

September 22, 2016

To: Design Review Board Members and Planning Department Staff,

Re: Request for Design Review Approval & Waivers for New Residence located at 802 West Dilido Drive, Miami Beach, FL.

Dear Board Members and Planning Staff,

The applicant is 802 W Dilido LLC, the owners of the property located at 802 W Dilido Dr. Let this letter serve as the letter of intent in support of the owner's request for Design Review Board (DRB) approval and listed waiver request for the construction of a new two-story residence to replace an existing pre-1942 home.

The proposed home is designed as a tropical modern residence using coral stone cladding, board-formed concrete and warm ipe wood louvers. China white painted stucco will appear on the side elevations. The home will feature board-formed concrete bands that wrap the structure at the 2nd floor and roof levels, and will support a series of wood louvers, to give the home a warm mid-century modern touch. The home will feature large spans of sliding glass doors, a pool and pool deck, and two-car garage with a large planter roof to contain lush planting that weaves through the structure.

As designed, the house's lot coverage is 27.8% of the 10,770 sq. ft. site and the unit size is 48.9%. The height of the new residence is proposed at 24'-0".

The applicant is seeking a waiver from the 70% second floor to first floor ratio. The applicant is requesting a 105.1% second floor to first floor ratio, as this

was designed as an upside-down house. Otherwise the design of this house fully complies with the zoning code as approvable administratively. Additionally, the entire front of the house is set back 30 feet, and all of the 2nd floor and 80% of the first are set back 10 feet from the side property lines, far exceeding the minimum required by code, to minimize its impact to the neighbors.

I ask for your support and your vote in favor of the design and requested waivers so that we may proceed with the project . We ask that the Board approve our application as submitted. Should you have any questions regarding the application, please do not hesitate to contact our offices at the number listed below.

Sincerely,

Raphael Levy

Principal, Choeff Levy Fischman

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
 - ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☒ DESIGN REVIEW BOARD
 - ☒ DESIGN REVIEW APPROVAL
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☐ HISTORIC PRESERVATION BOARD
 - ☐ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - ☐ HISTORIC DISTRICT / SITE DESIGNATION
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☐ PLANNING BOARD
 - ☐ CONDITIONAL USE PERMIT
 - ☐ LOT SPLIT APPROVAL
 - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
 - ☐ FLOOD PLAIN WAIVER
- ☐ OTHER _____

SUBJECT PROPERTY ADDRESS: 802 W DILIDO DR.

MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) 02-3232-011-0480

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER _____

NAME 802 W DILIDO LLC
 ADDRESS 802 W Dilido Dr. Miami Beach, FL 33139
 BUSINESS PHONE (305) 319-9979 CELL PHONE _____
 E-MAIL ADDRESS office@sebag.name

OWNER IF DIFFERENT THAN APPLICANT:

NAME _____
 ADDRESS _____
 BUSINESS PHONE _____ CELL PHONE _____
 E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Choeff Levy Fischman
 ADDRESS 8425 Biscayne Blvd, Suite 201, Miami, FL 33138
 BUSINESS PHONE (305) 434-8338 CELL PHONE (347) 291-7058
 E-MAIL ADDRESS rlevy@clfarchitects.com

☐ AGENT:

NAME _____
 ADDRESS _____
 BUSINESS PHONE _____ CELL PHONE _____
 E-MAIL ADDRESS _____

☐ CONTACT:

NAME _____
 ADDRESS _____
 BUSINESS PHONE _____ CELL PHONE _____
 E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☒ ARCHITECT ☐ LANDSCAPE ARCHITECT ☐ ENGINEER ☐ CONTRACTOR ☐ OTHER: _____

NAME Choeff Levy Fischman LLC
 ADDRESS 8425 Biscayne Blvd, Suite 201, Miami, FL 33138
 BUSINESS PHONE (305) 434-8338 CELL PHONE (347) 291-7058
 E-MAIL ADDRESS rlevy@clfarchitects.com

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

Design review approval for a new 2-story single family residence on Dilido Island, in Miami Beach.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☒ YES ☐ NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☒ YES ☐ NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) 5,264 SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). 5,365 SQ. FT.
-

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
 - ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
 - TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).
-

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☐ OWNER OF THE SUBJECT PROPERTY
☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

PRINT NAME: _____

FILE NO. _____

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____
COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY
(Circle one)

STATE OF _____
COUNTY OF _____

I, _____, being duly sworn, depose and certify as follows: (1) I am the _____ (print title) of _____ (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, _____ of _____, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

FILE NO. _____

POWER OF ATTORNEY AFFIDAVIT

STATE OF _____
 COUNTY OF _____

I, _____, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize _____ to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

 PRINT NAME (and Title, if applicable)

 SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____ of _____ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

 NOTARY PUBLIC

My Commission Expires

 PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.*

 NAME

 DATE OF CONTRACT

 NAME, ADDRESS, AND OFFICE

 % OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME

NAME AND ADDRESS

% INTEREST

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	Raphael Levy	8425 Biscayne Blvd, Ste 201, Miami, FL 33138	(305) 434-8338
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF _____
COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

FILE NO. _____

REQUEST FOR DRB APPROVAL FOR:
802 W DILIDO RESIDENCE

DRB SUBMITTAL (SUPPLEMENTAL)
SEPTEMBER 30, 2016

802 W. DILIDO DRIVE

MIAMI BEACH, FLORIDA



CLIENT

802 W DILIDO LLC
802 W DILIDO DR.
MIAMI BEACH, FL, 33139

ARCHITECT

CHOEFF LEVY FISCHMAN
8425 BISCAYNE BLVD. STE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE

NIELSEN LANDSCAPE ARCHITECTS, LLC
1016 CLARE AVENUE, BUILDING 5
WEST PALM BEACH, FL 33401
(561) 402-9414

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT 802 W. DILIDO DR. MIAMI BEACH, FL.

WAIVERS:

1. REQUEST FOR WAIVER TO EXCEED THE 10%
SECOND TO FIRST FLOOR RATIO

REQUEST FOR DRB APPROVAL FOR:
802 W DILIDO RESIDENCE

DRB FIRST SUBMITTAL
SEPTEMBER 30, 2016

802 W. DILIDO DRIVE

MIAMI BEACH, FLORIDA



802 W. DILIDO DR.
MIAMI BEACH, FL. 33139

INDEX OF DRAWINGS	
A-0.0	COVER SHEET / SCOPE OF WORK
A-0.1	INDEX OF DRAWINGS / LOCATION MAP
A-0.2	SURVEY
A-0.3	SITE PLAN
A-0.4	AREA CALCULATIONS LOT COVERAGE (PROPOSED)
A-0.5	AREA CALCULATION UNIT SIZE (PROPOSED)
A-0.6	AREA CALCULATION FRONT/ REAR SETBACK (PROPOSED)
A-0.4ex	AREA CALCULATION LOT COVERAGE (EXISTING)
A-0.5ex	AREA CALCULATION UNIT SIZE (EXISTING)
A-0.6ex	AREA CALCULATIONS FRONT/ REAR SETBACK (EXISTING)

CONTEXT	
C-1.1	FRONT RENDERING
C-1.2	REAR RENDERING
C-3.1	NEIGHBOR PHOTOGRAPHS
C-3.2	CONTEXT RENDERING & MASSING STUDIES
C-3.3	CONTEXT ANALYSIS & PHOTOS
C-4.1	EXISTING CONDITIONS PHOTOGRAPHS
C-4.2	EXISTING CONDITIONS PHOTOGRAPHS
C-4.3	EXISTING CONDITIONS PHOTOGRAPHS
C-4.4	EXISTING CONDITIONS PHOTO MAP

ARCHITECTURAL	
A-1.1	GROUND FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ROOF PLAN
A-3.1	FRONT & REAR ELEVATION
A-3.2	SIDE ELEVATIONS

LANDSCAPE	
LCVR	COVER
L001	LANDSCAPE NOTES
L100	TREE DISPOSITION
L300	MATERIAL PLAN
L400	GRADING NOTES
L500	LAYOUT NOTES
L700	PLANTING SCHEDULE
L701	PLANTING PLANS
L702	PLANTING PLANS
L703	PLANTING DETAILS
L800	IRRIGATION PLAN
L801	IRRIGATION DETAILS
L900	LIGHTING SCHEDULE

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN

8425 Biscayne Blvd, suite 201
Miami, Florida 33138
(t) 305.434.8338
(f) 305.892.5292
www.choefflevy.com

802 W DILIDO RESIDENCE
802 WEST DILIDO DR,
MIAMI BEACH, FL 33139

comm.
no.
1614

date:
8/11/2016

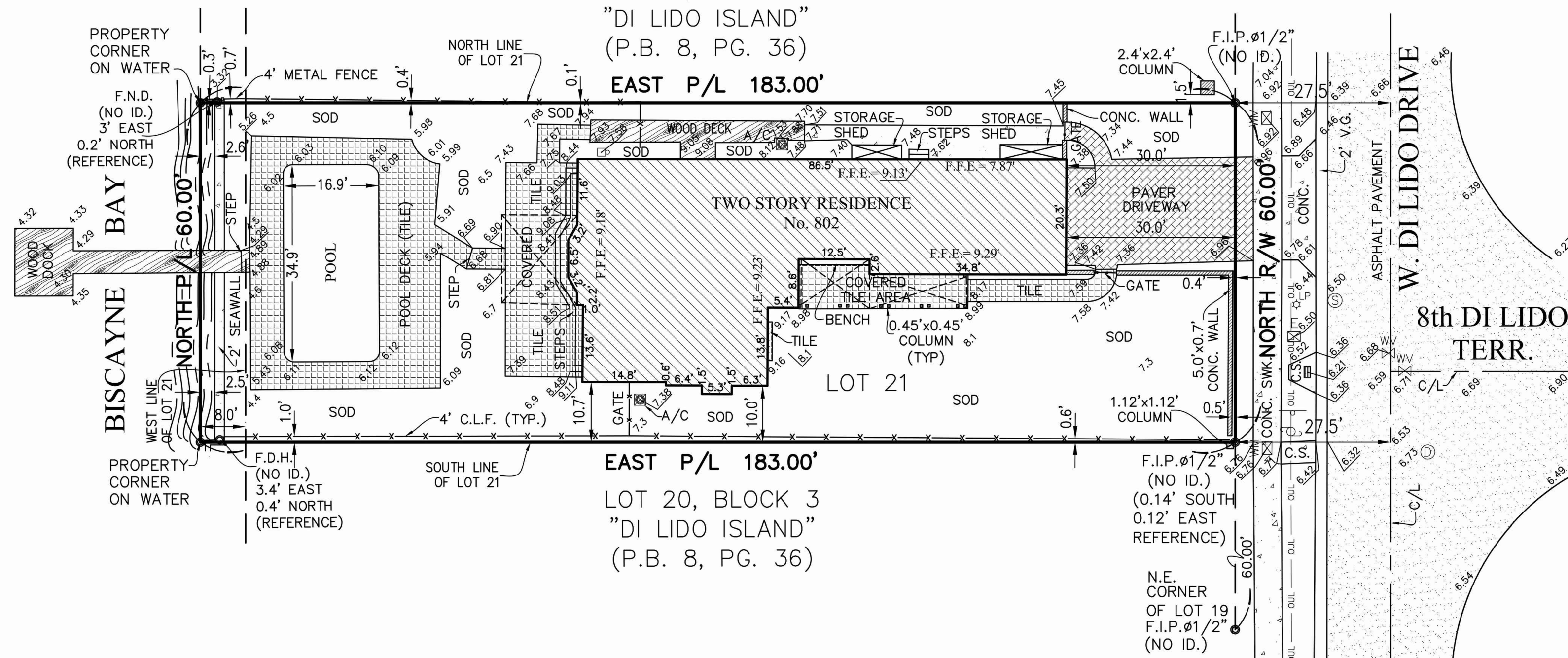
revised:

sheet no.

seal
Raphael Levy
registered architect
AR0094779

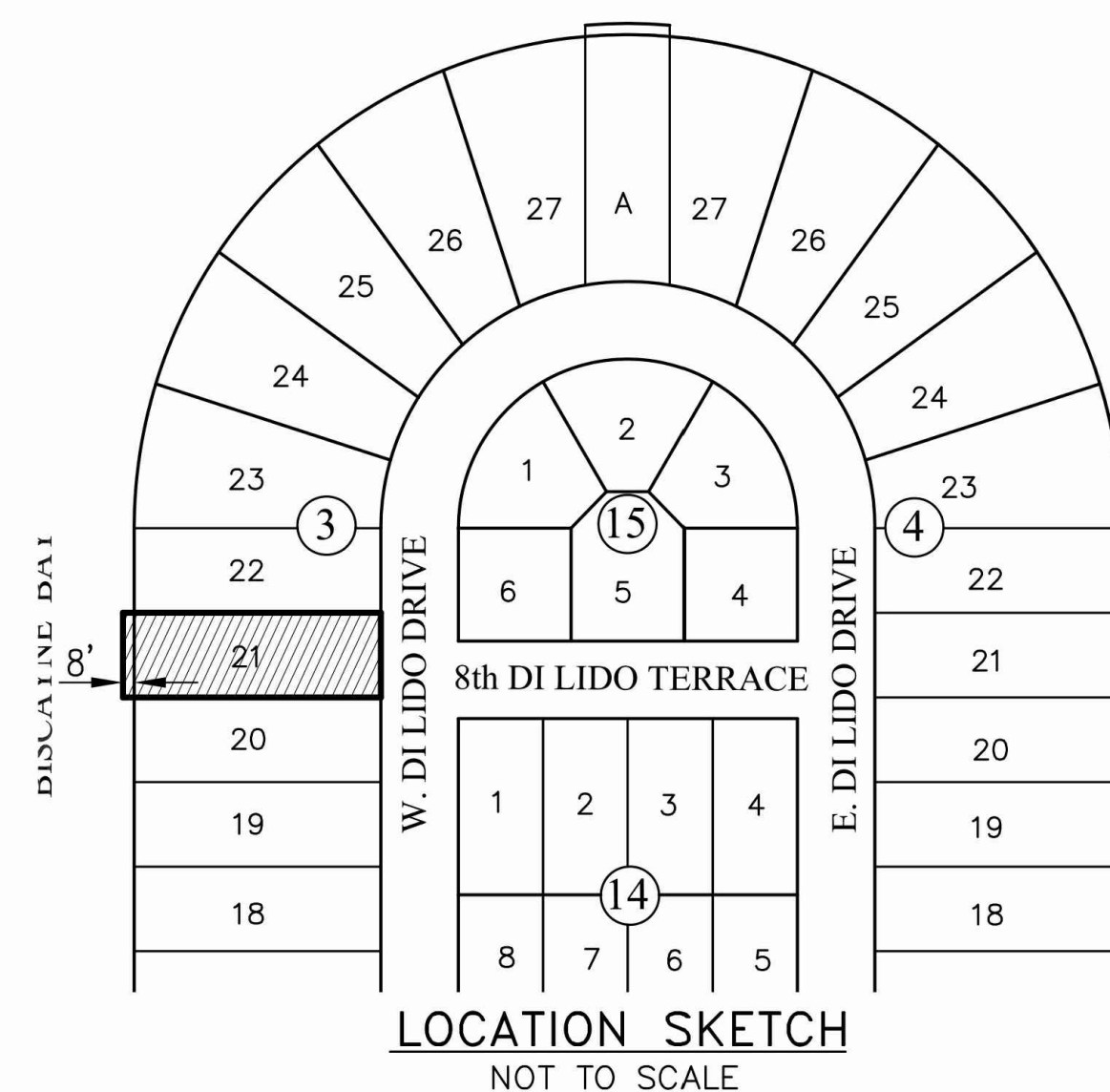
A-0.1

A graphic scale bar is shown below the assumed level diagram. The scale bar is divided into four equal segments, each representing 10 feet. The segments are colored black, white, black, and white from left to right. Below the scale bar, the text "GRAPHIC SCALE" is written in a large, bold, serif font. Below that, the text "SCALE : 1" = 20'" is written in a smaller, bold, serif font.

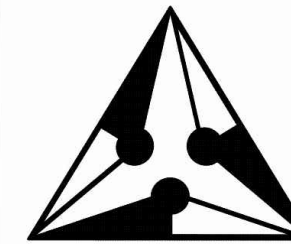


A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Gutter
CH	Chord Distance
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slob
DWY.	Driveway
D.C.	Depressed Curb
E.T.P.	Electric Transformer Pad
E.O.W.	Edge of Water
F.F.E.	Finished Floor Elevation
F.F.E.	Flood Iron Pipe
F.N.	Found Nail
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
I.D.	Identification
IN.V.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
P.B.	Plot Book
P.C.P.	Permanent Control Point
PG.	Page
PL	Planter
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK.	Sidewalk
T.B.M.	Temporary Benchmark
T.O.B.	Top of Bank
V.G.	Valley Gutter
W.F.	Wood Fence
U.E.	Utility Easement
P.S.	Parking Spaces
(TYP.)	Typical
R	Recorded

	Diameter		Parking Meter
	Back Flow Preventer		Unknown Manhole
	Concrete Light Pole		Sewer Valve
	Metal Light Pole		Mail Box
	Guy Wire		Spot Elevation
	Utility Power Pole		Temporary Benchmark
	Fire Hydrant		Diameter-Height-Spread
	Water Meter		Right-of-Way Lines
	Electric Box		Property Corner
	Telephone Box		Traffic Sign
	Sewer Manhole		Catch Basin
	Overhead Utility Lines		Drainage Manhole
	Light Pole		Wood Fence
	Gas Meter		Metal Fence
	Gas Valve		Irrigation Control Valve
	Water Valve		C.B.S. Wall
	Water Manhole		Clean Out
	Telephone Manhole		Guard Pole
	Monitoring Well		Water Pump
	Chain Link Fence		Air Conditioner
	Grease Manhole		Drain
	Valve (Unknown)		Cable Television



Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



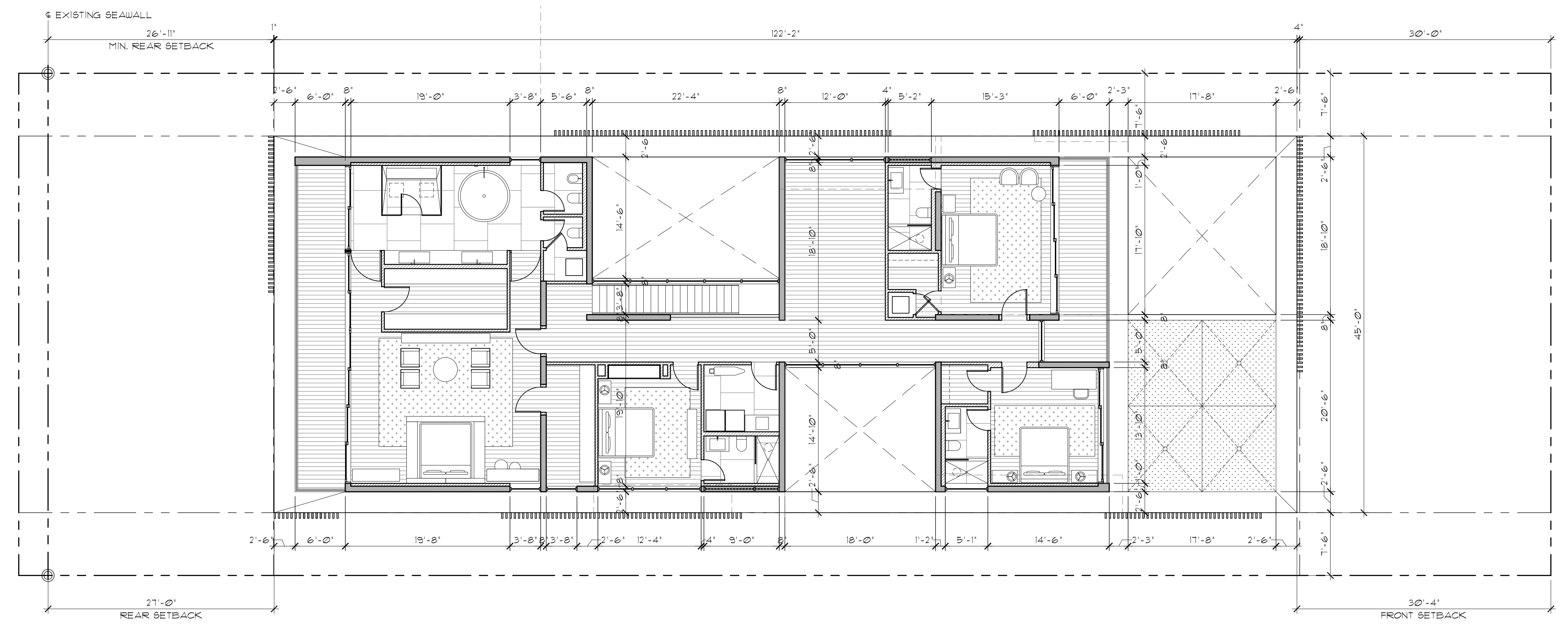
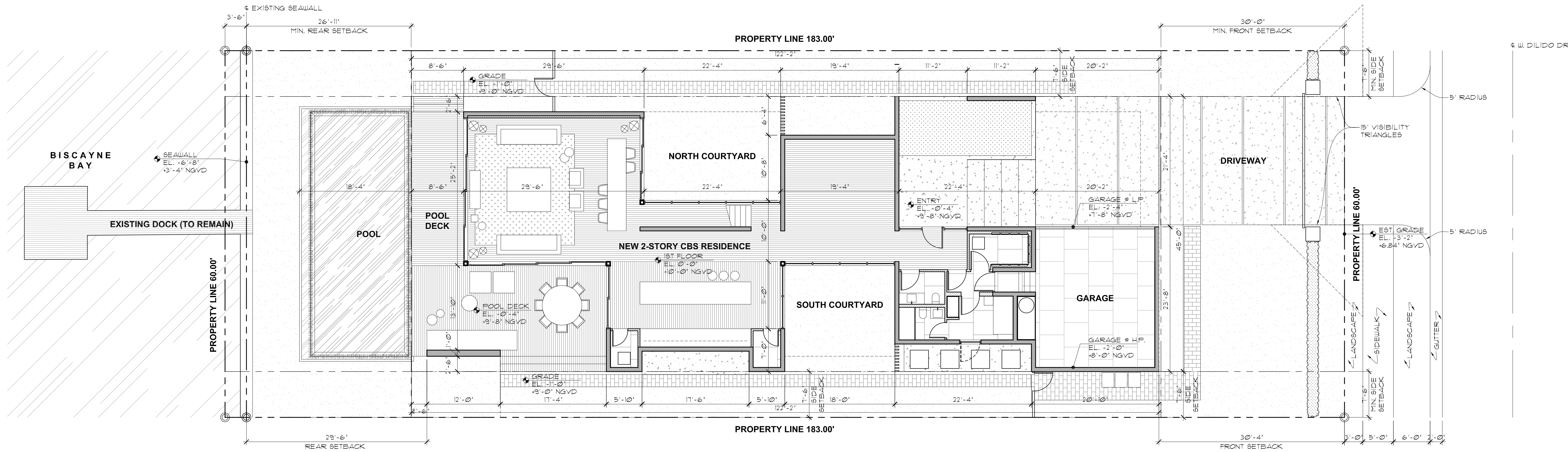
J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
802 WEST DI LIDO DRIVE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139
for
420 DEVELOPMENT & DESIGN, INC.

[illegible]

Project:	16-0156
Job:	16-0156
Date:	05-13-2016
Drawn:	G.P., J.S., A.A.
Checked:	J.S.
Scale:	AS SHOWN
Field Book:	ON FILE
SHEET 1 OF 1	

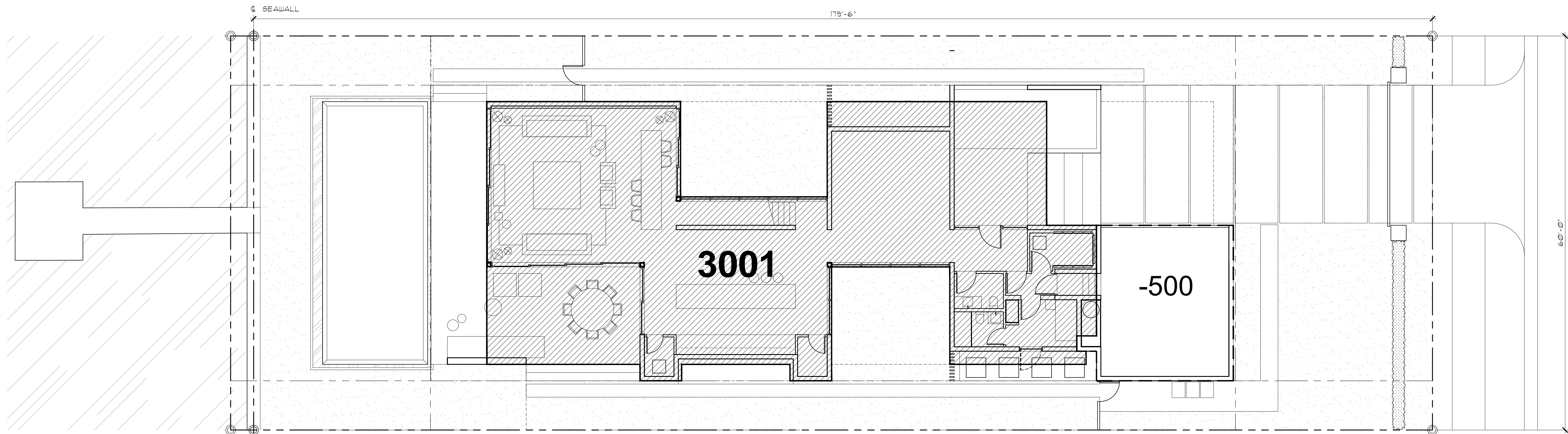
SURVEY PLAN
SCALE: NTS



**SITE PLAN
FIRST FLOOR**
SCALE 1/8" = 1'-0"

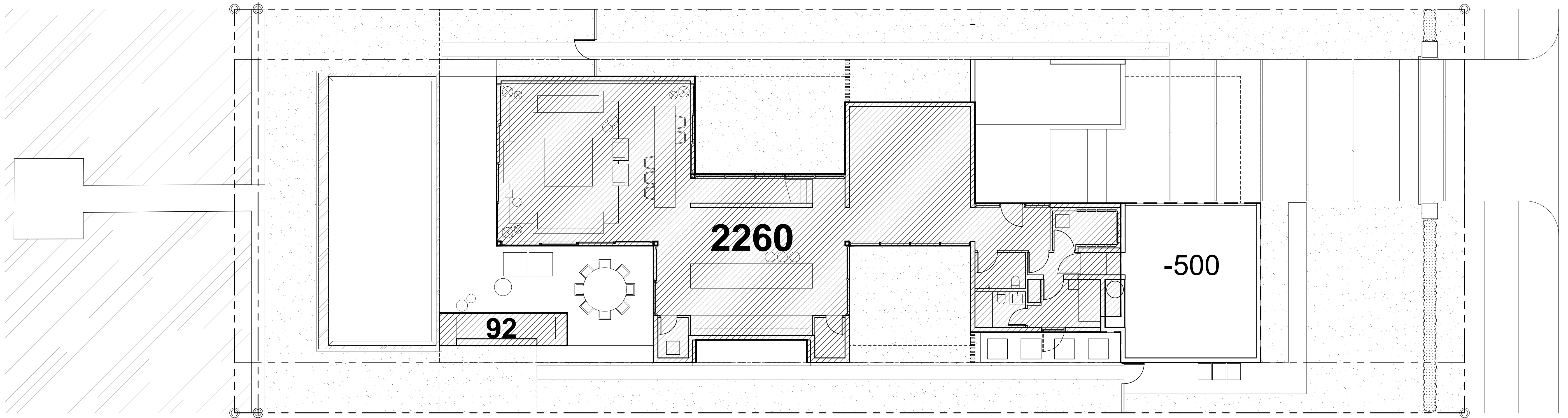
**SITE PLAN
2ND FLOOR**
SCALE 1/8" = 1'-0"

BUILDING DATA		
MAIN HOUSE:		
FIRST FLOOR (AC)	2260 S. F.	
SECOND FLOOR (AC)	2303 S. F.	
TOTAL (AC)	5163 S. F.	
GARAGE (NON A/C): 500 SF.	0 S. F.	
BALCONIES + OVER-HANGS	101 S. F.	
TOTAL (NON AC)	101 SF.	
TOTAL UNIT SIZE (AC + NON AC)	5264 SQ. FT.	(48.3%)
FLOOR RATIO PERCENTAGE		
MAIN HOUSE:		
TOTAL FIRST FLOOR (VOLUMETRIC)	2760 S. F.	
TOTAL SECOND FLOOR (VOLUMETRIC)	2303 S. F.	
TOTAL:	105.1%	
SITE DATA		
EXISTING LOT SIZE:	10,110 S. F.	(100%)
BLDG. LOT COVERAGE:		
MAIN HOUSE	3,001 S. F.	
TOTAL BLDG. LOT COVERAGE:	3,001 SQ. FT.	(27.8%)
FRONT SETBACK CALCULATIONS		
AREA:	1200 S. F.	100%
IMPERVIOUS AREA:	420 S. F.	
LANDSCAPE AREA:	180 S. F.	65.0%
REAR SETBACK CALCULATIONS		
AREA:	1620 S. F.	100%
IMPERVIOUS AREA:	400 S. F.	
LANDSCAPE AREA:	1212 S. F.	74.8%
ZONING DATA		
CLASSIFICATION:	RS-3	
FLOOD ZONE:	AE-3	
MIN. FLOOD ELEVATION: (BFE + 1')	+10.00' NGVD	+10.00' NGVD
E8T. GRADE	+6.84' NGVD	+6.84' NGVD
ADJUSTED GRADE	+7.92' NGVD	+7.92' NGVD
MAX. LOT COVERAGE:	3,231 SQ. FT. (30%)	3,001 SQ. FT. (27.8%)
MAX. UNIT SIZE:	5,385 SQ. FT. (50%)	5,264 SQ. FT. (48.3%)
MAIN HOUSE		
MAX. BUILDING HEIGHT:	24'-0"	22'-0"
FRONT SETBACK:	20'-0"	30'-0"
FRONT SETBACK (2nd FLR.):	30'-0"	55'-2"
REAR SETBACK:	26'-11"	27'-0"
SIDE SETBACKS:	15'-0" (MIN.)	(7'-6"/7'-6")



SITE DATA	
EXISTING LOT SIZE:	10,110 S. F. (100%)
BLDG. LOT COVERAGE: MAIN HOUSE	3,001 S. F.
TOTAL BLDG. LOT COVERAGE:	3,001 SQ. FT. (27.8%)

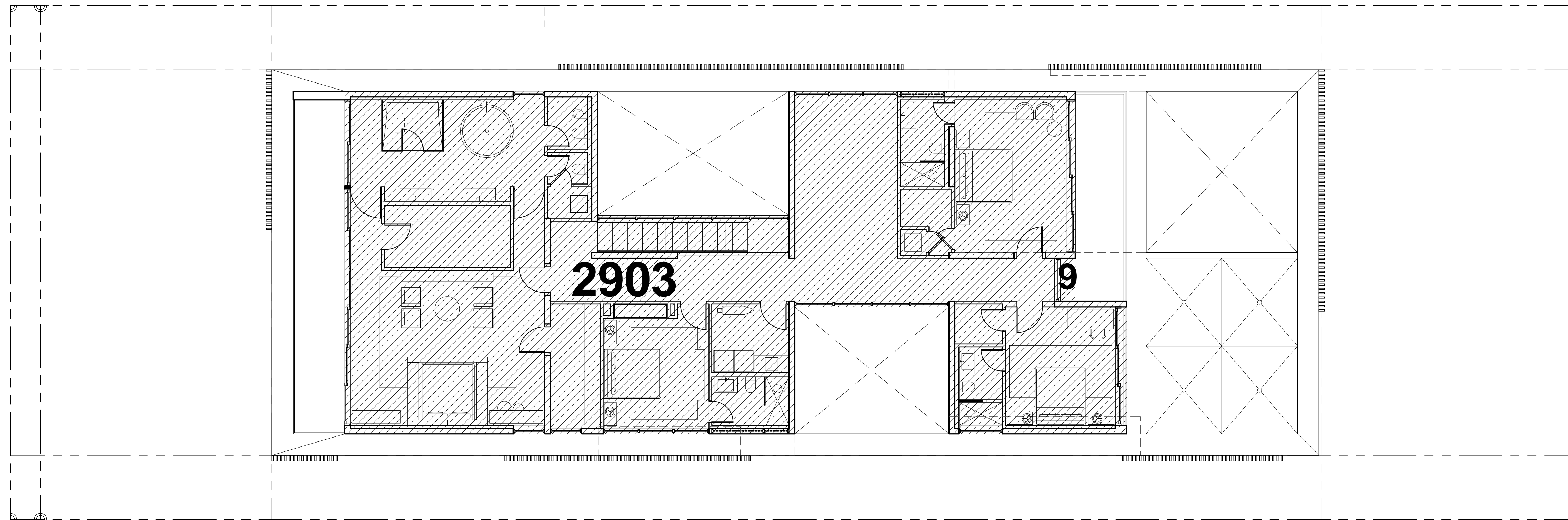
PROPOSED LOT
COVERAGE
SCALE 1/8" = 1'-0"



1
A-0.5
SCALE 1/8" = 1'-0"

PROPOSED FIRST FLOOR UNIT SIZE

N



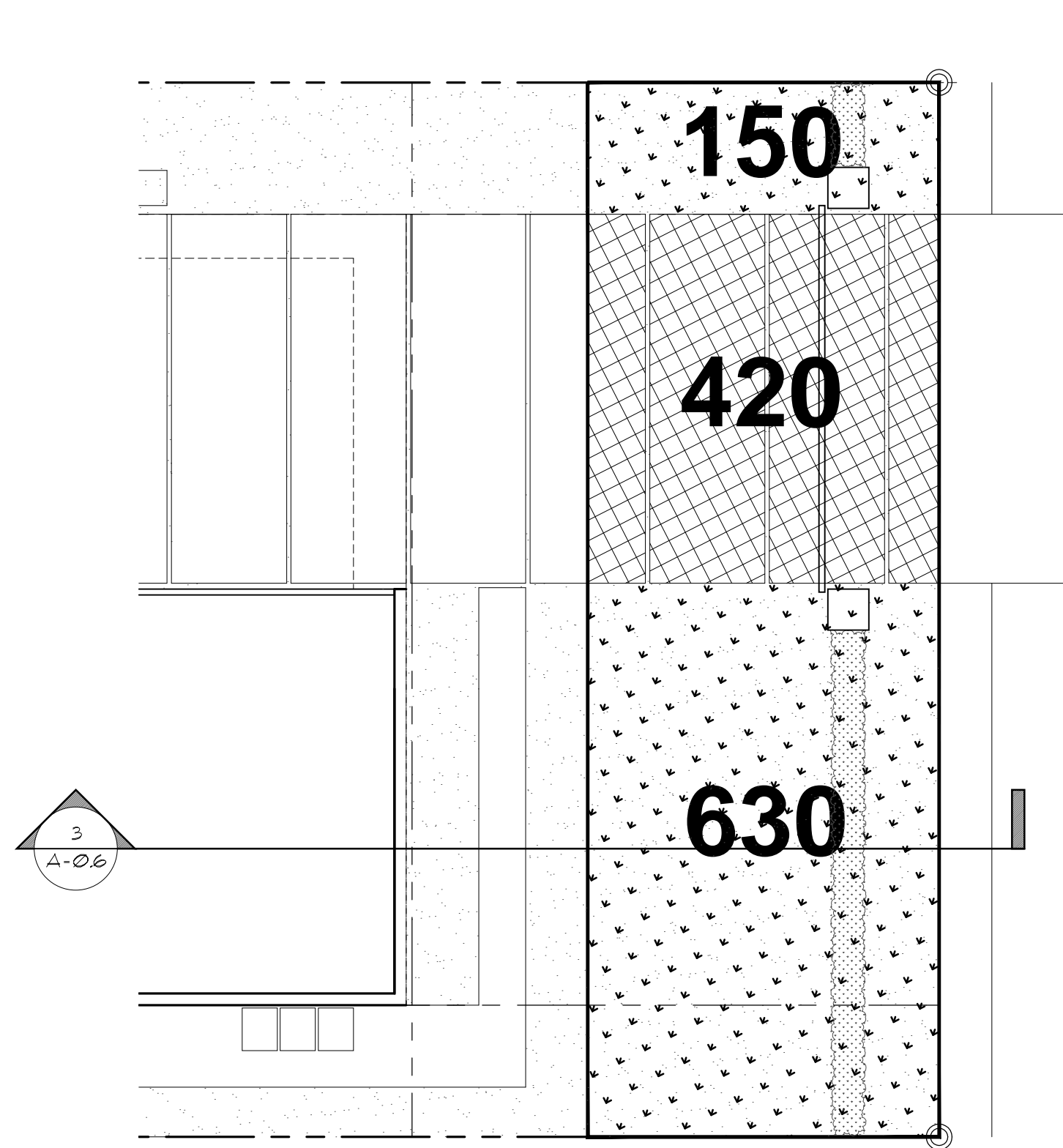
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A-0.5
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PROPOSED SECOND FLOOR UNIT SIZE

N

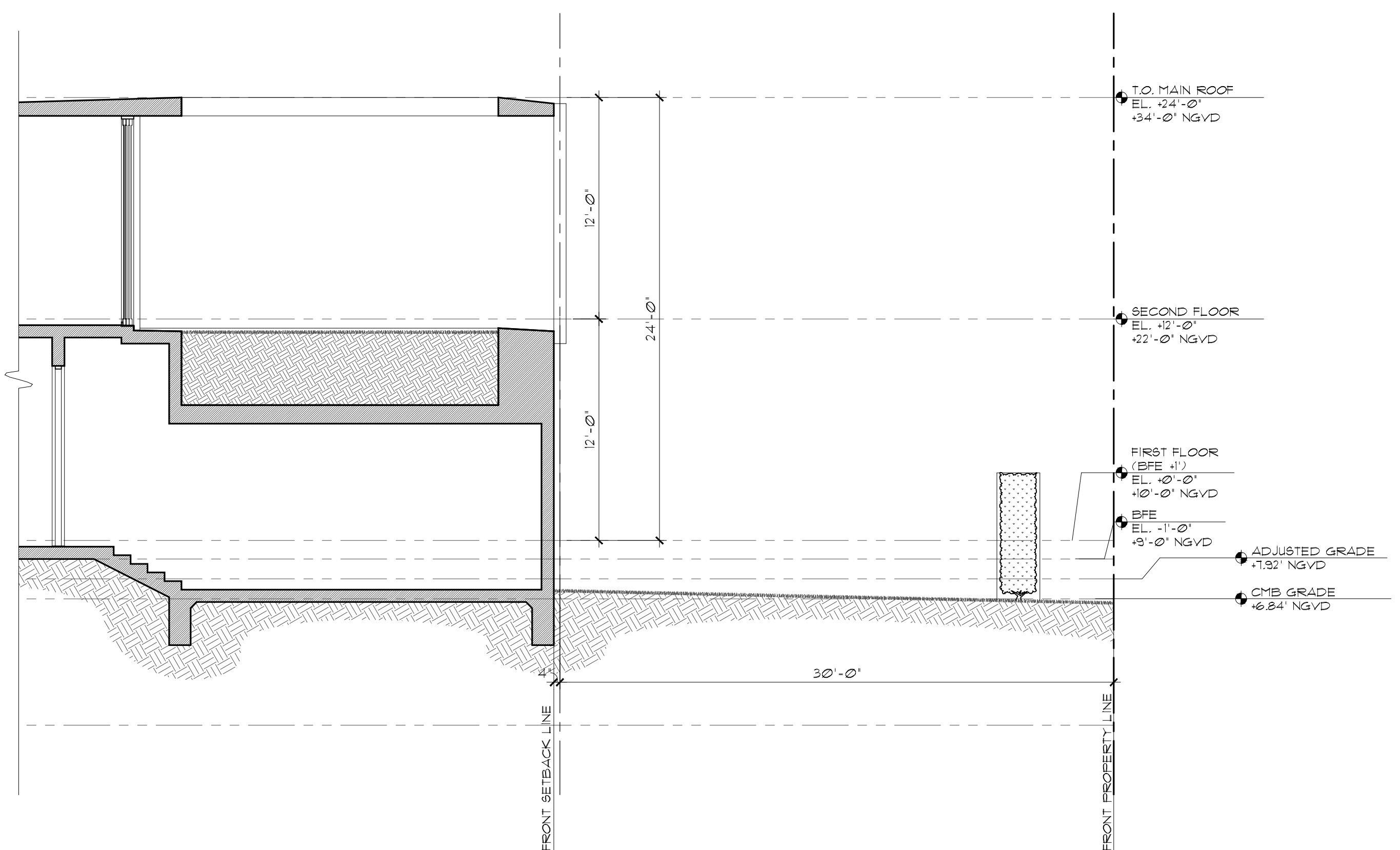
BUILDING DATA	
MAIN HOUSE:	
FIRST FLOOR (AC)	2,260 S. F.
SECOND FLOOR (AC)	2,903 S. F.
TOTAL (AC):	5,163 S. F.
GARAGE (NON A/C): 500 S.F.	0 S. F.
BALCONIES & OVERHANGS	101 S. F.
TOTAL (NON AC):	101 S.F.
TOTAL UNIT SIZE (AC + NON AC):	5,264 SQ. FT. (48.9%)

FLOOR RATIO PERCENTAGE	
MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	2,760 S. F.
TOTAL SECOND FLOOR (VOLUMETRIC)	2,903 S. F.
TOTAL:	105.1%

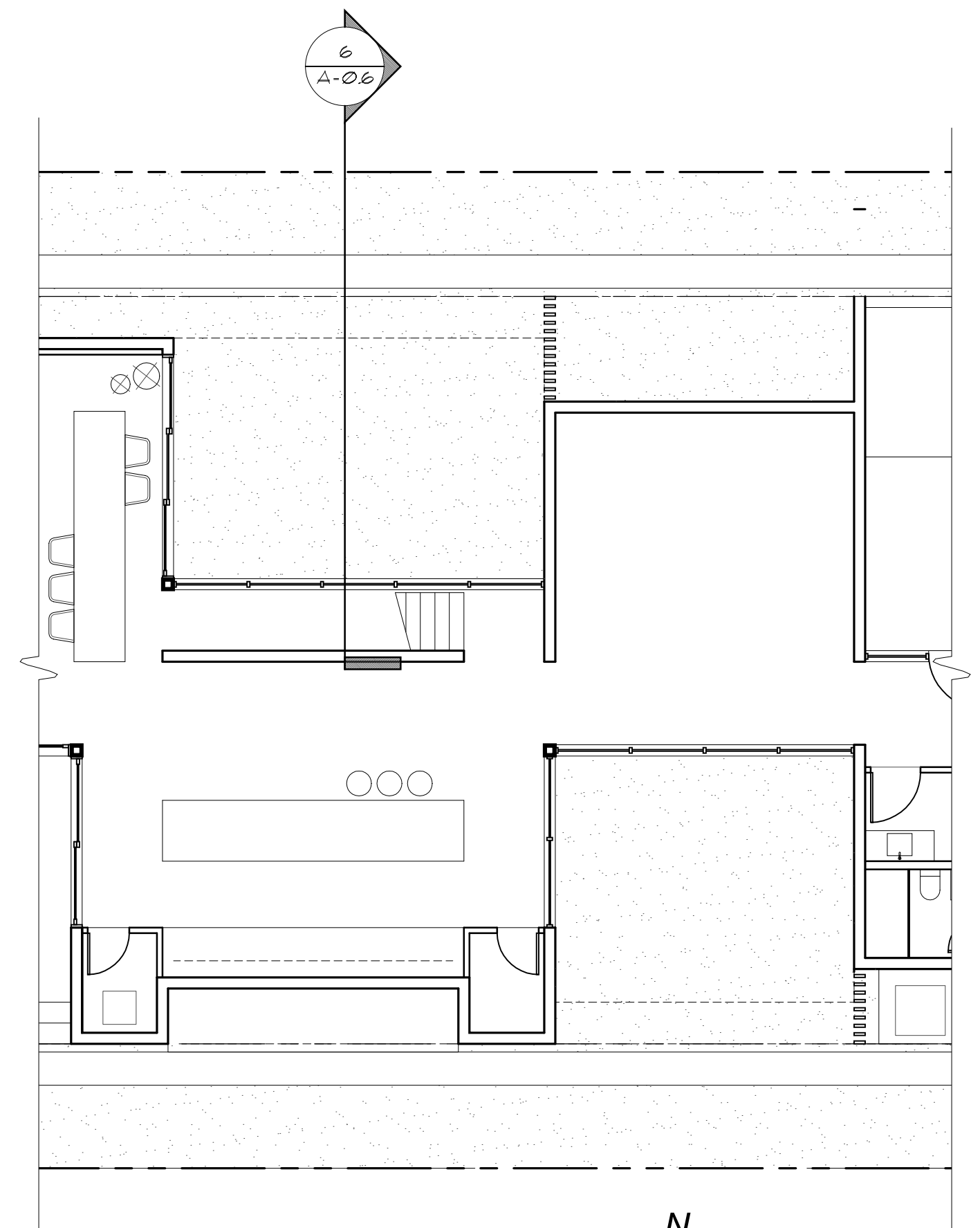


1 FRONT SETBACK AREA CALCULATION
SCALE 1/8" = 1'-0"
A-0.6

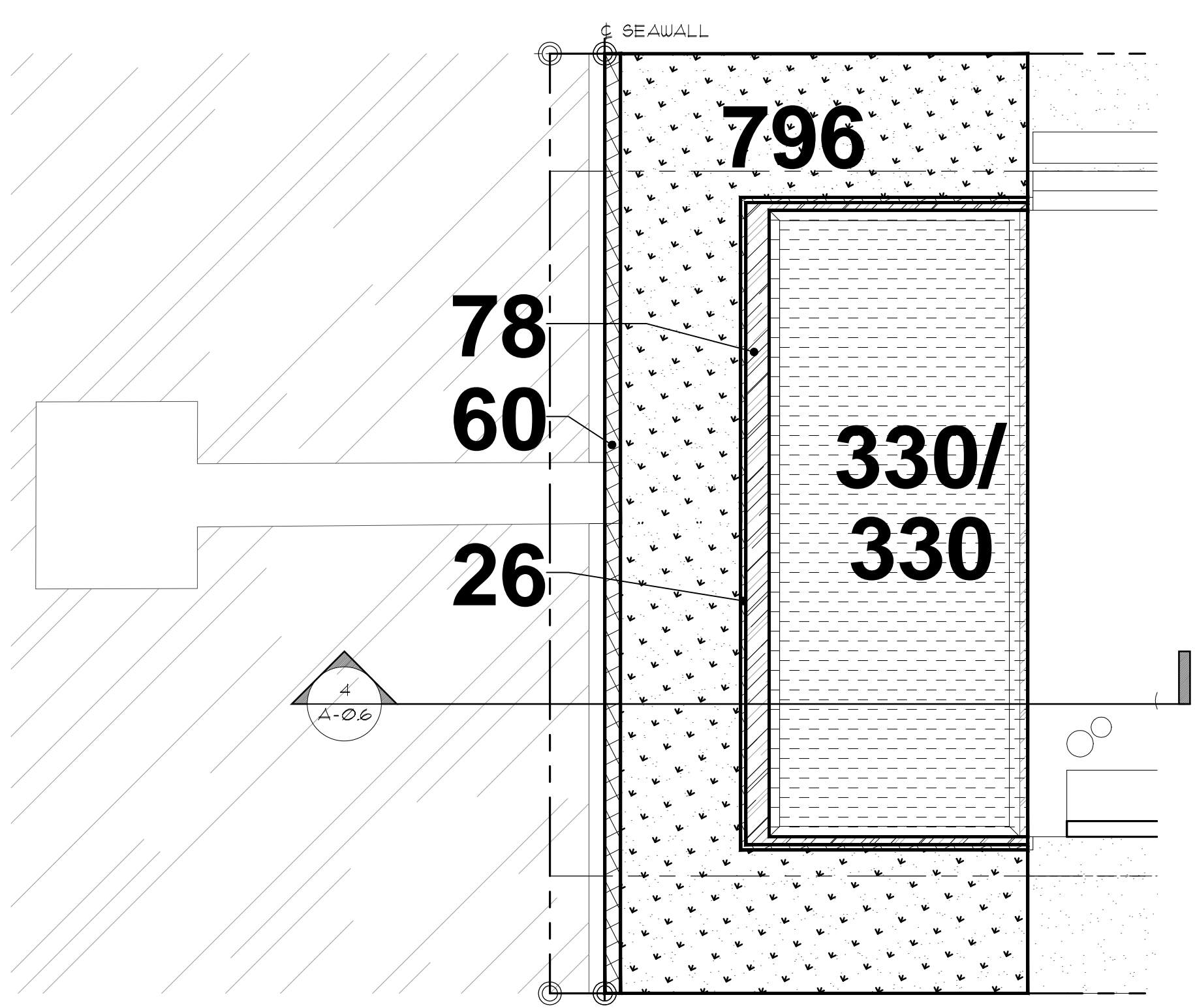
FRONT SETBACK CALCULATIONS		
AREA:	1200 S. F.	100%
IMPERVIOUS AREA:	420 S. F.	
LANDSCAPE AREA:	780 S. F.	65.0%



3 FRONT SETBACK AREA CALCULATION
SCALE 3/16" = 1'-0"
A-0.6

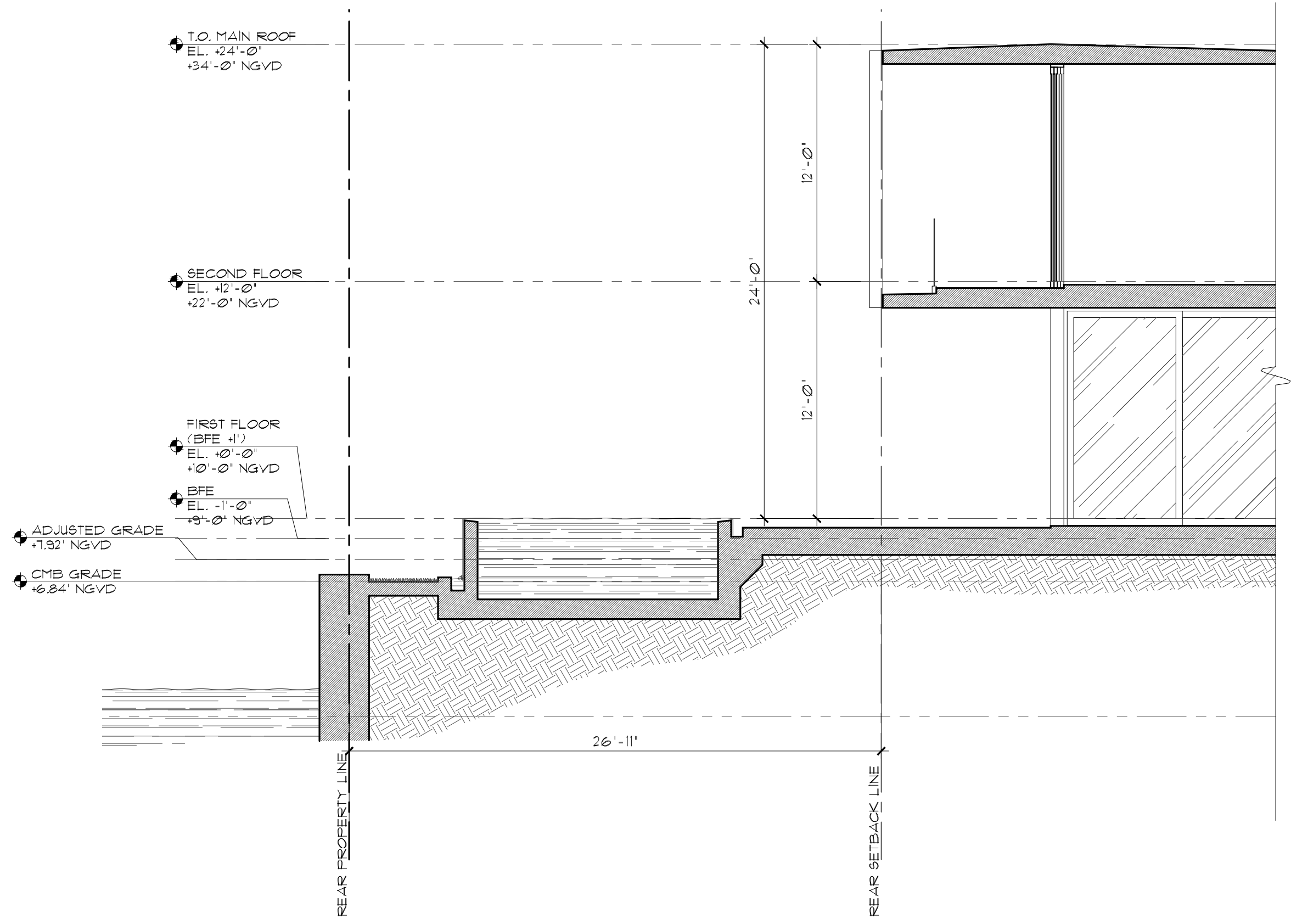


4 SIDE SETBACK SITE PLAN
SCALE 1/8" = 1'-0"
A-0.6

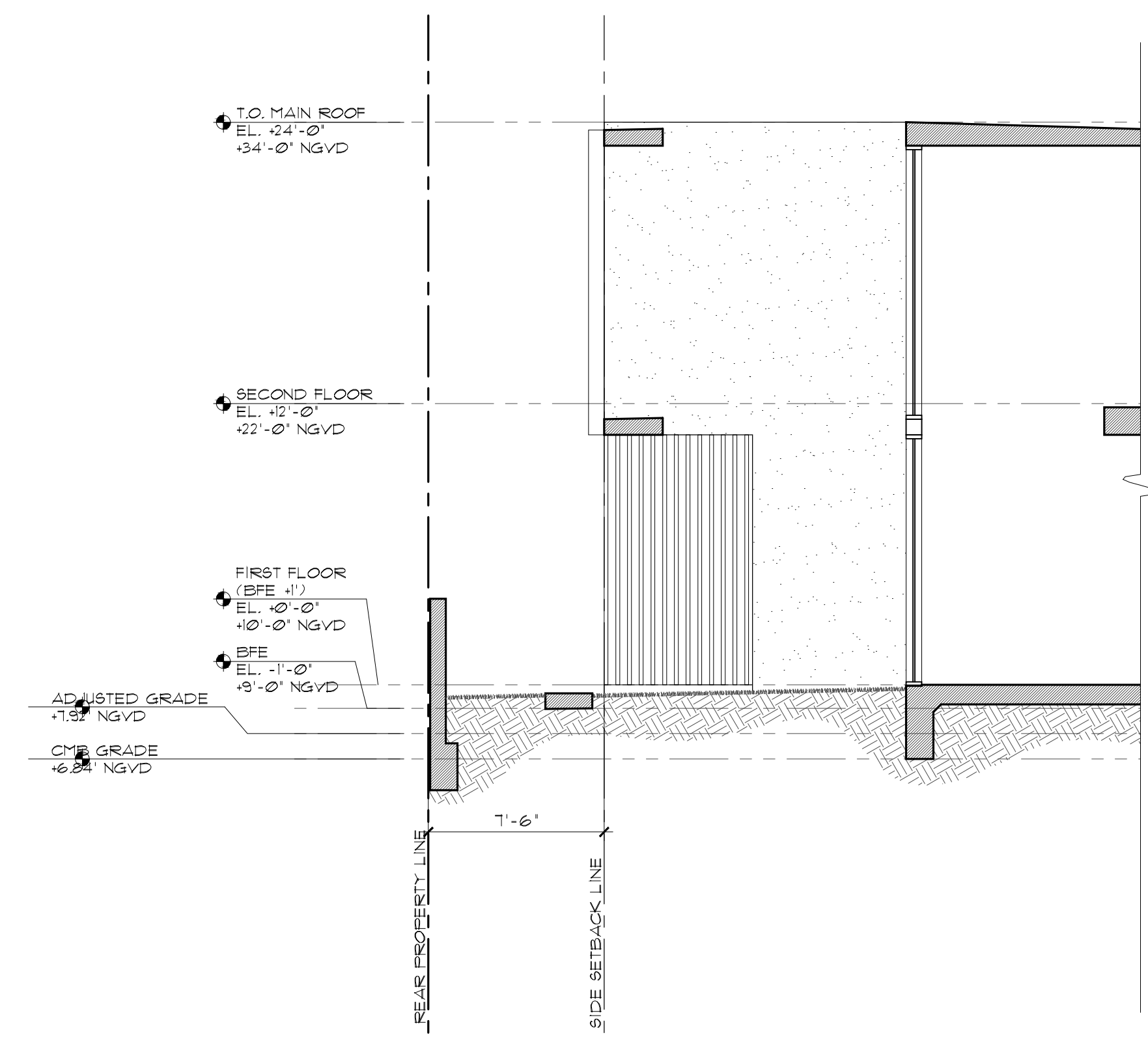


2 REAR SETBACK AREA CALCULATION
SCALE 1/16" = 1'-0"
A-0.6

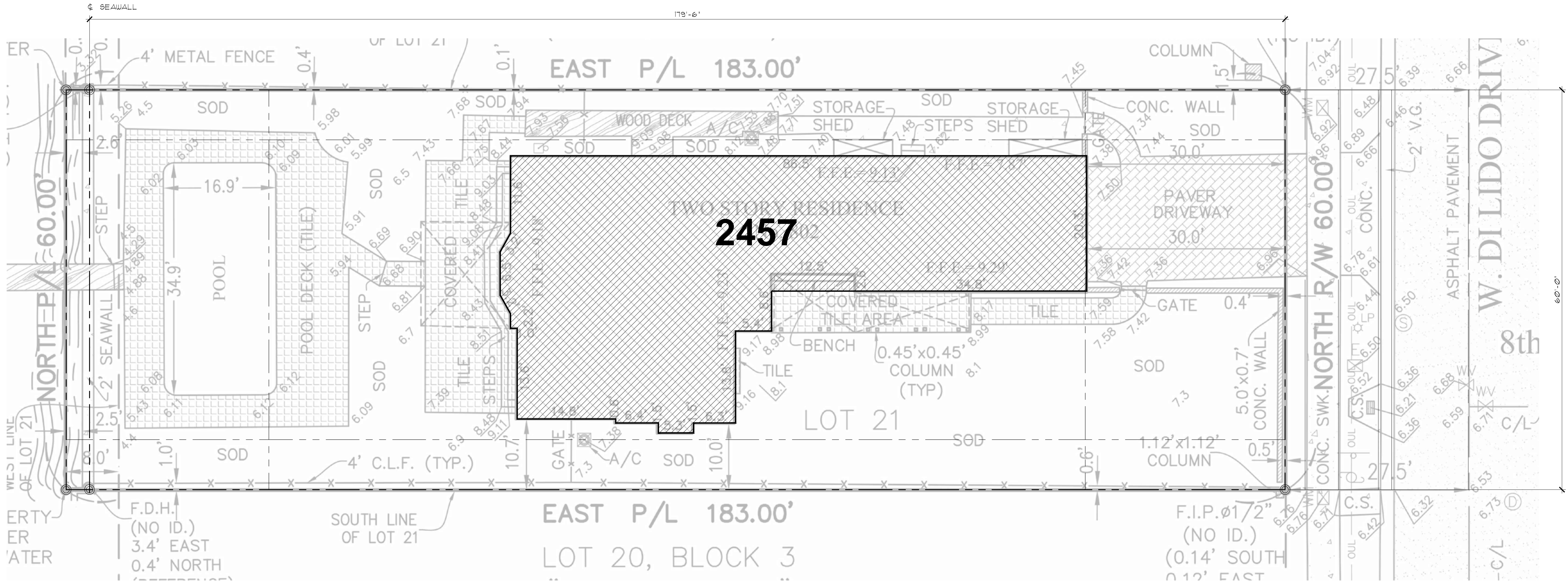
REAR SETBACK CALCULATIONS		
AREA:	1620 S. F.	100%
IMPERVIOUS AREA:	408 S. F.	
LANDSCAPE AREA:	1212 S. F.	74.8%



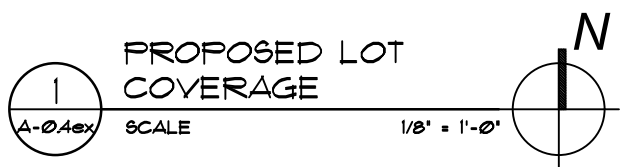
4 REAR SETBACK AREA CALCULATION
SCALE 3/16" = 1'-0"
A-0.6

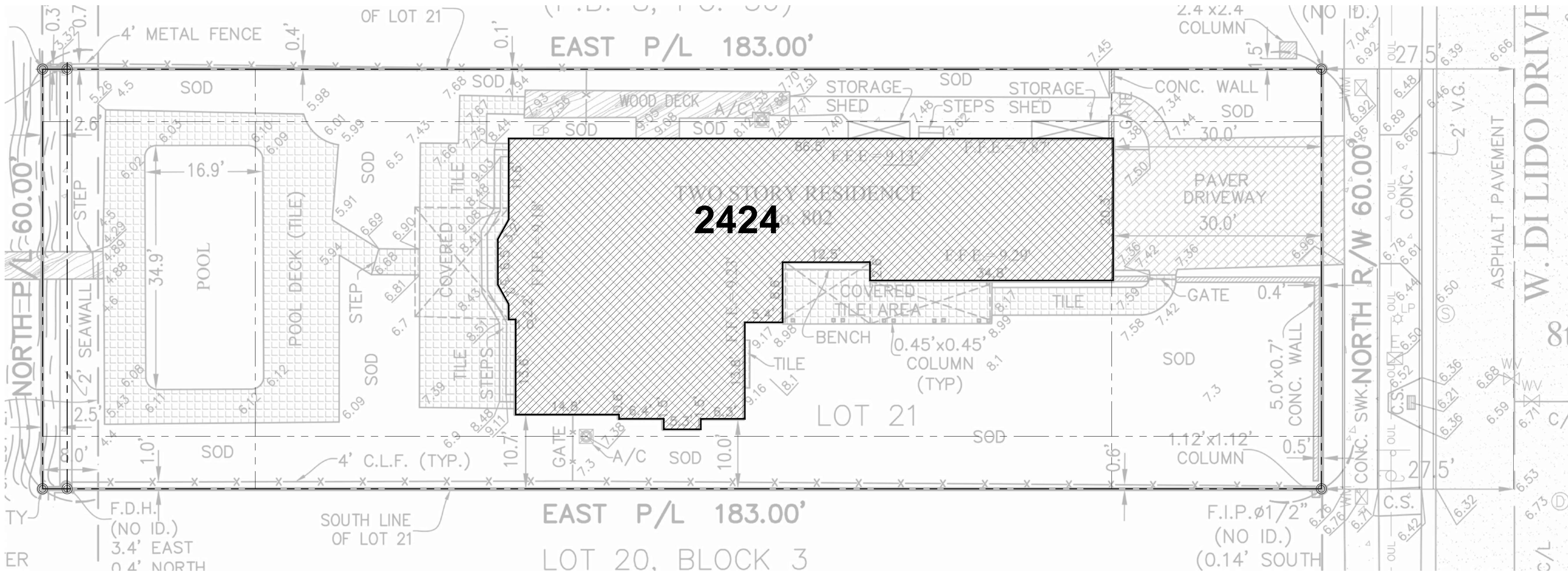


6 SIDE SETBACK TYP. SECTION
SCALE 3/16" = 1'-0"
A-0.6



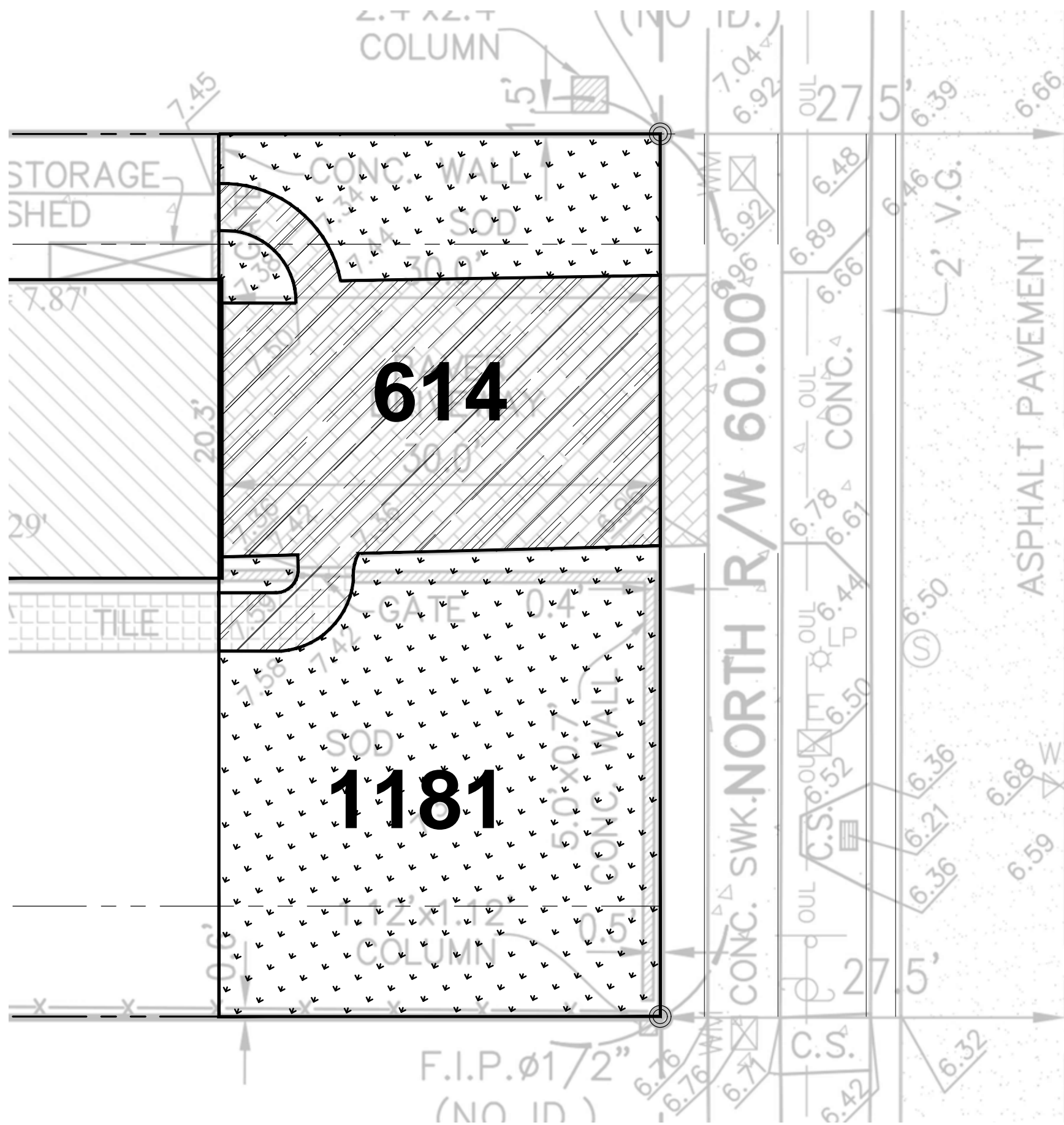
SITE DATA	
EXISTING LOT SIZE:	10,170 S.F. (100%)
BLDG. LOT COVERAGE: MAIN HOUSE	2,457 S.F.
TOTAL BLDG. LOT COVERAGE:	2,457 SQ. FT. (22.8%)





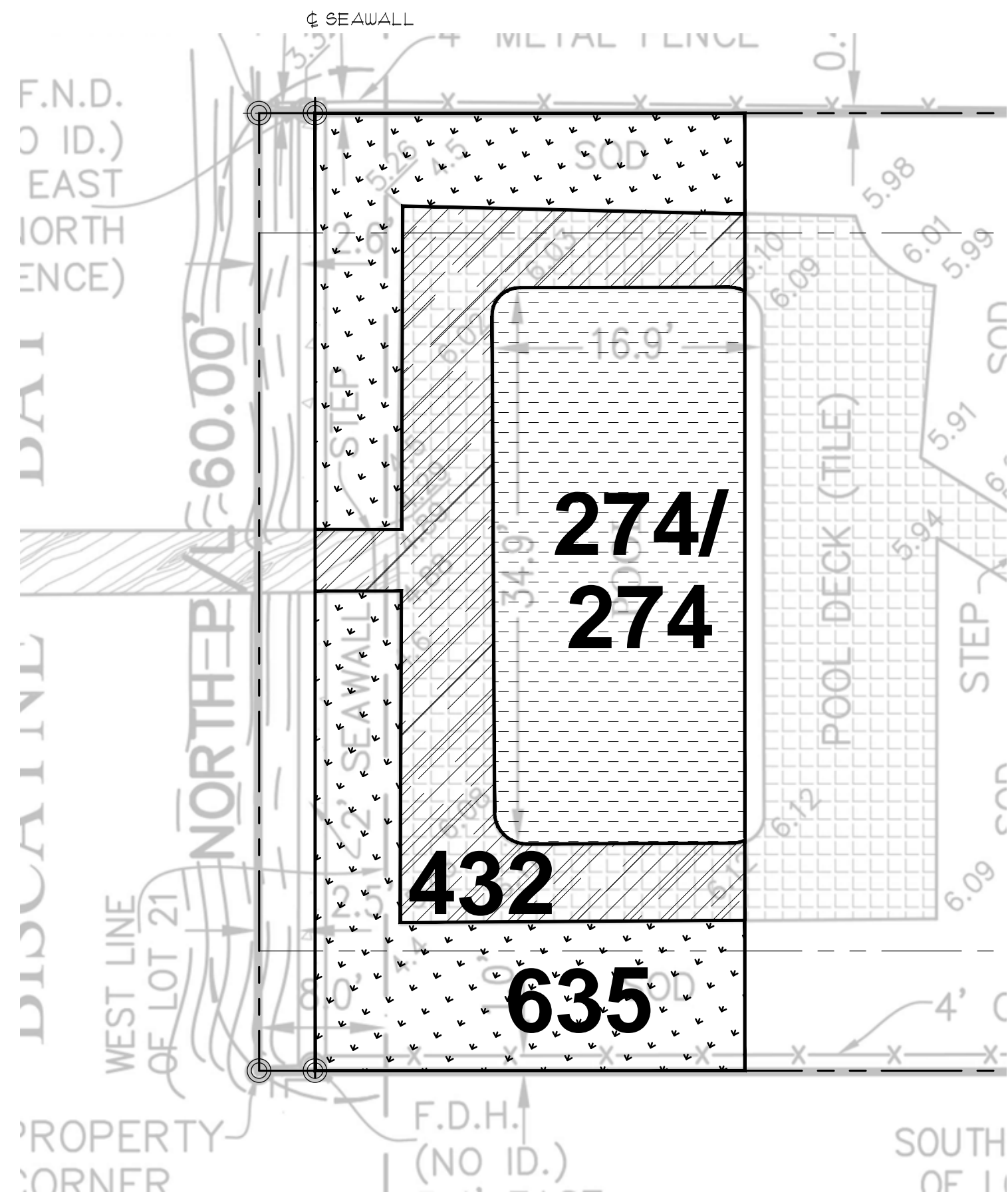
BUILDING DATA	
MAIN HOUSE:	
FIRST FLOOR (AC)	2,424 S. F.
SECOND FLOOR (AC)	0 S. F.
TOTAL (AC):	2,424 S. F.
TOTAL (NON AC):	
	2,424 S.F.
TOTAL UNIT SIZE (AC + NON AC):	2,424 SQ. FT. (22.5%)





1 FRONT SETBACK AREA CALCULATION
SCALE 1/8" = 1'-0"

FRONT SETBACK CALCULATIONS		
AREA:	1,800 S. F.	100%
IMPERVIOUS AREA:	614 S. F.	
LANDSCAPE AREA:	1,181 S. F.	65.6%



2 REAR SETBACK AREA CALCULATION
SCALE 1/8" = 1'-0"

REAR SETBACK CALCULATIONS		
AREA:	1,616 S. F.	100%
IMPERVIOUS AREA:	106 S. F.	
LANDSCAPE AREA:	909 S. F.	56.25%



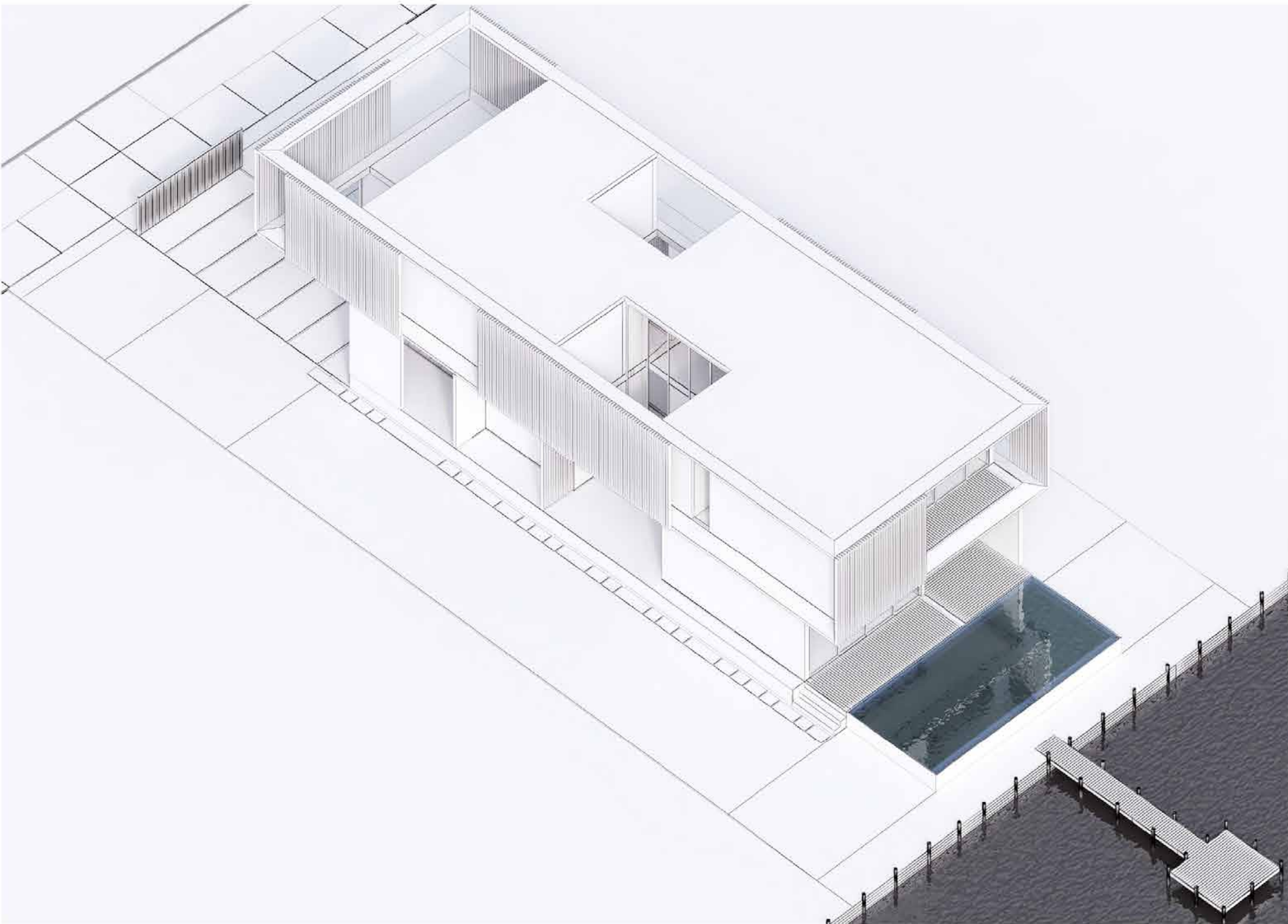
Front View



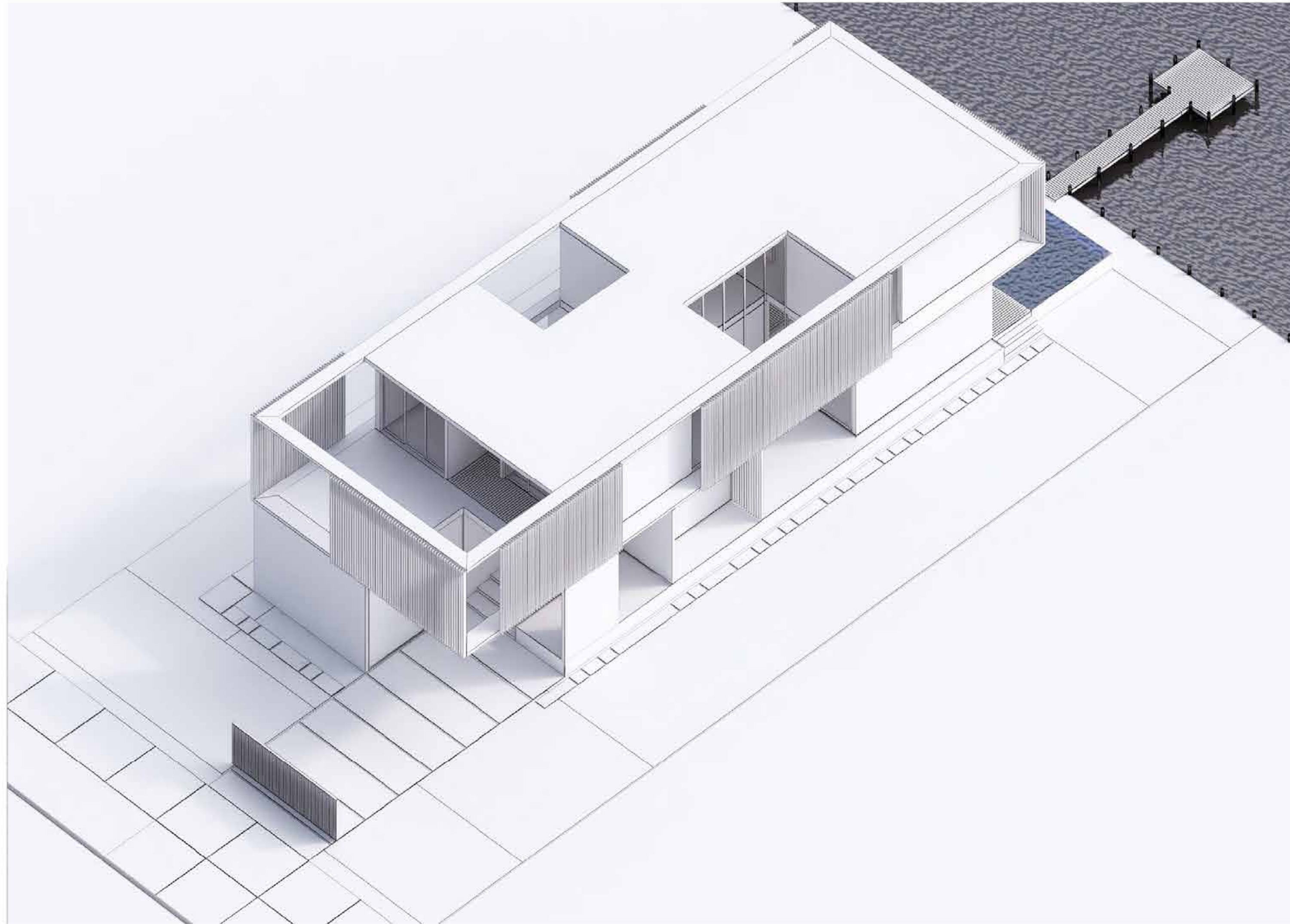
Rear View



Southwest View



Northwest View



Northeast View



Southeast View



Residence ①



Residence ②



Subject Property [802 W. Dillido]



Residence ③



Residence ④



Residence ⑤



Residence ⑥

Aerial Photographs

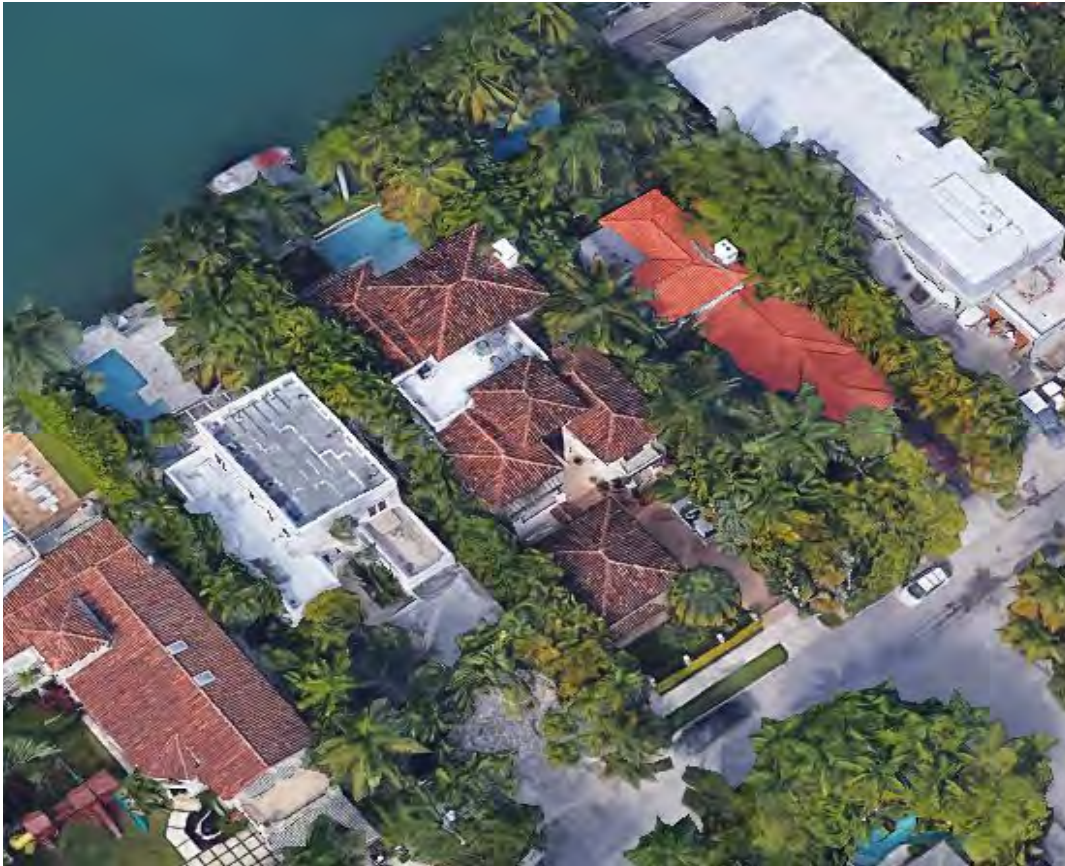
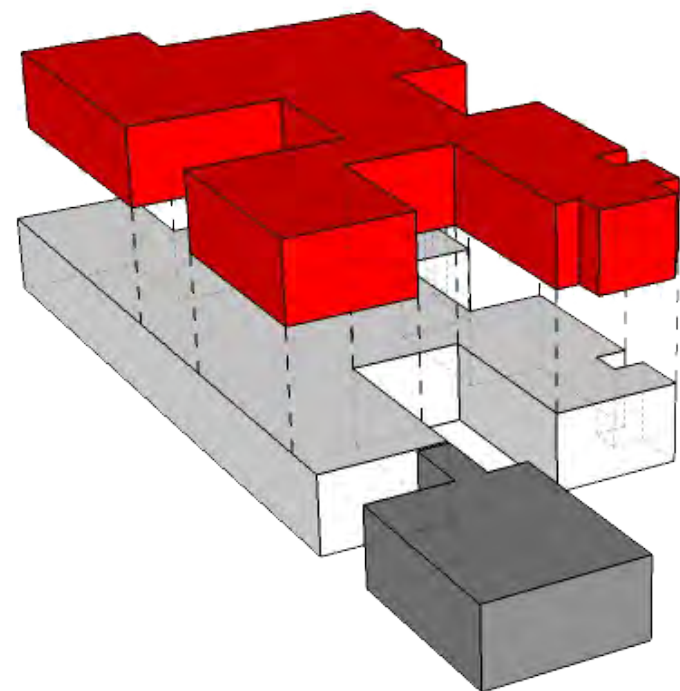




Front Context

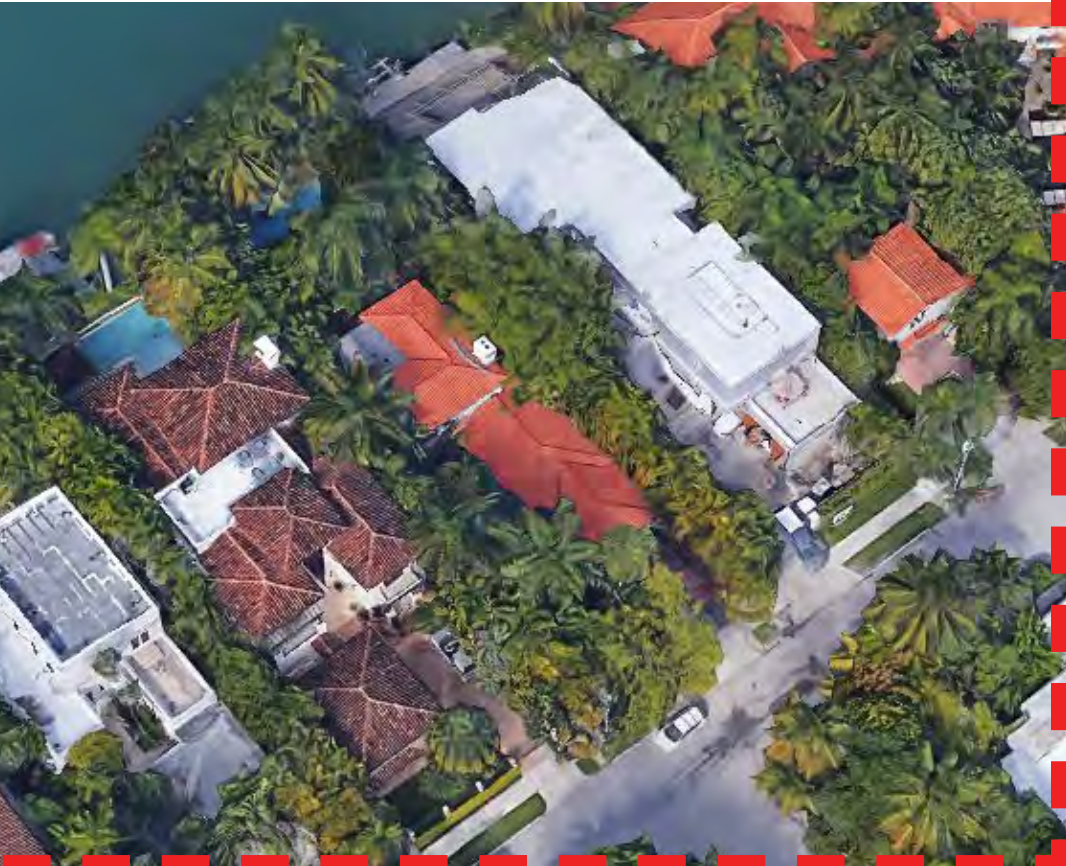
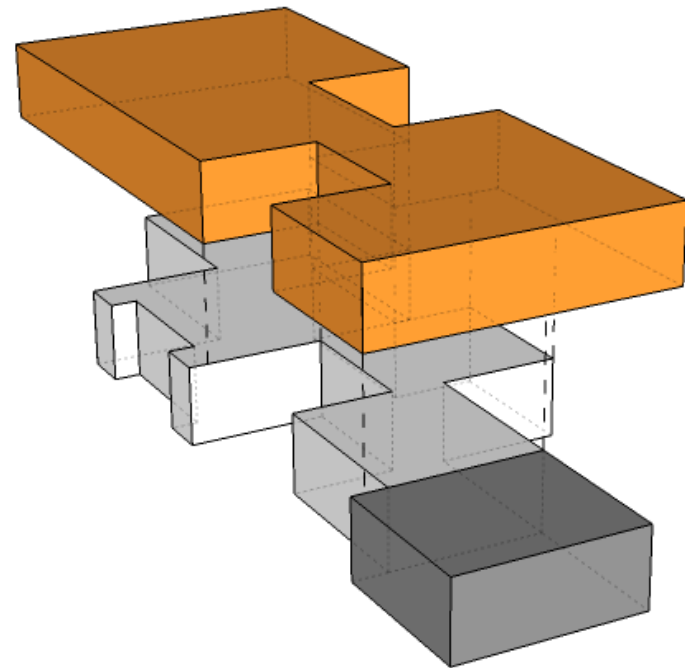
726 W. Dilido Dr.

Adjacent Property
 Approx. Lot Coverage: 34.5%
 Approx. 2nd to 1st Ratio: 71.5%



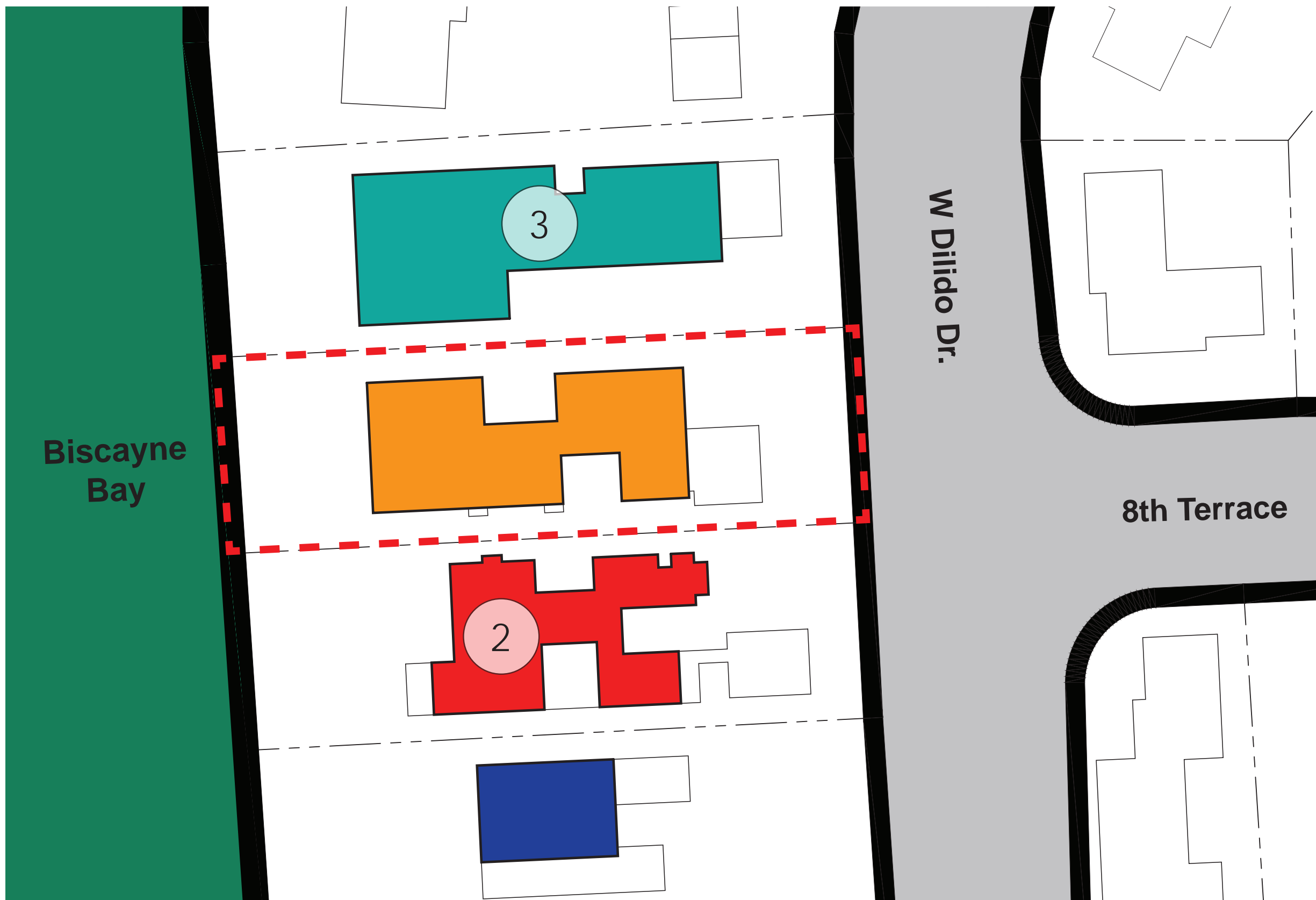
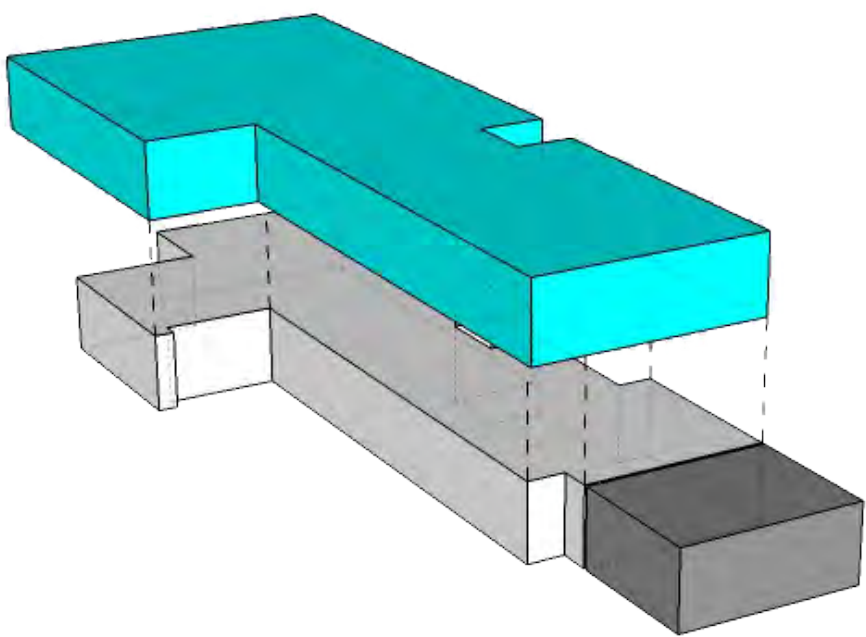
802 W. Dilido Dr.

Proposed Property
 Lot Coverage: 27.8%
 2nd to 1st Ratio: 105.1%



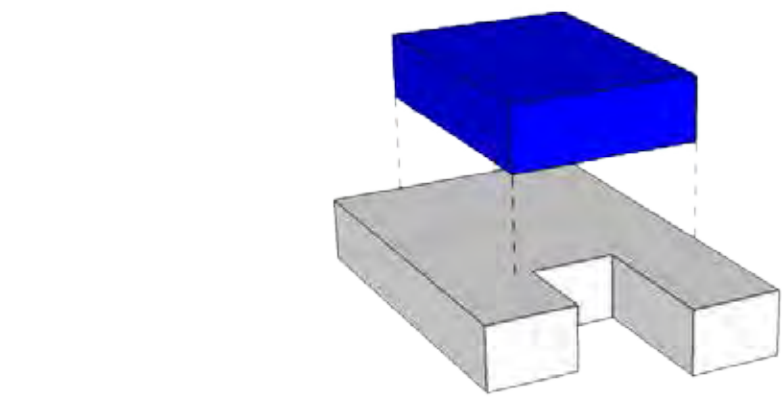
808 W. Dilido Dr.

Adjacent Property
 Approx. Lot Coverage: 28.2%
 Approx. First-Second Ratio: 114.39%





Residence ①



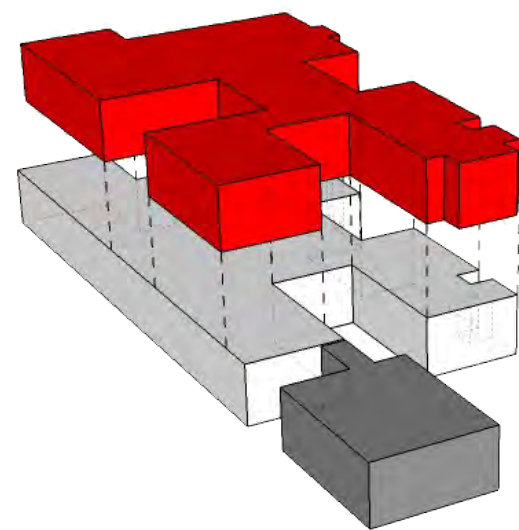
55%
Massing Diagram



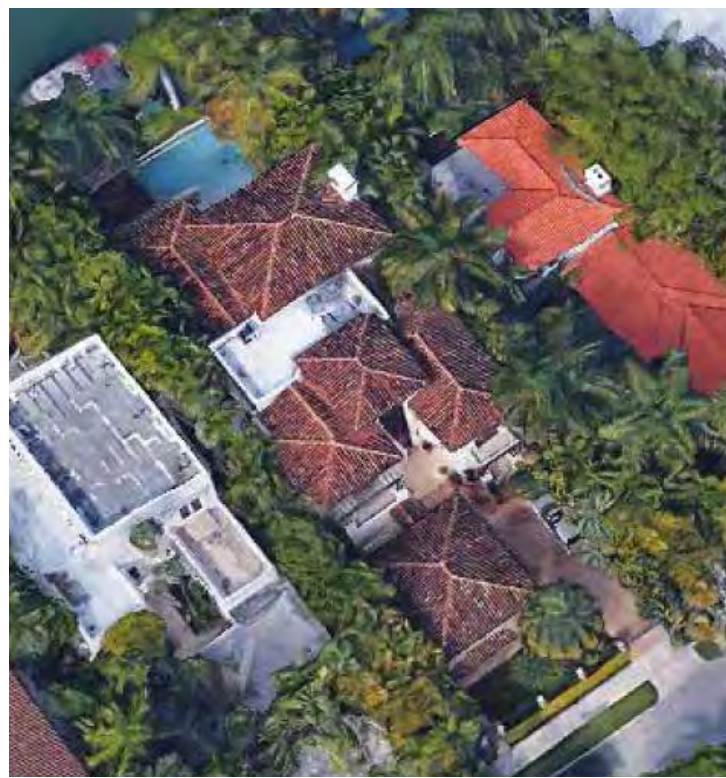
Aerial View



Residence ②



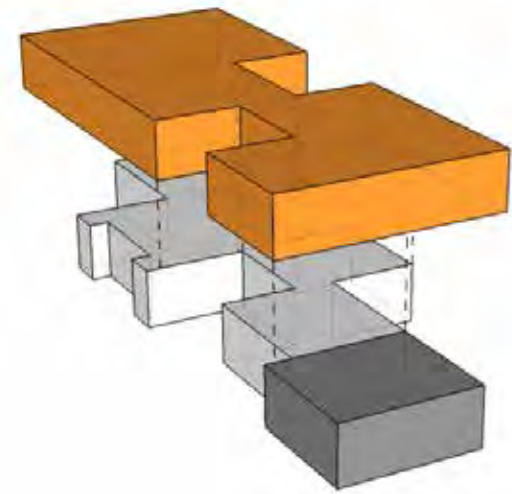
71.5%
Massing Diagram



Aerial View



Proposed Residence



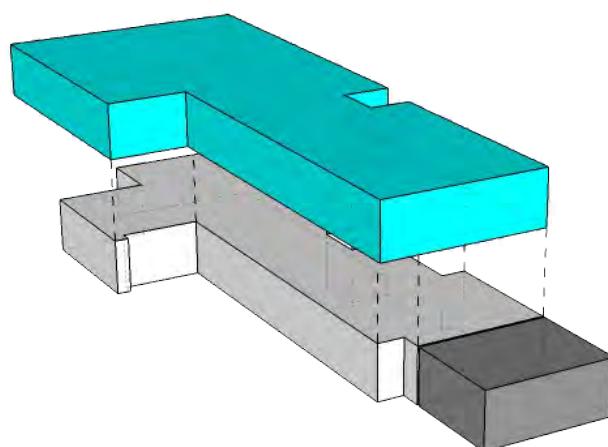
105.1%
Massing Diagram



Aerial View



Residence ③



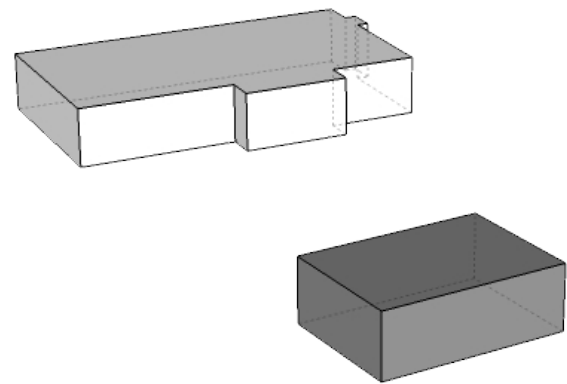
114.3%
Massing Diagram



Aerial View



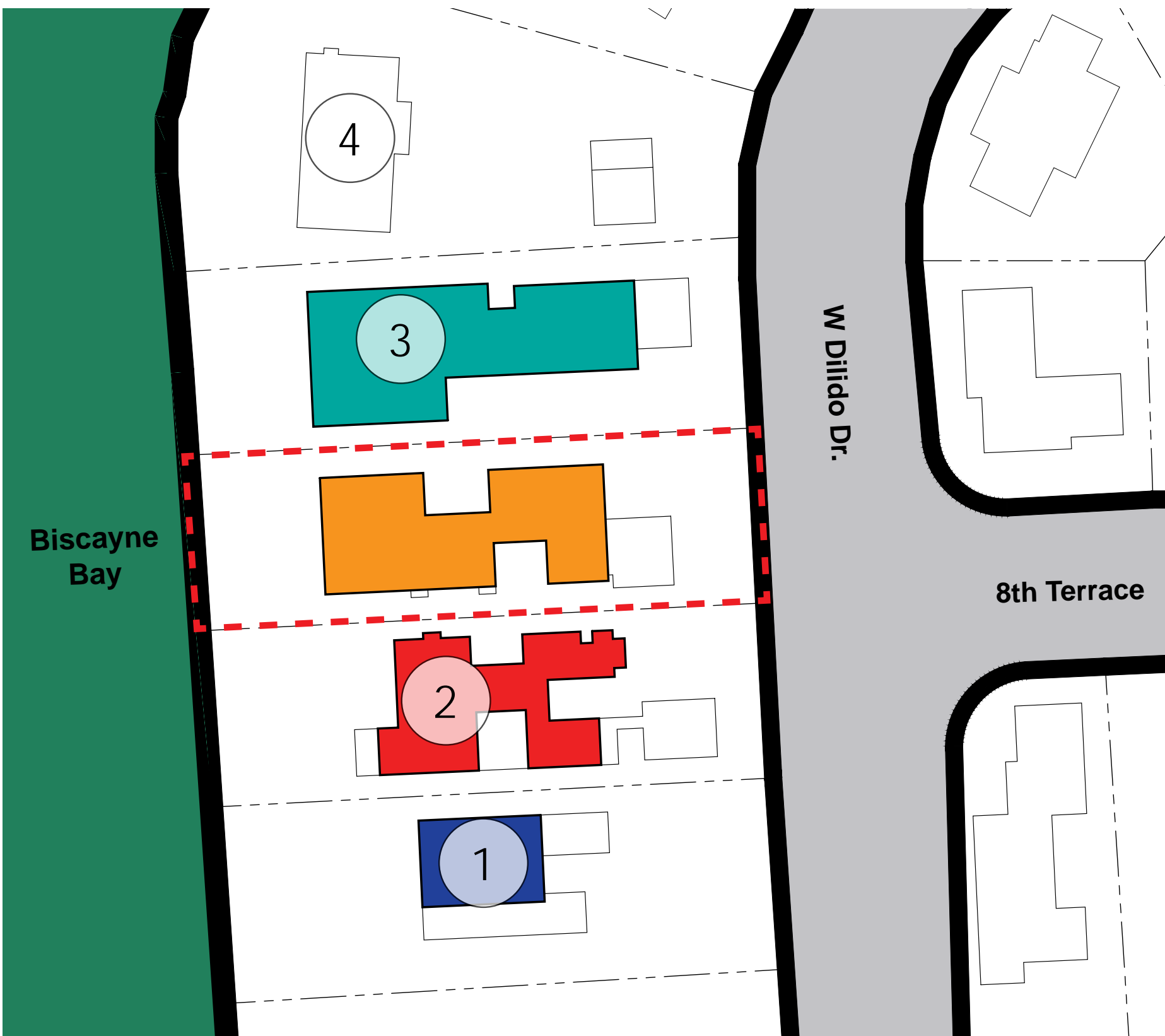
Residence ④



0%
Massing Diagram



Aerial View



Location Map



01



02



03



04

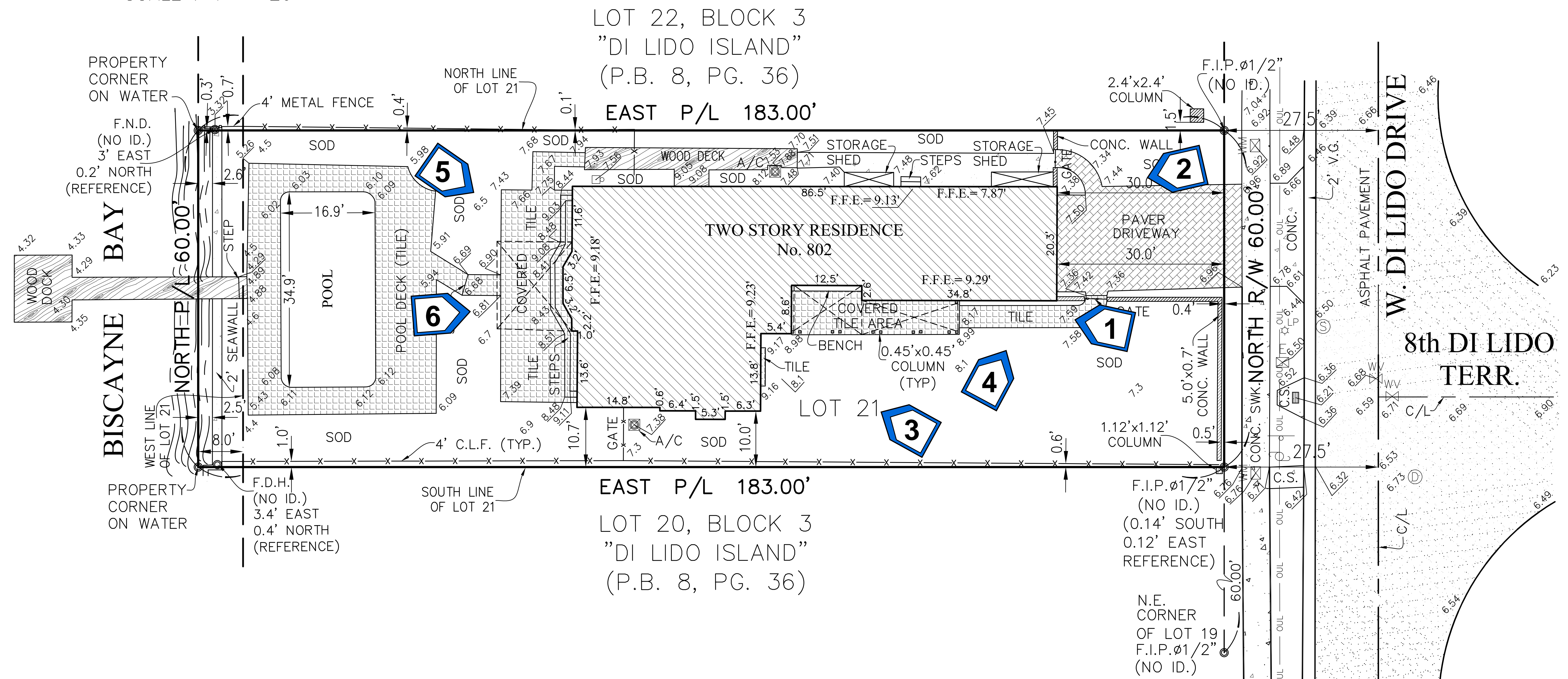
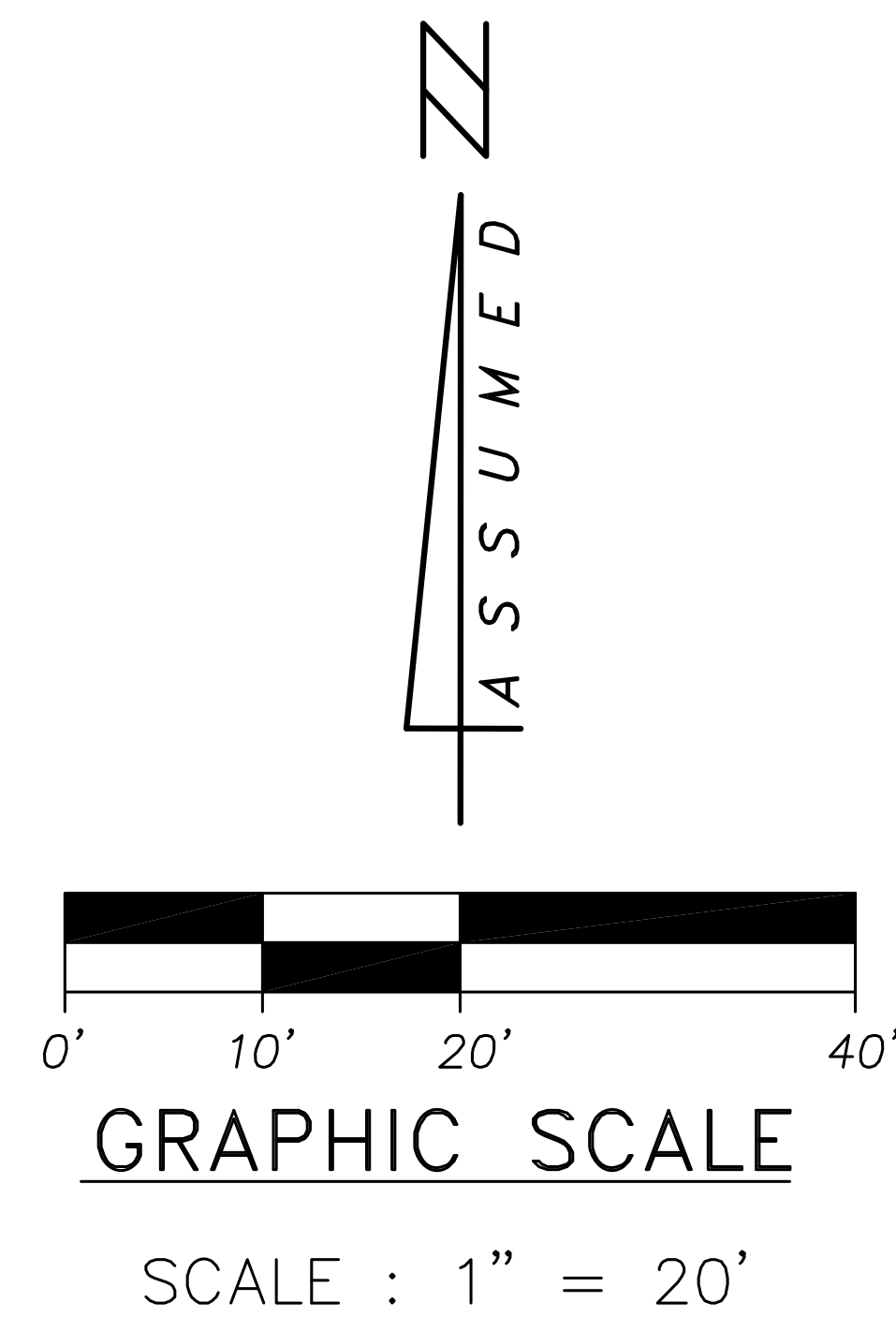


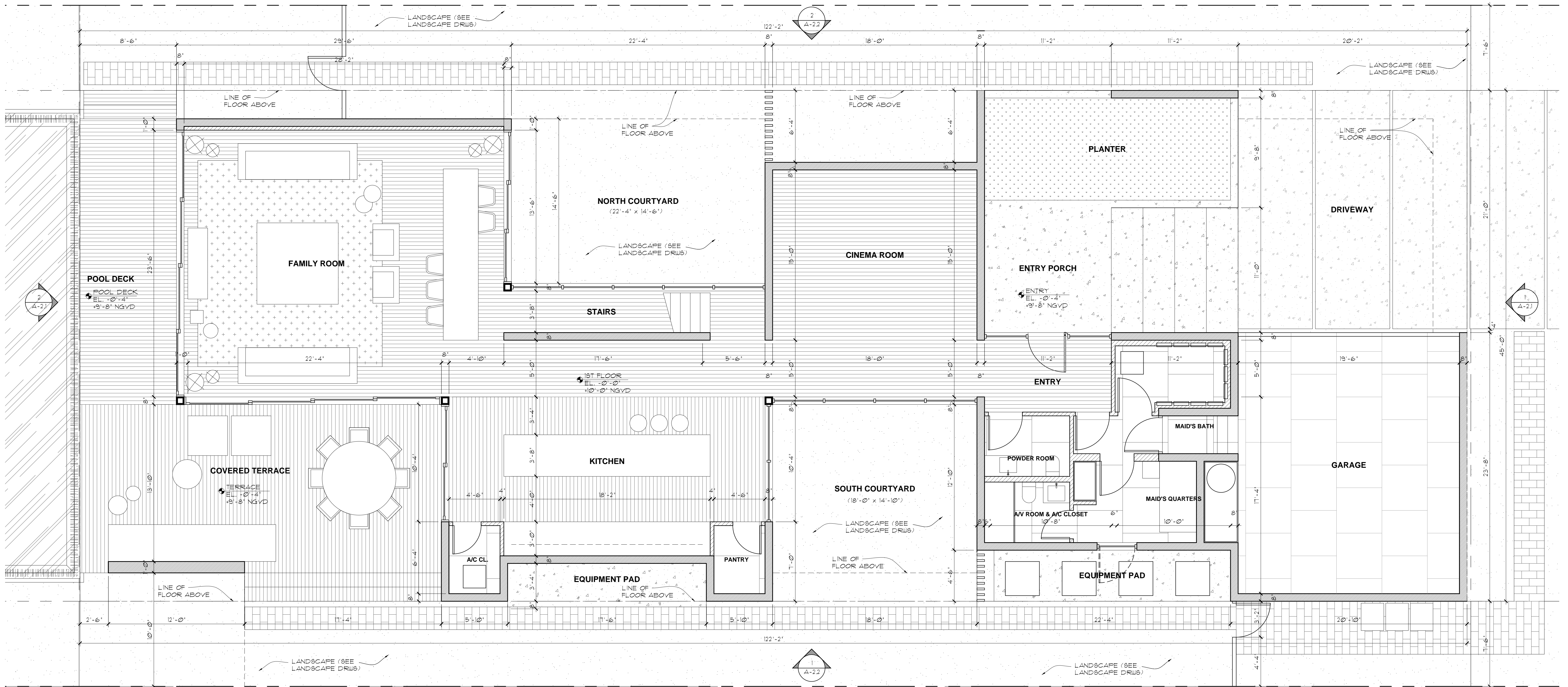
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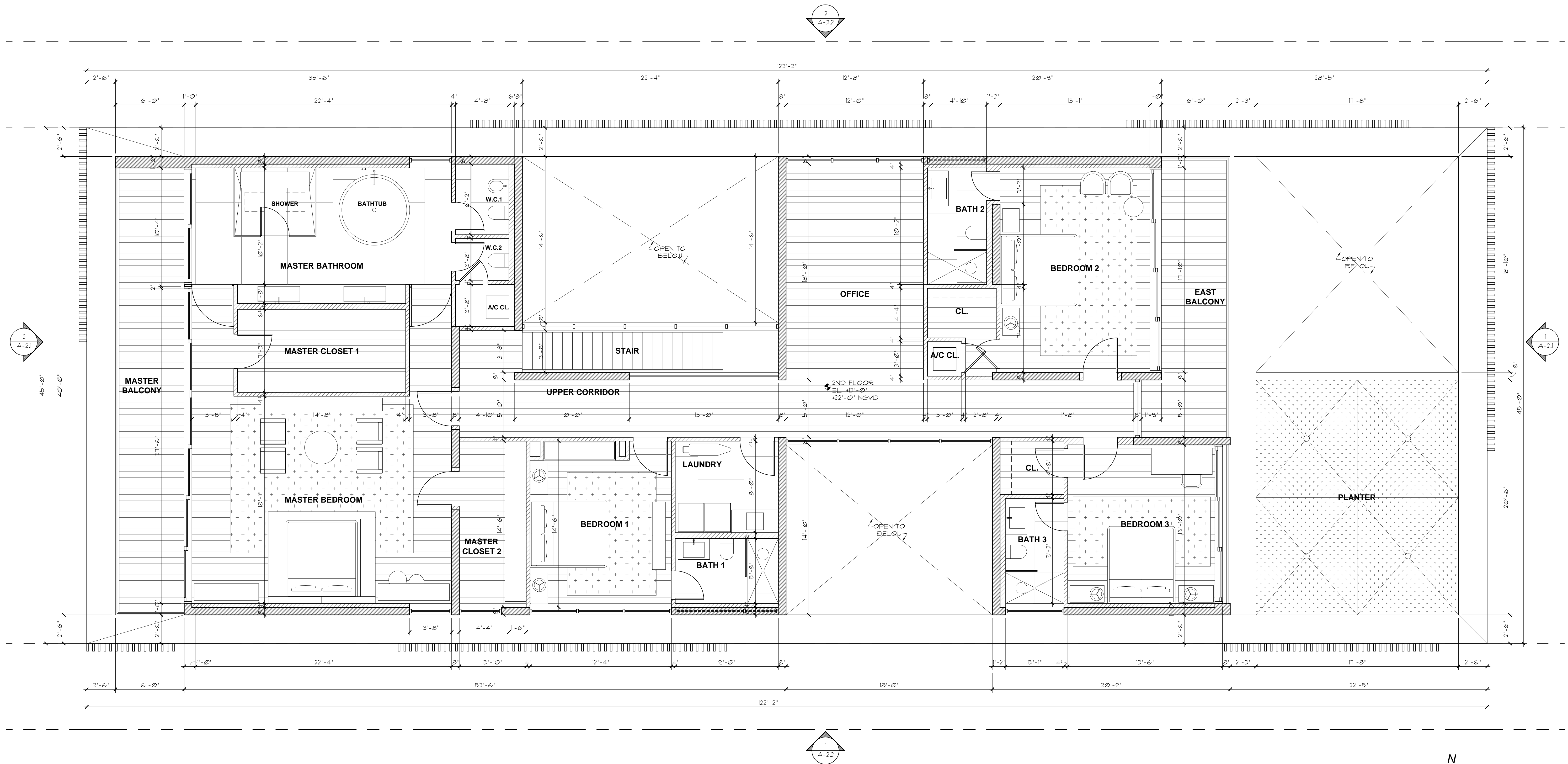
06

of
802 WEST DI LIDO DRIVE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139

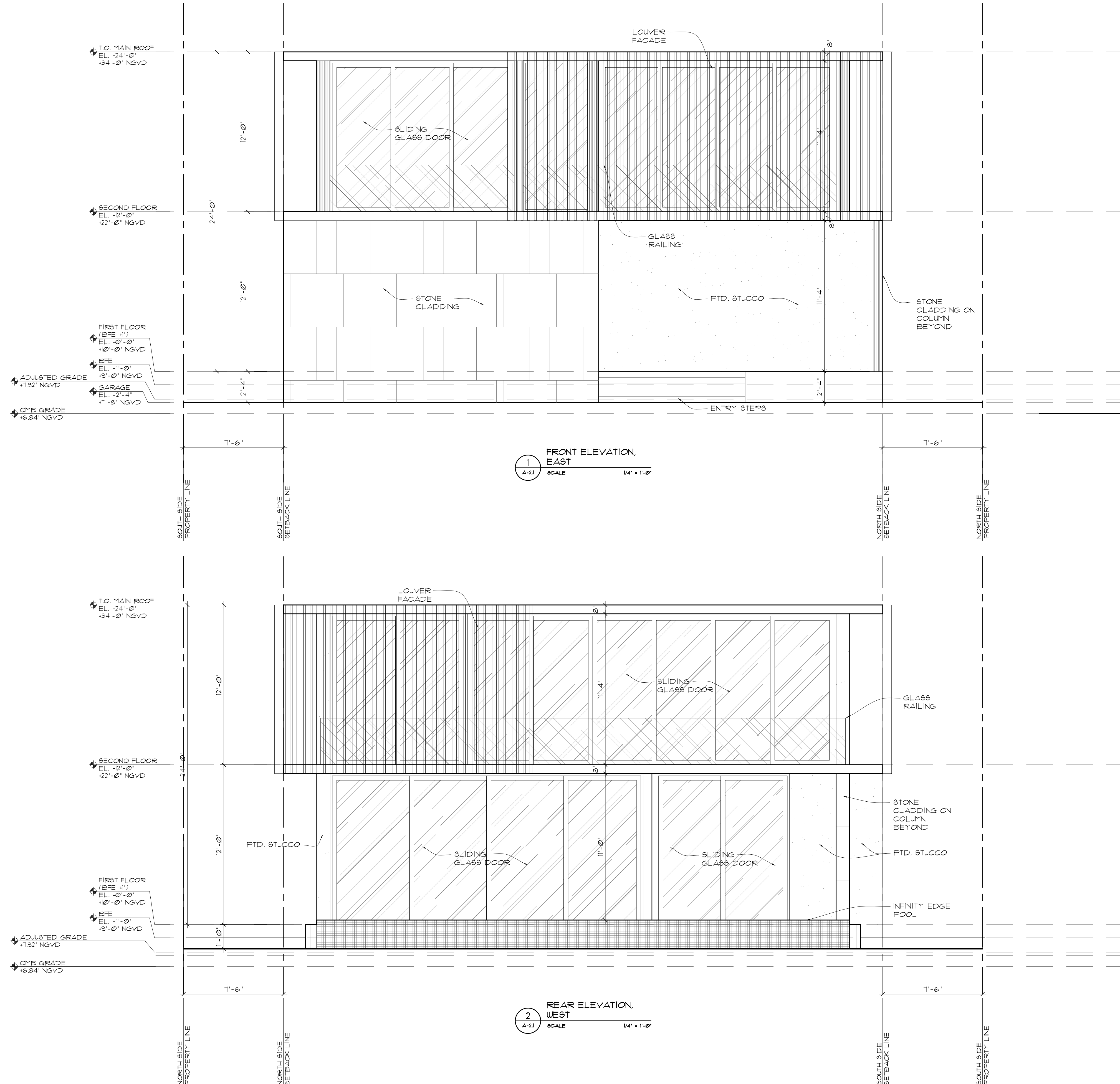


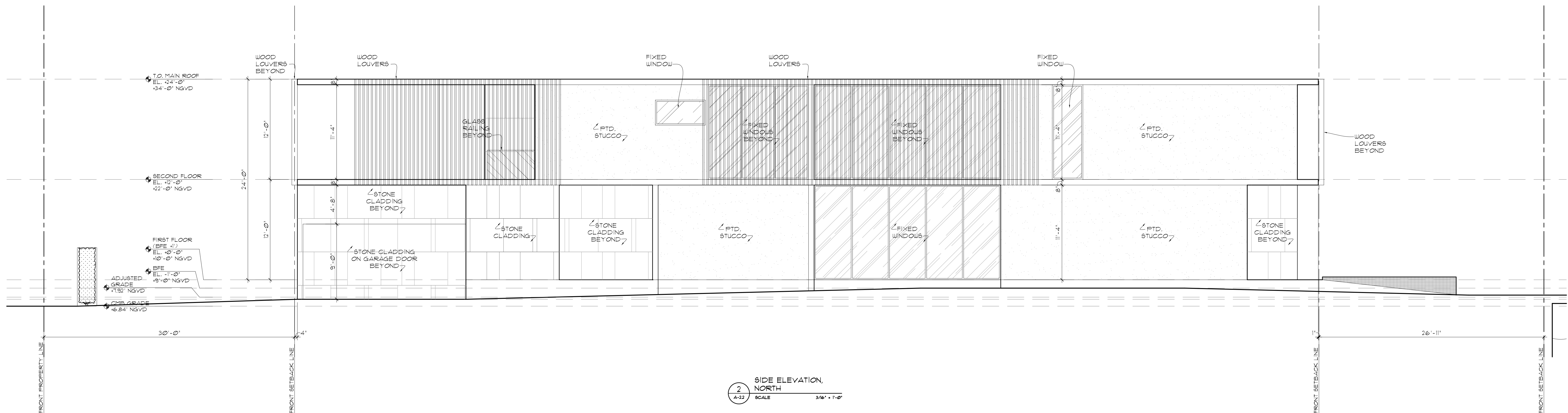


1 1st Floor Plan
A-1.1
SCALE 1/4" = 1'-0"



1
A-2.2
2ND FLOOR PLAN
SCALE
1/4" = 1'-0"





DRAWING REVISION REGISTER		
REV#	SHEET #	REVISION DESCRIPTION

SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR 802 WEST DILIDO DRIVE TO BE PERMITTED BY MIAMI BEACH:

- INSTALLATION OF LANDSCAPE PLANTING
- INSTALLATION OF DRIVEWAY & GARDEN PATHS
- INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM
- INSTALLATION OF LANDSCAPE LIGHTING

09/26/2016 DRAWING ISSUE	SHEET INDEX	
	LANDSCAPE DRAWINGS	DRAWING NOTES
	LCVR	COVER PAGE
	L001	SITE PLAN & GENERAL NOTES
	L100	TREE DISPOSITION NOTES & PLAN
	L200	DEMOLITION NOTES & PLAN
	L300	MATERIALS NOTES & PLAN
	L400	GRADING NOTES & PLAN
	L500	LAYOUT NOTES & PLAN
	L600	DETAILS
	L700	TREE & PALM PLANTING PLAN
	L701	UNDERSTORY PLANTING PLAN
	L702	PLANTING DETAILS
	L800	IRRIGATION NOTES & PLAN
	L801	IRRIGATION DETAILS
	L900	LIGHTING NOTES & PLAN



1016 clare avenue, 5
west palm beach, fl
561.402.9414

www.nielsenlandarch.com

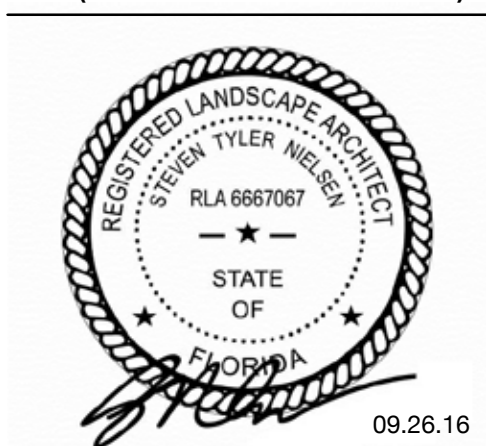
LOCATION MAP



SEBAG GARDEN

802 W DILIDO | MIAMI BEACH, FLORIDA 33139

SEAL (S TYLER NIELSEN - LA6667067)



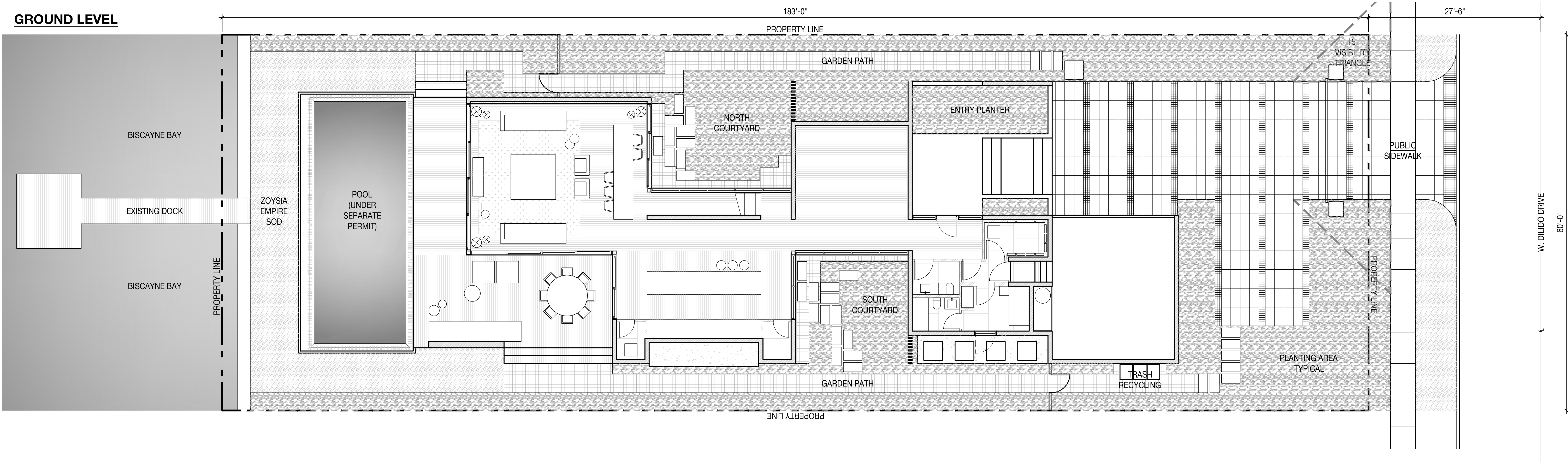
09.26.16

COVER PAGE	
DATE	ISSUE
09/26/2016	DRB - MIAMI BEACH

CLIENT	LANDSCAPE ARCHITECT	ARCHITECT
EMMANUEL SEBAG 808 WEST DILIDO DRIVE, MIAMI BEACH ,FLORIDA,33139	NIELSEN LANDSCAPE ARCHITECTS 1016 CLARE AVENUE, BLDG. 5 WEST PALM BEACH, FL 33401 561.402.9414	CHOIEFF LEVY FISCHMAN 8425 BISCAYNE BLVD., 201 MIAMI, FLORIDA ZIP 33136 305.434.8338
	TYLER NIELSEN TYLER@NIELSENLANDARCH.COM	

LCVR

GROUND LEVEL



NIELSEN
landscape architects
1016 clare avenue, 5
west palm beach, fl
561.402.9414
www.nielsenlandarch.com

SITework GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

SITework GENERAL NOTES CONTINUED

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.

SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.



Know what's below.
Call before you dig.

SEBAG GARDEN

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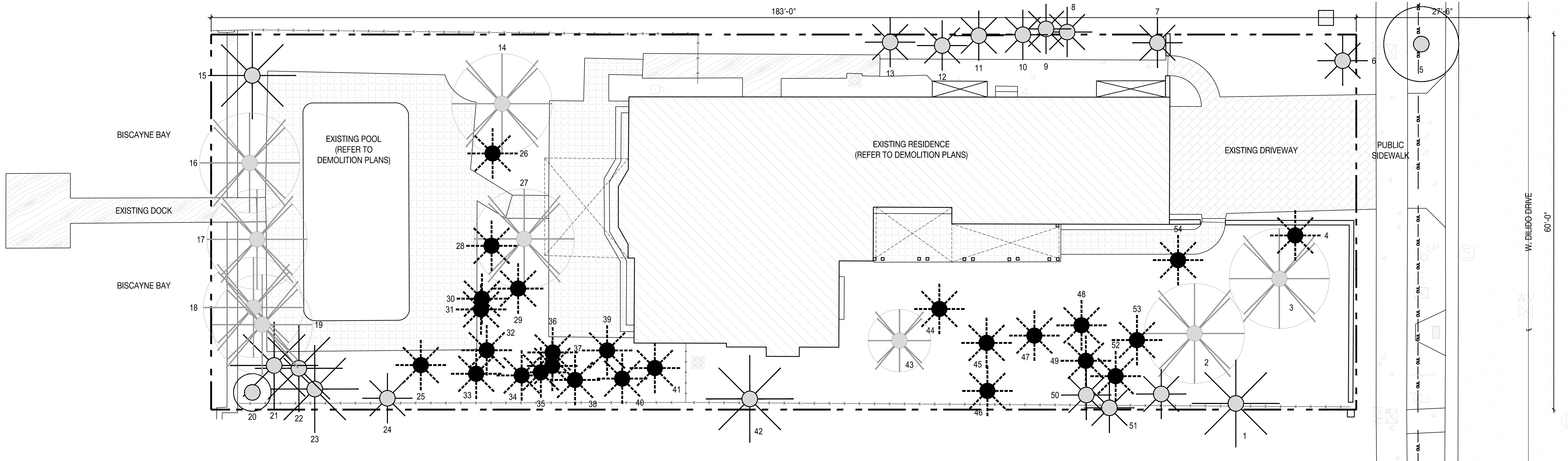
SEAL (S TYLER NIELSEN - LA6667067)



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SITE PLAN & GENERAL NOTES	
DATE	ISSUE
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L001



TREES & PLANTING TO BE PRESERVED NOTES

- 1. EXISTING TREES TO BE PRESERVED SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS THEY BEAR TO PRE-CONSTRUCTION GRADE.
- 2. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED WITH STURDY, WEATHERPROOF FENCING AT A MINIMUM FOUR (4) FEET HEIGHT INSTALLED NO CLOSER TO THE TREE TRUNK THAN ITS DRIPLINE. THIS FENCE SHALL BE MAINTAINED IN WORKING ORDER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- 3. NO WORK SHALL BE CONDUCTED WITHIN THE DRIPLINE, UNLESS REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL WORK APPROVED WITHIN THE DRIPLINE SHALL BE COMPLETED BY HAND. PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING.
- 4. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

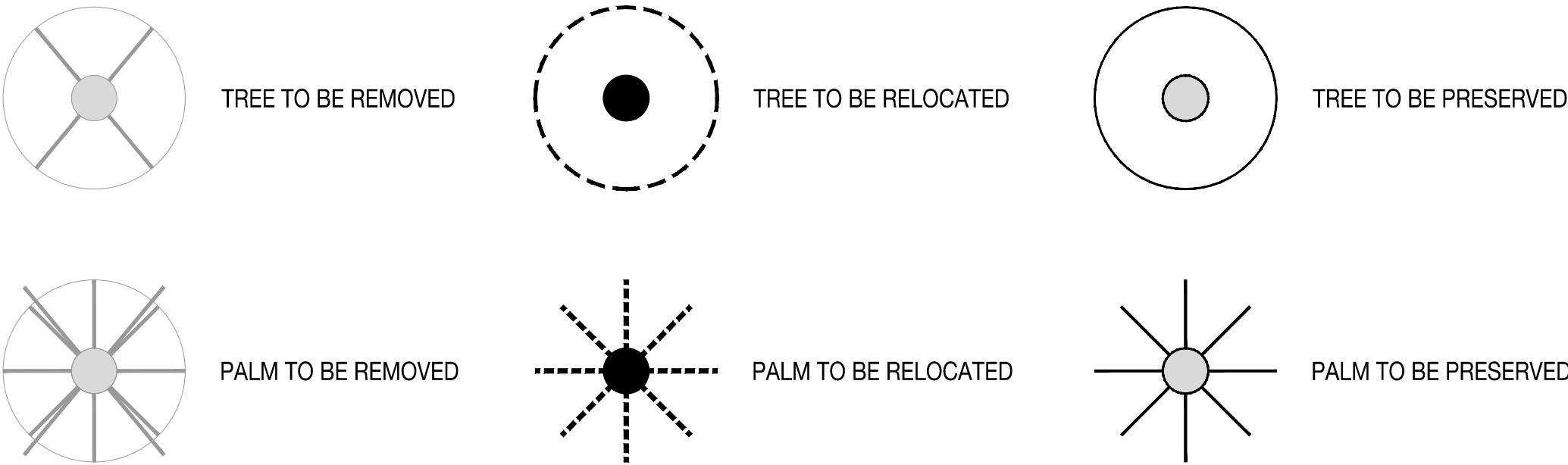
TREES & PLANTING TO BE RELOCATED NOTES

- 1. THE CONTRACTOR IS TO ROOT PRUNE ALL PLANT MATERIAL 90 DAYS MINIMUM IN ADVANCE OF MOVING PLANT MATERIAL.
- 2. THE CONTRACTOR IS TO WARRANTY ALL RELOCATED PLANT MATERIAL.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND FERTILIZING OF ALL PLANT RELOCATED PLANT MATERIAL UNTIL PROJECT COMPLETION.
- 4. ALL RELOCATED PLANT MATERIAL IS TO BE APPROPRIATELY BRACED.
- 5. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

TREES & PLANTING TO BE REMOVED NOTES

- 1. THE CONTRACTOR IS TO COMPLETELY REMOVE ALL PLANTER MATERIAL DESIGNATED FOR REMOVAL (I.E. ROOT BALL, DEBRIS, SAW DUST, ETC.).
- 2. THE CONTRACTOR IS TO BACKFILL ALL EXCAVATED ROOT BALLS FLUSH TO THE ADJACENT ELEVATION LEVEL.
- 3. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

TREE DISPOSITION LEGEND



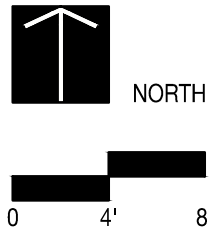
TREE DISPOSITION SCHEDULE

#	BOTANICAL NAME	COMMON NAME	DBH.	HT.	SPREAD	ACTION	NOTES
#	BOTANICAL	COMMON	DBH"	HT'	SPREAD'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL
#	BOTANICAL	COMMON	DBH"	HT'	SPREAD'	RELOCATE	LOCATION OF PLANT MATERIAL CONFLICTS WITH CONSTRUCTION ENVELOPE
#	BOTANICAL	COMMON	DBH"	HT'	SPREAD'	REMOVE	PLANT MATERIAL IS UNDESIRABLE

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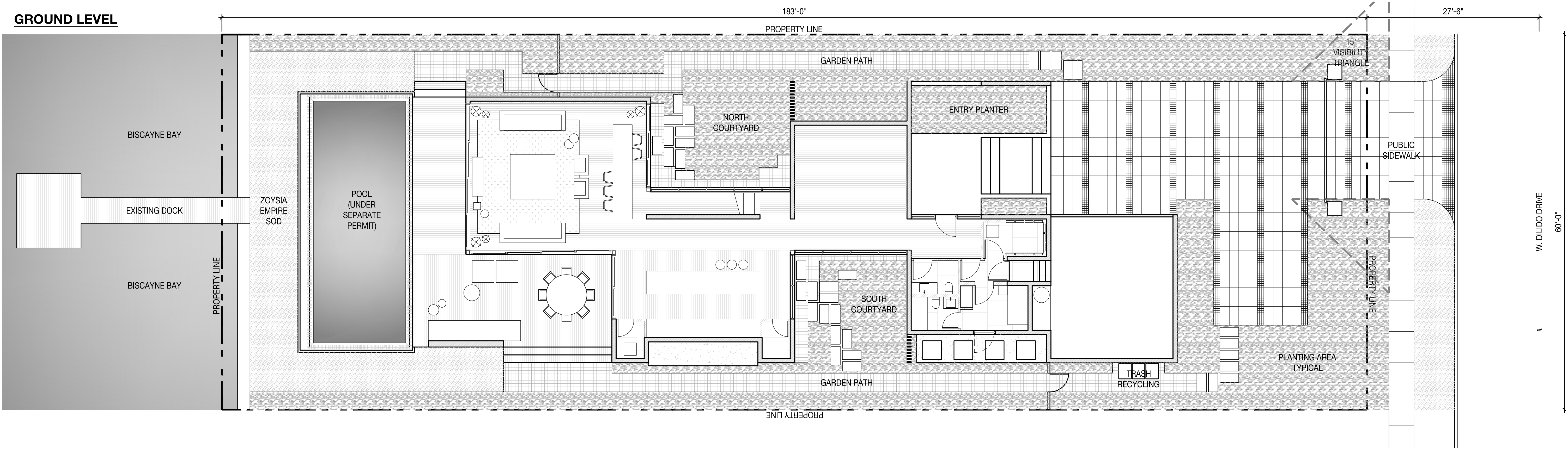


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TREE DISPOSITION NOTES & PLAN
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GROUND LEVEL





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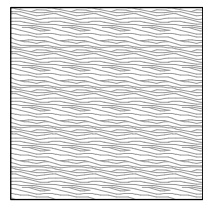
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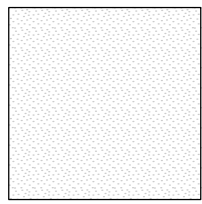
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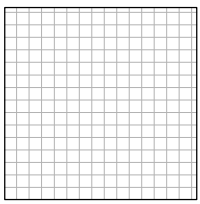
MATERIALS LEGEND



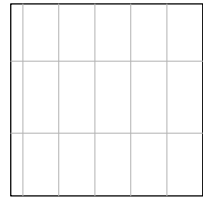
PLANTING AREA TYPICAL



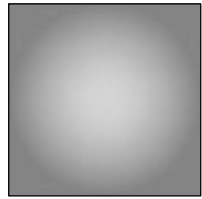
ZOYSIA EMPIRE SOD



CUT CAP STONE PAVERS
4 IN. x 4 IN. x 3 IN.



KEYSTONE PAVERS
18 IN. x 36 IN. x 3 IN.



WATER

MATERIALS NOTES

- CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
- ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
- THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
- EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
- HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
- SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



KEYSTONE PAVERS

COLOR: NA
FINISH: SAW CUT
DIMENSIONS: 18 IN. x 36 IN. x 2 IN.
SOURCE: SUTTON BRICK & STONE



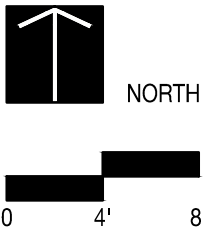
CUT CAP STONE

COLOR: NA
FINISH: SAND BLAST
DIMENSIONS: 4 IN. x 4 IN. x 3 IN.
SOURCE: SUTTON BRICK & STONE

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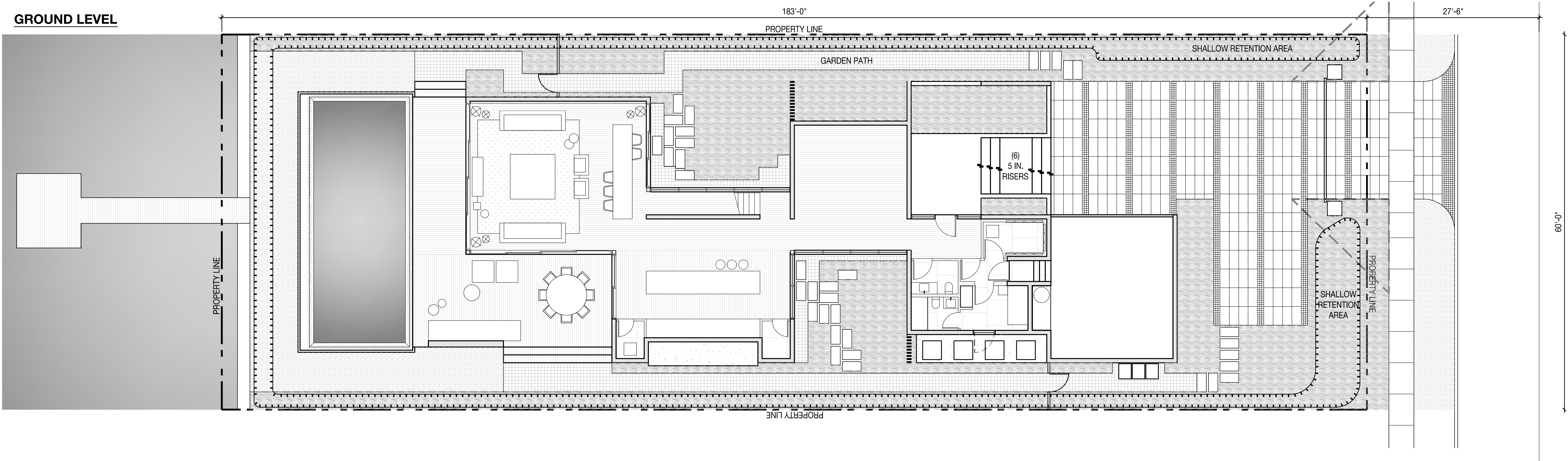


MATERIALS PLAN & NOTES	
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GRADING NOTES

1.

VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.
2.

CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.
3.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4.

THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS TO VERIFY DRAIN LOCATIONS OVER STRUCTURE. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5.

THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6.

PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
7.

ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT.
8.

ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.
9.

ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.
10.

THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS " LAWN," UNLESS OTHERWISE NOTED.
11.

ALL MANHOLES, VALVE BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITY RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.
12.

SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MINIMUM, UNLESS OTHERWISE SPECIFIED.
13.

GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY AND NON-FREEZING WEATHER CONDITIONS.
14.

THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.
15.

IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.
16.

THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.
17.

THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
18.

THE GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.
19.

THE CONTRACTOR SHALL VERIFY ALL CONTROL POINTS, FINISH FLOOR ELEVATIONS & PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.
20.

SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DISCREPANCIES.

GRADING LEGEND

INDEX CONTOUR

INTERVAL CONTOUR

SHALLOW RETENTION ZONE

0.00 + SPOT ELEVATION

DIRECTION OF WATER FLOW

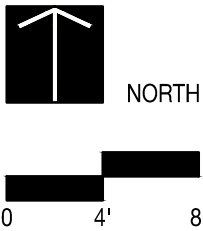
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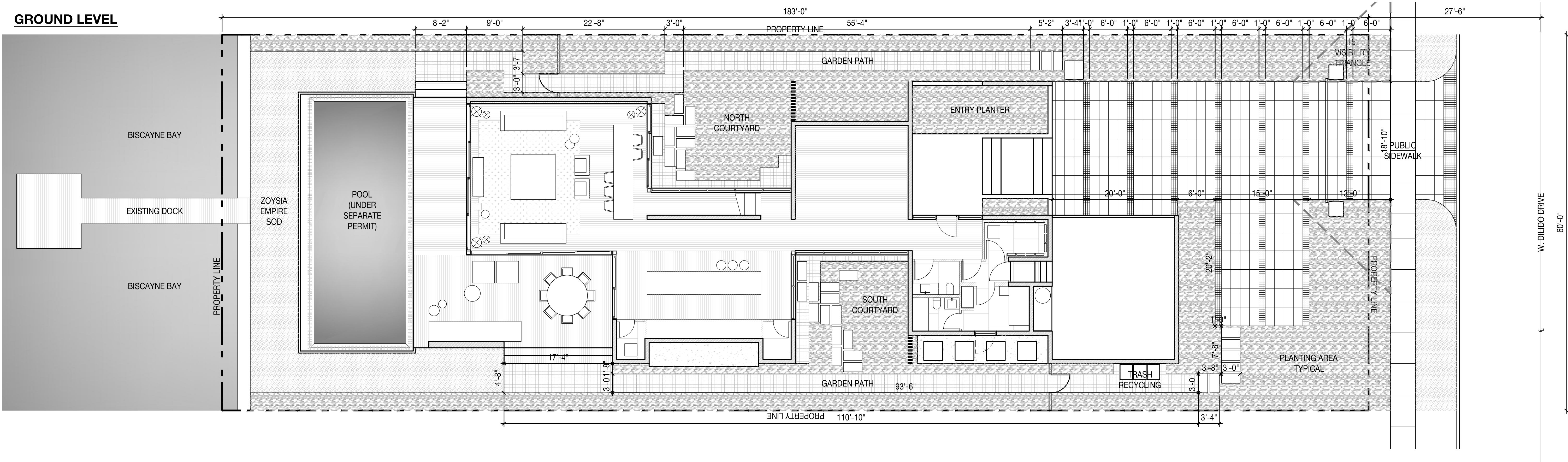


GRADING PLAN	
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LAYOUT NOTES

- LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL LAYOUTS CONTAINED IN THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DIMENSIONS FROM REDUCED DRAWINGS.
- DIMENSIONS REFERRED TO AS "EQUAL" INDICATE SPACING WHICH IS EQUIDISTANT MEASURED TO THE CENTERLINES.
- MEASUREMENTS ARE TO THE FINISHED FACE OF BUILDINGS, WALLS, OR OTHER FIXED SITE IMPROVEMENTS. DIMENSIONS TO CENTERLINES ARE IDENTIFIED AS SUCH.
- INSTALL INTERSECTING ELEMENTS AT 90-DEGREE ANGLES, UNLESS OTHERWISE INDICATED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS INDICATED IN CONTRACT DOCUMENTS.
- SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.

SEBAG GARDEN

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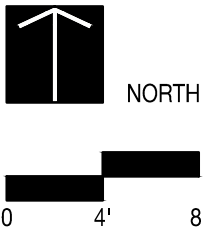
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LAYOUT PLAN

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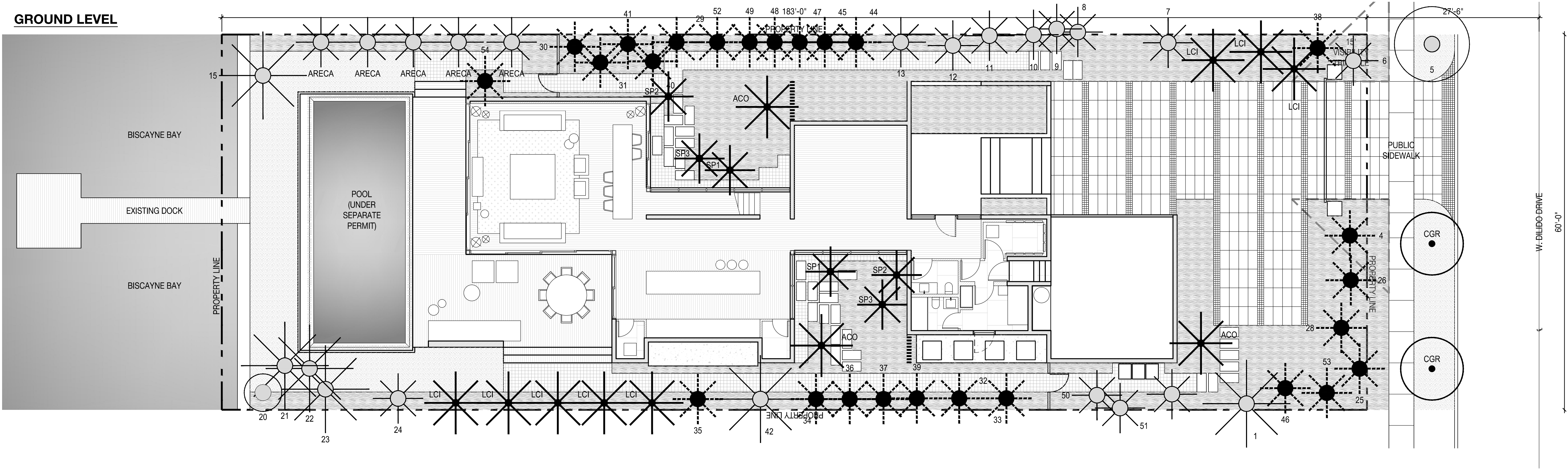
PLANTING NOTES

1. PLANT MATERIAL IS TO BE HEALTHY SPECIMENS FREE FROM DISEASE OR DAMAGE, AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE JOBSITE. LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL UPON ARRIVAL TO JOBSITE AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
2. THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE OWNER.
3. PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
4. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE.
5. ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
8. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND B&B SHRUBS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
9. ALL ROOT-WRAPPING MATERIALS THAT ARE NOT BIO-DEGRADABLE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
10. SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
11. FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
12. MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
13. ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
14. EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
15. STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
16. MINI-NUGGET TYPE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHREDDED BARK MULCH WILL BE USED FOR STEEP AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
17. PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
18. ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE UNLESS OTHERWISE NOTED. PLANTING THAT OCCURS OUTSIDE THE BUILDING ENVELOPE IS FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.
19. SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TURF, AND NATIVE PLANTING ZONES. 18 INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.

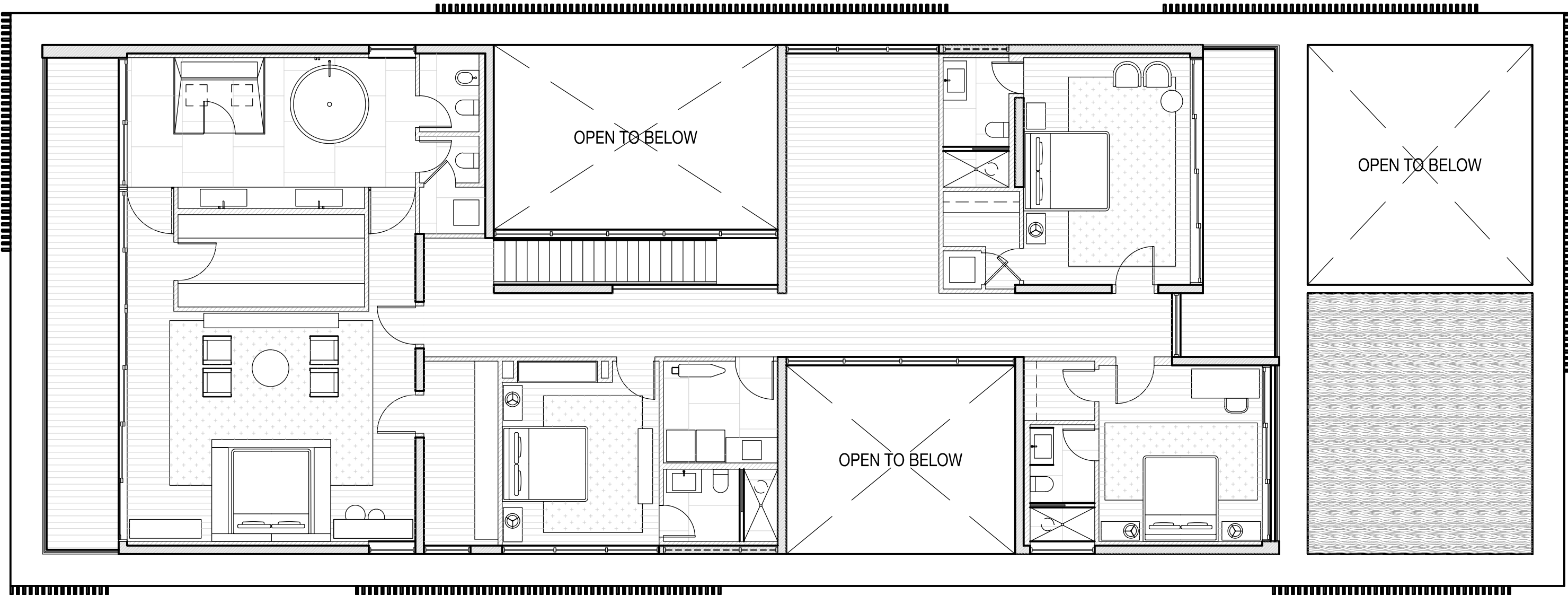
PLANTING SCHEDULE

ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
PALMS				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
UNDERSTORY TREES & SHRUBS				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ACCENTS				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
GROUNDCOVERS				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
VINES, ORCHIDS, & WATER PLANTS				
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS
ABR	#	BOTANICAL	COMMON	SPECIFICATIONS

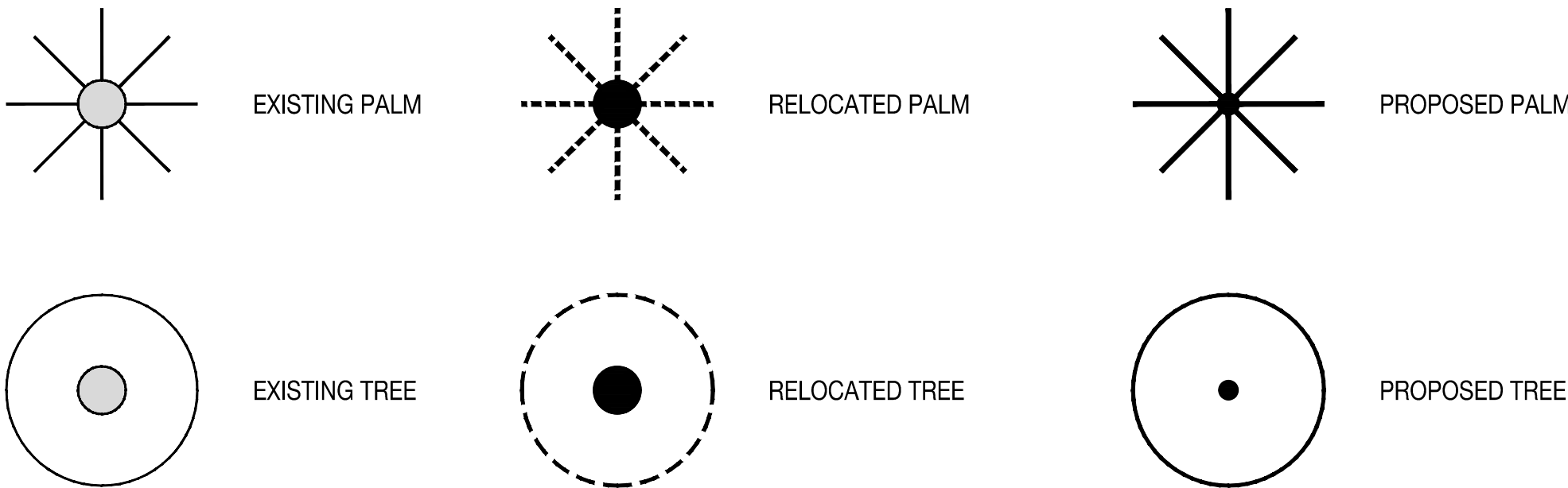
GROUND LEVEL



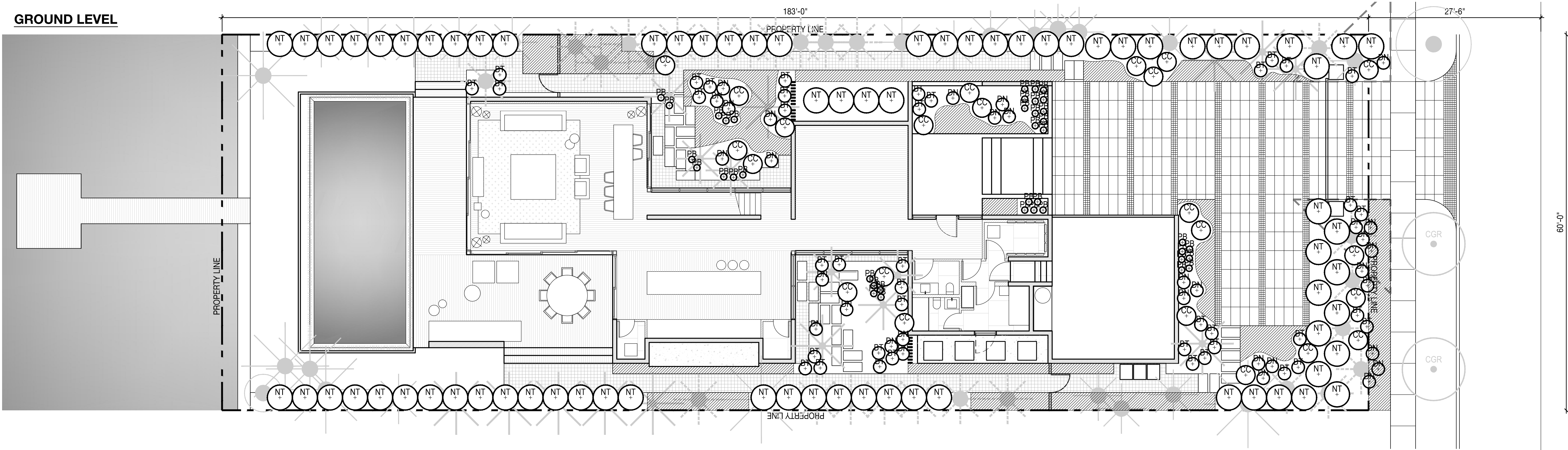
SECOND LEVEL



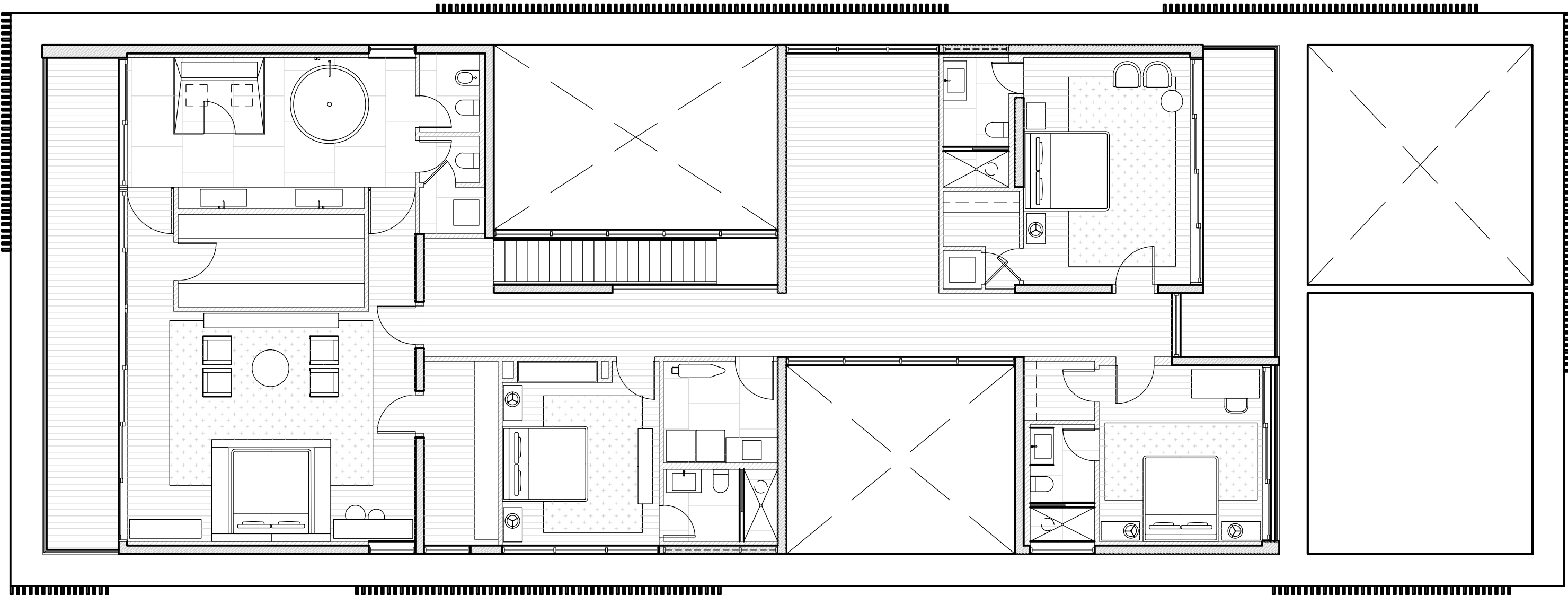
PLANTING LEGEND



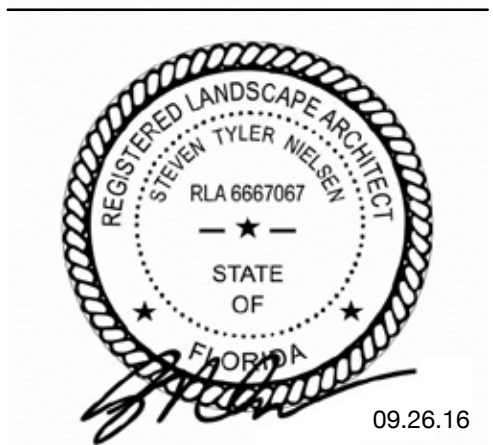
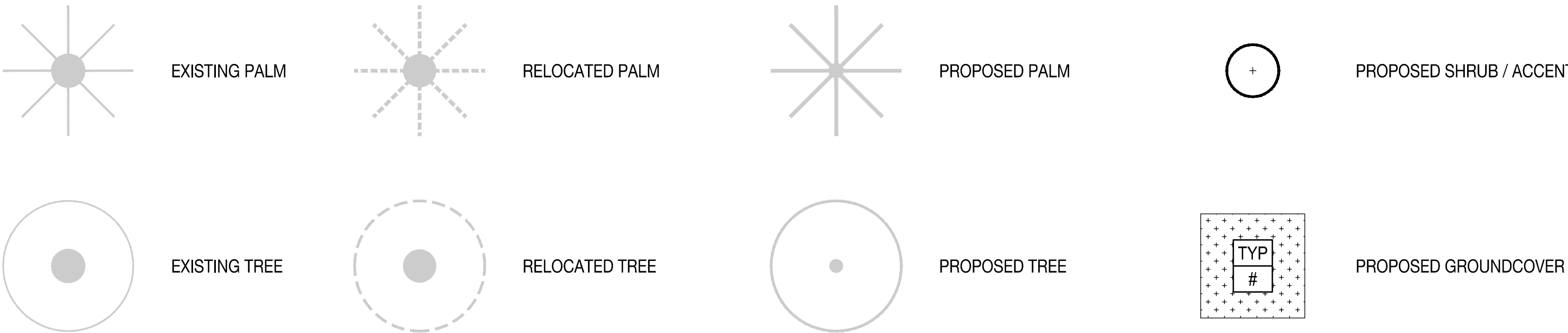
GROUND LEVEL

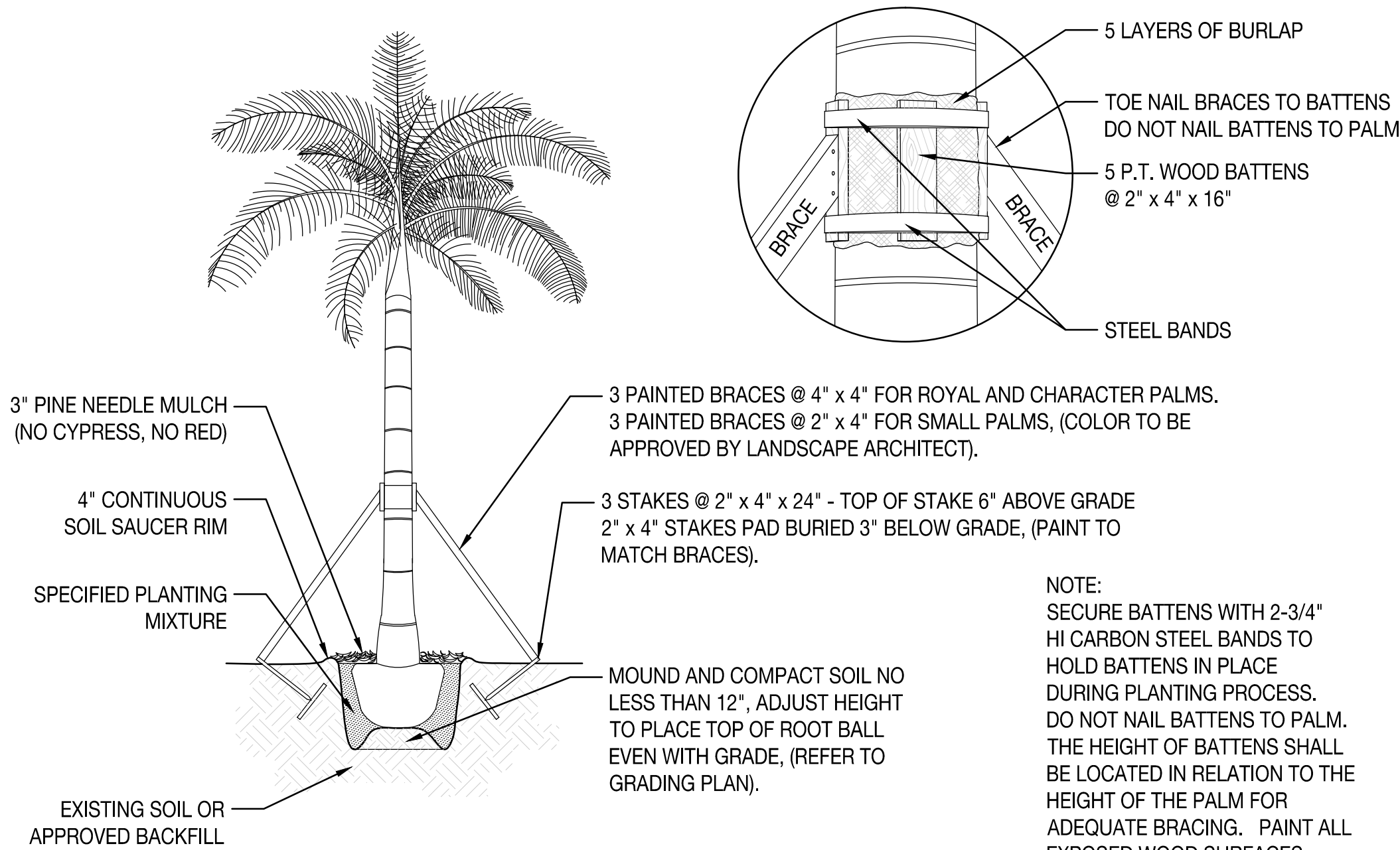


SECOND LEVEL

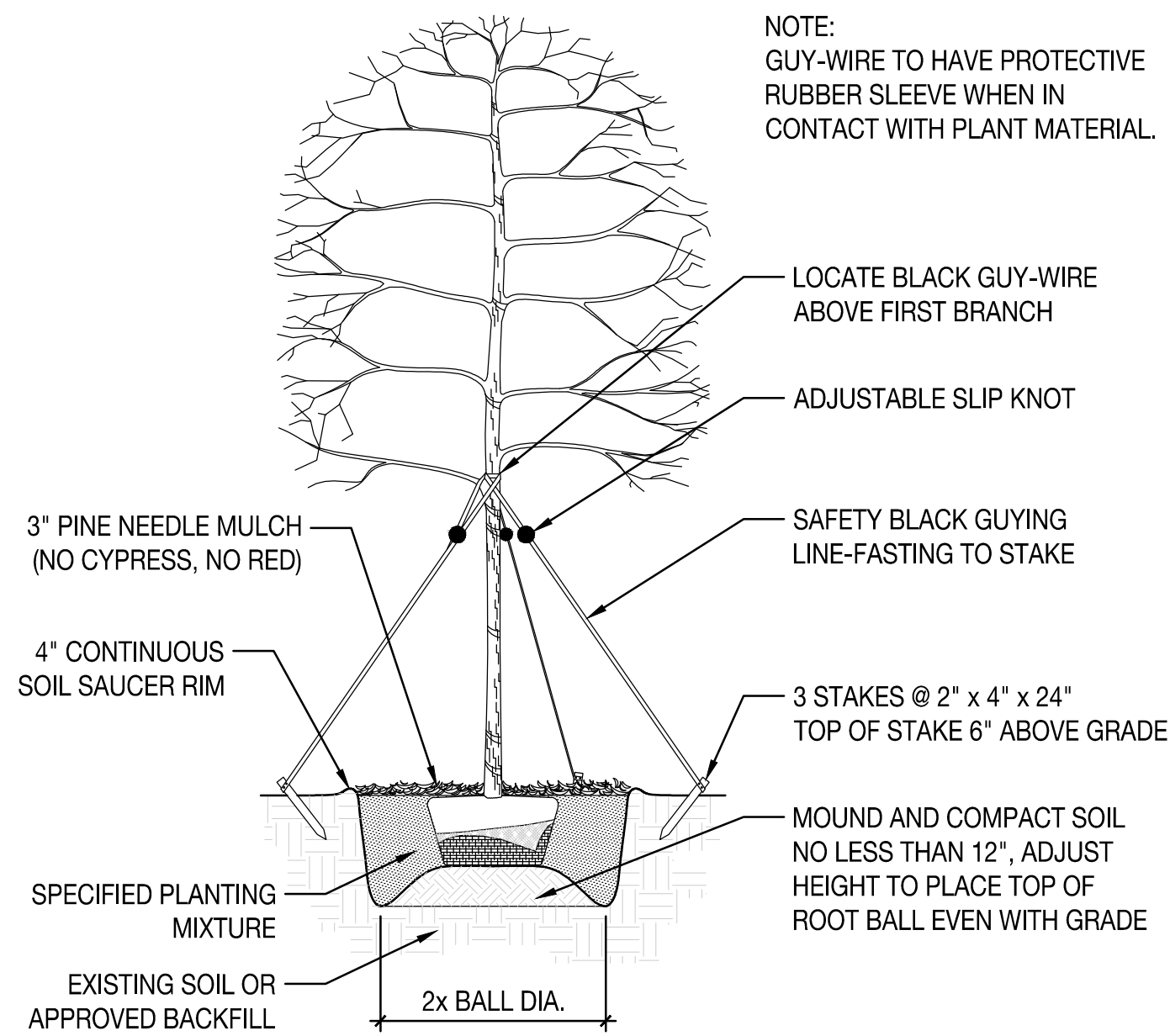


PLANTING LEGEND

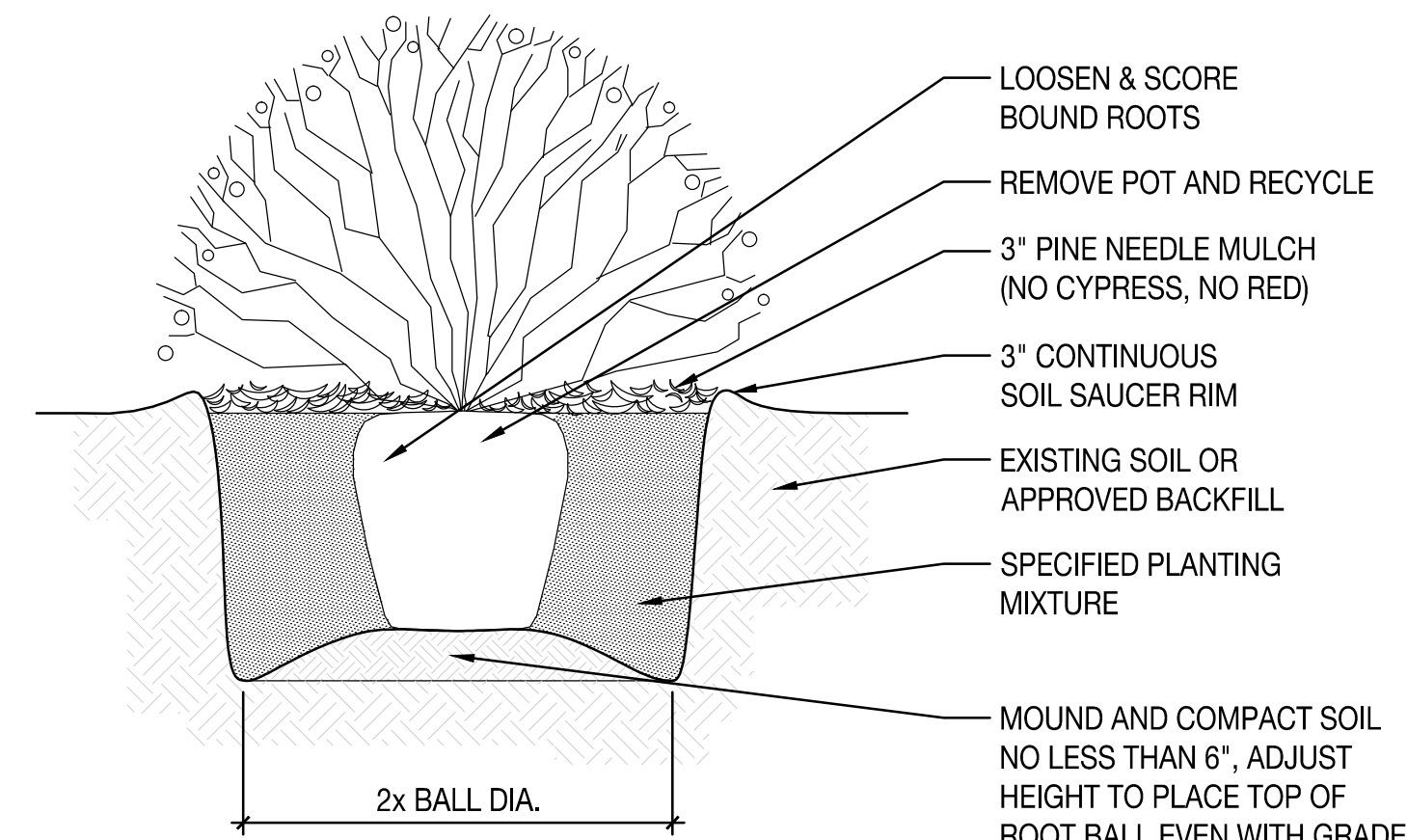




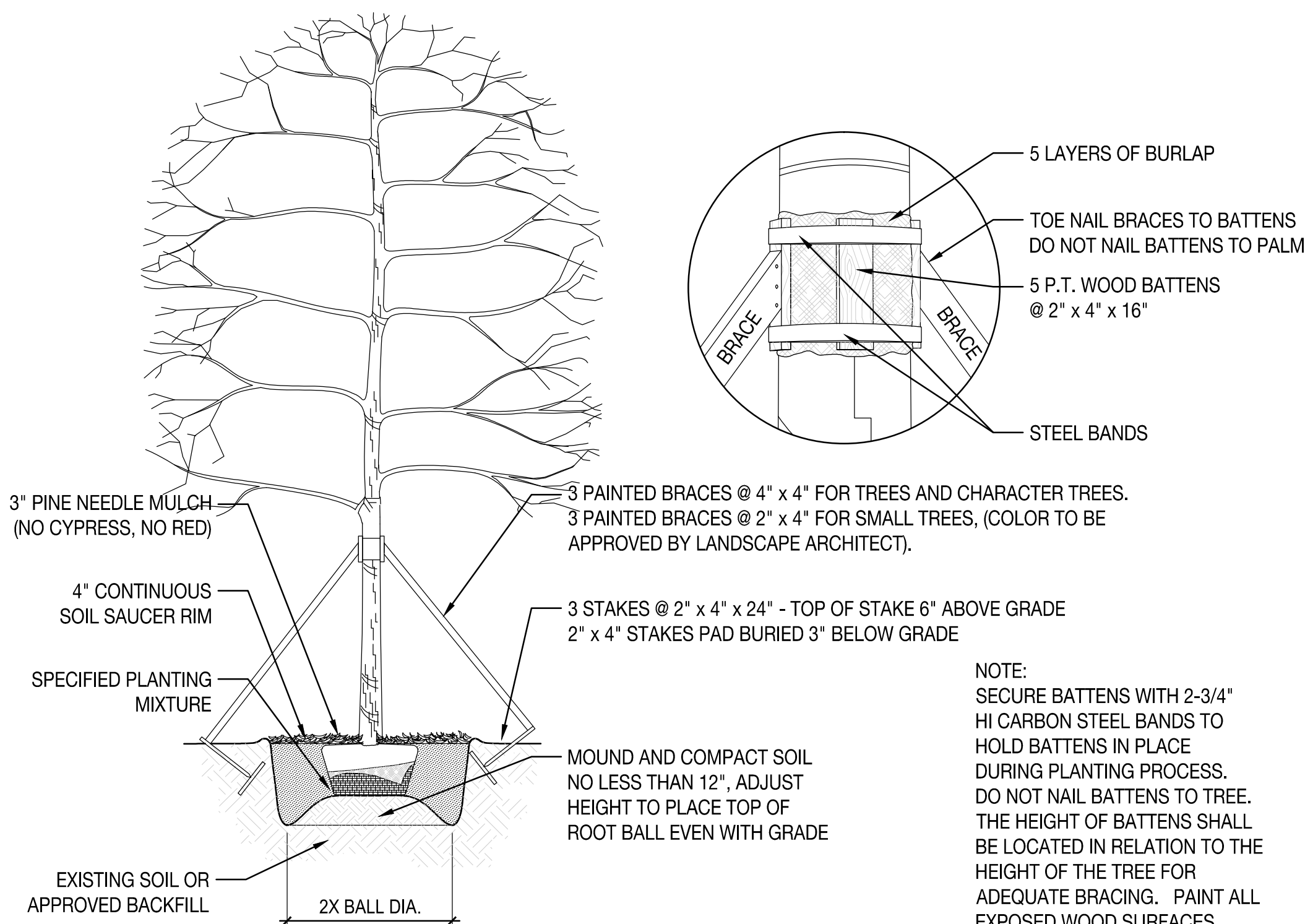
1 PALM PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"



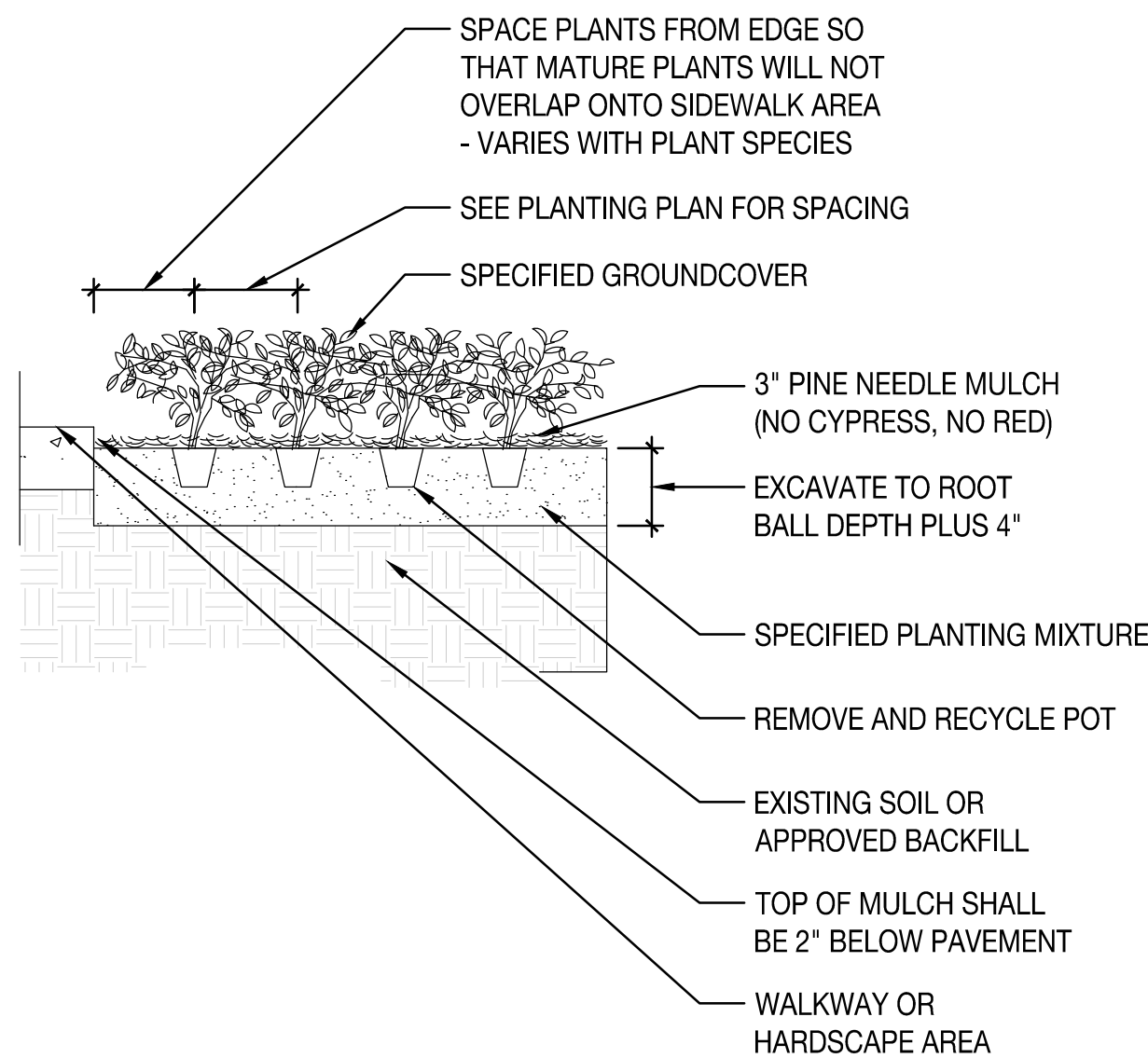
2 UNDERSTORY TREE PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"



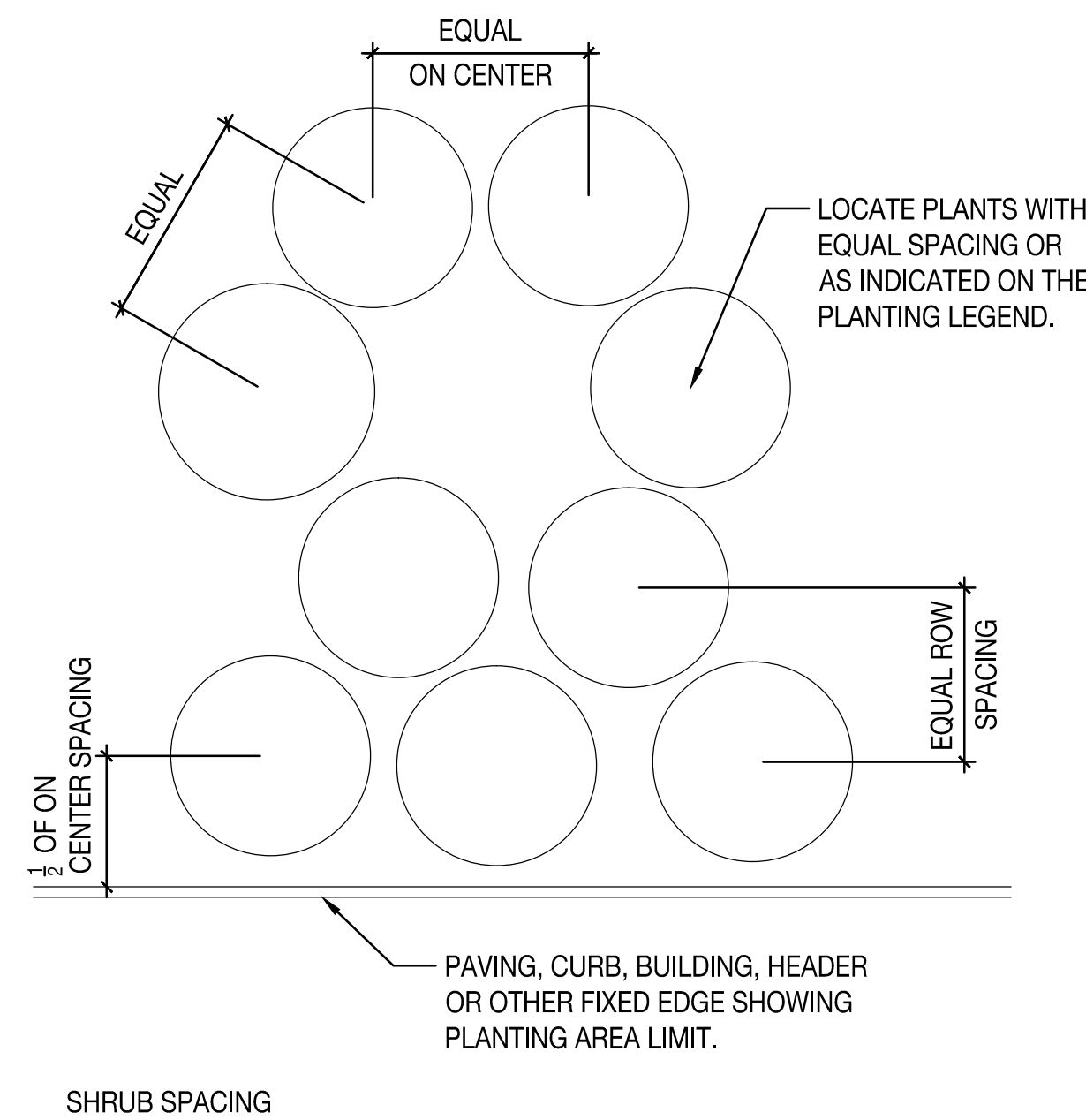
3 SHRUB PLANTING DETAIL
SCALE: 3/32" = 1'- 0"



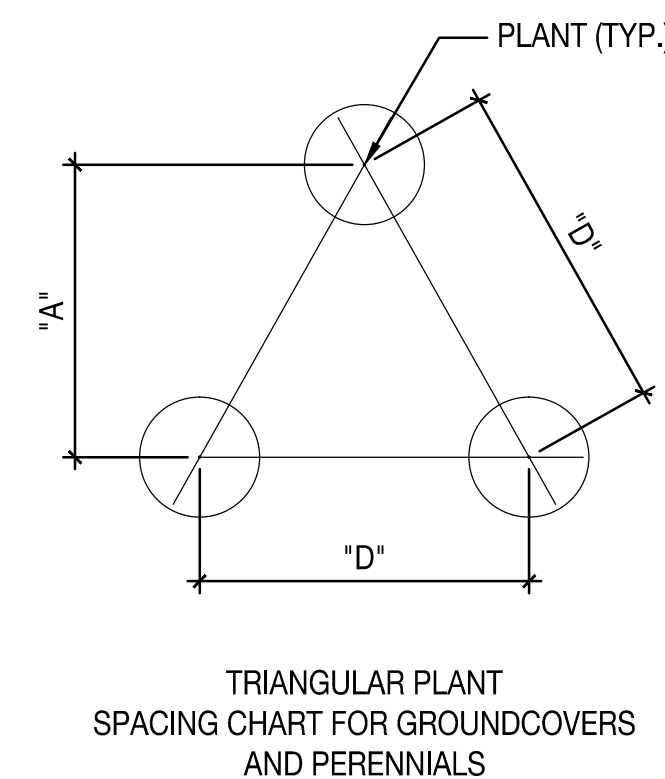
4 TREE PLANTING AND STAKING DETAIL
SCALE: 3/32" = 1'- 0"



5 GROUND COVER PLANTING DETAIL
SCALE: 3/32" = 1'- 0"



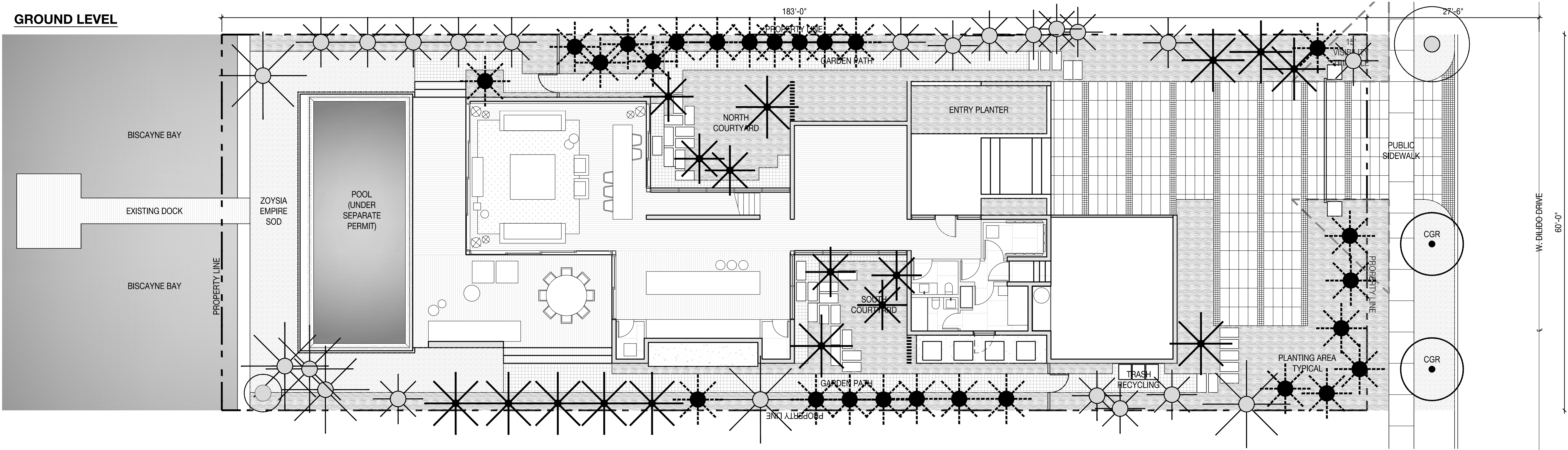
6 PLANT & SHRUB SPACING DETAIL
SCALE: 3/32" = 1'- 0"



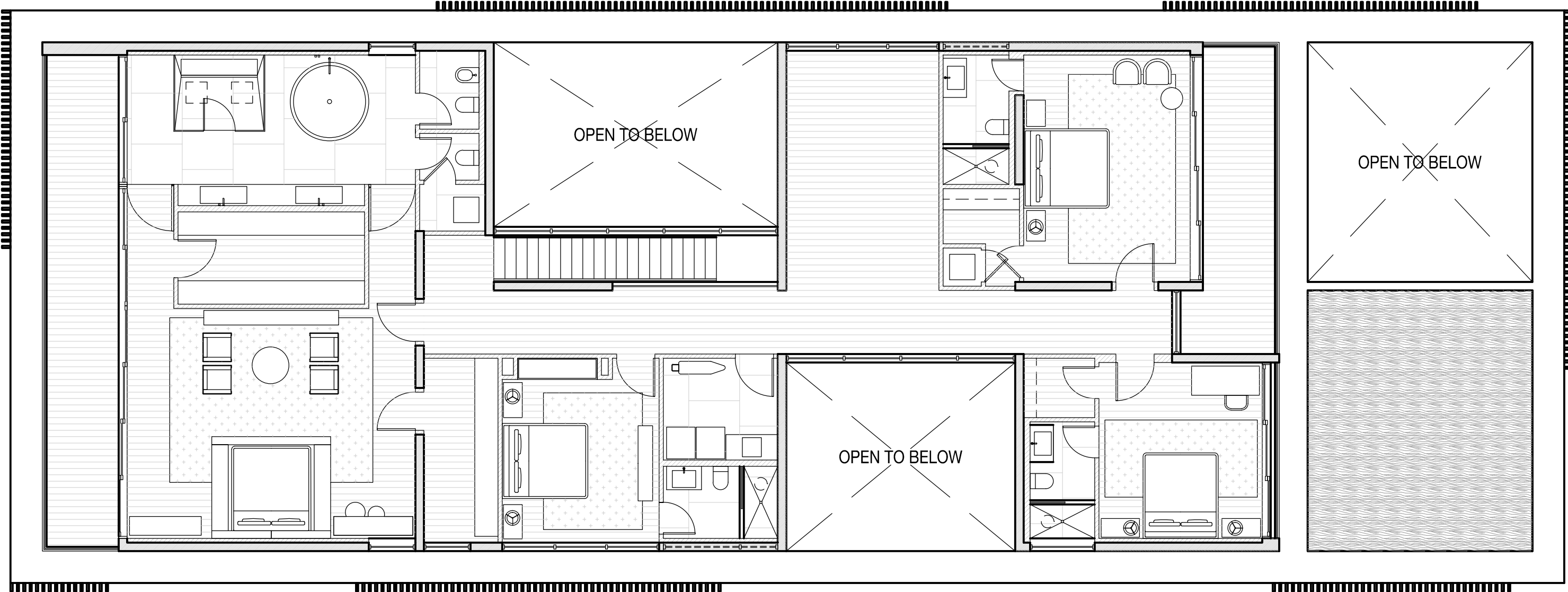
ROW	
"D"	A
18" O.C.	15" O.C.
24" O.C.	21" O.C.
36" O.C.	31" O.C.

GROUNDCOVER & PERENNIAL SPACING

GROUND LEVEL



SECOND LEVEL

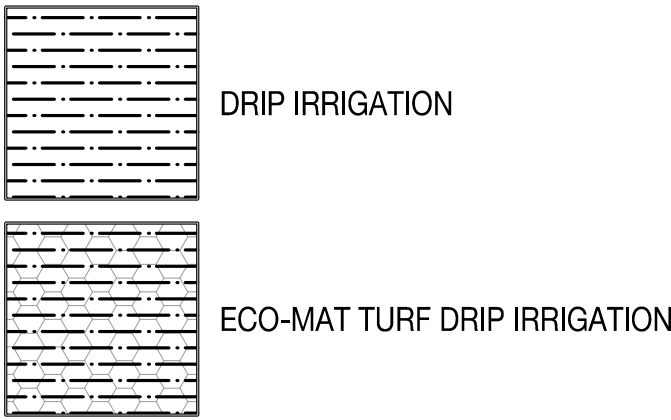


IRRIGATION NOTES

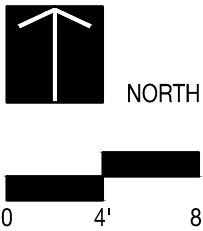
1. IRRIGATION PLAN IS CONCEPTUAL; FURTHER DESIGN TO BE COMPLETED BY IRRIGATION CONTRACTOR/DESIGNER.
2. IRRIGATION SYSTEM SHALL BE DESIGNED TO CONSERVE WATER TO THE EXTENT POSSIBLE THROUGH THE USE OF EFFICIENT HEADS, MICROCLIMATE-SPECIFIC ZONES AND A WEATHER AND MOISTURE MONITORING CONTROL STATION.
3. ALL NEW TREES AND SHRUBS TO RECEIVE DRIP-TYPE IRRIGATION.
4. ALL REVEGETATED AREAS TO RECEIVE SPRAY-TYPE IRRIGATION FOR FIRST TWO GROWING SEASONS MINIMUM.
5. ALL PERENNIAL BEDS TO RECEIVE SPRAY-TYPE IRRIGATION.
6. ALL SPRAY TYPE IRRIGATION TO BE DIRECTED AWAY FROM STRUCTURES.
7. INSTALL SPRAY HEADS ALONG SIDEWALKS ON POP-UP RISERS.
8. LOCATE HEADS SO THEY ARE PROTECTED FROM TRAVEL AND DO NOT CAUSE WATER TO FALL ON PAVED, MASONRY, OR OTHER ARCHITECTURAL SURFACES.
9. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB, OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTING AREAS.
10. GENERAL CONTRACTOR TO COORDINATE SIZE AND LOCATION OF SLAB PENETRATIONS FOR IRRIGATION EQUIPMENT WITH MECHANICAL CONTRACTORS.
11. INSTALL MAIN LINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
12. INSTALL 3/4 INCH POLYETHYLENE LATERAL LINES TO SLOPE AT 1% MINIMUM TO AUTOMATIC DRAIN VALVES LOCATED AT LOW POINTS OF LATERAL SYSTEMS.
13. TRENCHES TO BE OF SUFFICIENT DEPTH TO PROVIDE 18 INCHES OF COVER OVER LATERAL LINES. SLEEVED LINES SHALL HAVE A MINIMUM COVER OF 24 INCHES. TRENCHES ARE TO BE BACKFILLED WITH MATERIAL FREE OF ROCKS GREATER THAN 3/4 INCHES IN DIAMETER.
14. INSTALL BACKFLOW PREVENTOR(S) IN COORDINATION WITH GENERAL CONTRACTOR. BACKFLOW PREVENTORS SHALL BE INSTALLED PLUMB AND SQUARE WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. COLOR, BLACK.

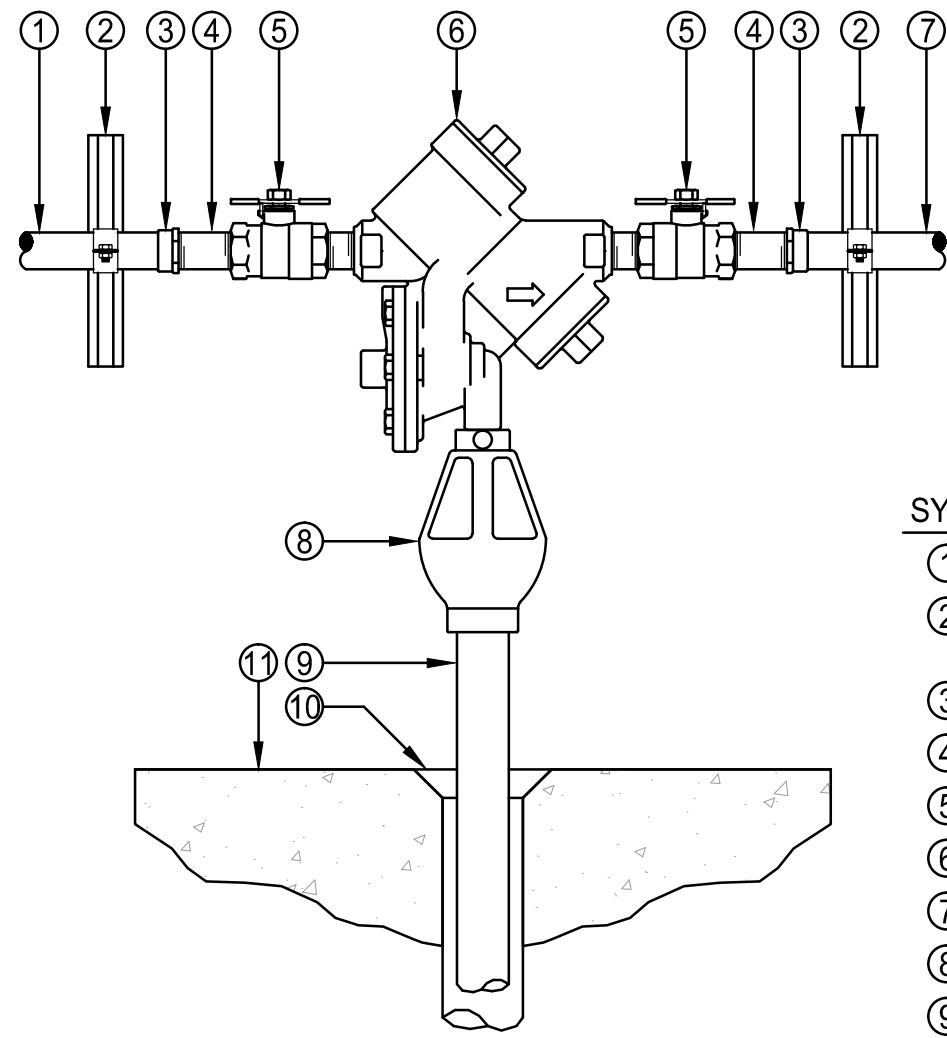
15. CONTROL VALVE BOX AND HEAD BOX LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COLOR, BLACK.
16. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE OR GENERAL CONTRACTOR PRIOR TO INSTALLATION.
17. VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE OF PLASTIC WITH BOLT DOWN LID.
18. CONCEAL ALL IRRIGATION BOXES IN PLANTING BEDS WHERE APPLICABLE AND COVER WITH MULCH. VALVE BOXES TO BE PLACED A MINIMUM OF 12 INCHES FROM AND PARALLEL TO CURBS AND WALKS. GROUPED VALVES TO BE EQUALLY SPACED AND PARALLEL. COLOR, BLACK.
19. CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION, AND DELIVER THESE DRAWINGS TO OWNER'S REPRESENTATIVE & LANDSCAPE ARCHITECT UPON COMPLETION OF WORK.
20. EXCAVATIONS TO BE BACKFILLED TO 95% COMPACTION, MINIMUM. CONTRACTOR TO REPAIR SETTLED TRENCHED FOR ONE YEAR AFTER COMPLETION OF WORK. CONTRACTOR TO WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF WORK.
21. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND IN EXISTING TREE ROOT ZONES. VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO ALL UTILITIES. DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF WORK TO BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
22. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
23. IRRIGATION SYSTEM TO BE COMPLETELY DRAINED TO PROTECT PIPE FROM BURSTING PRIOR TO FREEZING TEMPERATURES ANNUALLY.
24. PROVIDE SLEEVES AS REQUIRED FOR IRRIGATION LINES. IRRIGATION SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK.

IRRIGATION LEGEND



BUBBLERS (2 / TREE & PALM)

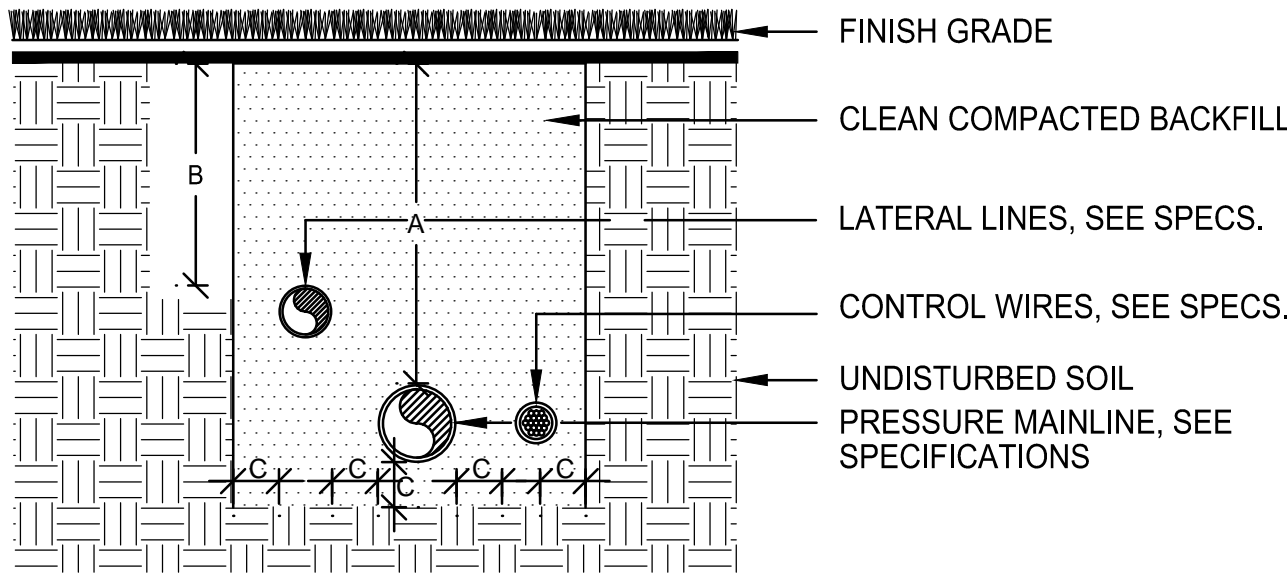




- SYM. DETAIL COMPONENT LEGEND
- ① 1 1/4" COPPER STUB OUT FROM BUILDING WATER (BY PLUMBER)
 - ② UNI-STRUT SUPPORT BRACKET, 24" MINIMUM LENGTH, WITH CUSH-A-CLAMP PIPE HANGERS
 - ③ 1 1/4" X 1" COPPER SWEAT X FIPT REDUCING FEMALE ADAPTER
 - ④ 1" X 3" BRASS THREADED NIPPLE
 - ⑤ UNION STYLE BALL VALVE, PART OF BACKFLOW DEVICE
 - ⑥ REUCED PRESSURE BACKFLOW PREVENTION DEVICE
 - ⑦ 1" COPPER PIPE TO ADJACENT PRV, MCV AND FS ASSEMBLY
 - ⑧ AIR GAP REQUIRED FOR BACKFLOW PREVENTION DEVICE
 - ⑨ 1" DRAIN LINE, SCH. 40 PVC TO FLOOR DRAIN
 - ⑩ DRAIN IN FLOOR OF ROOM (BY PLUMBER)
 - ⑪ FLOOR OF ROOM (BY OTHERS)

SECTION VIEW

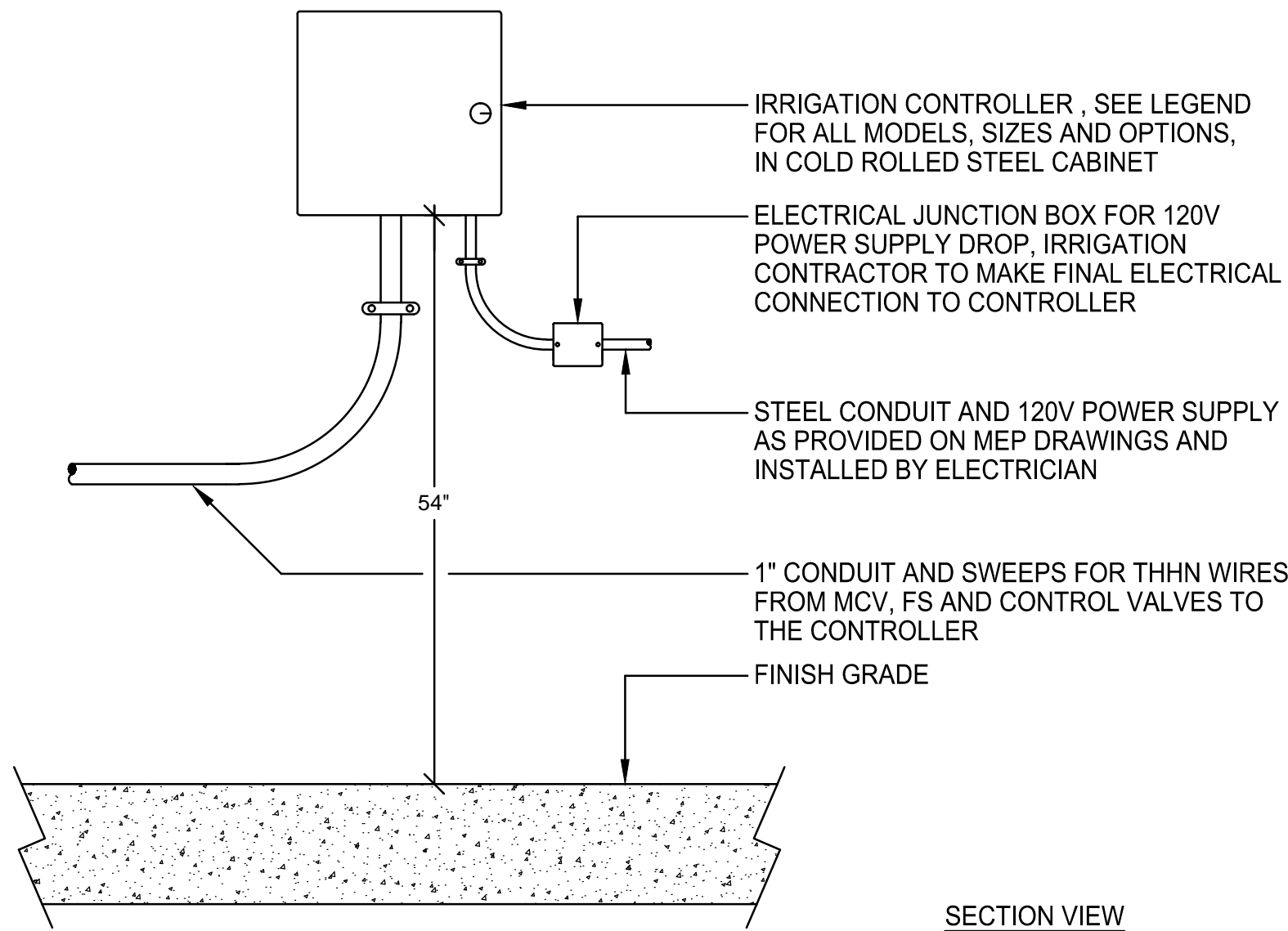
1 REDUCED PRESSURE BACKFLOW DEVICE NTS



DIMENSION	A	B	C
1/2" TO 2" IN SIZE	18"	12"	4"

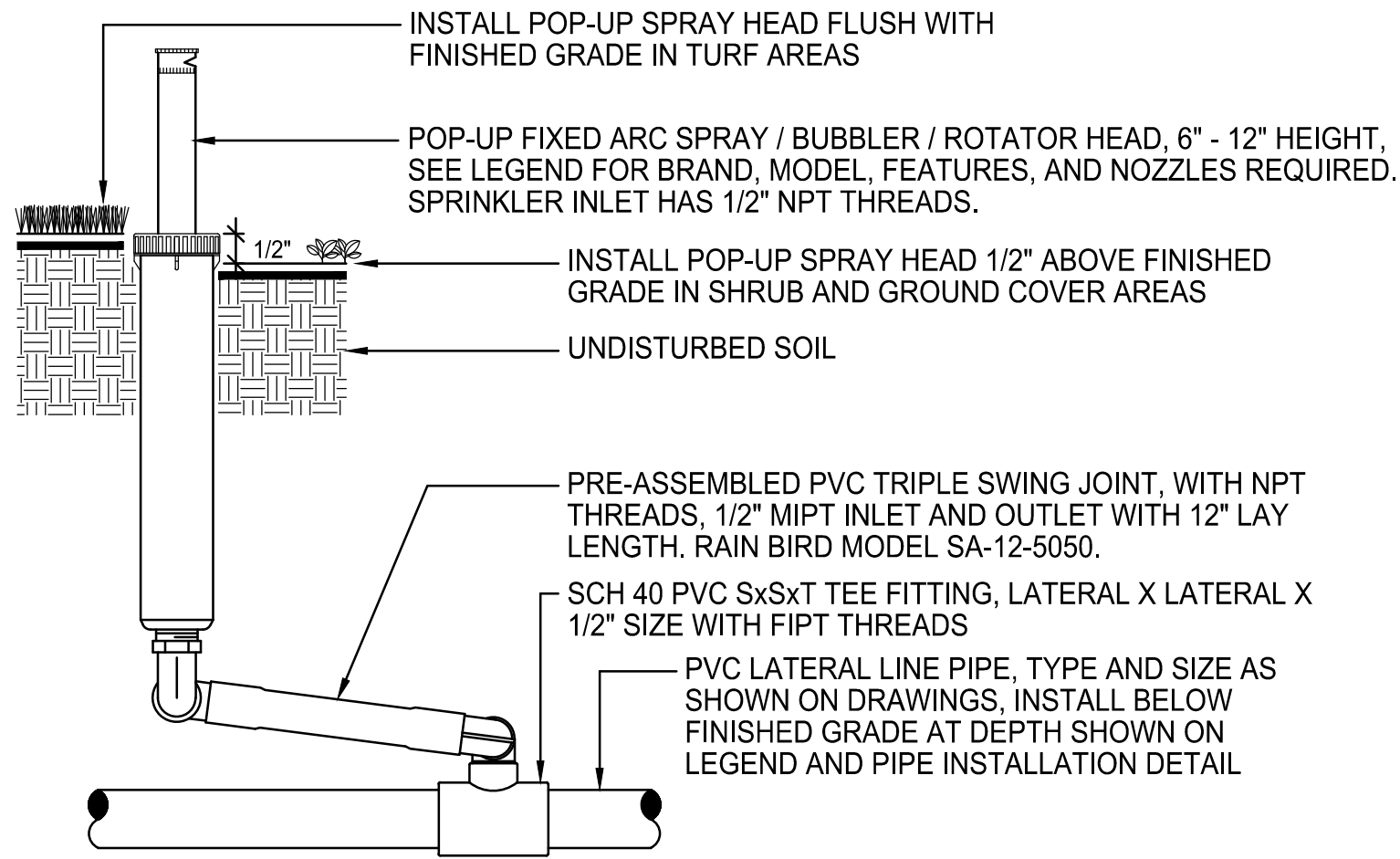
SECTION VIEW

2 PIPE INSTALLATION NTS



SECTION VIEW

3 CONTROLLER INSTALLATION NTS

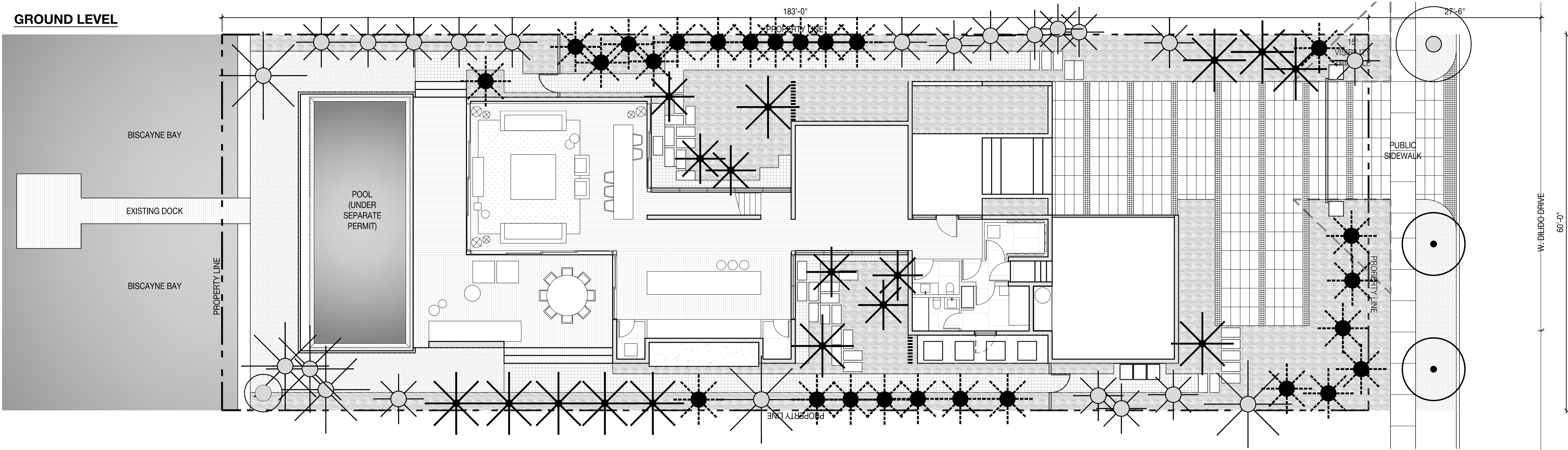


SECTION VIEW

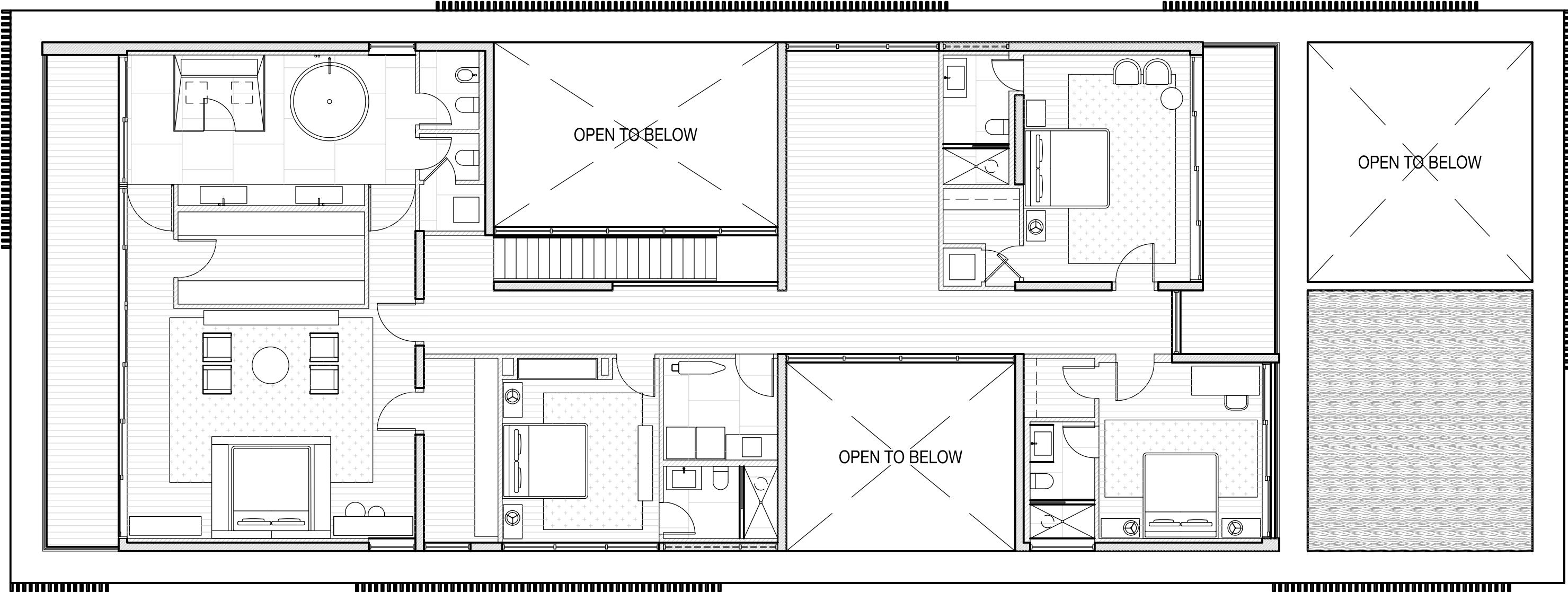
4 POP - UP SPRINKLER HEAD NTS

NOTE:
INSTALL SPRAY HEADS 4" FROM PAVING EDGE IN TURF AREAS.
INSTALL SPRAY HEADS 6" FROM PAVING EDGE IN SHRUB AND GROUND COVER AREAS.
INSTALL SPRAY HEADS 12" FROM THE FACE OF BUILDING WALLS OR WINDOWS.
INSTALL SPRAY HEADS PLUMB. ADJUST NOZZLE SPRAY TO COVER THE LANDSCAPE AREA WITHOUT OVERSPRAY ONTO PAVING, FENCES, WALLS OR BUILDINGS.
SPRINKLER, SWING JOINT, AND PVC FITTINGS SHALL ALL HAVE "NPT" STYLE THREADS.

GROUND LEVEL



SECOND LEVEL



NIELSEN
landscape architects
1016 clare avenue, 5
west palm beach, fl
561.402.9414
www.nielsenlandarch.com

SEBAG GARDEN

802 W DILDO | MIAMI BEACH, FLORIDA 33139

CUT SHEETS

12V LED 13W 35 Deg Flood 30K BBR
160108BR30 (Dimmable Driver)

Dimensions
Height: 4.75"
Width: 4.75"
Depth: 3.25"

Specifications
Beam Angle: 35°
Color Temperature: 3000K
Power: 13W
Voltage: 12V
Material: Die-cast Aluminum
Finish: Black
Mounting: Flush Mount
Warranty: 5 Years

Transformer 300W Pro Series
1SPR030059 (Santitas Step)

Dimensions
Height: 5.75"
Width: 5.75"
Depth: 5.75"

Specifications
Power: 300W
Voltage: 120V
Frequency: 60Hz
Efficiency: 98%
Warranty: 5 Years

EXTERIOR LIGHTING SCHEDULE

SYMBOL	QUANTITY	TYPE	MANUFACTURER	SPECIFICATION NUMBER	LAMP	NOTES
Δ	#	ACCENT	HUNZA	PS/L-S-25-4-CJK150-GG-BZ	LED	NOTES
T	#	TRANSFORMER	HUNZA	SSP/TS-CJK150	NA	LA TO APPROVE MOUNT LOCATION

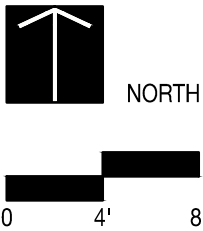
EXTERIOR LIGHTING NOTES

- THE EXTERIOR LIGHTING PLAN ILLUSTRATES FIXTURE LOCATION AND TYPE SOLELY. ALL ELECTRICAL LOADS, WIRING, AND CALCULATIONS ARE BY OTHERS.
- CONTRACTOR TO COORDINATE WITH CLIENT AND LANDSCAPE ARCHITECT CONTROL SYSTEM FOR EXTERIOR LIGHTING.
- THE CONTRACTOR TO PROVIDE SLEEVES AND CONDUIT AS NEEDED FOR ALL EXTERIOR LIGHTING FIXTURES..
- THE CONTRACTOR IS TO STAKE ALL EXTERIOR LIGHTING FIXTURES FOR LANDSCAPE ARCHITECT REVIEW.
- ALL EXTERIOR FIXTURES TO BE INSTALLED TO PREVENT GLARE AND UNWANTED DIRECTED LIGHT. CONTRACTOR TO ENSURE ALL FIXTURES DO NOT DIRECT LIGHT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF SCHEDULED EXTERIOR LIGHT INSTALLATION. UPON COMPLETION OF THE EXTERIOR LIGHT INSTALLATION, CONTRACTOR TO PROVIDE NIGHTTIME WALK THROUGH WITH LANDSCAPE ARCHITECT FOR FINAL REVIEW.

SEAL (S TYLER NIELSEN - LA6667067)

09.26.16

LIGHTING SCHEDULE & NOTES
DATE: 09/26/2016 ISSUE: DRB - MIAMI BEACH



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