



# 503 E DI LIDO CABANA

503 E DI LIDO DRIVE, MIAMI BEACH, FLORIDA

DESIGN REVIEW BOARD SUBMITTAL



# NEW RESIDENCE

## DESIGN REVIEW BOARD

503 E DILIDO DRIVE

MIAMI BEACH, FLORIDA

CLIENT

ARCHITECT

DOMO ARCHITECTURE + DESIGN  
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

420 LINCOLN ROAD  
SUITE 506  
MIAMI BEACH, FLORIDA 33139  
O: 305.674.8031  
F: 305.328.9006  
WWW.DOMODESIGNSTUDIO.COM

CONSULTANTS

LANDSCAPE

SCOPE OF WORK

- 2 STORY ACCESSORY STUCTURE FLOOR RATIO VARIANCE
- NORTH SIDE YARD SETBACK VARIANCE



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City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, [www.miamibeachfl.gov](http://www.miamibeachfl.gov)

PUBLIC WORKS DEPARTMENT  
Tel: 305-673-7080 , Fax: 305-673-7028

June 7, 2016

Ruslana Boului  
17100 Collins Avenue #215  
Miami Beach, Florida, 33139


Re: Sidewalk Elevation  
503 E. Dilido Drive  
Miami Beach, Florida

Dear Ruslana Boului,

Pursuant to Section 114-1 of the City Code, and in the absence of a sidewalk, the grade at the above referenced property is calculated to be 3.70ft. **N.A.V.D. 1988**. However, in the near future the proposed grade elevation is intended to increase significantly.

Please call (305) 673-7080 if you should have any further questions or need additional information.

Sincerely,

  
Bruce Mowry, PhD., P.E.  
City Engineer

cc: Tom Mooney

BB/ej

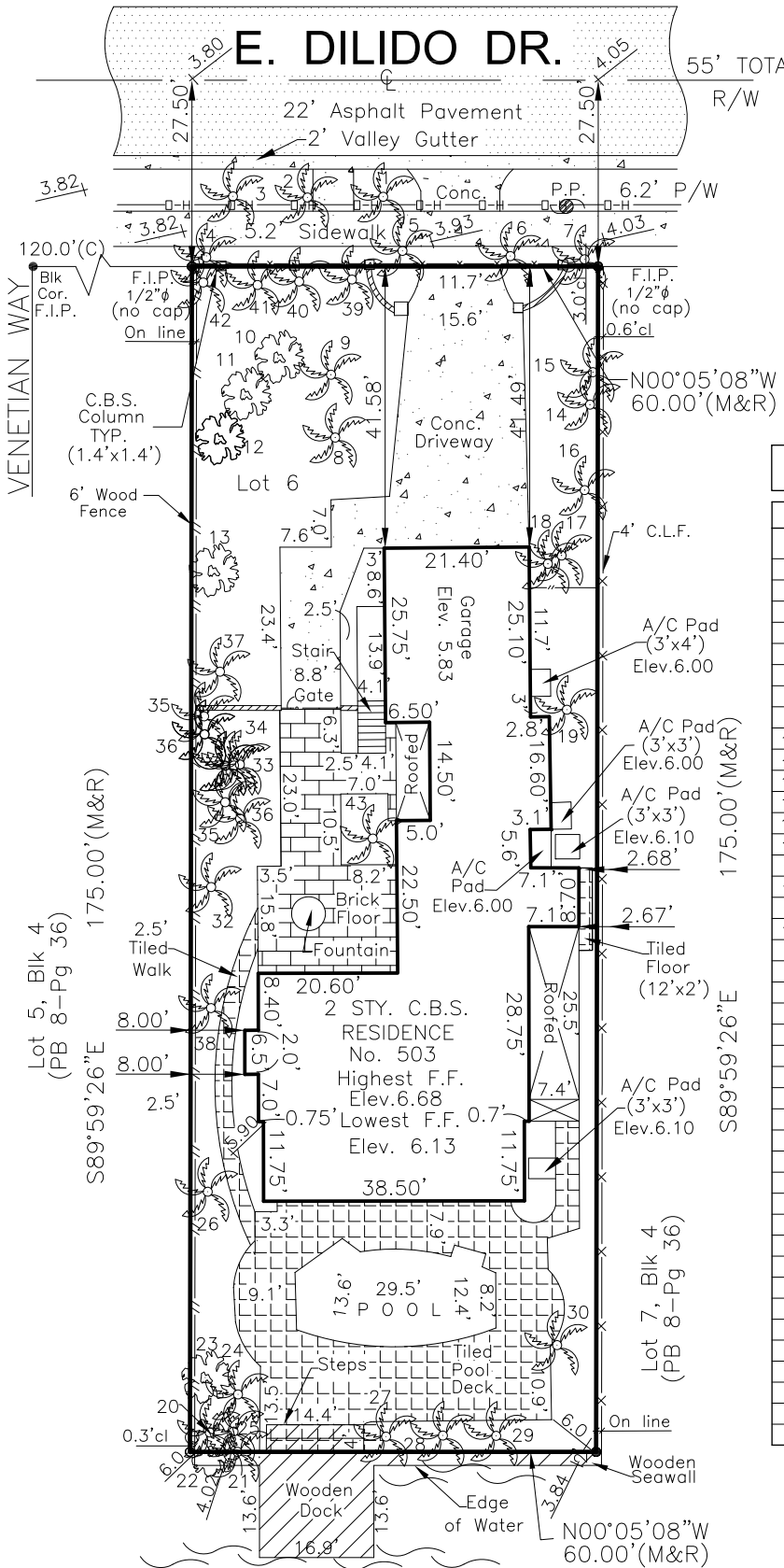
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*We are committed to providing excellent public service and safety to all who live, work, and play in our vibrant tropical historic community.*



SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'

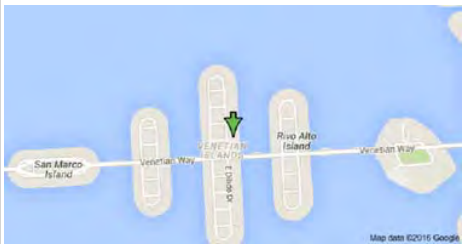


TREE LIST

| No. | TREE NAME        | BOTANICAL NAME          | WIDTH | HEIGHT | SPREAD |
|-----|------------------|-------------------------|-------|--------|--------|
| 1   | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 25'    | 6'     |
| 2   | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 25'    | 6'     |
| 3   | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 25'    | 6'     |
| 4   | ROYAL PALM       | ROYSTONIA ELATA         | 0.5'  | 25'    | 6'     |
| 5   | ROYAL PALM       | ROYSTONIA ELATA         | 2.5'  | 50'    | 30'    |
| 6   | ROYAL PALM       | ROYSTONIA ELATA         | 2.5'  | 50'    | 30'    |
| 7   | ROYAL PALM       | ROYSTONIA ELATA         | 2.5'  | 50'    | 30'    |
| 8   | ROYAL PALM       | ROYSTONIA ELATA         | 2.5'  | 50'    | 30'    |
| 9   | BIRD OF PARADISE | STRELITZIA REGINAE      | 1.2'  | 18'    | 8'     |
| 10  | UMBRELLA TREE    | SCHEFFLERA ACTINOPHYLLA | 0.8'  | 30'    | 12'    |
| 11  | UMBRELLA TREE    | SCHEFFLERA ACTINOPHYLLA | 0.8'  | 30'    | 12'    |
| 12  | UMBRELLA TREE    | SCHEFFLERA ACTINOPHYLLA | 0.8'  | 30'    | 12'    |
| 13  | WEeping FIG      | FICUS BENJAMINA         | 0.6'  | 25'    | 15'    |
| 14  | ALEXANDER PALM   | PTYCHOSPERMA ELEGANS    | 0.3'  | 40'    | 6'     |
| 15  | ALEXANDER PALM   | PTYCHOSPERMA ELEGANS    | 0.3'  | 40'    | 6'     |
| 16  | BIRD OF PARADISE | STRELITZIA REGINAE      | 0.4'  | 12'    | 6'     |
| 17  | UMBRELLA TREE    | SCHEFFLERA ACTINOPHYLLA | 0.4'  | 10'    | 6'     |
| 18  | UMBRELLA TREE    | SCHEFFLERA ACTINOPHYLLA | 0.4'  | 10'    | 6'     |
| 19  | FISHTAIL PALM    | CARYOTA MITIS           | 0.3'  | 18'    | 6'     |
| 20  | COCONUT          | COCOS NUCIFERA          | 0.8'  | 50'    | 40'    |
| 21  | COCONUT          | COCOS NUCIFERA          | 1.0'  | 8'     | 6'     |
| 22  | WEeping FIG      | FICUS BENJAMINA         | 2.0'  | 35'    | 12'    |
| 23  | WEeping FIG      | FICUS BENJAMINA         | 1.0'  | 18'    | 10'    |
| 24  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 8'     |
| 25  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 8'     |
| 26  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 8'     |
| 27  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 12'    |
| 28  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 12'    |
| 29  | SABAL PALM       | SABAL PALMETTO          | 0.6'  | 40'    | 12'    |
| 30  | ALEXANDER PALM   | PTYCHOSPERMA ELEGANS    | 0.3'  | 35'    | 6'     |
| 31  | FISHTAIL PALM    | CARYOTA MITIS           | 1.0'  | 45'    | 12'    |
| 32  | ROYAL PALM       | ROYSTONIA ELATA         | 2.0'  | 50'    | 30'    |
| 33  | FISHTAIL PALM    | CARYOTA MITIS           | 1.0'  | 40'    | 6'     |
| 34  | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 35'    | 6'     |
| 35  | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 35'    | 6'     |
| 36  | ROYAL PALM       | ROYSTONIA ELATA         | 2.0'  | 50'    | 30'    |
| 37  | ALEXANDER PALM   | PTYCHOSPERMA ELEGANS    | 0.3'  | 40'    | 6'     |
| 38  | SABAL PALM       | SABAL PALMETTO          | 0.8'  | 50'    | 25'    |
| 39  | SABAL PALM       | SABAL PALMETTO          | 0.4'  | 25'    | 6'     |
| 40  | SABAL PALM       | SABAL PALMETTO          | 0.4'  | 25'    | 6'     |
| 41  | SABAL PALM       | SABAL PALMETTO          | 0.4'  | 25'    | 6'     |
| 42  | SABAL PALM       | SABAL PALMETTO          | 0.5'  | 30'    | 6'     |
| 43  | FISHTAIL PALM    | CARYOTA MITIS           | 1.5'  | 40'    | 30'    |

LOCATION MAP

SCALE: NTS



SITE PICTURE



CERTIFIED TO :  
503 E DILIDO DR LLC c/o PRS INTERNATIONAL

SITE ADDRESS: 503 E. DILIDO DR., MIAMI BEACH, FL. 33139  
JOB NUMBER: 16-614  
DATE OF SURVEY: JUNE 13, 2016  
FOLIO NUMBER: 02-3232-011-0590

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120651-0316L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 9.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **10,500 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. D-171**, WITH AN ELEVATION OF **7.71 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.00°28'08"E, BEING THE RECORDED BEARING FOR THE CENTERLINE OF WEST DI LIDO DR., AS SHOWN ON PLAT BOOK 8 AT PAGE 36 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 5J-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:  
LOT 6, BLOCK 4, OF DILIDO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8 AT PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. ALSO AN 8 FOOT STRIP OF LAND CONTIGUOUS TO THE EASTERLY BOUNDARY LINE OF SAID LOT 6 ABOUT DESCRIBED, LYING BETWEEN THE EASTERLY EXTENSIONS OF THE NORTHERLY BOUNDARY LINE AND THE SOUTHERLY BOUNDARY LINE OF SAID LOT 6.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

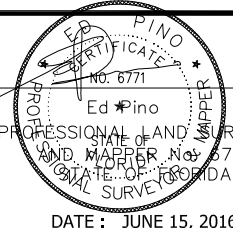
- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE ARE NOT PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF "BOUNDARY SURVEY" AND THE SURVEY MAP RESULTING THEREFROM OF THE ABOVE DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA" PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTED LAW, CHAPTER 472.027, OF THE FLORIDA STATUTES.



American Services of Miami, Corp.  
Consulting Engineers . Planners . Surveyors

9370 S.W. 72nd Street, Suite A-102  
Miami, Florida, 33173  
PH: (305) 598-5101 FAX: (305) 598-8627  
ASOMIAMI.COM



DATE : JUNE 15, 2016

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



|                        |  |                   |                   |                   |                   |
|------------------------|--|-------------------|-------------------|-------------------|-------------------|
| Owner                  | FRED BEUKING<br>GENERAL EQUITY CORP.   |                   | Mailing Address   | Permit No.        | 6609              |
| Lot                    | 6  | Block             | 4                 | Subdivision       | D1 Lido           |
| General Contractor     | Owner, Foreman- "Francisco"  |                   | No. 503 Street    | E. DiLido Dr      | Date Dec.12-1934  |
| Architect              | Wm. Shanklin Jr-   |                   | Address           | 3232-11-0590      |                   |
| Front                  | 40   | Depth             | 44                | Height            | 23                |
| Type of construction   | Cem Blks.  | Cost              | \$ 7,500.00       |                   |                   |
| Plumbing Contractor    | VAN  |                   | permit #7796      | Address           | Date Dec.20-134   |
| No. fixtures           | 11   | Gas               | 2                 | Rough approved by | Date              |
| Plumbing Contractor    |  |                   |                   | Address           | Date              |
| No. fixtures set       |  |                   | Final approved by |                   | Date              |
| Sewer connection       |  |                   | Septic tank       | Make              | Date              |
| Electrical Contractor  | L. R. Goddard  |                   | permit 4915       | Address           | Date Jan.17-1935  |
| No. outlets            | 43   | Heaters           | Stoves            | Motors            | 1                 |
|                        |  | Receptacles-      | 17                | Fans              | Temporary service |
| Rough approved by      |  |                   |                   | Date              |                   |
| Electrical Contractor  | Goddard  |                   | permit # 5056     | Address           | Date 3-7-35       |
| No. fixtures set       | 23   | Final approved by |                   |                   | Date              |
| Date of service        |  |                   |                   |                   |                   |
| Alterations or repairs | New Porch - - - Gadsden Lewis, contractor.- cost \$ 700.00 Date Apr. 20th-1936 |                   |                   |                   |                   |
|                        | Howard B. Knight, architect:-  |                   |                   |                   |                   |
| #9423:                 | Approx. 60 Lin. ft. Galv. wire fence - - - - - \$ 50.00 - Jan.7-1937           |                   |                   |                   |                   |
| PLUMBING PERMIT #      | 18725 Superior Septic Tank Co. Relsy old grain field , Nov. 8, 1945            |                   |                   |                   |                   |





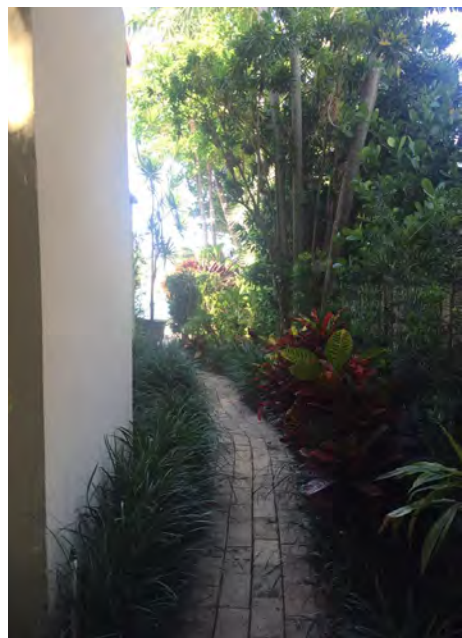


NEIGHBORHOOD ANALYSIS - KEY PLAN





NEIGHBORHOOD ANALYSIS - EXISTING LOT







440 E DILIDO



450 E DILIDO





451 E DILIDO



455 E DILIDO





510 E DILIDO



515 E DILIDO





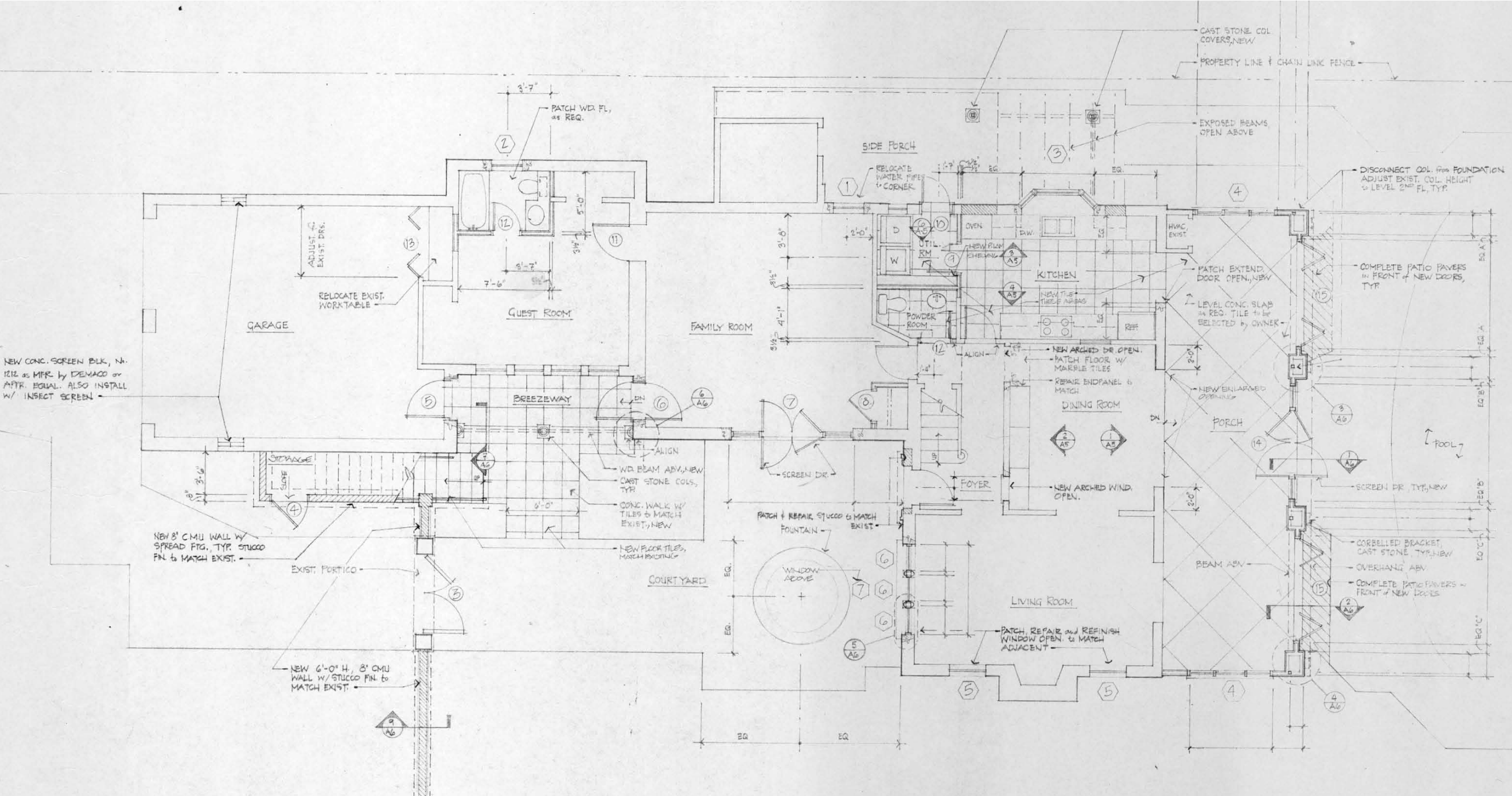
520 E DILIDO



521 E DILIDO

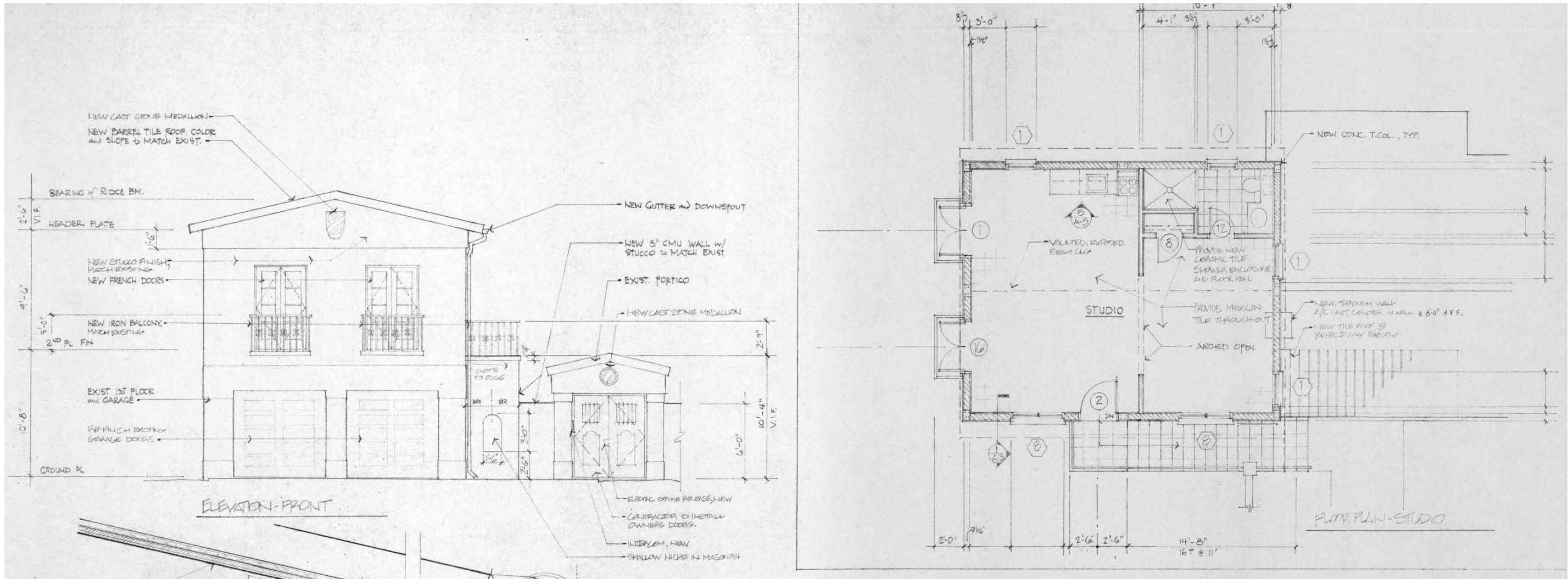


EXISTING GROUND FLOOR PLAN



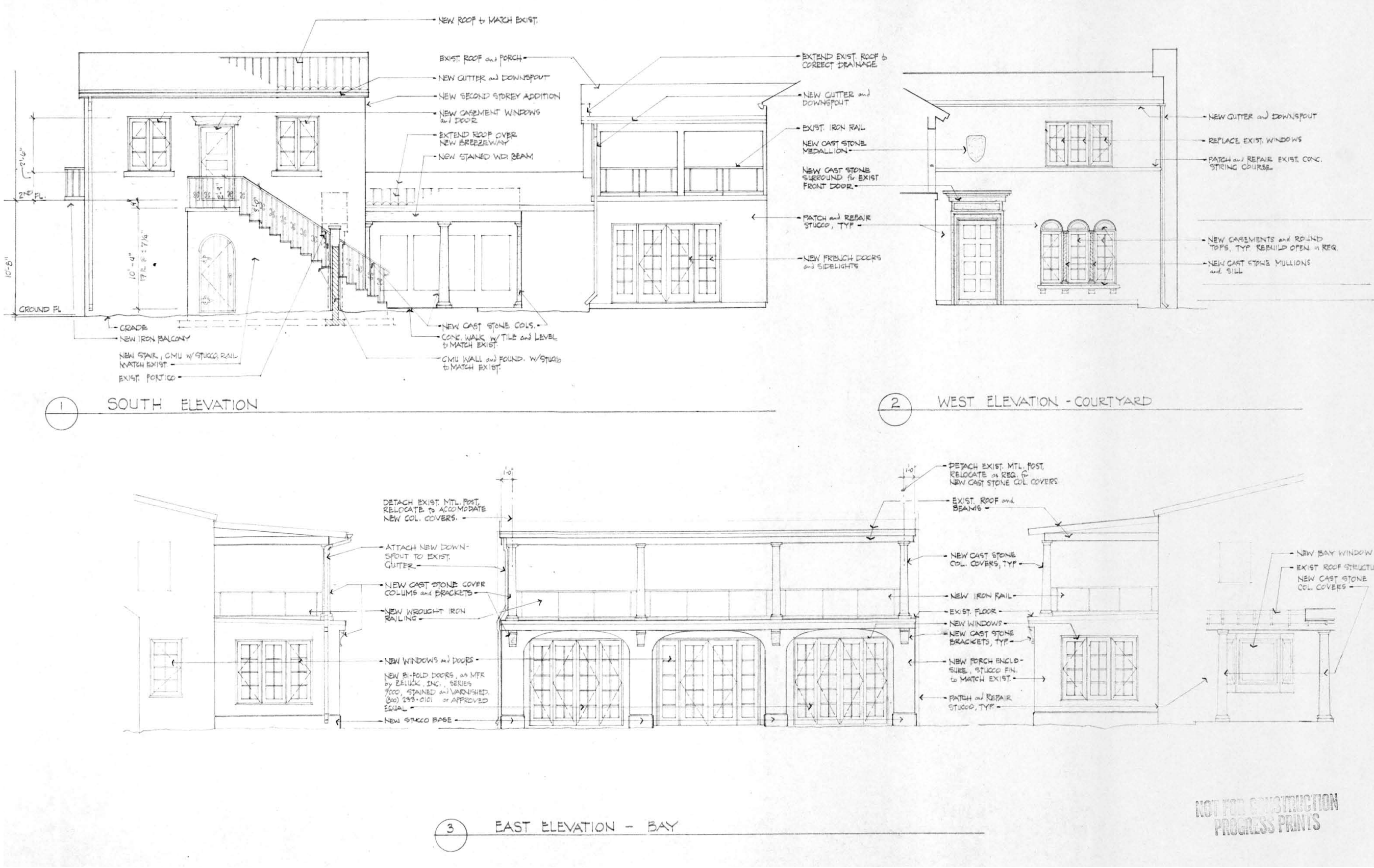


## EXISTING SECOND FLOOR PLAN





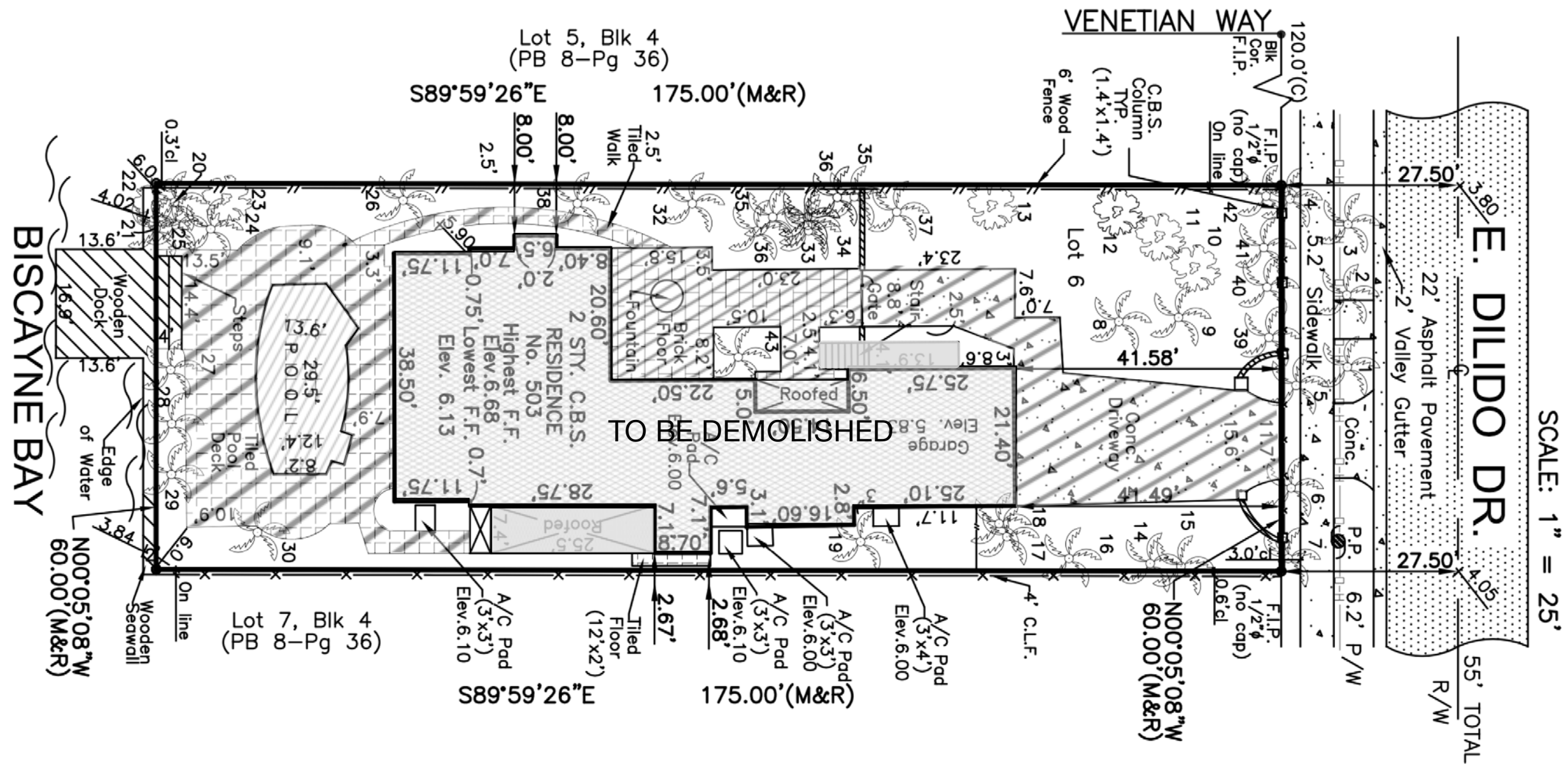
EXISTING ELEVATIONS



NOT FOR CONSTRUCTION  
PROCESS PRINTS



## DEMOLITION PLAN





NEIGHBORHOOD ANALYSIS - PROPOSED RESIDENCE

| SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET                        |  |                                     |  |                  |              |
|--|--|-------------------------------------|--|------------------|--------------|
| ITEM #   | Zoning Information   |                                     |  |                  |              |
| 1  | Address:   | 503 E DILIDO DR MIAMI BEACH FL33139 |  |                  |              |
| 2  | Folio number(s):   | 02-3232-011-0590                    |  |                  |              |
| 3  | Board and file numbers :   |                                     |  |                  |              |
| 4  | Year built:  | 1940                                | Zoning District:   | RS-3             |              |
| 5  | Based Flood Elevation:   | +9.0"NGVD                           | Grade value in NGVD:   | 5.26'            |              |
| 6  | Adjusted grade (Flood+Grade/2):                                    | 7.13'FT                             | Free board:  | +14'-0" NGVD     |              |
| 7  | Lot Area:  | 10,500 sf                           |  |                  |              |
| 8  | Lot width:   | 60'                                 | Lot Depth:   | 175'             |              |
| 9  | Max Lot Coverage SF and %:   | 3,150 (30%)                         | Proposed Lot Coverage SF and %:  | 2,879 SF (27.4%) |              |
| 10   | Existing Lot Coverage SF and %:                                    | XXX                                 | Lot coverage deducted (garage-storage) SF:   | 500sf            |              |
| 11   | Front Yard Open Space SF and %:                                    | 603 sf (50.25%)                     | Rear Yard Open Space SF and %:   | 1,111 SF (70.5%) |              |
| 12   | Max Unit Size SF and %:  | 4,515 SF (50%)                      | Proposed Unit Size SF and %:   | 5246 SF (49.9%)  |              |
| 13   | Existing First Floor Unit Size:                                    | XXX                                 | Proposed First Floor Unit Size:  | 2837sf           |              |
| 14   | Existing Second Floor Unit Size                                    |                                     | Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) | 2,367SF (70%)    |              |
| 15   |  | XXX                                 | Proposed Second Floor Unit Size SF and % :   | 2367SF (45%)     |              |
| 16   |  |                                     | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):                              | 580SF (24.5%)    |              |
|  |  | Required                            | Existing   | Proposed         | Deficiencies |
| 17   | Height:  | 24'-0"                              | NA   | 28'-0"           | N/A          |
| 18   | Setbacks:  |                                     |  |                  |              |
| 19   | Front First level:   | 20'-0"                              | NA   | 20'              | N/A          |
| 20   | Front Second level:  | 30'-0"                              | N/A  | 48'-4"           | N/A          |
| 21   | Side 1:  | 7'-6"                               | NA   | 7'-6"            | N/A          |
| 22   | Side 2 or (facing street):   | 7'-6"                               | NA   | 7'-6"            | N/A          |
| 23   | Rear:  | 26'-3"                              | NA   | 37'-3"           | N/A          |
|  | Accessory Structure Side 1:  | 7'-6"                               | N/A  | 7'-6"            | N/A          |
| 24   | Accessory Structure Side 2 or (facing street) :                    | N/A                                 | N/A  | N/A              | N/A          |
| 25   | Accessory Structure Rear:  | 7'-6"                               | N/A  | 7'-6"            | N/A          |
| 26   | Sum of Side yard :   | 15'-0"                              | NA   | 15'-0"           | N/A          |
| 27   | Located within a Local Historic District?                          |                                     |  | no               |              |
| 28   | Designated as an individual Historic Single Family Residence Site? |                                     |  | no               |              |
| 29   | Determined to be Architecturally Significant?                      |                                     |  | no               |              |
| Notes:   |  |                                     |  |                  |              |
| If not applicable write N/A  |  |                                     |  |                  |              |
| All other data information should be presented like the above format |  |                                     |  |                  |              |
|  |  |                                     |  |                  |              |
|  |  |                                     |  |                  |              |

