCULATIONS		
TOTAL:		■ 85,8%	REAR SETBACK CAECULATIONS		
			AREA:	1,527 S. F.	100%
ROOF DECK CALCULA	TIONS		IMPERVIOUS AREA:	439 S. F.	
TOTAL SECOND FLOOR AREA	2,577 S. F.	100%			7120
			LANDSCAPE AREA:	1088 S. F.	71,3%
TOTAL ROOF AREA	644 S.F.	3 <i>0.0</i> %			

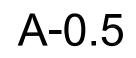


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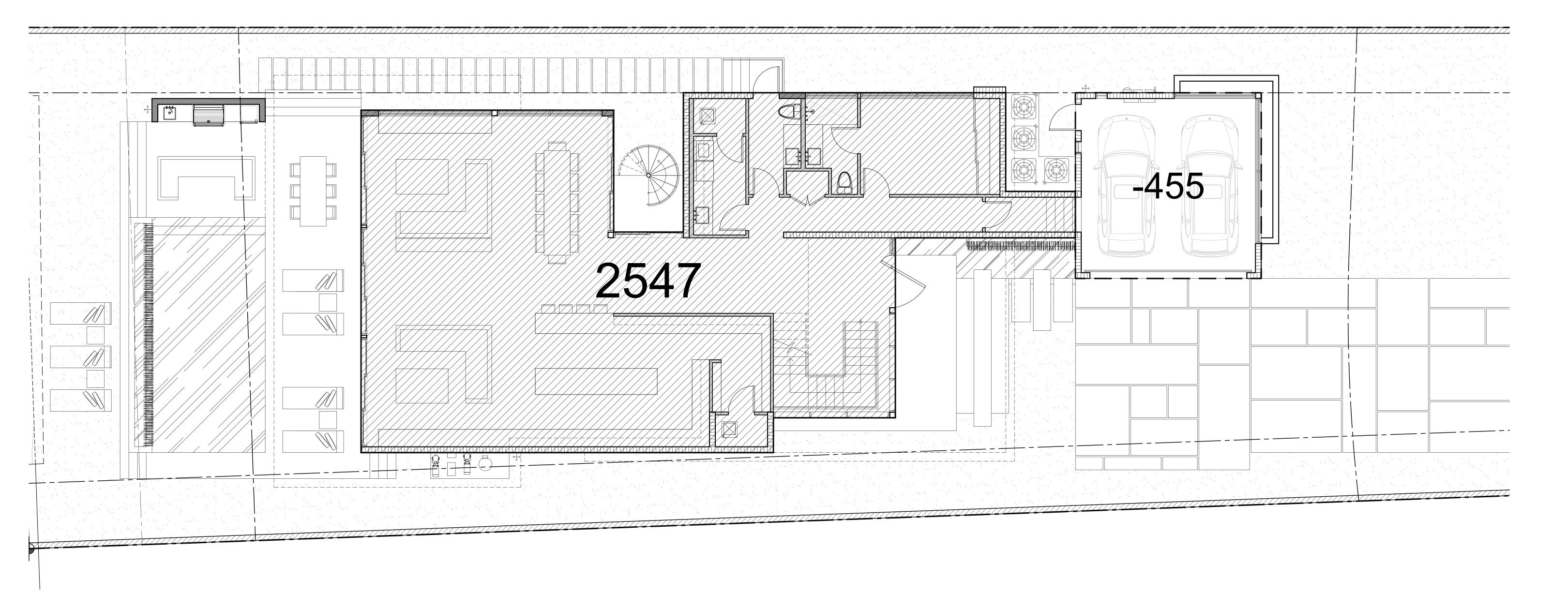
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1 PROPOSED LOT COVERAGE A-05 SCALE 1/8' = 1'-0'





BUILDING DATA			SITE DATA		
MAIN HOUSE:			EXISTING LOT SIZE:		9,823 S.F.
FIRST FLOOR (AC)		2,547 S. F.			(100%)
SECOND FLOOR (AC)		2,434 S. F.	BLDG, LOT COVERAGE:		
TOTAL (AC):		4,981 S. F.	MAIN HOUSE CABANA		2,717 S. F. 35 S. F.
GARAGE (NON A/C)(455-500)		Ø S, F,			
CABANA		Ø S. F.	TOTAL BLDG, LOT COVERAGE:	2	,752 SQ, FT,
BALCONIES & OVERHANGS		Ø S. F.			(28 <i>.</i> Ø%)
TOTAL (NON AC):		Ø S.F.	FRONT SETBACK CALCULATIONS		
TOTAL UNIT SIZE (AC + NON AC):	4,	- ,981 SQ. FT. (50%)	AREA:	1,082 S. F.	100%
FLOOR RATIO PERCEN	NTAGE		IMPERVIOUS AREA:	400 S.F.	
MAIN HOUSE:			LANDSCAPE AREA:	682 S.F.	63.0%
TOTAL FIRST FLOOR (VOLUME		3,002 S. F.			
TOTAL SECOND FLOOR (VOLUT	METRIC)	2,577 S. F.	REAR SETBACK CALCULATIONS		
TOTAL:		85.8%	AREA:	1,527 S, F,	100%
				1,0210.1.	
ROOF DECK CALCULA	TIONS		IMPERVIOUS AREA:	439 S. F.	
TOTAL SECOND FLOOR AREA	2,577 S.F.	100%	LANDSCAPE AREA:	1088 S. F.	71,3%



REYNOLDS RESIDENCE 40 W. SAN MARINO DR. MIAMI BEACH, FL 33139

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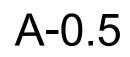
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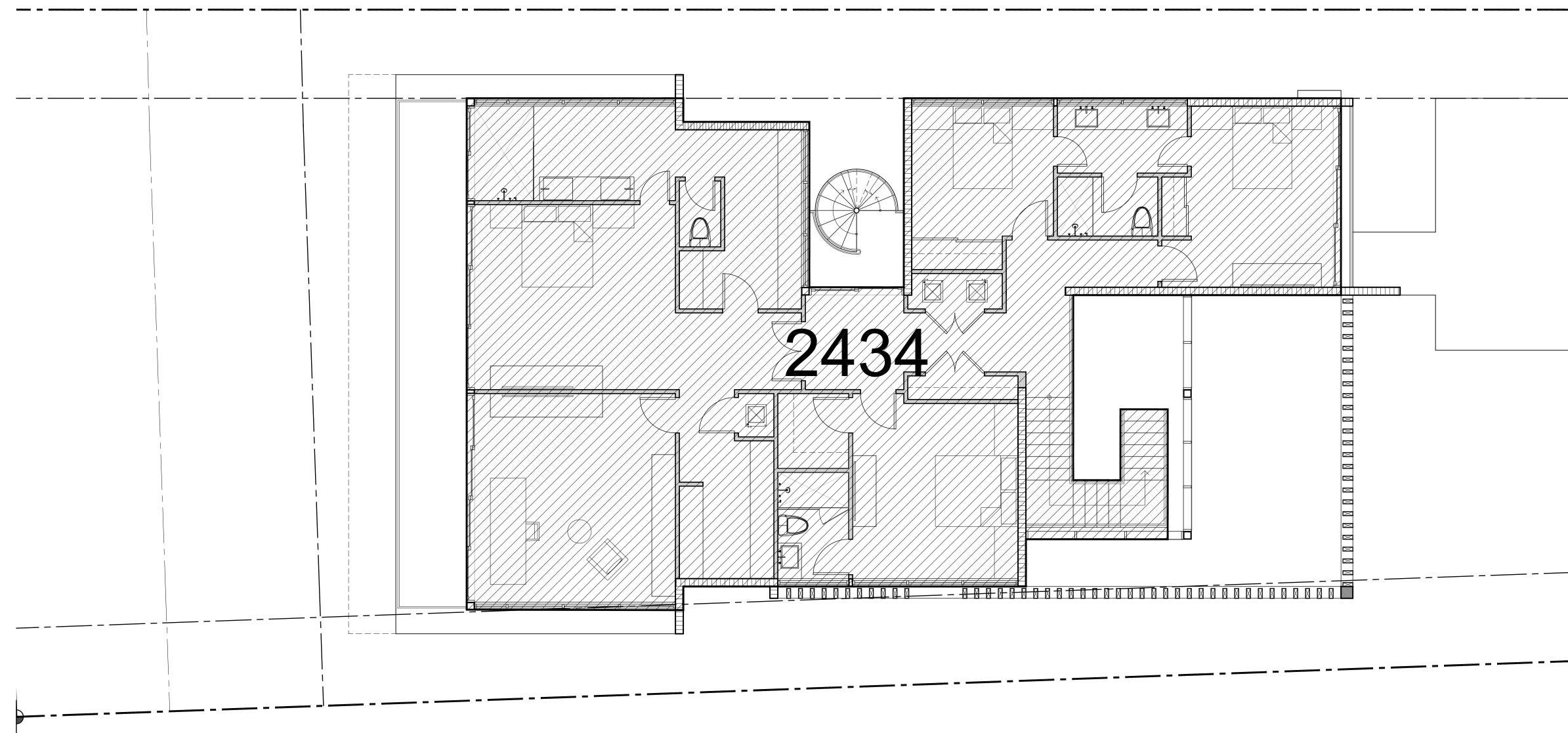
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PROPOSED 2 FIRST FLOOR UNIT SIZE A-05 SCALE 3/16' = 1'-0'





MAIN HOUSE:		EXISTING LOT SIZE:		9,823 S. F.
FIRST FLOOR (AC)	2,547 S. F.			(100%)
SECOND FLOOR (AC)	2,434 S. F.	BLDG, LOT COVERAGE:		
TOTAL (AC):	4,981 S. F.	MAIN HOUSE CABANA		2,717 S. F. 35 S. F.
GARAGE (NON A/C)(455-500) CABANA BALCONIES & OVERHANGS	Ø S. F. Ø S. F. Ø S. F.	TOTAL BLDG, LOT COVERAGE:	2,7	52 SQ. FT (28.Ø%)
TOTAL (NON AC):	Ø S.F.	FRONT SETBACK CALCULATIONS		
TOTAL UNIT SIZE (AC + NON AC):	4,981 SQ. FT. (50%)	AREA:	1,082 S.F.	100%
FLOOR RATIO PERCEN	NTAGE	IMPERVIOUS AREA:	400 S.F.	
MAIN HOUSE:		LANDSCAPE AREA:	682 S.F.	63.0%
TOTAL FIRST FLOOR (VOLUME TOTAL SECOND FLOOR (VOLUM	, ·			
IDIAL SECOND FLOOR (VOLU	IETRIC/ 2,9119, F.	REAR SETBACK CALCULATIONS		
TOTAL:	85.8%	AREA:	1,527 S. F.	100%
ROOF DECK CALCULA	TIONS	IMPERVIOUS AREA:	439 S. F.	
TOTAL SECOND FLOOR AREA	2,577 S.F. 100%	LANDSCAPE AREA:	1088 S. F.	71,3%
TOTAL ROOF AREA	644 S.F. 30,0%			

	FFLEVYFISCHMAN TECTURE+DESIGN (1) 305.832.5232 ite 201
	CHOEFF ARCHIT 8425 Biscayne Blvd, suite 201 Miami, Florida 33138
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PROPOSED 3 SECOND FLOOR UNIT SIZE A-05 SCALE 3/16' = 1'-0'



Ralph Choeff registered architect AR0009679

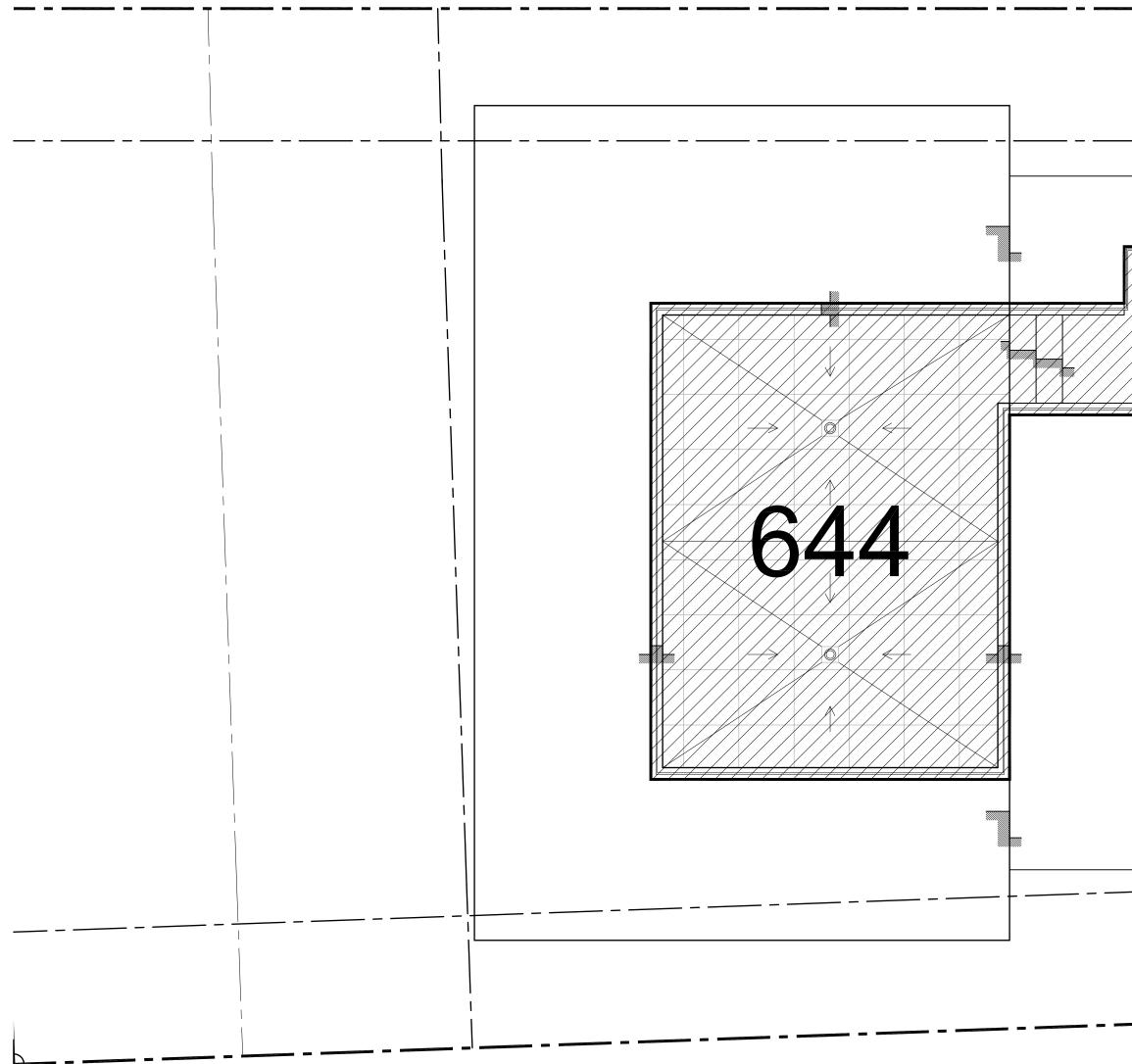
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GARAGE (NON A/C)(455-500) CABANA	ØS.F.	TOTAL BLDG, LOT COVERAGE:	2,75	52 SQ. FT. (28,0%)
BALCONIES & OVERHANGS	Ø S. F.		(28.	
TOTAL (NON AC):	ØS.F.	FRONT SETBACK CALCULATIONS		
TOTAL UNIT SIZE (AC + NON AC):	4,981 SQ. FT. (50%)	AREA:	1,082 S.F.	100%
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TOTAL FIRST FLOOR (VOLUME	· · · · · · · · · · · · · · · · · · ·			
	IMETRIC) 2,517 S. F.	REAR SETBACK CALCULATIONS		
TOTAL SECOND FLOOR (VOLU				
TOTAL SECOND FLOOR (VOLU	85.8%	AREA:	1,527 S. F.	100%
		AREA: Impervious Area:	1,527 S. F. 439 S. F.	100%
TOTAL SECOND FLOOR (VOLU TOTAL:			,	100%

 	C H M A N D E S I G N (f) 305.892.5292
	CHOEFFLEVYFIS A R C H I T E C T U R E + I A R C H I T E C T U R E + I 8425 Biscayne Blvd, suite 201 Miami, Florida 33138
	REYNOLDS RESIDENCE 40 W. SAN MARINO DR. MIAMI BEACH, FL 33139
	seal

PROPOSED A ROOF DECK AREA A-05 SCALE 3/16' = 1'-0'



Ralph Choeff registered architect AR0009679

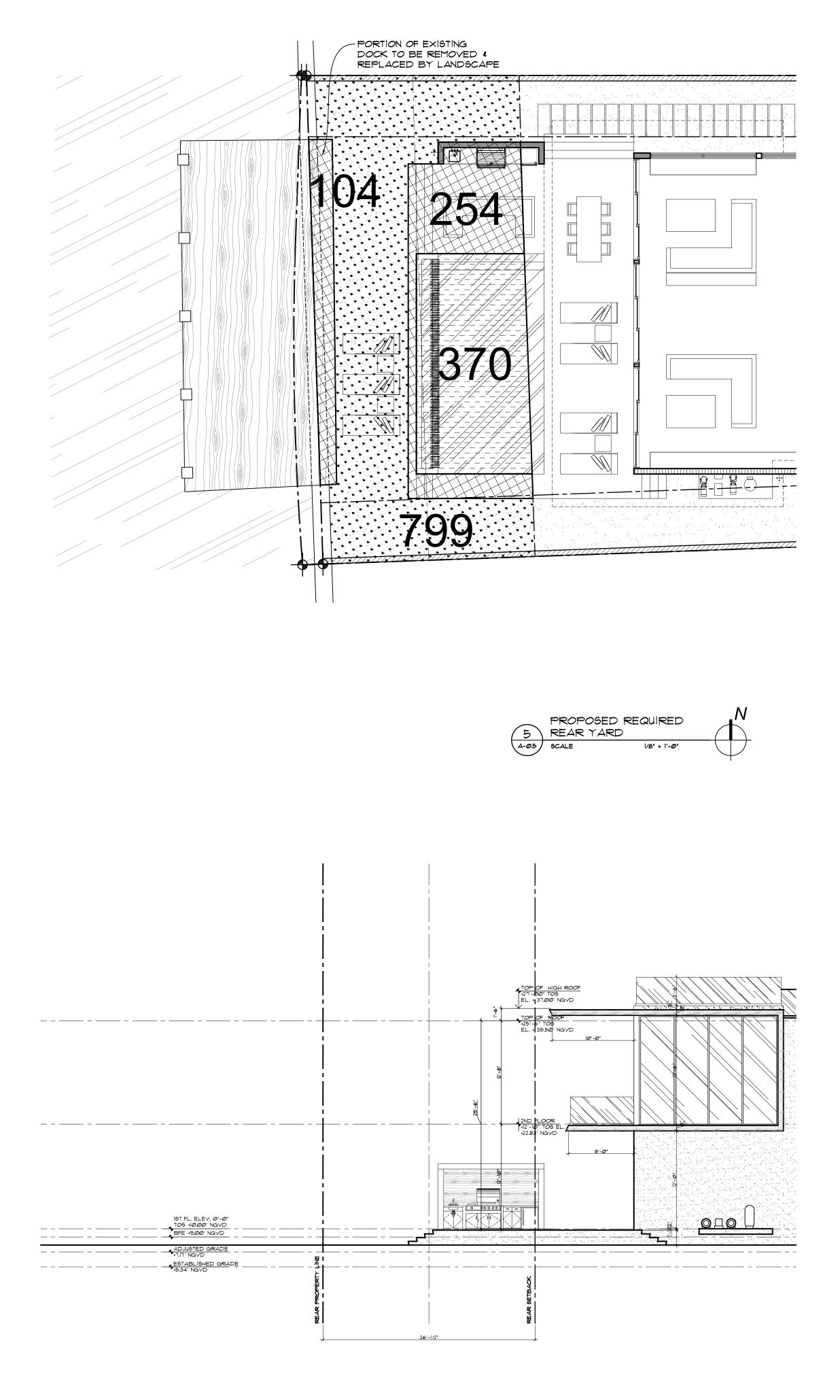
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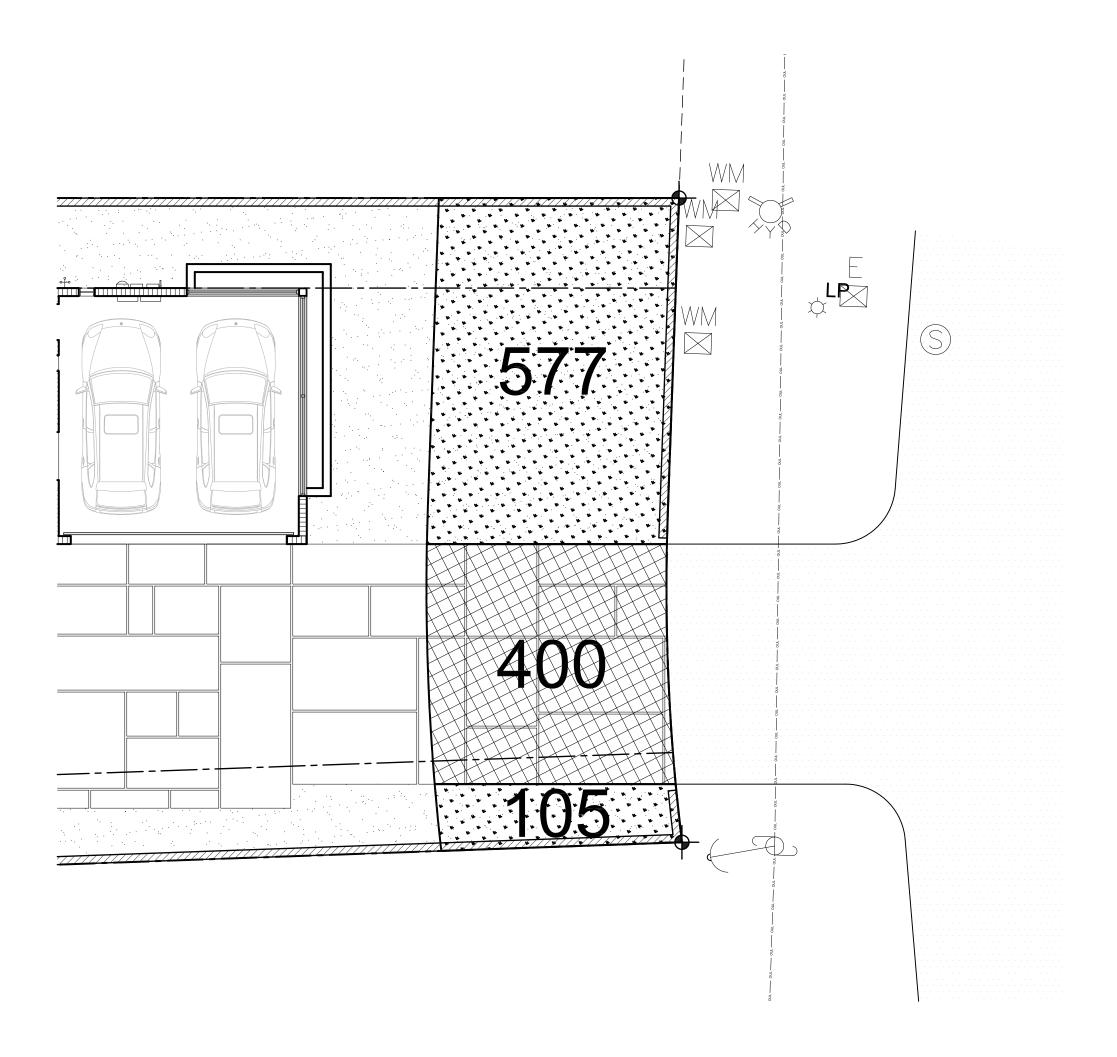
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revised:

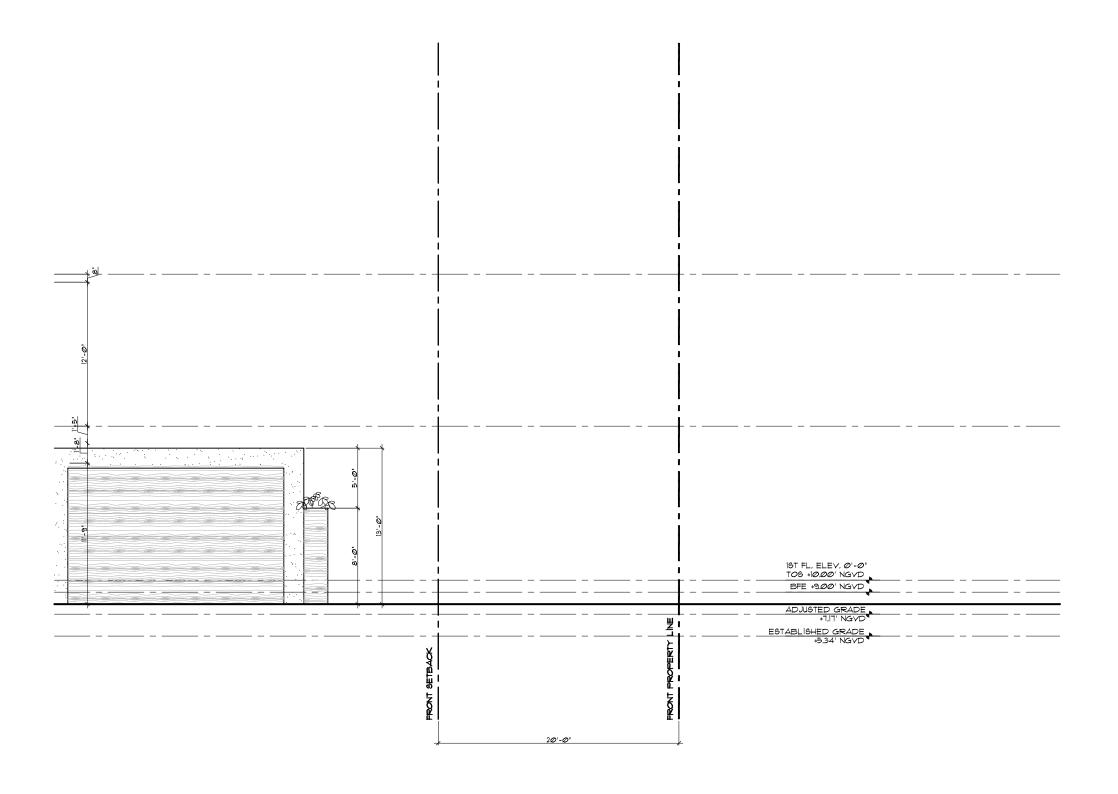
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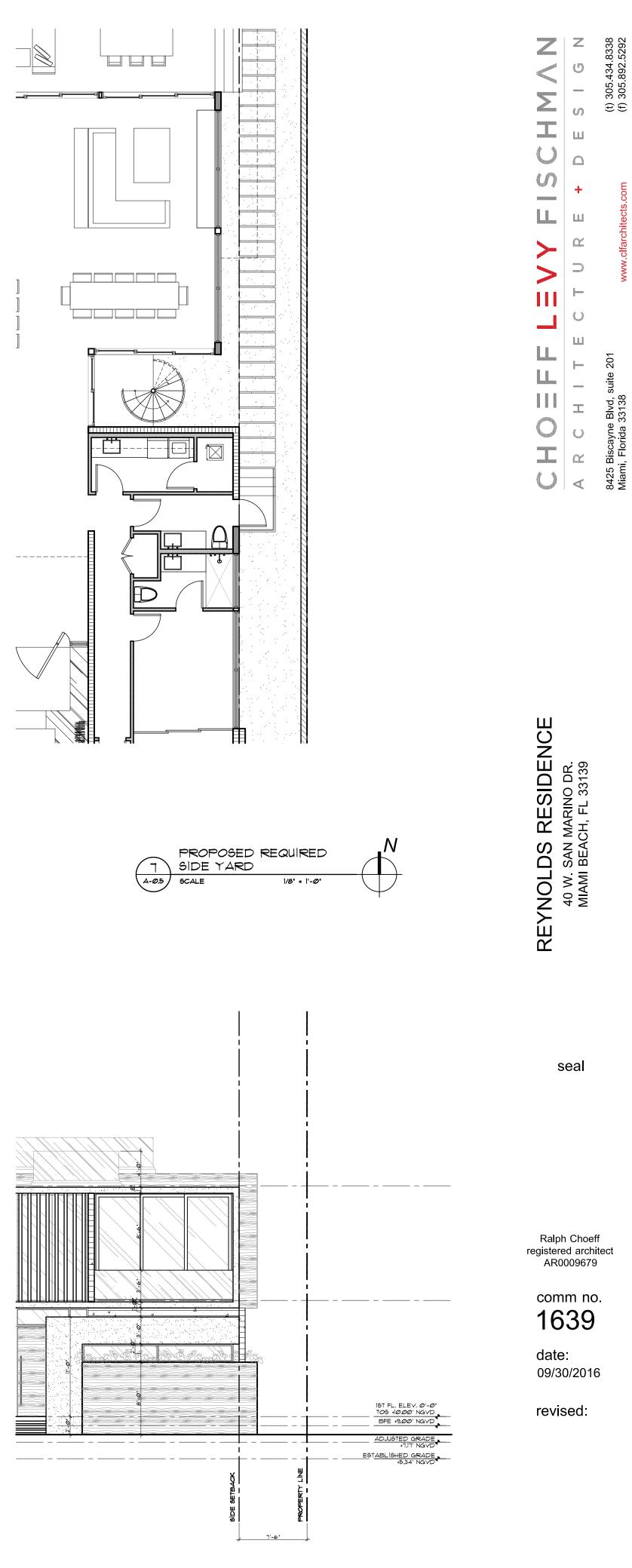












sheet no.

A-0.5



Front View

sheet no. C-1.1

CHOEFFLEVY FISCHMΛΝ A R C H I T E C T U R E + D E S I G N



Rear View

sheet no. C-1.2

CHOEFFLEVY FISCHMΛΝ A R C H I T E C T U R E + D E S I G N



Front Elevation (EAST) Scale: 3/16" = 1'-0"

> sheet no. C-2.1

CHOEFFLEVY FISCHMAN A R C H I T E C T U R E + D E S I G N



Rear Elevation (WEST) Scale: 3/16" = 1'-0"

CHOEFFLEVY FISCHMAN ARCHITECTURE + DESIGN



Side Elevation (SOUTH) Scale: 3/16" = 1'-0"





Side Elevation (NORTH) Scale: 3/16" = 1'-0"

CHOEFFLEVY FISCHMAN ARCHITECTURE + DESIGN



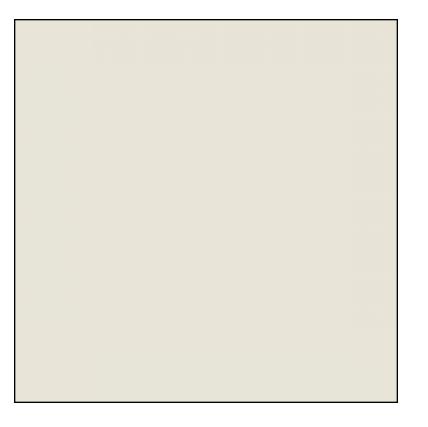


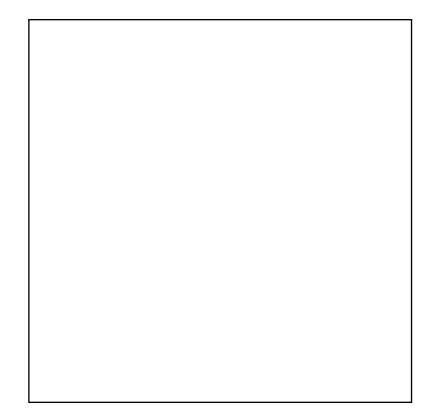




Axonometric Diagrams







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DESCRIPTIONSPECIFICATION1Exterior PaintBenjamin Moore China White2Glazing3Quartzite DeckingWhite Lotus Bush - Hammered Quartzite4Concrete FinishBoard Form Concrete5Ipe WoodFinished Ipe Decking - Natural Inc.6Mullion CoatingTiger Drylac Powder Coatings - Statuary Bronze

2







3

4







6

Material Board



Residence 1



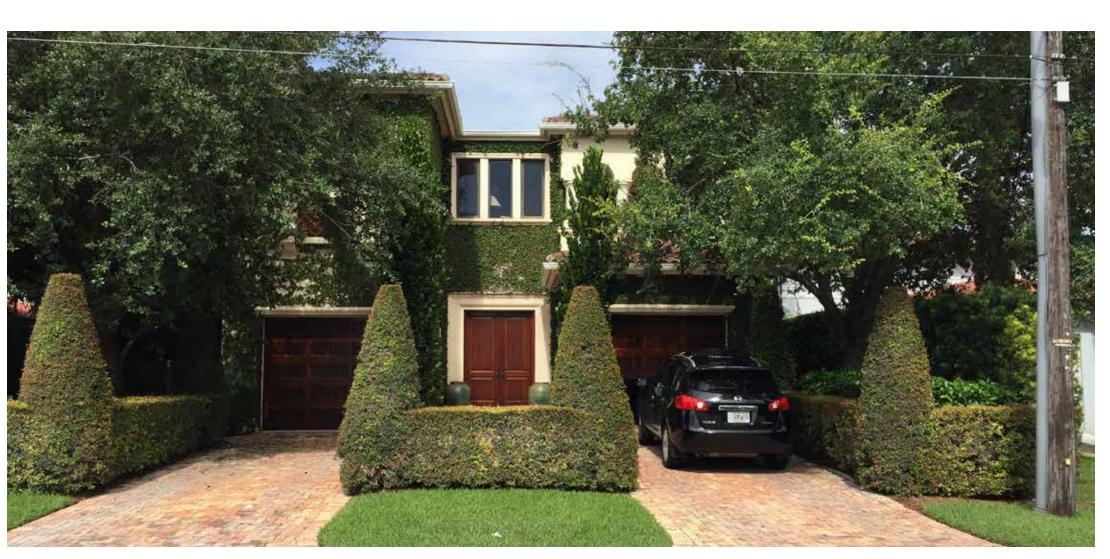
Residence 3



Residence 6



Aerial Photograph of Surrounding Properties

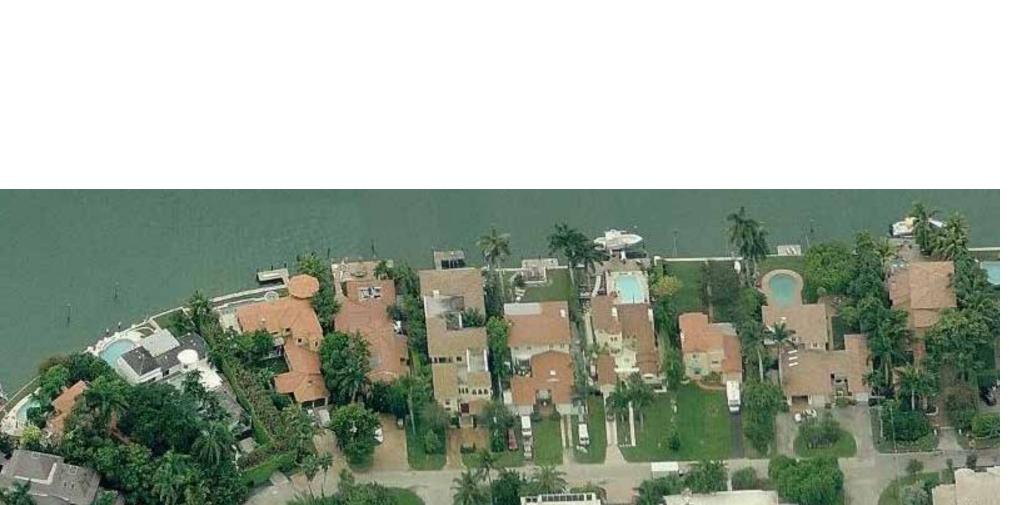


Residence 2



Residence 4

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Aerial Photograph of Surrounding Properties







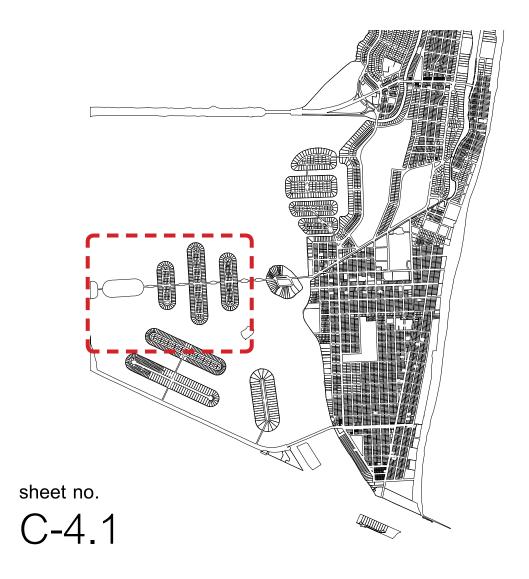
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Subject Property (40 W San Marino Dr)

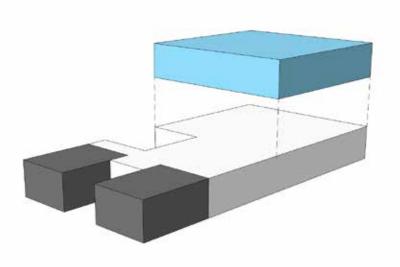
Residence 5







Residence 1



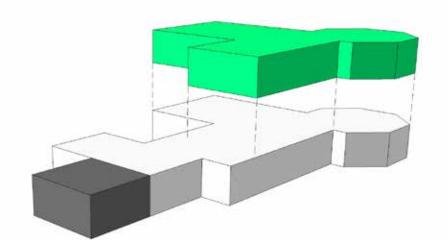


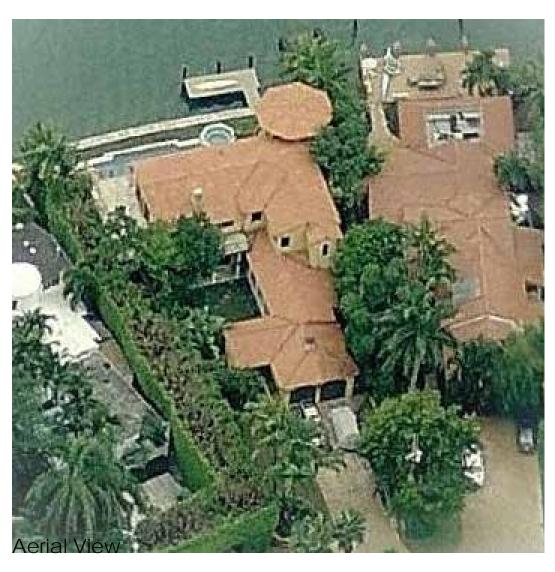
55.8%

Massing Diagram

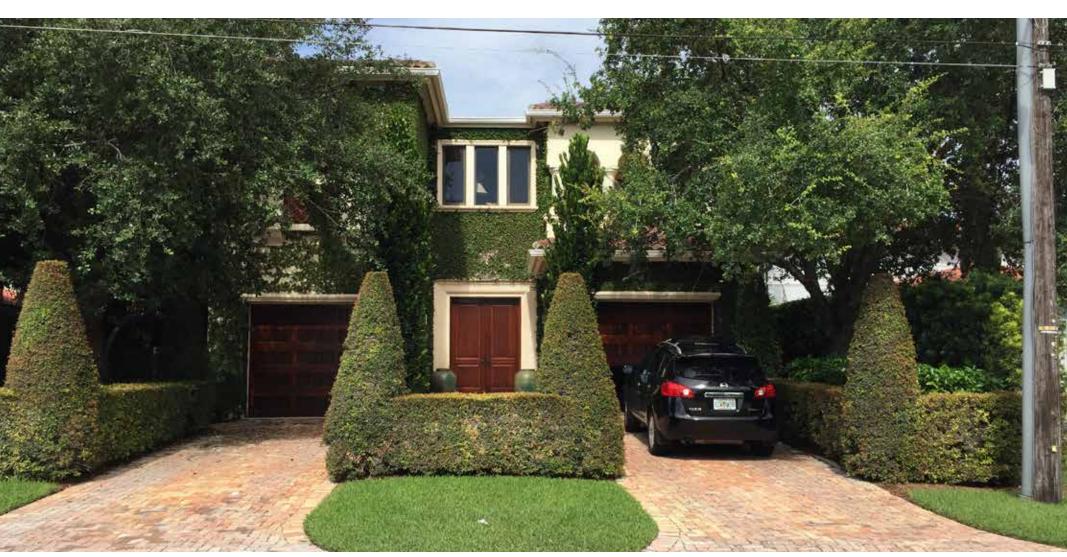


Residence 3





64.5% Massing Diagram



Residence 2



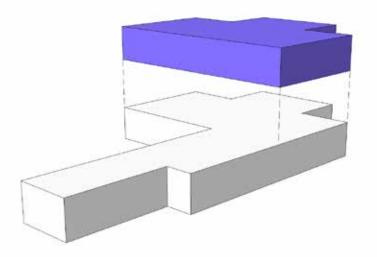
94.6% Massing Diagram



85.8% Massing Diagram

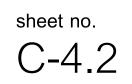


Residence 4



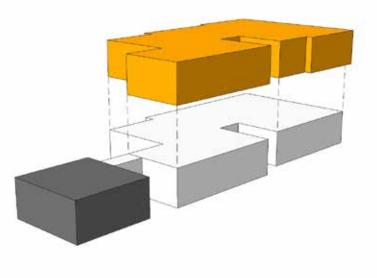
66.2% Massing Diagram

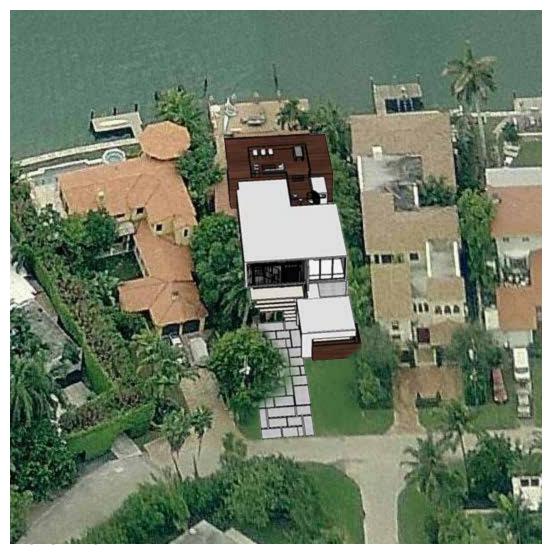






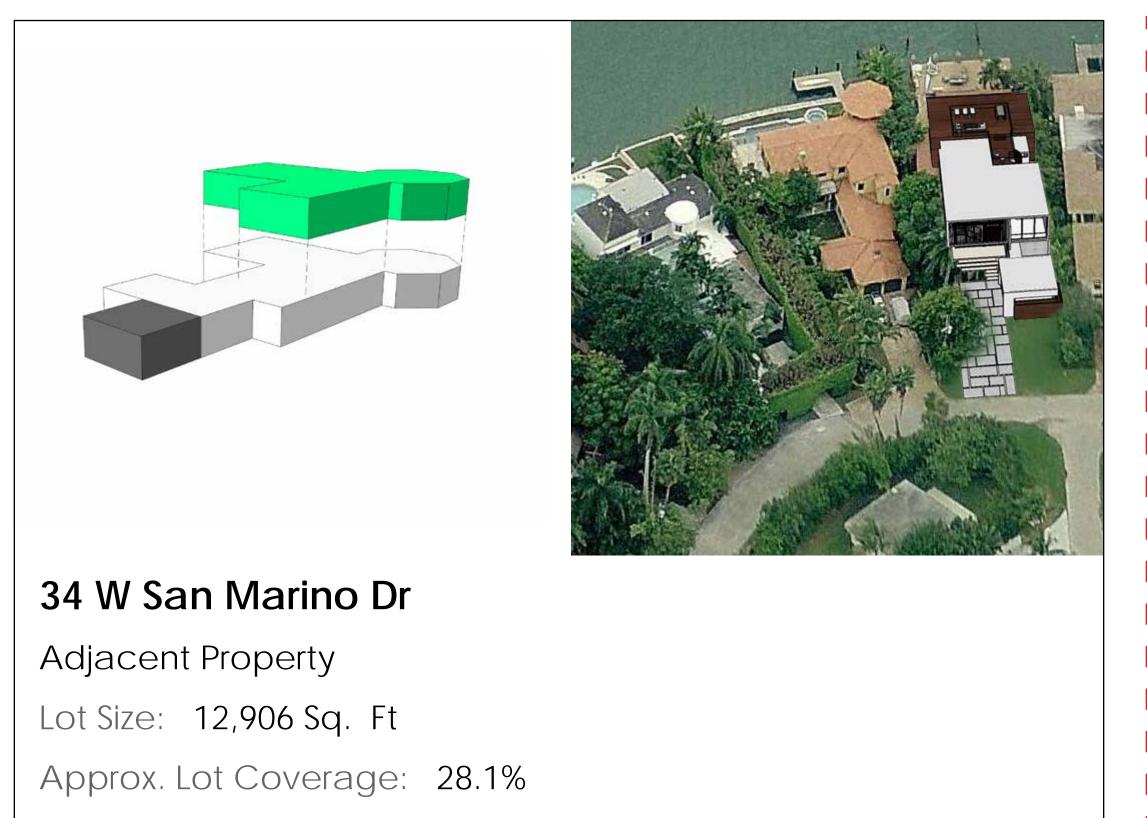
Proposed Residence





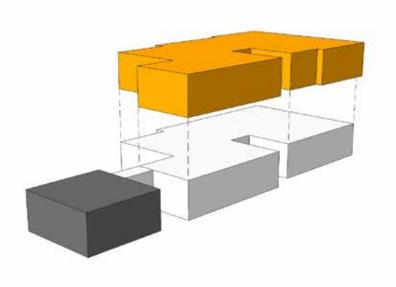
Context Analysis & Photos





Approx. First-Second Ratio: 64.5%

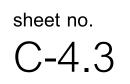
Context Rendering & Massing Studies

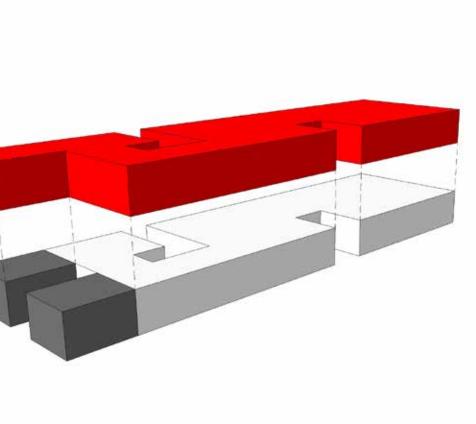


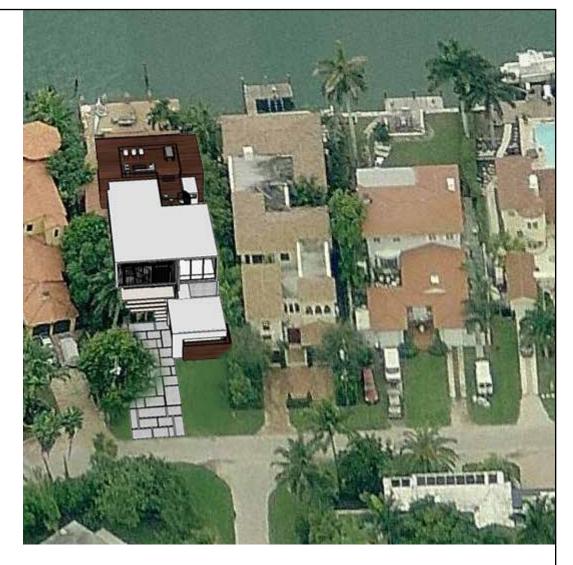


40 W San Marino Dr

Proposed Property Lot Size: 9,823 Sq. Ft Lot Coverage: 28.0% First-Second Ratio: 85.8%





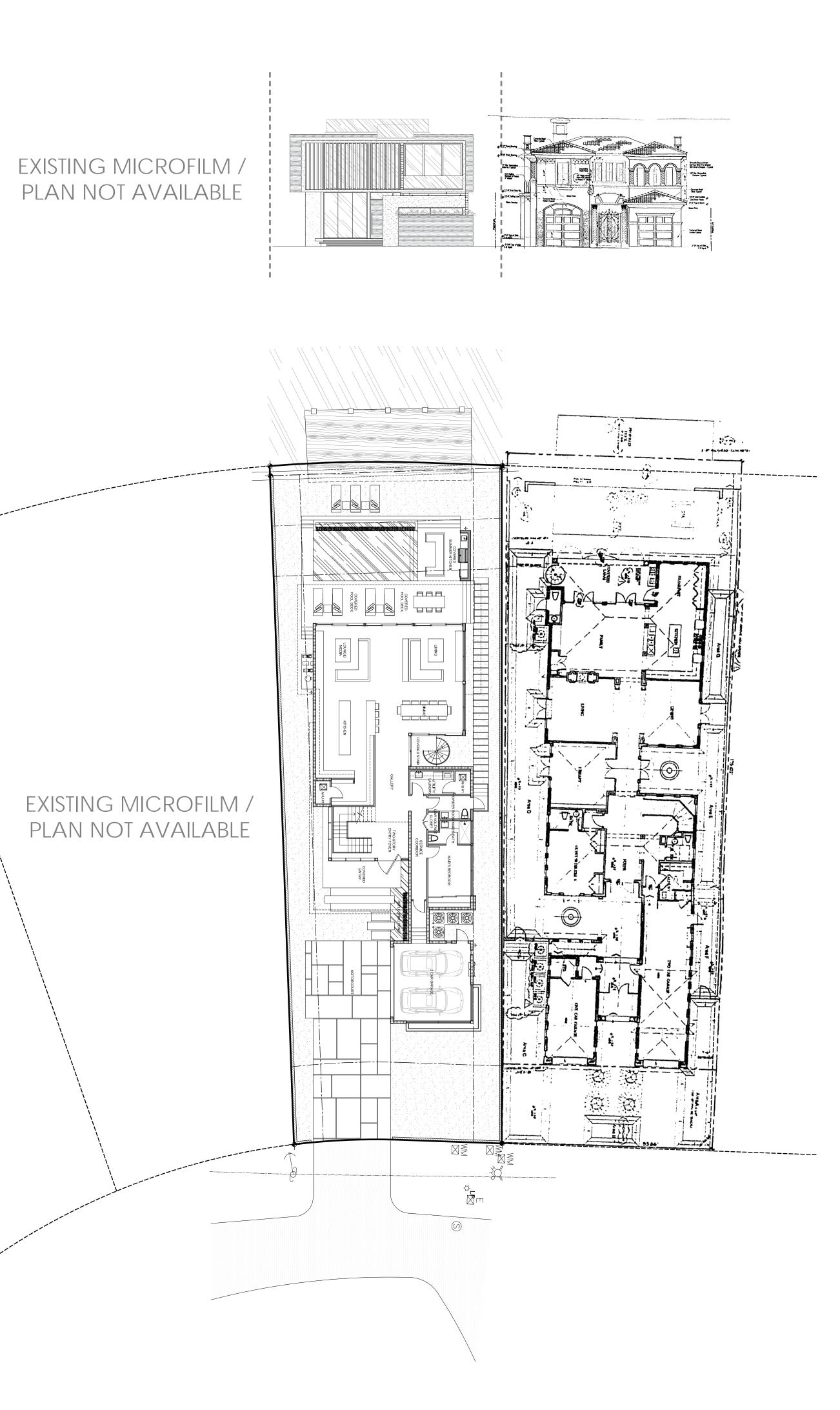


70 W San Marino Dr

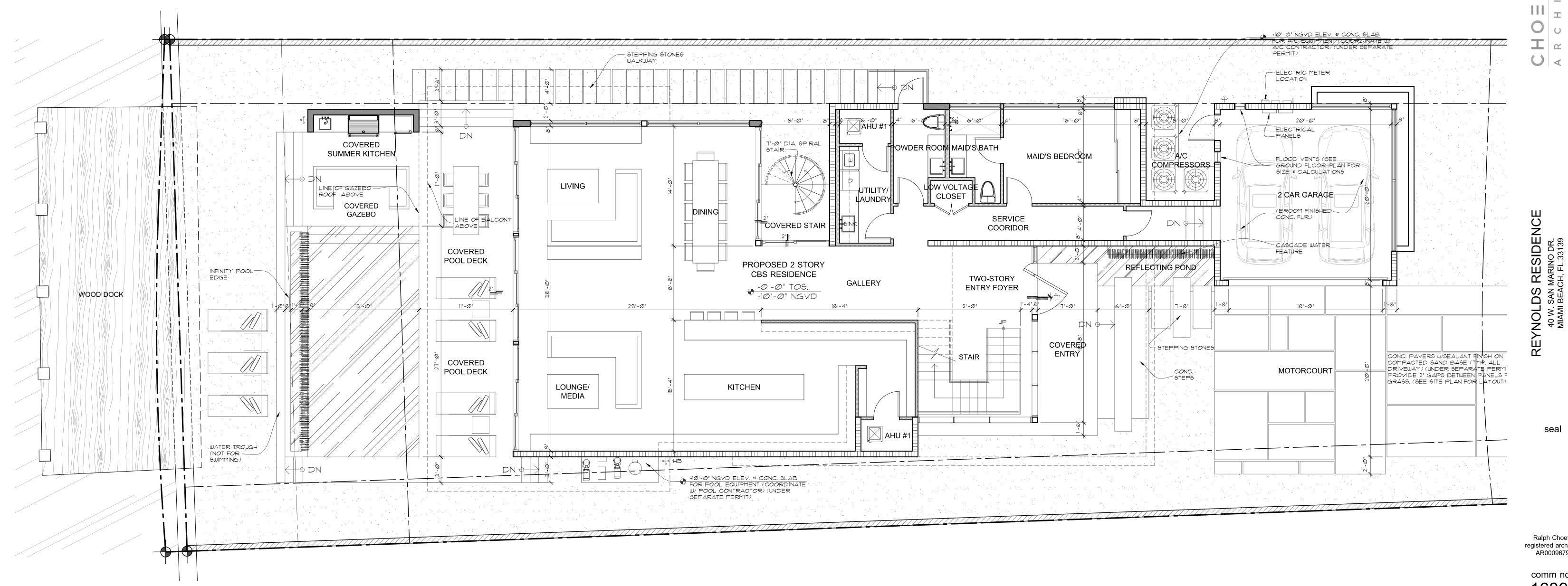
Adjacent Property Lot Size: 9,973 Sq. Ft Approx. Lot Coverage: 36.3% Approx. First-Second Ratio: 94.6%



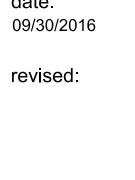
Existing Microfilm











date: 09/30/2016

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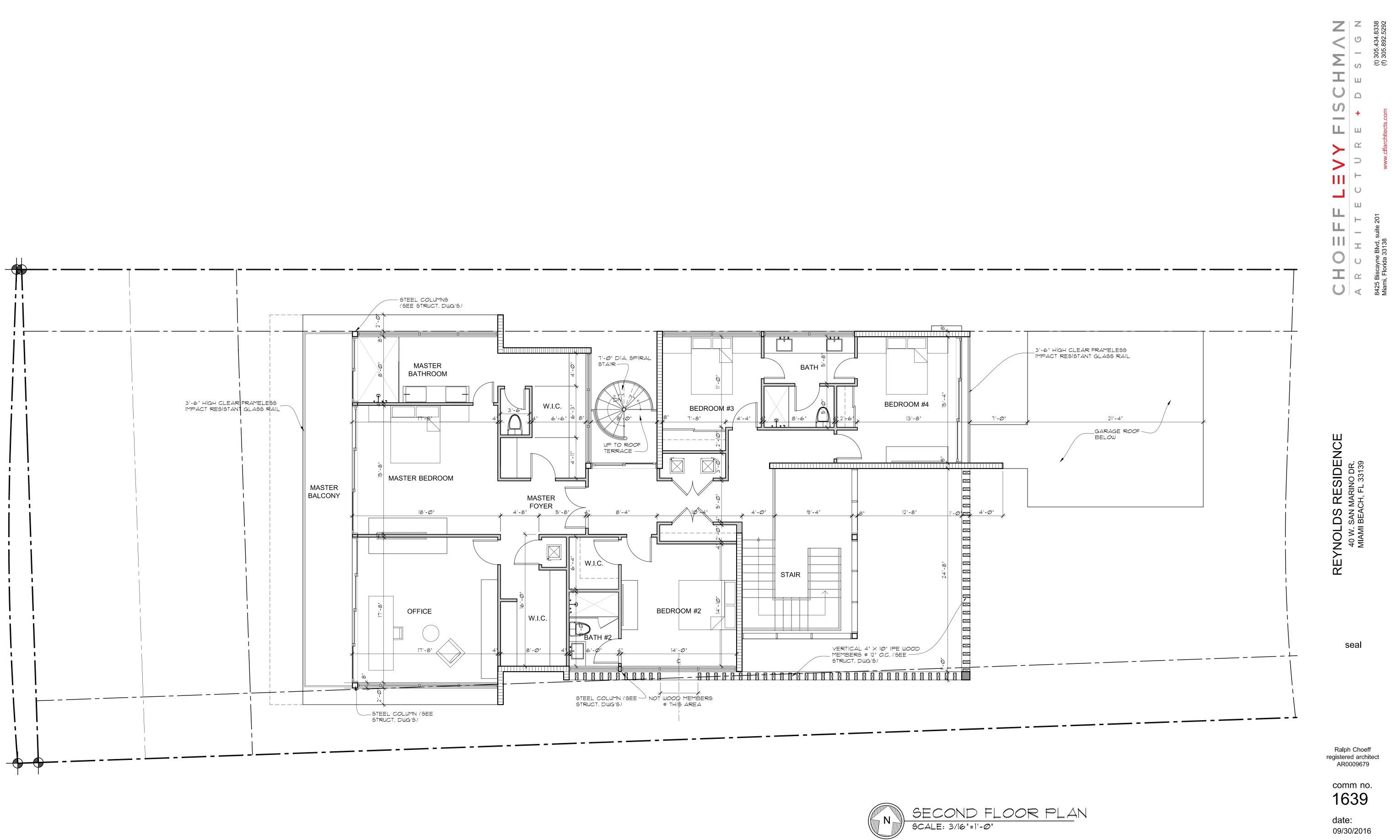
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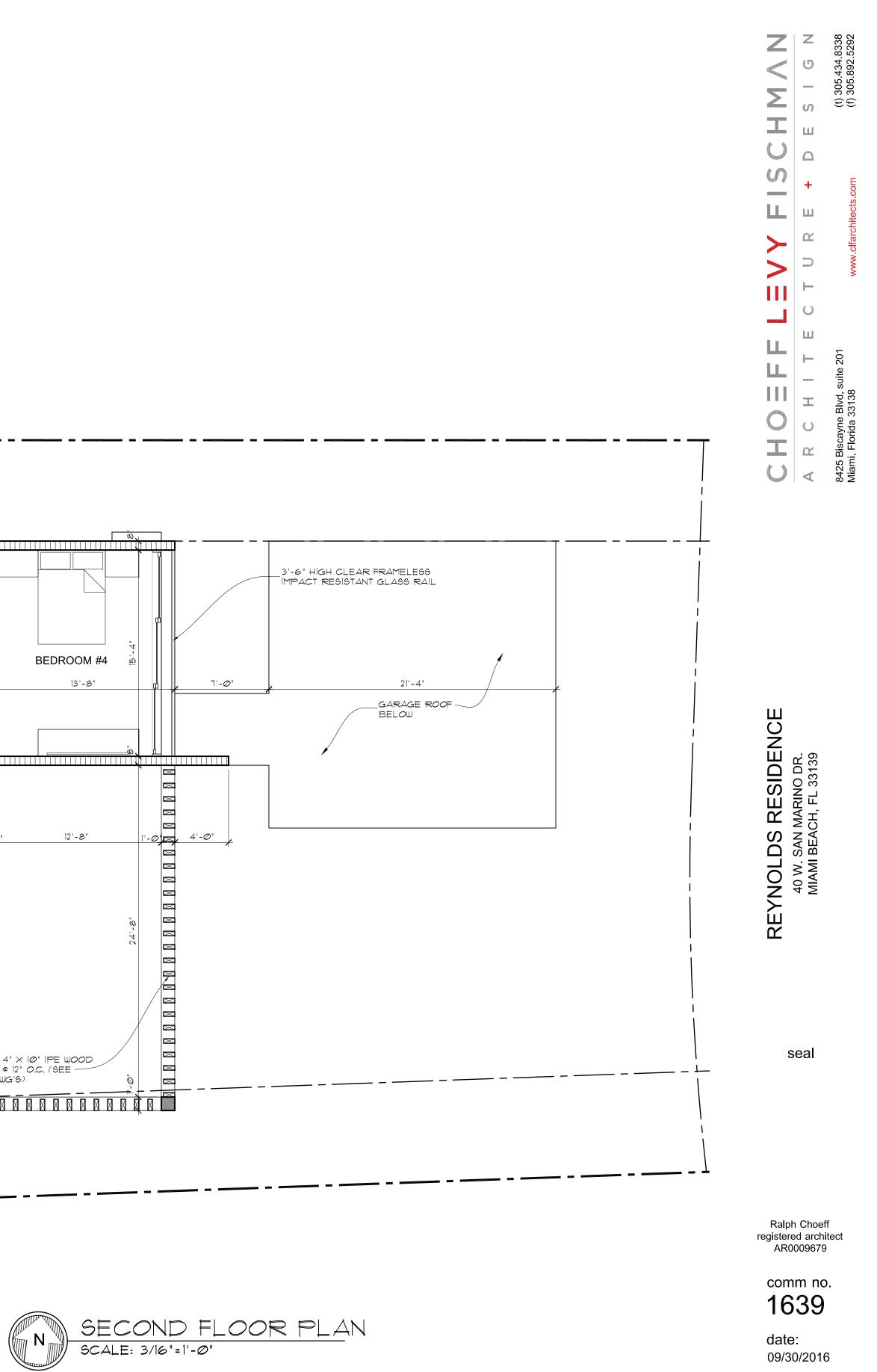
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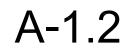
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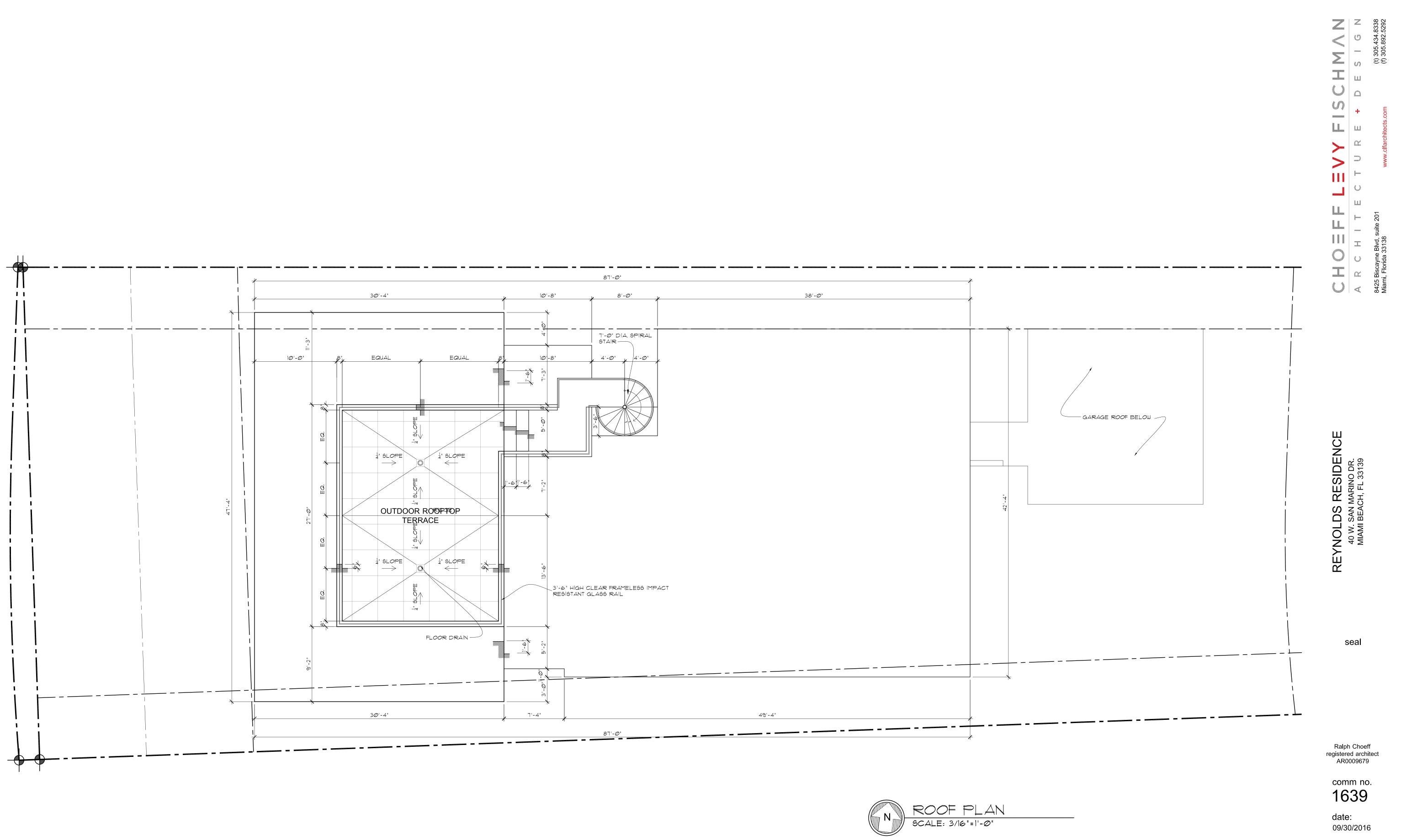




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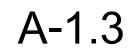


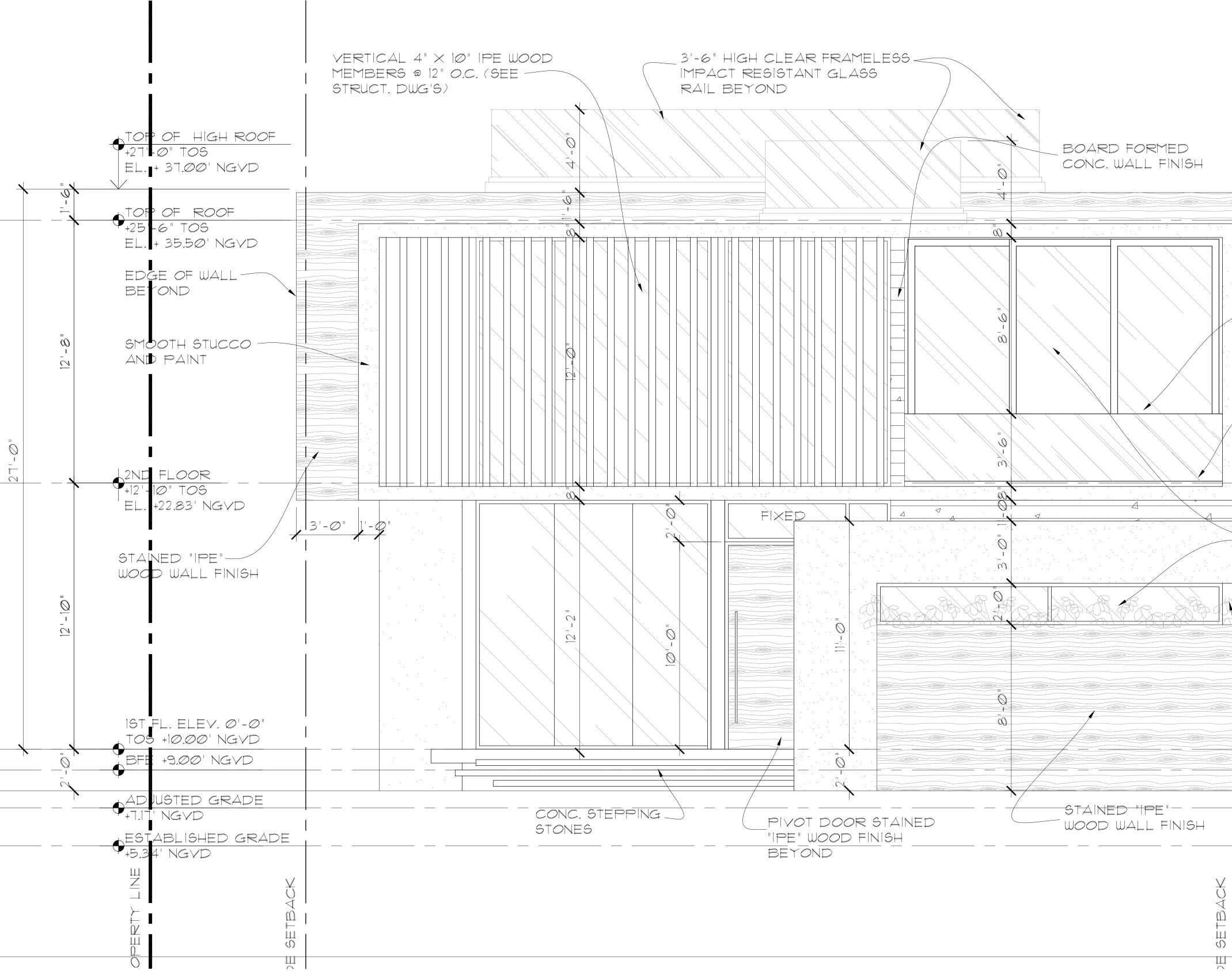




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3'-6" HIGH CLEAR FRAMELESS IMPACT RESIGTANT GLASS RAIL UNDER SEPARATE PERMIT, SUBMIT ENGINEERED BHOP DRAWINGS.

SURFACE MOUNTED BRONZE ALUM. ATTACH TO CONC. PER MANUE, SPEC'S. (TYP.)

ALL EXTERIOR GLASS SLIDING DOORS & WINDOWS SHALL BE BRONZE ALUMN. FRAME W/ CLEAR IMPACT RESISTANT GLASS (TYP. THRU OUT)

PLANTER

BRONZE ALUMN. CLAD CORNER STEEL COLUMN (SEE STRUCT. DWG B)

-FINISH GRADE

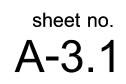
Ralph Choeff registered architect AR0009679

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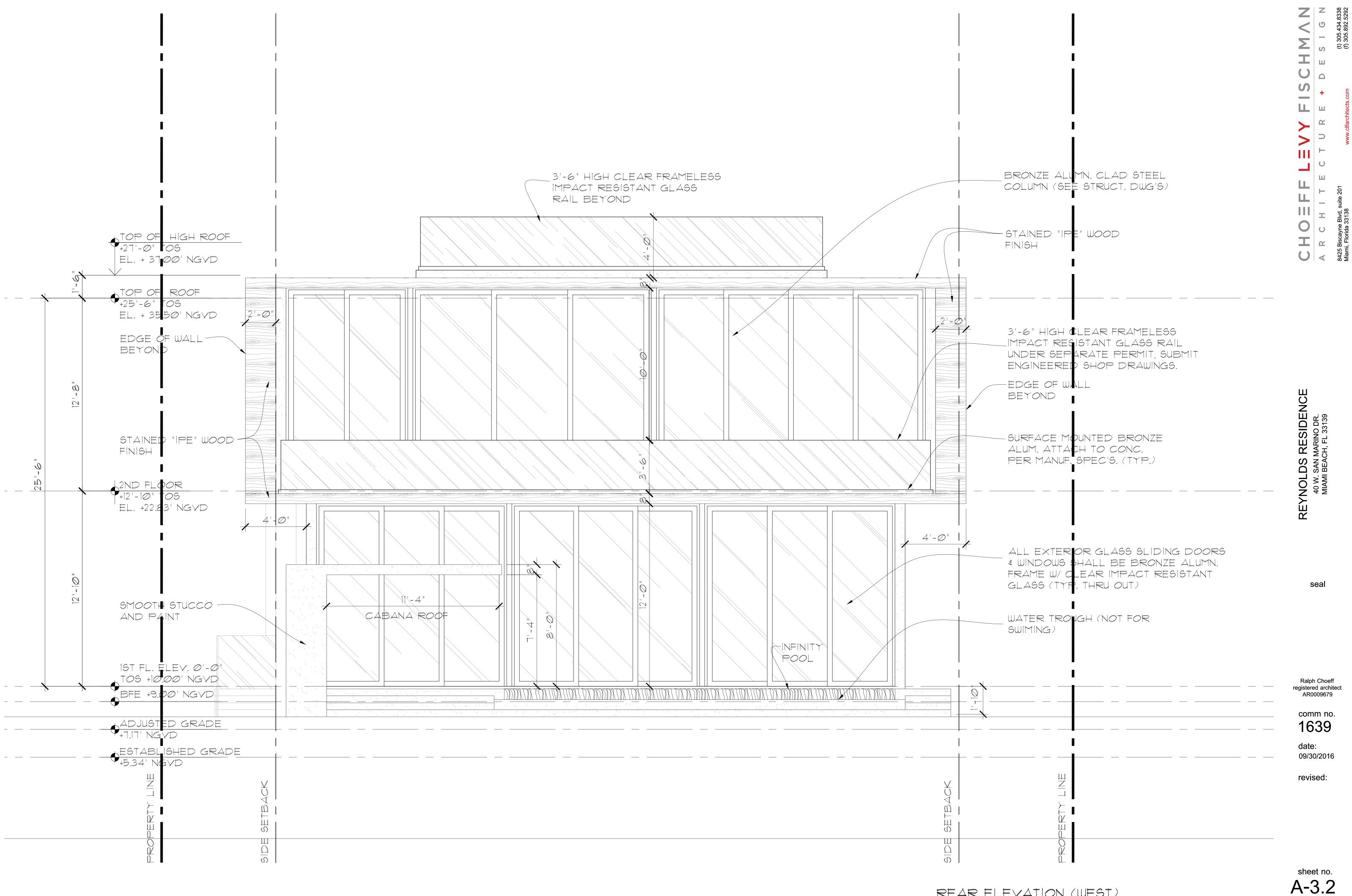
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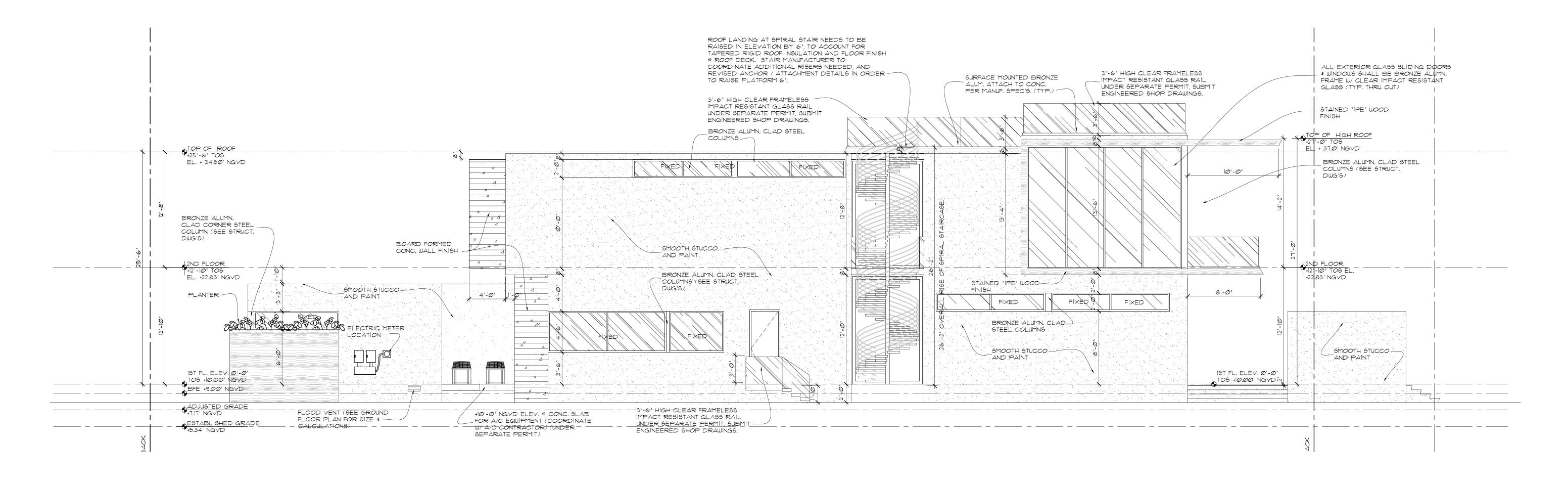


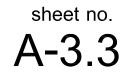
REYNOLDS RESIDENCE 40 W. SAN MARINO DR. MIAMI BEACH, FL 33139



REAR ELEVATION (WEST)

SCALE: 3/8"=1'-Ø"





RIGHT SIDE ELEVATION (NORTH)



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Ralph Choeff registered architect AR0009679

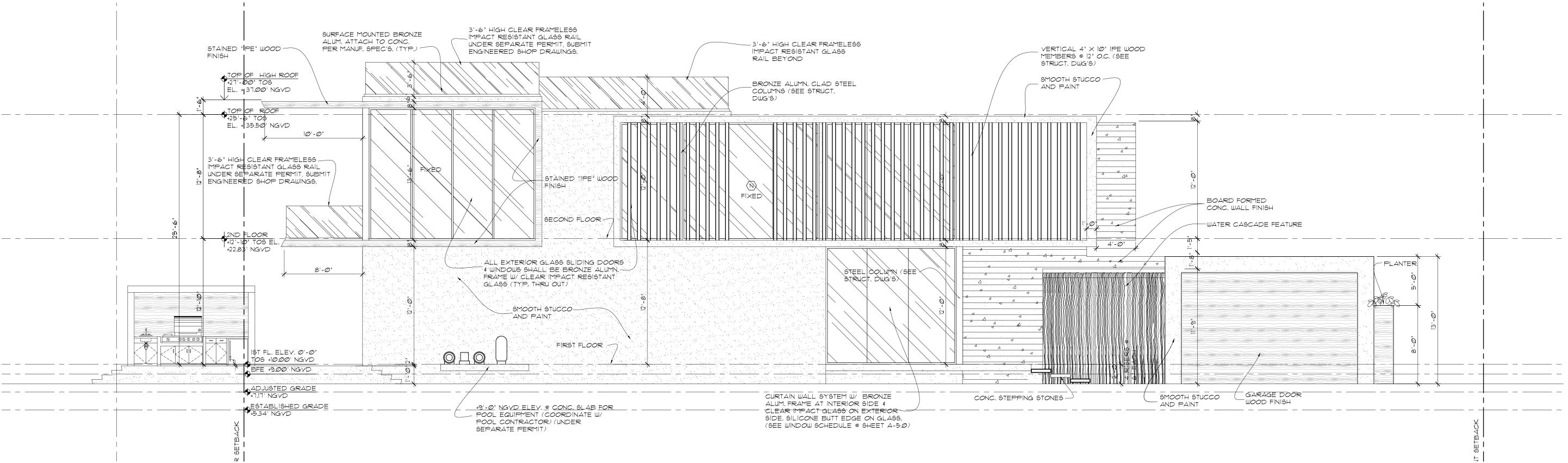
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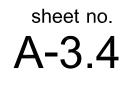
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comm no. 1639

date: 09/30/2016

revised



LEFT SIDE ELEVATION (SOUTH) SCALE: 3/16"=1'-Ø"