

NOTES REGARDING TITLE COMMITMENT

THIS ALTAIR'S LAND TITLE SURVEY REFLECTS PLOTTABLE EASEMENTS AND RIGHTS-OF-WAY SHOWN IN SCHEDULE B-1 OF TITLE COMMITMENT FILE NO. FL25200122/C, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING AN EFFECTIVE DATE OF SEPTEMBER 30, 2020 AT 6:00 A.M.

NOTES REGARDING SCHEDULE B-1

- 8. COASTAL CONSTRUCTION CONTROL LINE FOR MIAMI-DADE COUNTY, RECORDED IN PLAT BOOK 74, PAGE 25, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
9. ORDER FROM THE CITY OF MIAMI BEACH ZONING BOARD OF ADJUSTMENTS RECORDED IN OFFICIAL RECORDS BOOK 13504, PAGE 2050, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
10. ORDER FROM THE CITY OF MIAMI BEACH ZONING BOARD OF ADJUSTMENT RECORDED IN OFFICIAL RECORDS BOOK 13799, PAGE 2756, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
11. ORDER FROM THE CITY OF MIAMI BEACH ZONING BOARD OF ADJUSTMENT RECORDED IN OFFICIAL RECORDS BOOK 16980, PAGE 4679, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
12. RESTRICTIONS, COVENANTS, EASEMENTS AND CONDITIONS AS SET FORTH IN DECLARATION OF RESTRICTIONS AND AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 16703, PAGE 1171, AS MAY BE SUBSEQUENTLY AMENDED, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
13. MODIFIED ORDER OF THE BOARD OF ADJUSTMENTS OF THE CITY OF MIAMI BEACH RECORDED IN OFFICIAL RECORDS BOOK 17084, PAGE 355, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
14. TERMS, CONDITIONS AND EASEMENTS AS SET FORTH IN TRI-PARTY AGREEMENT AND RELEASE OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 17103, PAGE 358, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
15. ORDER FROM MIAMI BEACH FLOOD PLAN MANAGEMENT BOARD RECORDED IN OFFICIAL RECORDS BOOK 17191, PAGE 2868, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
16. ORDER FROM THE CITY OF MIAMI BEACH ZONING BOARD OF ADJUSTMENT RECORDED IN OFFICIAL RECORDS BOOK 17857, PAGE 1674, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
17. TERMS, CONDITIONS AND EASEMENTS AS SET FORTH IN RECIPROCAL ACCESS, USE, DEVELOPMENT AND EASEMENT AGREEMENT, RECORDED IN OFFICIAL RECORDS BOOK 18170, PAGE 1156, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
18. RESTRICTIONS, COVENANTS AND CONDITIONS AS SET FORTH IN COVENANT RECORDED IN OFFICIAL RECORDS BOOK 18426, PAGE 1528, AS MAY BE SUBSEQUENTLY AMENDED, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
19. AGREEMENT BETWEEN JEFFERSON PLAZA, LTD. AND CITY OF MIAMI BEACH RECORDED IN OFFICIAL RECORDS BOOK 18763, PAGE 1880, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
20. ORDER FROM THE HISTORIC PRESERVATION BOARD OF THE CITY OF MIAMI BEACH RECORDED IN OFFICIAL RECORDS BOOK 21207, PAGE 248, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
21. RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS, WHICH INCLUDE PROVISIONS FOR (I) AN EASEMENT ON THE LAND; (II) A LIEN FOR LIQUIDATED DAMAGES; (III) A PRIVATE CHARGE OR ASSESSMENTS; AND (IV) AN OPTION TO PURCHASE A RIGHT OF FIRST REFUSAL OR THE PRIOR APPROVAL OF A FUTURE PURCHASER OR OCCUPANT, AS CONTAINED IN THAT CERTAIN DECLARATION OF CONDOMINIUM OF 1501 OCEAN STEPS CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 22895, PAGE 2281, AS AMENDED IN OFFICIAL RECORDS BOOK 23063, PAGE 1958, OFFICIAL RECORDS BOOK 23313, PAGE 1192, OFFICIAL RECORDS BOOK 23313, PAGE 1194, OFFICIAL RECORDS BOOK 24233, PAGE 4261, OFFICIAL RECORDS BOOK 24233, PAGE 4269, AND OFFICIAL RECORDS BOOK 25246, PAGE 61, ALL OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
22. CONDITIONAL USE PERMIT FROM THE PLANNING BOARD OF THE CITY OF MIAMI BEACH RECORDED IN OFFICIAL RECORDS BOOK 23274, PAGE 1822, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
23. PROVISIONS CONTAINED IN CONDITIONAL USE PERMIT FILED DECEMBER 11, 2006 IN OFFICIAL RECORDS BOOK 25178, PAGE 2002, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
24. PROVISIONS AS CONTAINED IN ORDER BY THE BOARD OF ADJUSTMENT OF THE CITY OF MIAMI BEACH FILED FEBRUARY 17, 2012 IN OFFICIAL RECORDS BOOK 28001, PAGE 2830, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - DEPICTED ON SURVEY.
25. PROVISIONS AS CONTAINED IN THE CONDITIONAL USE PERMIT BY THE PLANNING BOARD CITY OF MIAMI BEACH, FLORIDA RECORDED IN OFFICIAL RECORDS BOOK 28506, PAGE 1574, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.
26. PROVISIONS AS CONTAINED IN THE CONDITIONAL USE PERMIT BY THE PLANNING BOARD CITY OF MIAMI BEACH, FLORIDA RECORDED IN OFFICIAL RECORDS BOOK 29510, PAGE 5189, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA - NOT PLOTTABLE.

POSSIBLE ENCROACHMENTS

THERE ARE NO OBSERVED, POSSIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY FROM ADJOINING LANDS OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", AE (EL. 8), VE (EL. 10), VE (EL. 11) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0317L, DATED SEPTEMBER 11, 2009.

DATUM AND BENCHMARKS

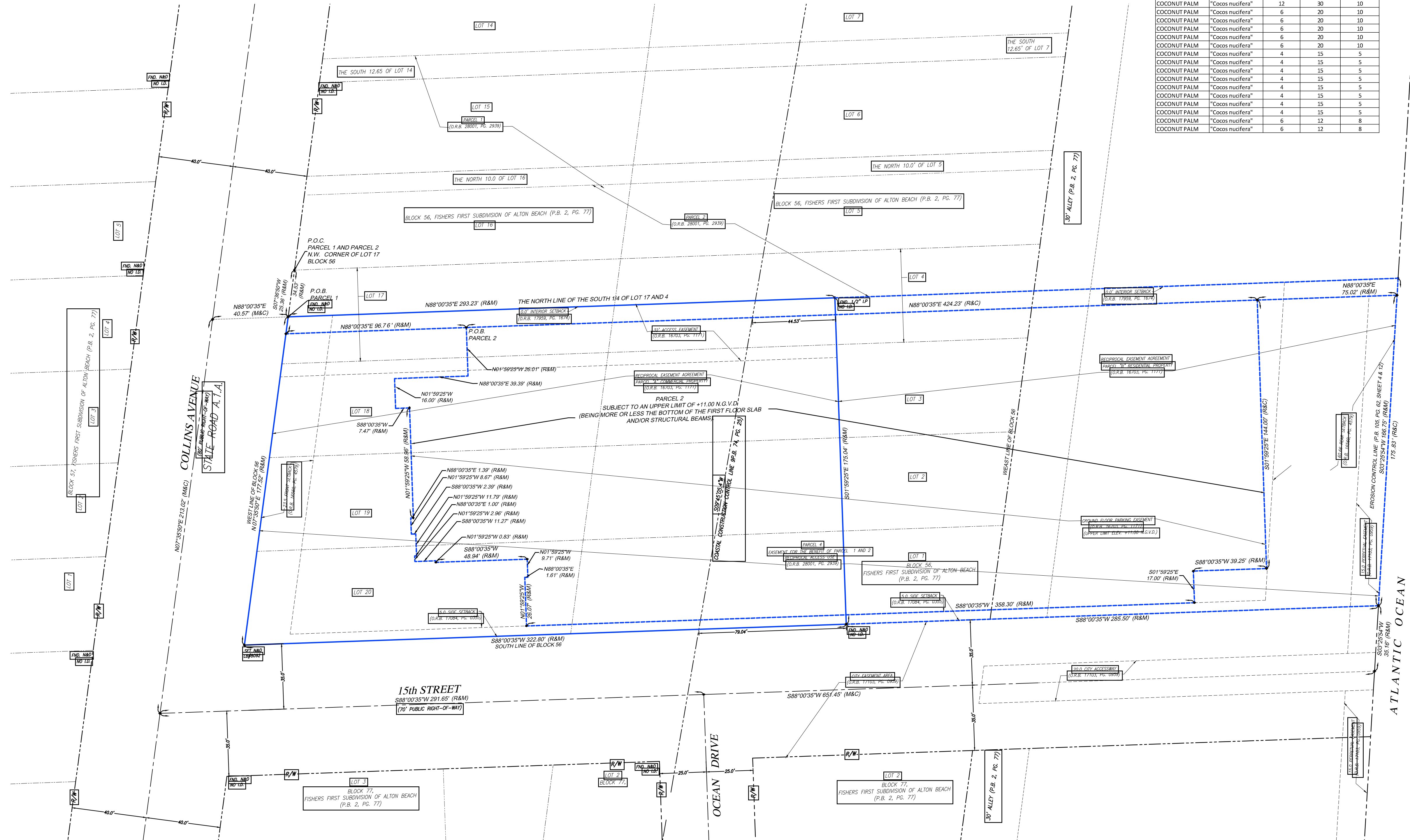
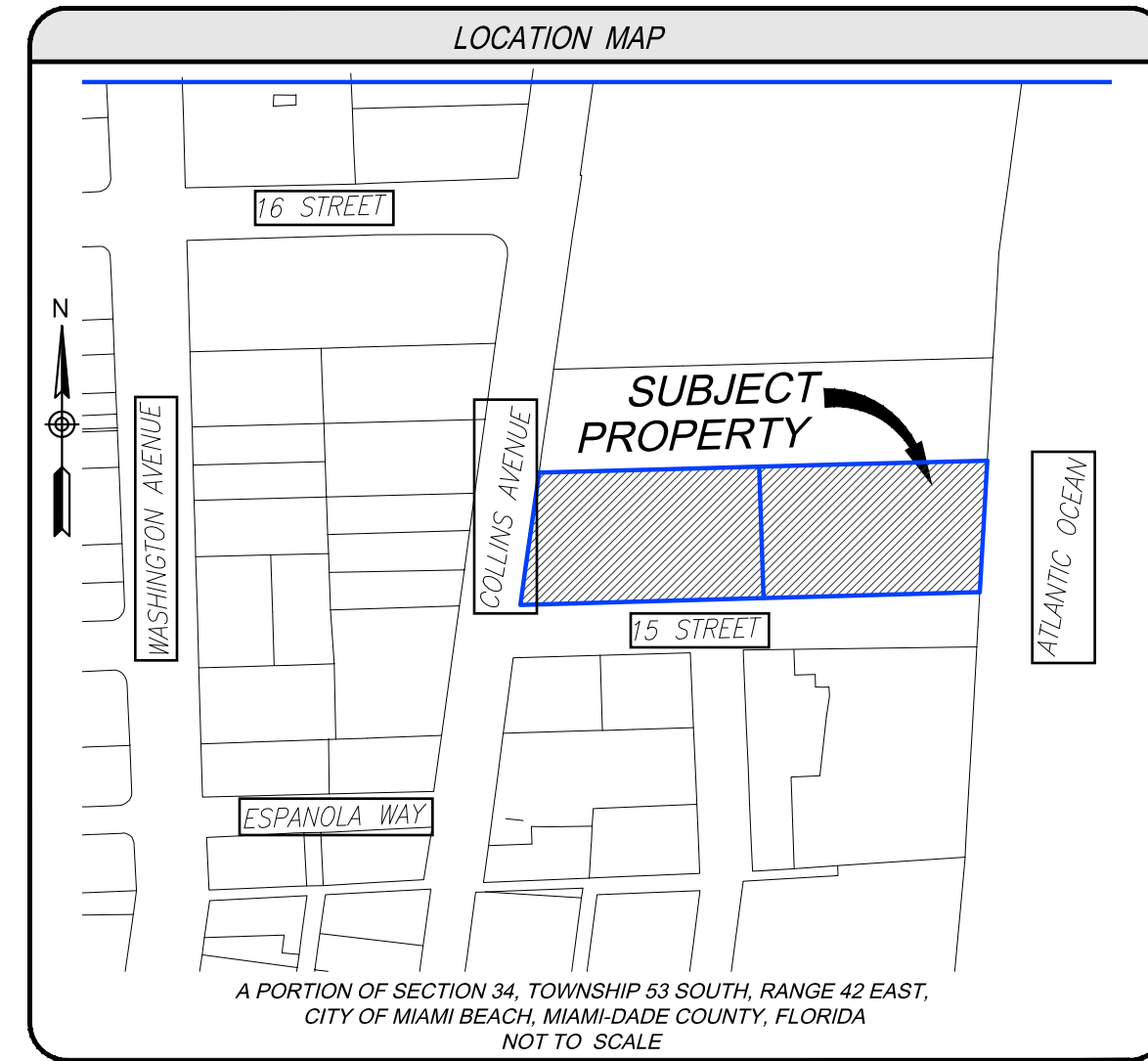
ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM AND ARE EXPRESSED IN FEET. BENCHMARK MIAMI-DADE X-310-R, ELEVATION 8.12 LOC 11 ST -- 55' NORTH OF NORTH EDGE OF PAVEMENT. LOC 2 WASHINGTON AVE -- 105' WEST OF WEST EDGE OF PAVEMENT. LOCK NOTE CHANGE IN ORIGINAL DESCRIPTION.

REVISIONS

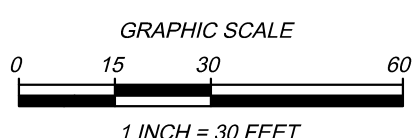
Table with columns: DATE, JOB No., REV, BY.

SURVEYOR'S NOTES

- 1. FIELD SURVEY WAS COMPLETED ON FEBRUARY 3, 2021.
2. BEARINGS BASED ON AN ASSUMED BEARING OF N07°35'50"E ALONG THE WEST LINE OF SUBJECT PROPERTY.
3. LEGAL DESCRIPTION WAS PROVIDED BY CLIENT.
4. DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.
5. INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.
6. UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
7. ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
8. SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM COLLINS AVENUE AND 15 STREET, BOTH PUBLIC DEDICATED RIGHT OF WAY.
9. THERE ARE NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
10. PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AND RECENT STREET OR SIDEWALK CONSTRUCTION SHOWN ON SURVEY.
11. THERE ARE NOT OBSERVED WETLANDS WITHIN SUBJECT PROPERTY.
12. THERE ARE NO PLOTTABLE OFFSITE EASEMENTS SERVING THE PROPERTY.
13. THE ATTESTING LAND SURVEYOR CARRIES PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$1,000,000.
14. THE ACCURACY OBTAINED BY FIELD MEASUREMENTS AND OFFICE CALCULATIONS OF CLOSED GEOMETRY FIGURES MEETS AND EXCEEDS THE MINIMAL TECHNICAL STANDARDS OF PRACTICE REQUIREMENTS FOR COMMERCIAL/HIGH RISK LINEAR 1 FOOT IN 10,000 FEET AS DEFINED IN RULE SJ-17.051 OF THE FLORIDA ADMINISTRATIVE CODE.



SKETCH OF LEGAL DESCRIPTION



TREE IDENTIFICATION MUST BE VERIFIED BY A CERTIFIED SPECIALIST

Table with columns: Common Name, Scientific Name, Height, Canopy, Trunk. Lists various trees like Coccoloba palm, Almond tree, Black olive, etc.

BOUNDARY SURVEY

PREPARED FOR: 1501 COLLINS LLC
LYING AND BEING IN SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.
J. Hernandez & Associates Inc. LAND SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION No. LB8092
3300 NW 112th Ave, SUITE #10 MIAMI, FL 33172
(P) 305-526-0806 (E) mh@jhsurvey.com

DRAWN BY: R.J.G. CHECKED BY: J.G.H. JOB NUM: 152210
DATE: 02/03/21 DATE: 02/05/2021 F.B. MD-31, PG. 63

LEGAL DESCRIPTION

PARCEL 1: A PORTION OF LOTS 1, 2, 3, 4, 17, 18, 19 AND 20 BLOCK 56, OF "FISHERS FIRST SUBDIVISION OF ALTON BEACH" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 77, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF LOT 17 IN SAID BLOCK 56; THENCE S 07° 35' 50" W, ALONG THE WEST LINE OF SAID BLOCK 56, FOR 25.36 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND; THENCE N 88° 00' 35" E, ALONG THE NORTH LINE OF THE SOUTH 1/2 LOTS 17 AND 4, IN SAID BLOCK 56, FOR 293.23 FEET; THENCE S 01° 59' 25" E FOR 175.04 FEET; THENCE S 88° 00' 35" W, ALONG THE SOUTH LINE OF SAID BLOCK 56, FOR 322.80 FEET; THENCE N 07° 35' 50" E, ALONG THE WEST LINE OF SAID BLOCK 56, FOR 177.52 FEET TO THE POINT OF BEGINNING.
THE ABOVE DESCRIBED PARCEL LYING IN SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA.
PARCEL 2: A PORTION OF LOTS 1, 2, 3, 4, 17, 18, 19 AND 20 IN BLOCK 56 OF "FISHERS FIRST SUBDIVISION OF ALTON BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 77, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
TOGETHER WITH: THE ADJACENT LANDS LYING BETWEEN THE EAST LINE OF BLOCK 56 AND THE EROSION CONTROL LINE, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF LOT 17 IN SAID BLOCK 56; THENCE S 07° 35' 50" W, ALONG THE WEST LINE OF SAID BLOCK 56, FOR 34.53 FEET; THENCE N 88° 00' 35" E FOR 86.76 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE N 88° 00' 35" E FOR 124.04 FEET; THENCE S 01° 59' 25" E FOR 144.00 FEET; THENCE S 88° 00' 35" W FOR 39.25 FEET; THENCE S 01° 59' 25" E FOR 17.00 FEET; THENCE S 88° 00' 35" W FOR 358.30 FEET; THENCE N 01° 59' 25" W FOR 26.07 FEET; THENCE S 88° 00' 35" W, FOR 1.81 FEET; THENCE N 01° 59' 25" W, FOR 9.71 FEET; THENCE S 88° 00' 35" W, FOR 58.89 FEET; THENCE N 01° 59' 25" W, FOR 8.83 FEET; THENCE S 88° 00' 35" W, FOR 1.27 FEET; THENCE N 01° 59' 25" W, FOR 2.96 FEET; THENCE N 88° 00' 35" E, FOR 1.00 FEET; THENCE N 01° 59' 25" W, FOR 11.79 FEET; THENCE S 88° 00' 35" W, FOR 2.39 FEET; THENCE N 01° 59' 25" W, FOR 8.67 FEET; THENCE N 88° 00' 35" E, FOR 1.39 FEET; THENCE N 01° 59' 25" W, FOR 58.89 FEET; THENCE S 88° 00' 35" W, FOR 7.47 FEET; THENCE N 01° 59' 25" W, FOR 16.00 FEET; THENCE N 88° 00' 35" E, FOR 39.39 FEET; THENCE N 01° 59' 25" W, FOR 28.00 FEET TO THE POINT OF BEGINNING, SUBJECT TO AN UPPER LIMIT OF +11.00 M.S.V.D. (BEING MORE OR LESS THE BOTTOM OF THE FIRST FLOOR SLAB AND/OR STRUCTURAL BEAMS).
PARCEL 3: TOGETHER WITH NON-EXCLUSIVE EASEMENTS AS SET FORTH IN THE RECIPROCAL ACCESS, USE, DEVELOPMENT AND EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 18110, PAGE 1156, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LYING IN BEING IN SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

PROPERTY INFORMATION

PROPERTY ADDRESS: 1501 COLLINS AVENUE, MIAMI BEACH
FOLIO NUMBER: 02-3234-163-0001

SETBACK REQUIREMENTS

Table with columns: BUILDING SETBACK, FRONT (COLLINS AVENUE), SIDE STREET (15TH STREET), INTERIOR, REAR.

CERTIFY TO:

1501 COLLINS LLC

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

BY: JOSE G. HERNANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR No. 6952
STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

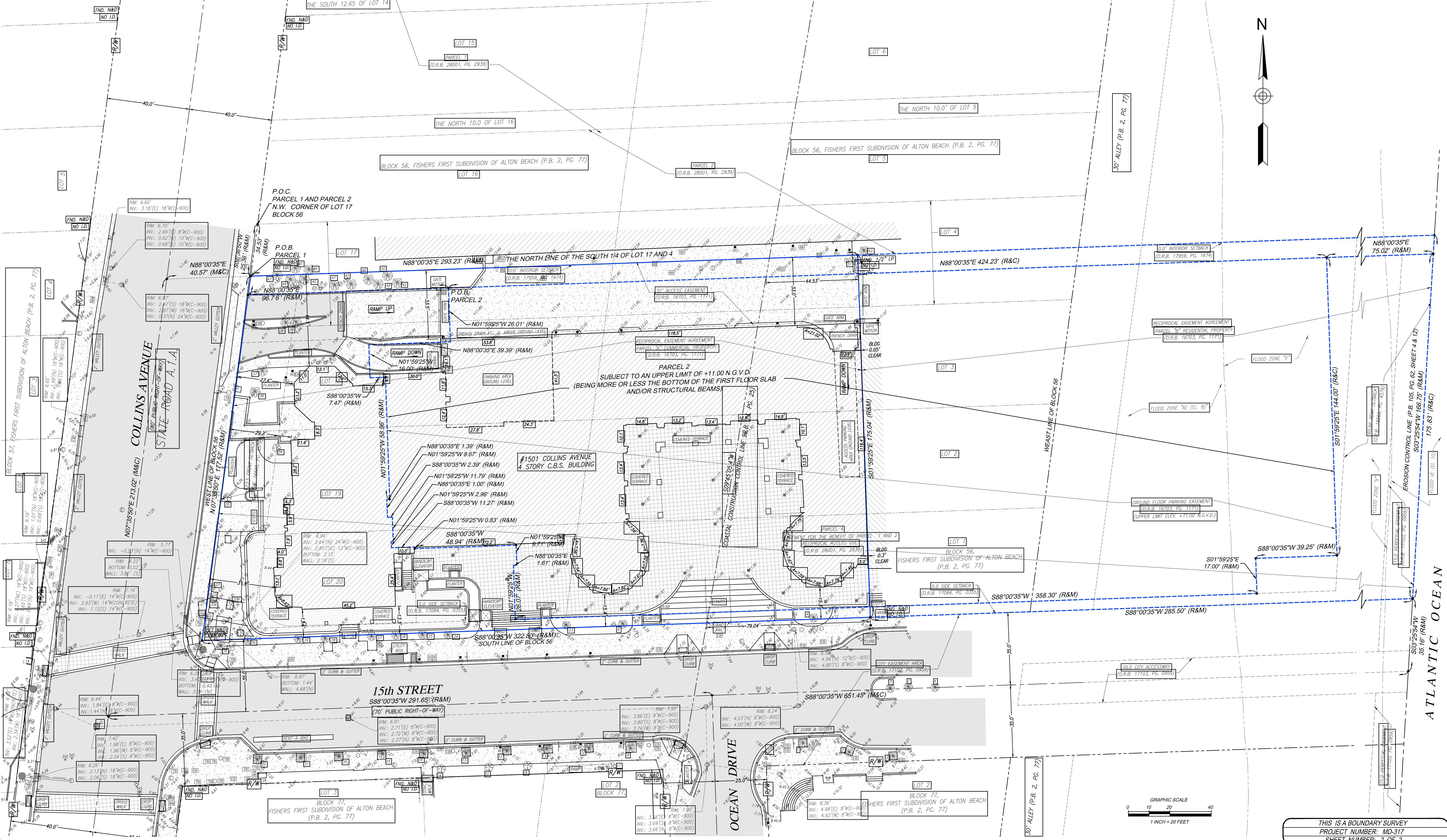
THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: MD-317
SHEET NUMBER: 1 OF 2

AREA 1501 COLLINS AVENUE: 53915 SQ.FT. (1.238 ACRES)  
 AREA 1500 COLLINS AVENUE: 51428 sq.ft. 1.181 Acres

**LEGEND AND ABBREVIATIONS**

CONCRETE POLE	HANDICAP PAINT MARK	ELECTRIC BOY	COMMUNICATION MANHOLE	COARDED/SLAB	FIRE FITTING	CELLULAR DRAINAGE	FLY ASH
CONCRETE POWER POLE	BAR STROLLER PAINT MARK	COMMUNICATION BOY	BELL SOUTH MANHOLE	ROUND COLUMN	HOUSE DETECTOR CHECK VALVE	PAVING BRICK	TRUCK
CONCRETE LIGHT POLE	WATER MANHOLE	CABLE T.V. BOY	PARADE METERS	MANHOLE	BACK FLOW PREVENTER	ACCESS MANHOLE	TRUCK
ALUMINUM POLE	SEWER MANHOLE	LANARMIN BOY	PARADE POST	WATER VALVE	PROPERTY LINE	TABLE	TRUCK
WOOD POWER POLE	PHONE MANHOLE	PROPANE MANHOLE	PROPANE VALVE	SEWER VALVE	COVERLAIN	TABLE	TRUCK
WOOD LIGHT POLE	PROPANE MANHOLE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	TABLE	TRUCK
PROPANE BOY	PROPANE MANHOLE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	TABLE	TRUCK
STREET LIGHT BOY	PROPANE MANHOLE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	TABLE	TRUCK
PHONE BOY	PROPANE MANHOLE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	TABLE	TRUCK
INDICATOR BOY	PROPANE MANHOLE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	PROPANE VALVE	TABLE	TRUCK

AREA PARCEL 1 (COMMERCIAL PARCEL) 53,915 SQ.FT. (1.238 ACRES)  
 AREA PARCEL 2 (RESIDENTIAL PARCEL - GROUND FLOOR PARKING EASEMENT) 69,941 SQ.FT. (1.606 ACRES)  
 TOTAL GROSS AREA TO EROSION CONTROL LINE: 105,342 SQ.FT. (2.418 ACRES)



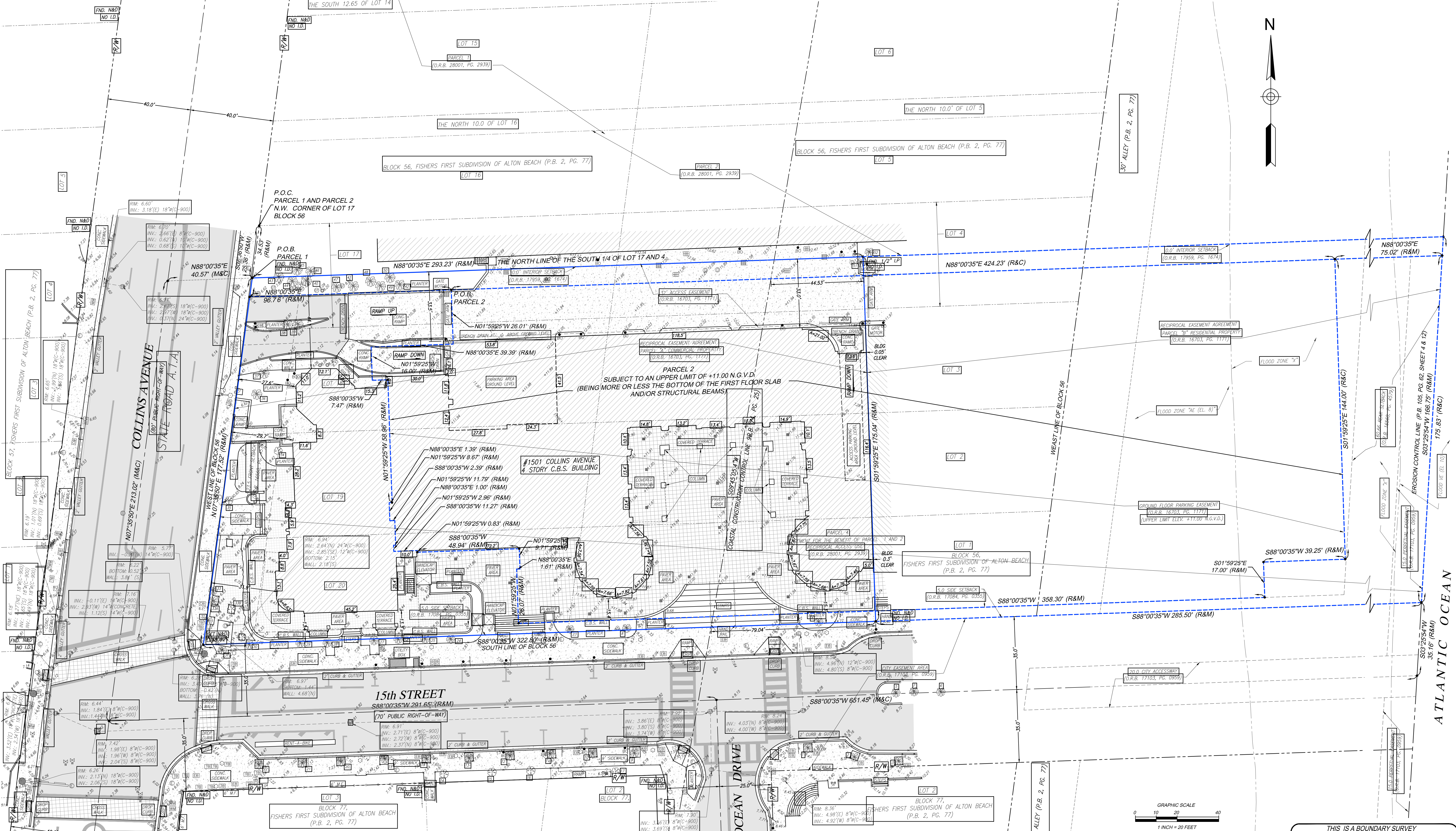
THIS IS A BOUNDARY SURVEY  
 PROJECT NUMBER: MD-317  
 SHEET NUMBER: 2 OF 2

AREA 1501 COLLINS AVENUE: 53915 SQ.FT. (1.238 ACRES)  
 AREA 1500 COLLINS AVENUE: 51428 sq.ft. 1.181 Acres

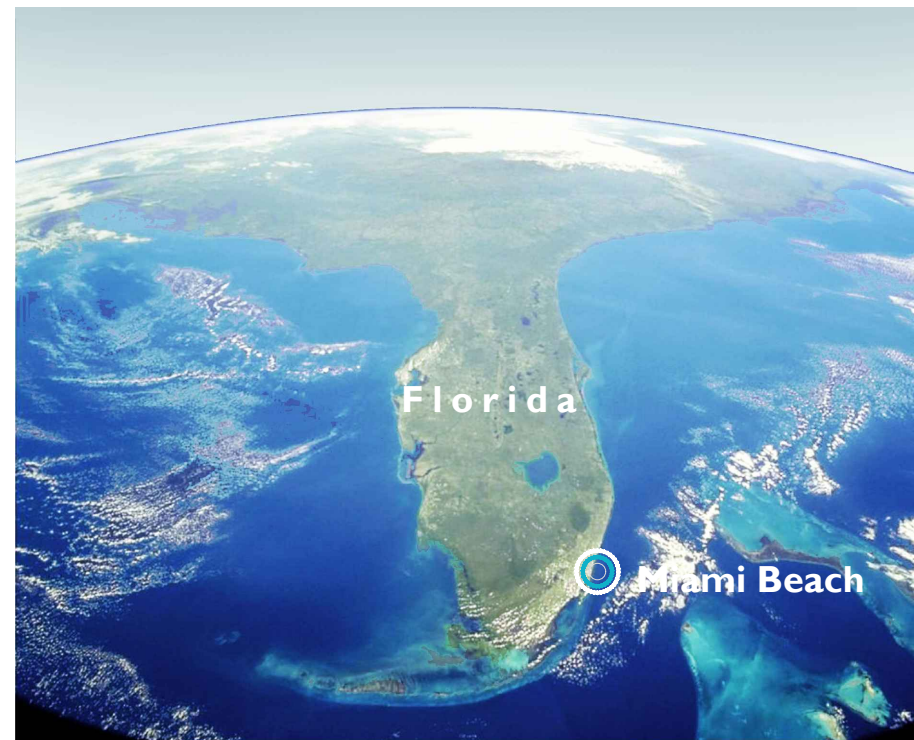
**LEGEND AND ABBREVIATIONS**

CONCRETE POLE	HANDICAP PAINT MARK	ELECTRIC BOY	COMMUNICATION MANHOLE	COARSE DRILLING	FLY ASH
CONCRETE POWER POLE	BABY STROLLER PAINT MARK	COMMUNICATION BOY	BELL SOUTH MANHOLE	ROUND COLUMN	PAVING
CONCRETE LIGHT POLE	WATER MANHOLE	CABLE T.V. BOY	PARADE METOP	ROUND COLUMN	PAVING
ALUMINUM POLE	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
WOOD POWER POLE	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
WOOD LIGHT POLE	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
FRATY BOY	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
STREET LIGHT BOY	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
PHONE BOY	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING
INDICATION BOY	WATER MANHOLE	LANARIN BOY	PARADE METOP	ROUND COLUMN	PAVING

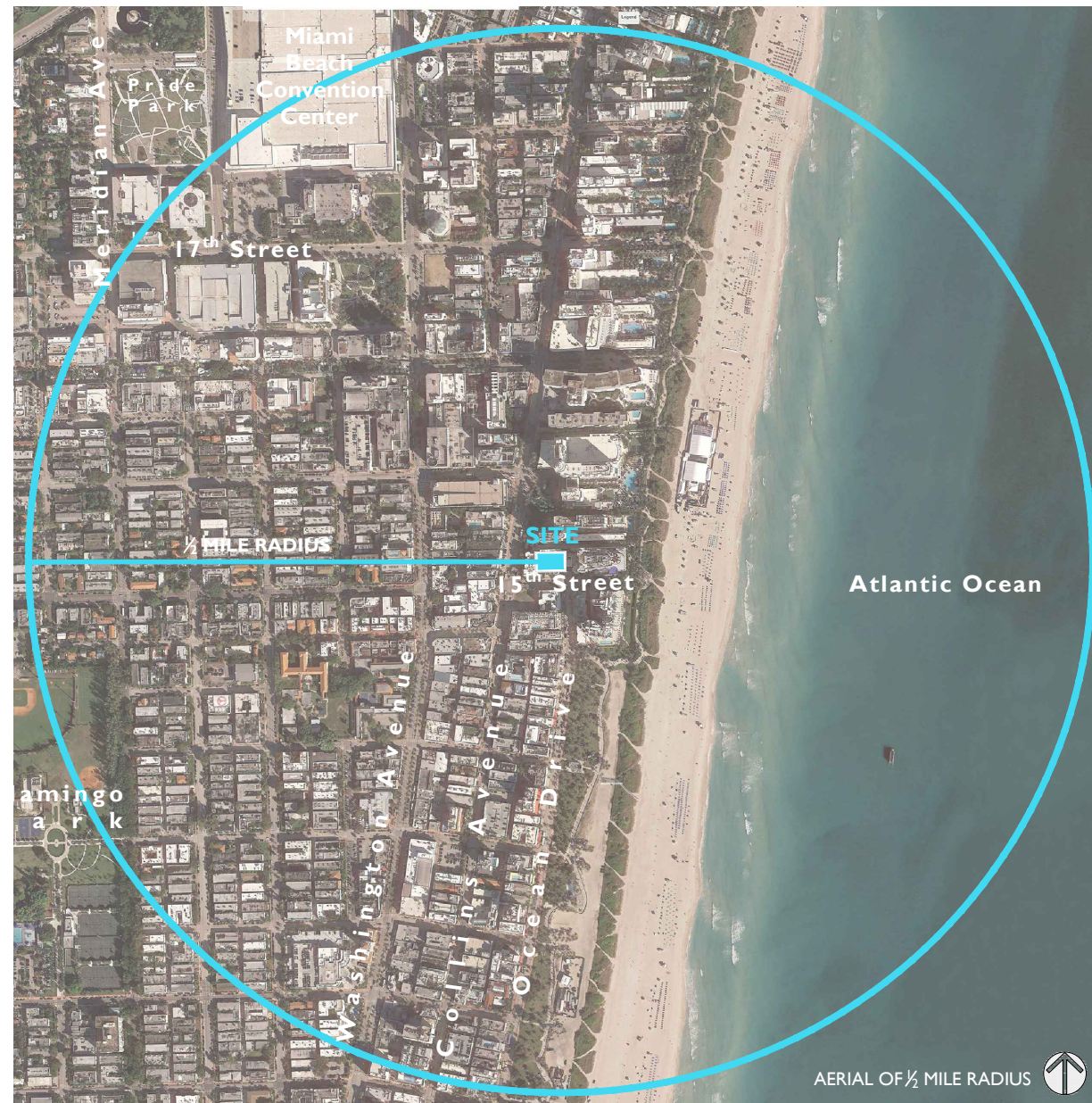
AREA PARCEL 1 (COMMERCIAL PARCEL) 53,915 SQ.FT. (1.238 ACRES)  
 AREA PARCEL 2 (RESIDENTIAL PARCEL - GROUND FLOOR PARKING EASEMENT) 69,941 SQ.FT. (1.606 ACRES)  
 TOTAL GROSS AREA TO EROSION CONTROL LINE: 105,342 SQ.FT. (2.418 ACRES)



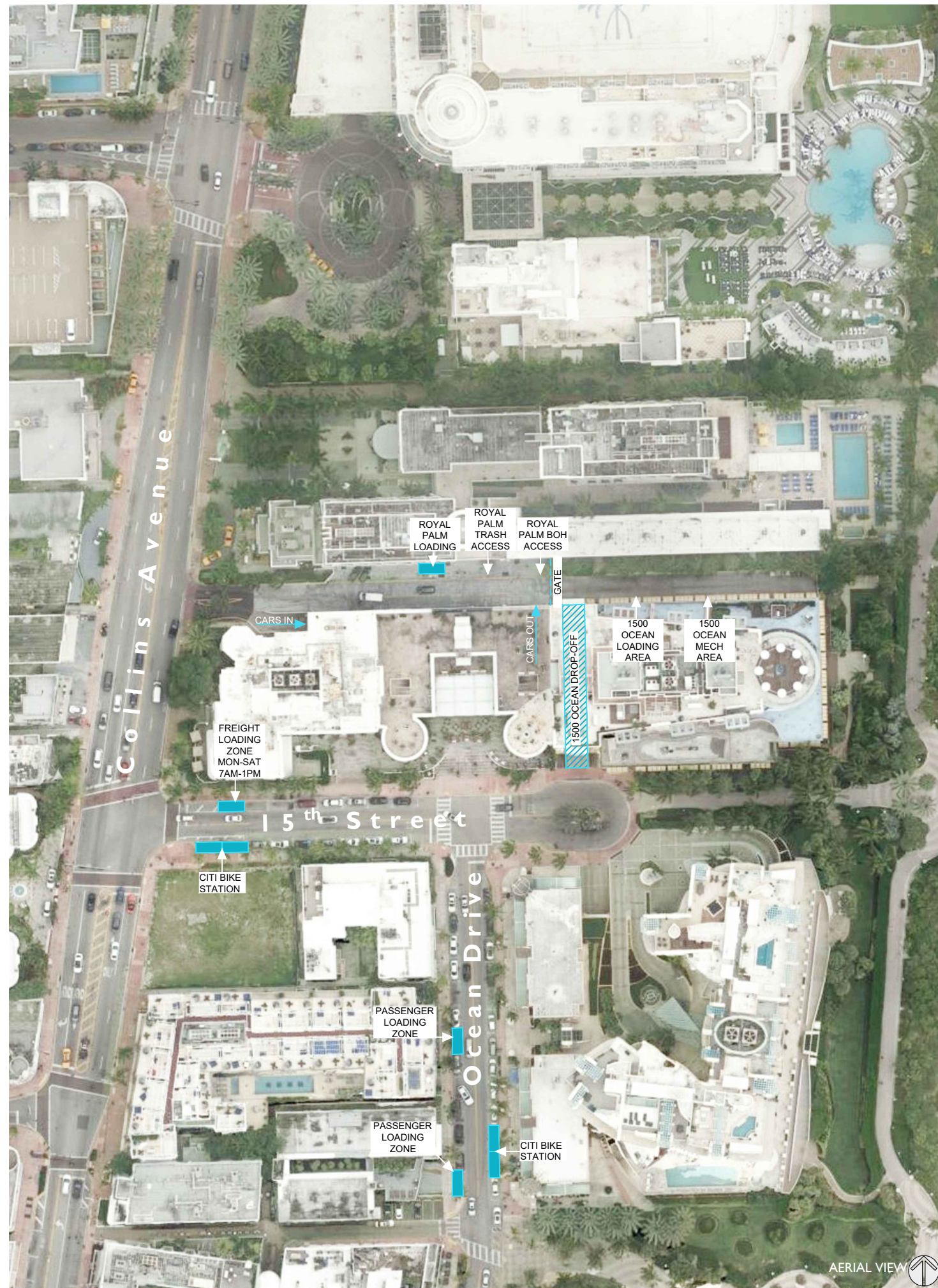
THIS IS A BOUNDARY SURVEY  
 PROJECT NUMBER: MD-317  
 SHEET NUMBER: 2 OF 2



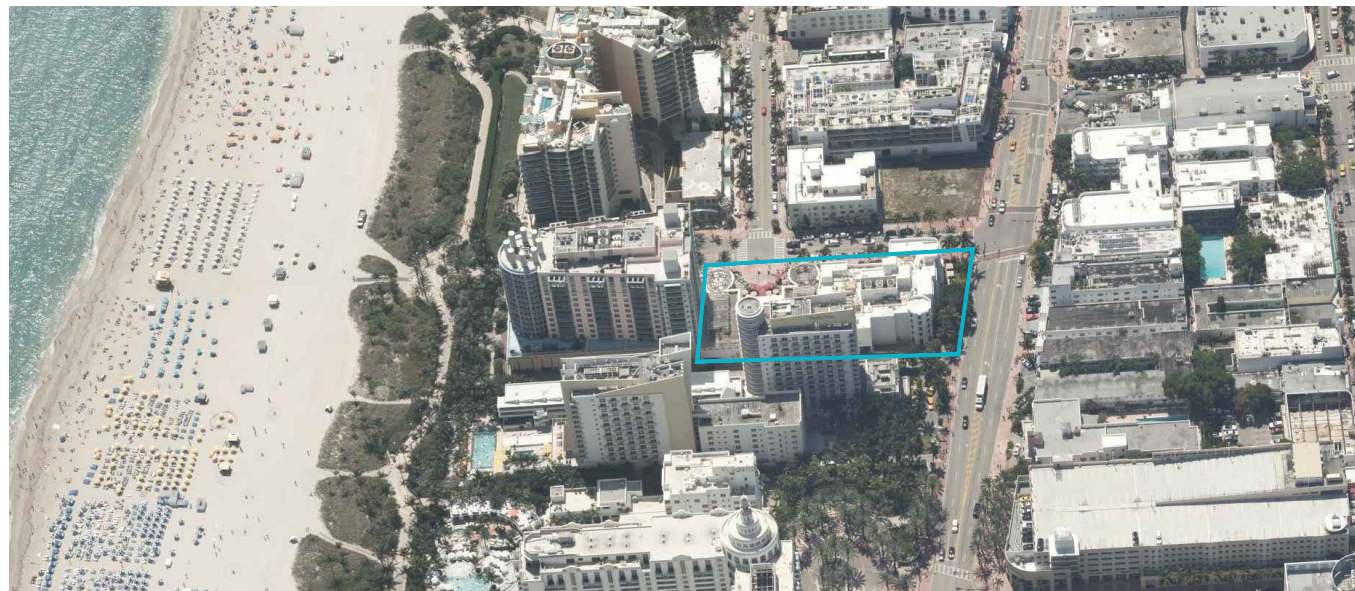
SATELLITE IMAGE



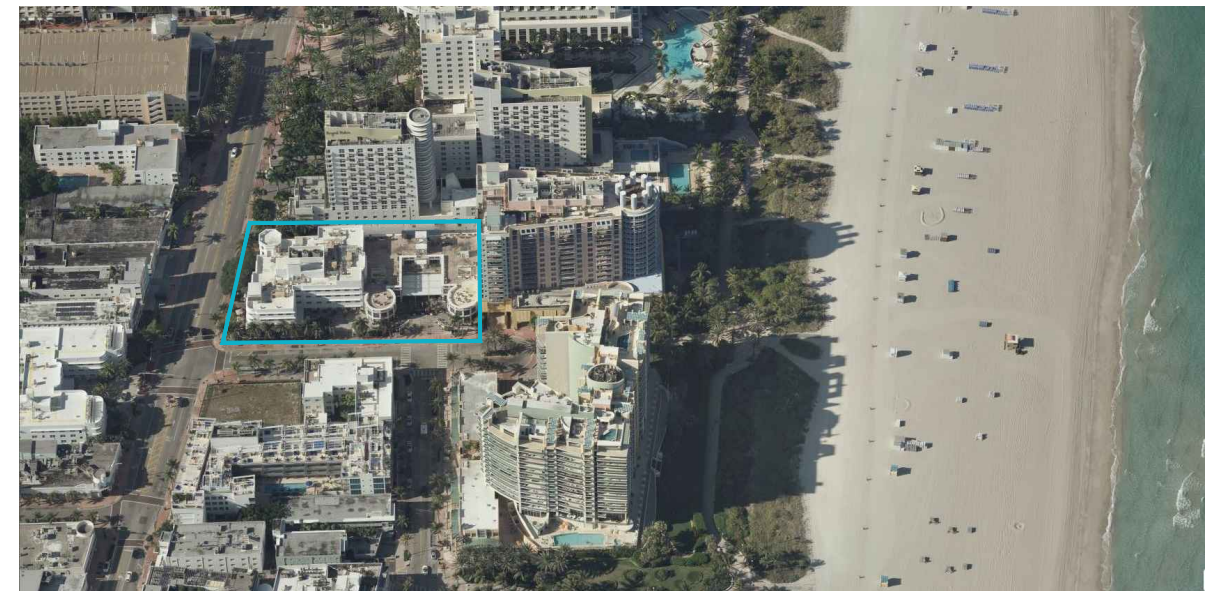
AERIAL OF 1/2 MILE RADIUS



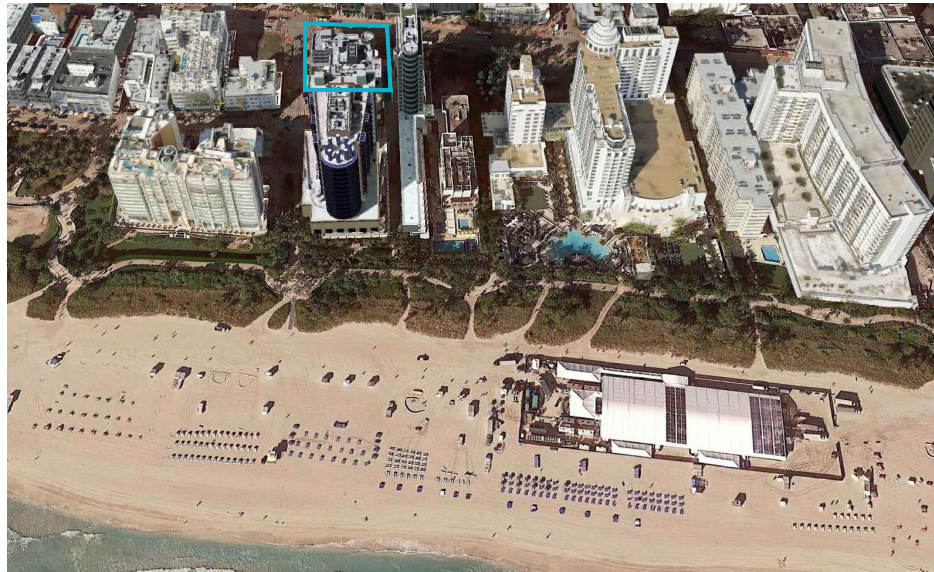
AERIAL VIEW



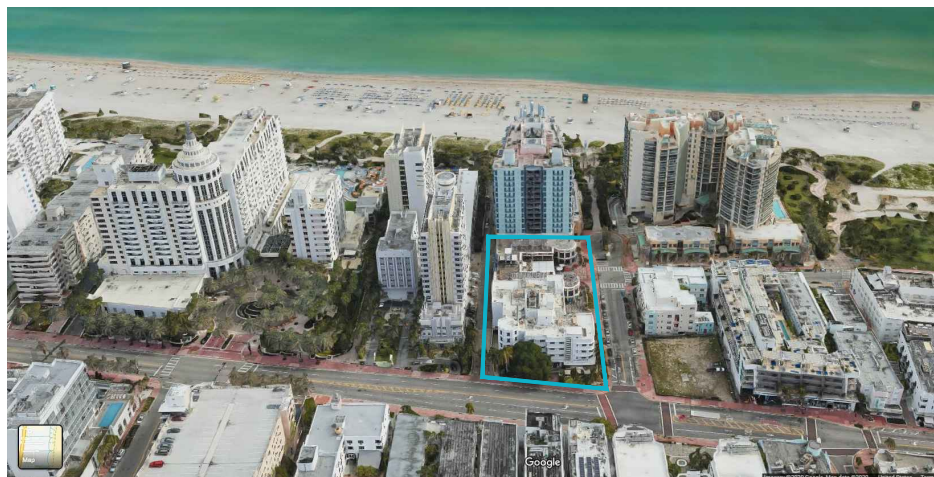
SITE AERIAL - NORTH



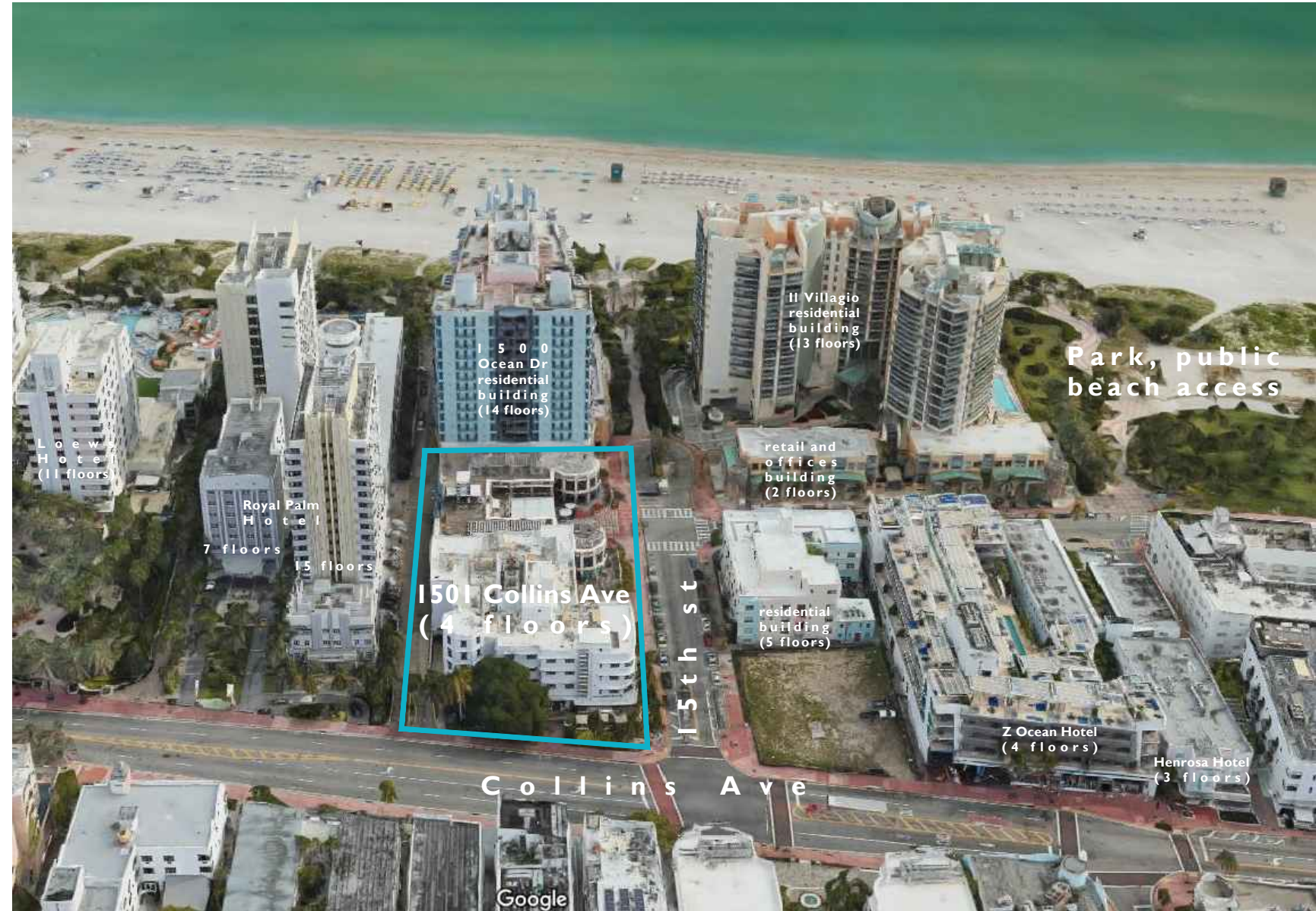
SITE AERIAL - SOUTH



SITE AERIAL - WEST



SITE AERIAL - EAST



SITE AERIAL - NORTH

1501 COLLINS AVE  
MIAMI BEACH, FL 33139

DRAWING:

AXONOMETRIC  
VIEWS

JENNIFER MCCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2021

SCALE: Not to Scale

CHECK: JMcG

DATE: 3/8/2021

SHEET NUMBER

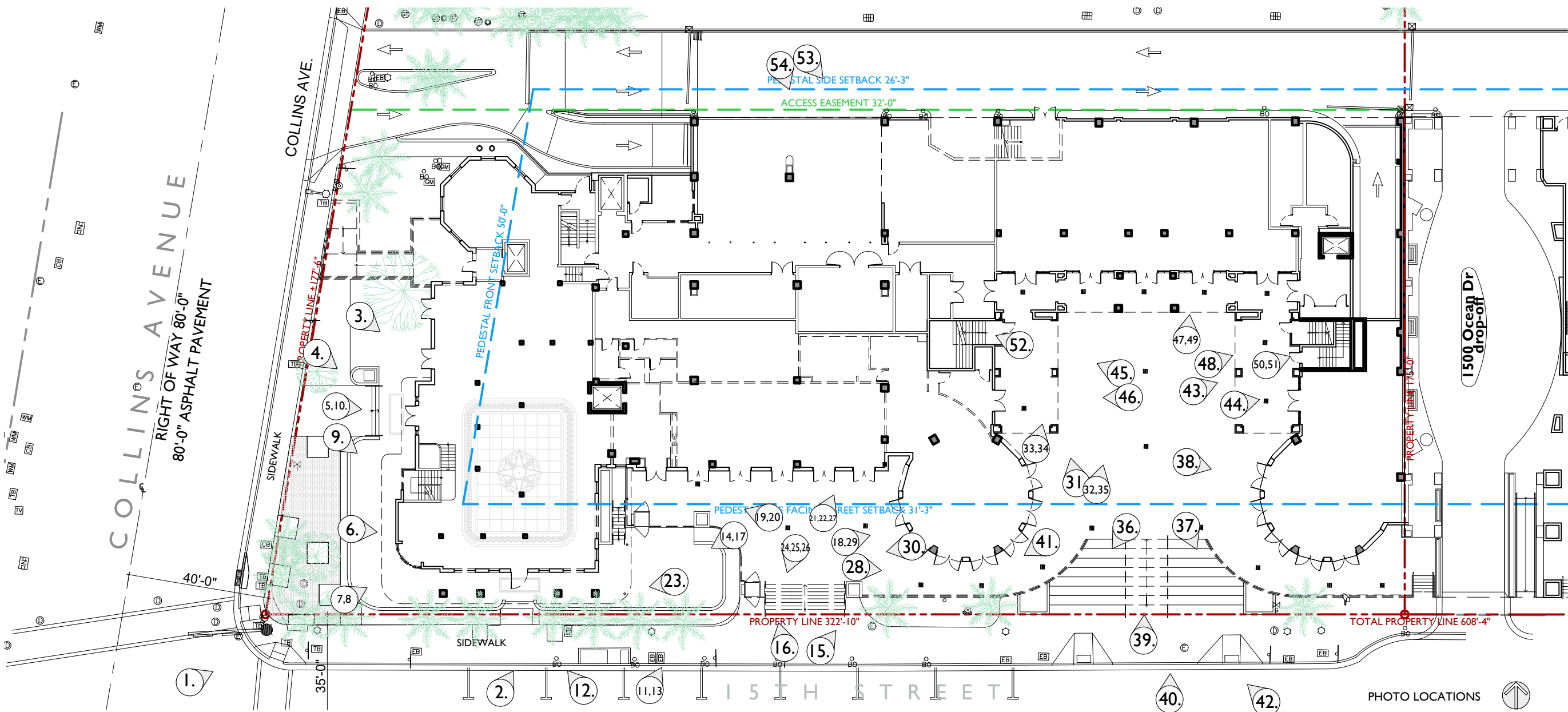
A0.03



1. CORNER VIEW FACING NORTHEAST, INTERSECTION OF COLLINS AVE AND 15TH STREET

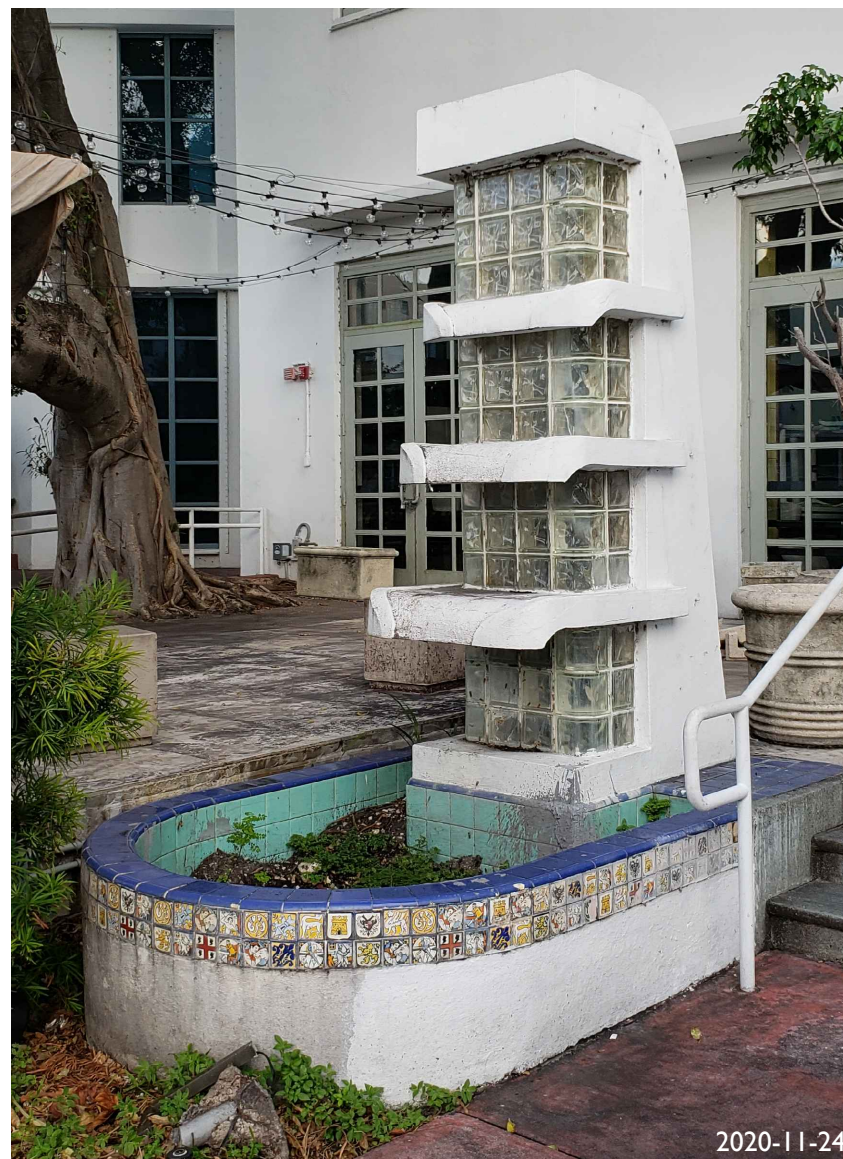


2. VIEW FACING NORTHEAST, OCEAN STEPS

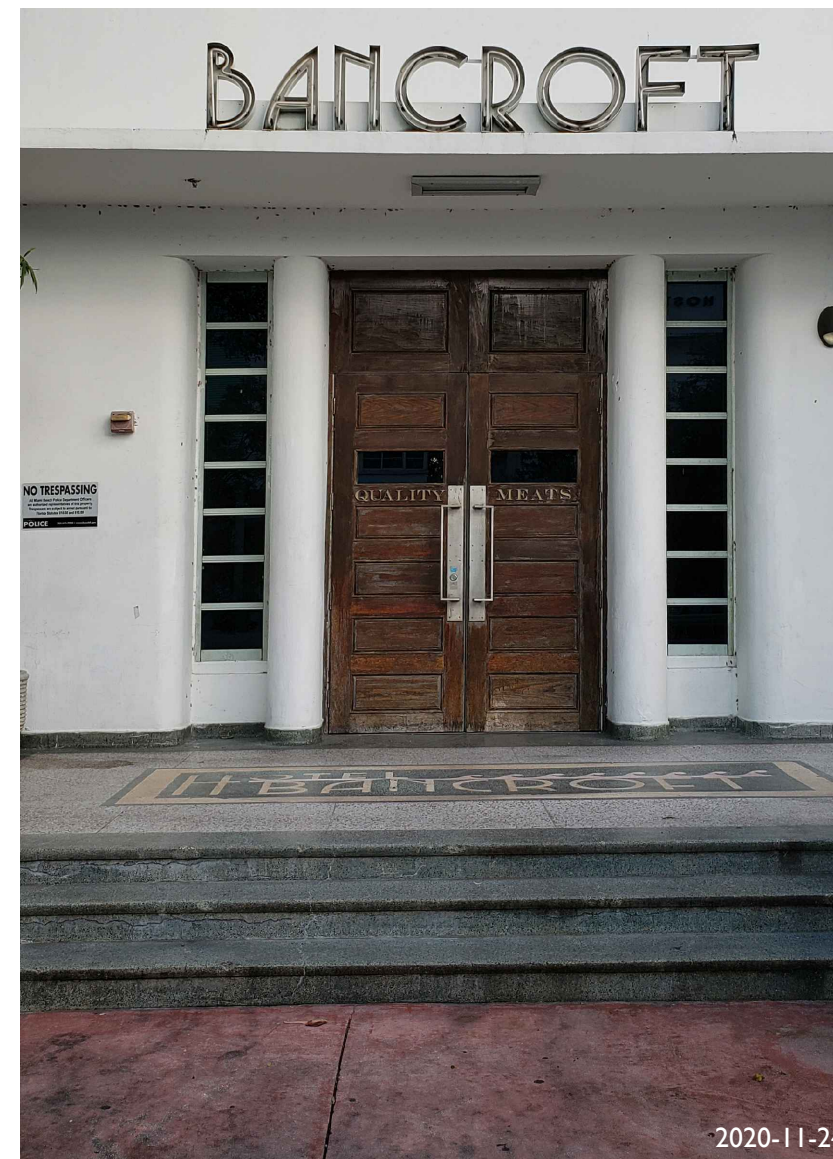




3. GLASS BLOCKS ON WEST FACADE



4. ENTRY ORNAMENT. GLASS BLOCK AND STUCCO



5. MAIN DOOR ON WEST FACADE



6. ORNAMENTAL ENGRAVING ON WEST FACADE



2020-11-24

7. CURVED FACADE AND BRIS SOLEIL ON SW FACADE



2020-11-24

8. CURVED STOREFRONT



2020-11-24

9. STRAIGHT ANGLE FACADE WITH CHAMFERED BRIS SOLEIL



2020-11-24

10. VERTICAL TRANSOMS, MAIN DOOR ON WEST FACADE



2026

PROJECT NUMBER

DESIGNER

allen  
saunders  
design

PROJECT:

**BANCROFT  
EXECUTIVE  
OFFICE SUITES**

1501 COLLINS AVE  
MIAMI BEACH, FL 33139

DRAWING:

**BUILDING  
PHOTOS**

JENNIFER MCCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2021

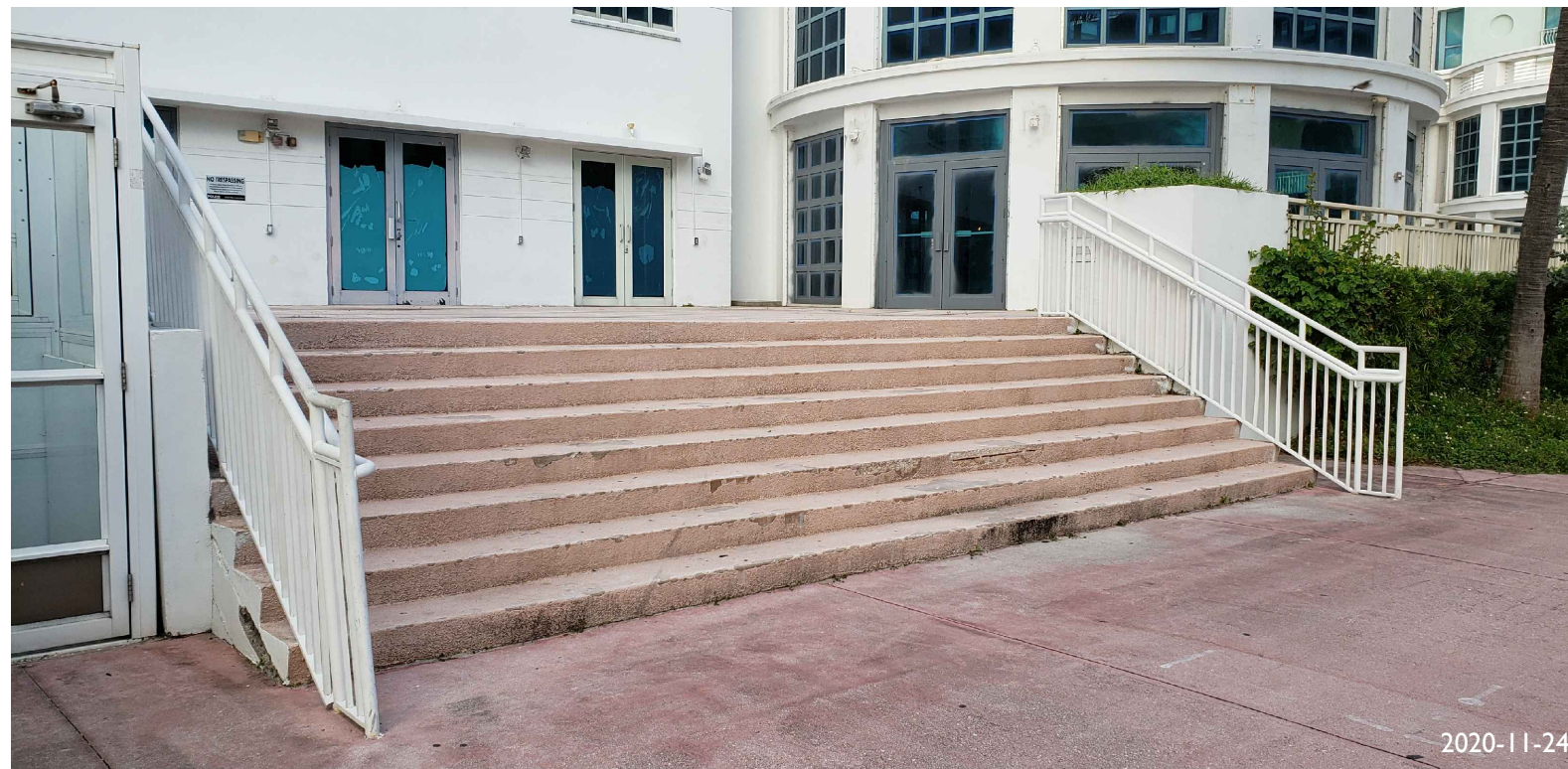
SCALE:

CHECK: JMcG

DATE: 3/8/2021

SHEET NUMBER

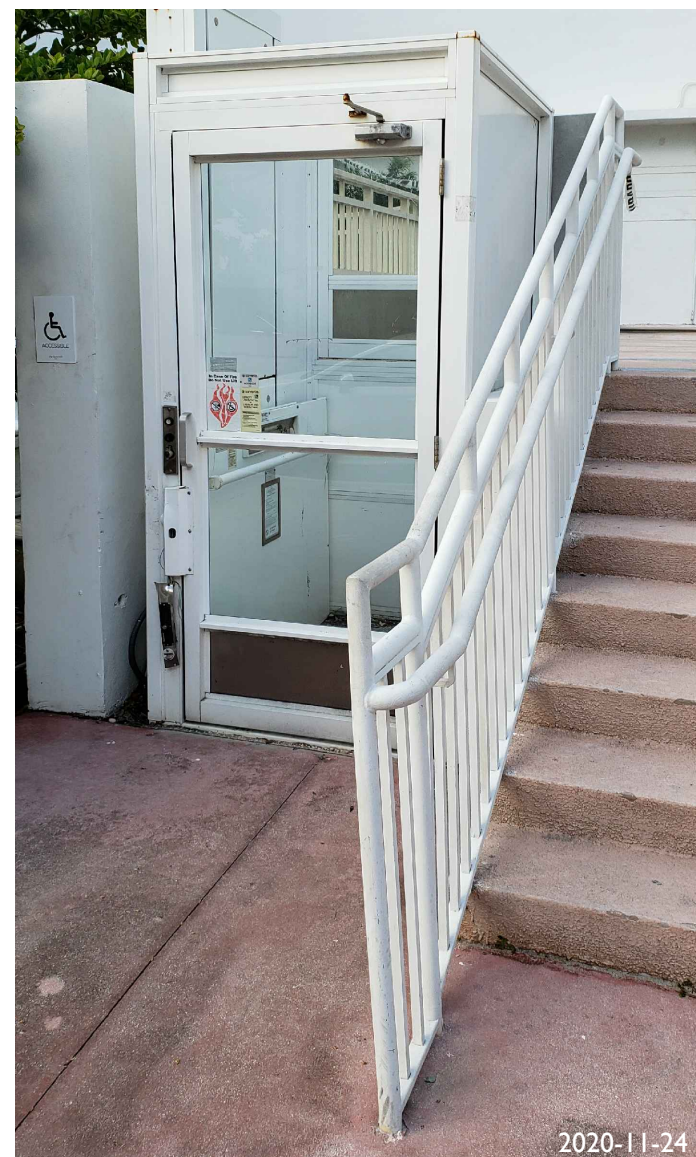
**A0.07**



11. VIEW FACING OCEAN STEPS



12. VIEW OF BANCROFT BUILDING FACING NW



13. VIEW FACING ADA LIFT ON OCEAN STEPS



14. VIEW OF BANCROFT BUILDING FACING NW



2020-11-24  
15. VIEW OF OCEAN STEPS FACING NE



2020-11-24  
16 VIEW OF OCEAN STEPS FACING NORTH



2020-11-24  
17.VIEW OF BANCROFT BUILDING FACING WEST



2020-11-24  
18. VIEW OF OCEAN STEPS FACING EAST

2026

PROJECT NUMBER  
DESIGNER  
allen  
saunders  
design  
PROJECT:  
**BANCROFT  
EXECUTIVE  
OFFICE SUITES**

1501 COLLINS AVE  
MIAMI BEACH, FL 33139

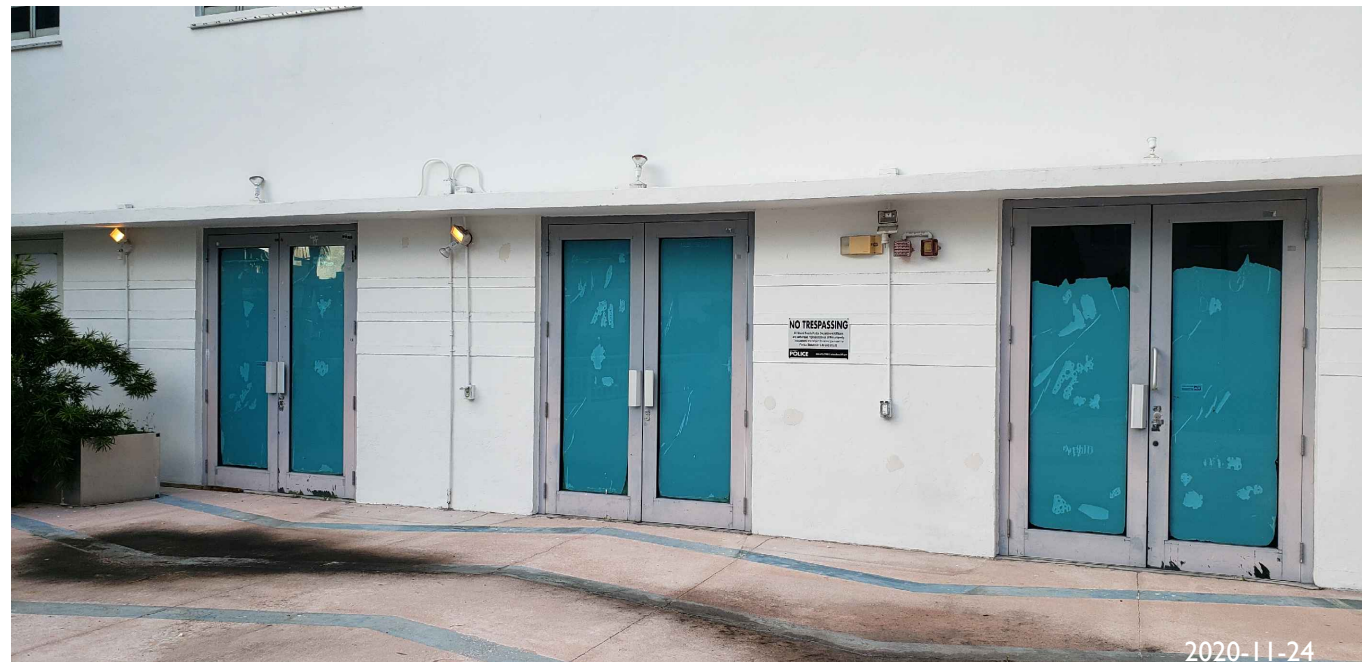
DRAWING:



19. VIEW OF BANCROFT BUILDING FACING NW



20. VIEW OF BANCROFT BUILDING FACING WEST



21. VIEW OF BANCROFT BUILDING FACING NORTH



22. VIEW OF BANCROFT BUILDING FACING WEST

**BUILDING  
PHOTOS**

JENNIFER McCONNEY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2021

SCALE:  
CHECK: JMcG  
DATE: 3/8/2021  
SHEET NUMBER

2026

PROJECT NUMBER  
DESIGNER  
allen  
saunders  
design

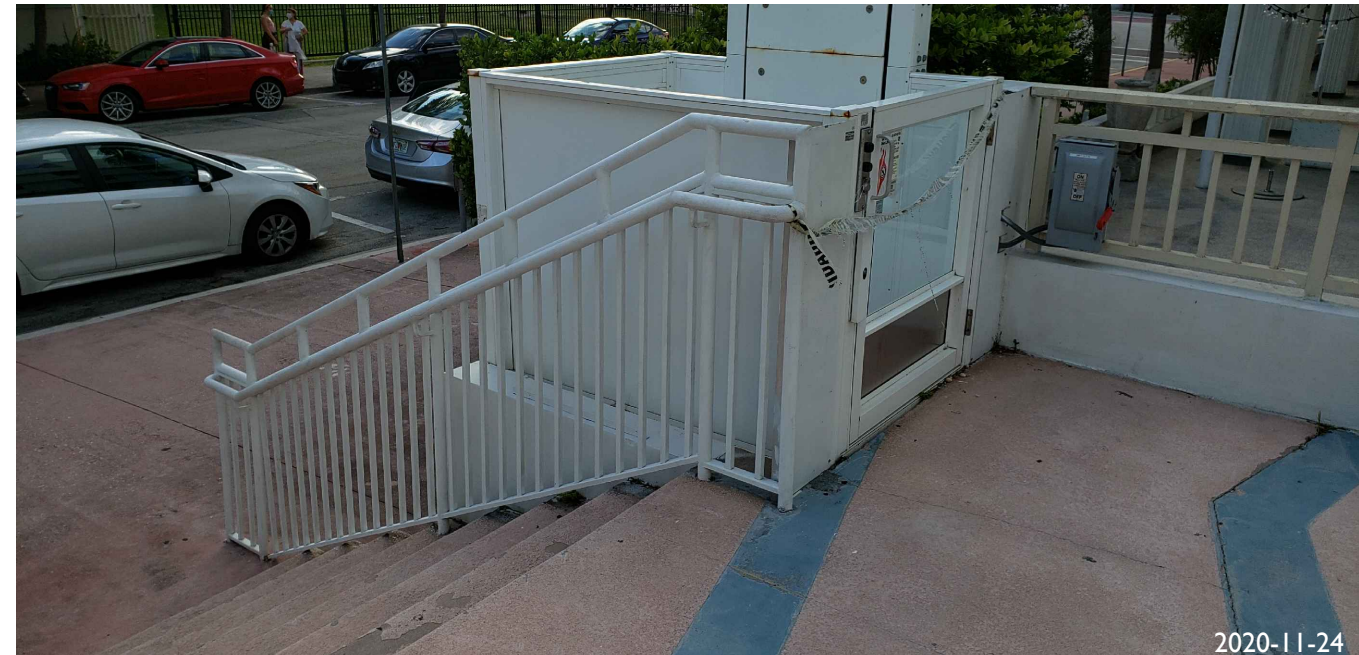
PROJECT:  
**BANCROFT  
EXECUTIVE  
OFFICE SUITES**

1501 COLLINS AVE  
MIAMI BEACH, FL 33139

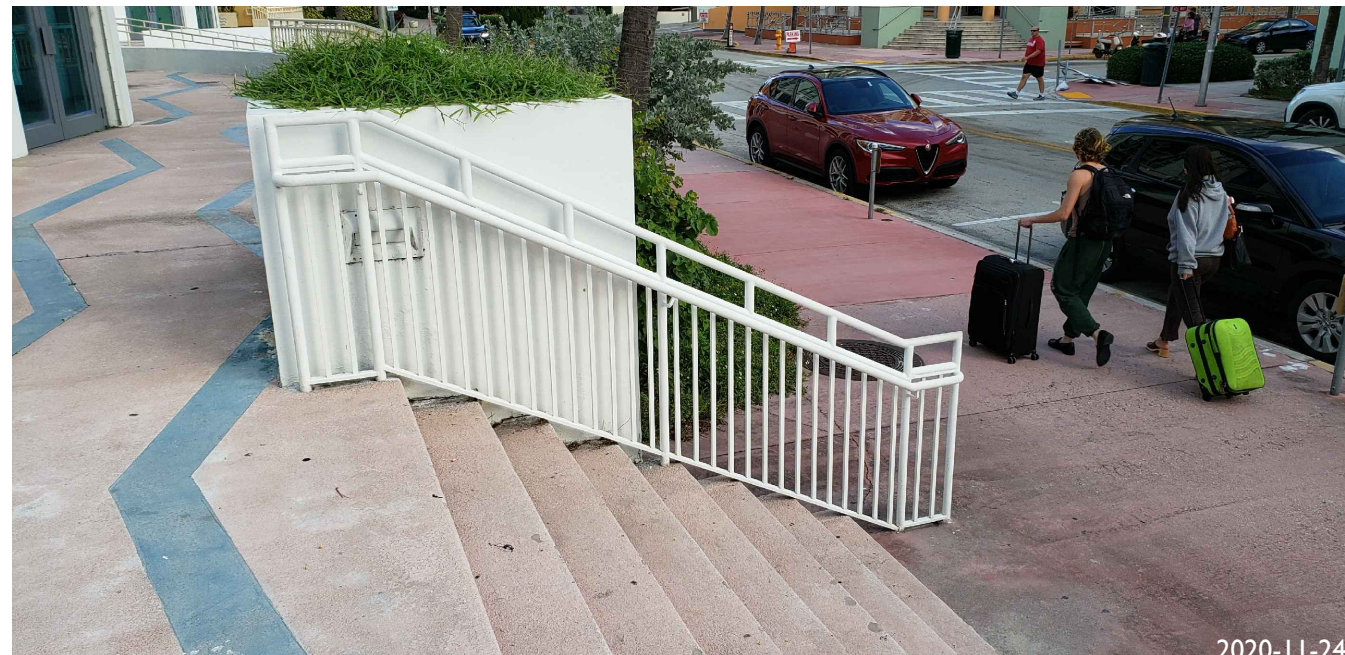
DRAWING:



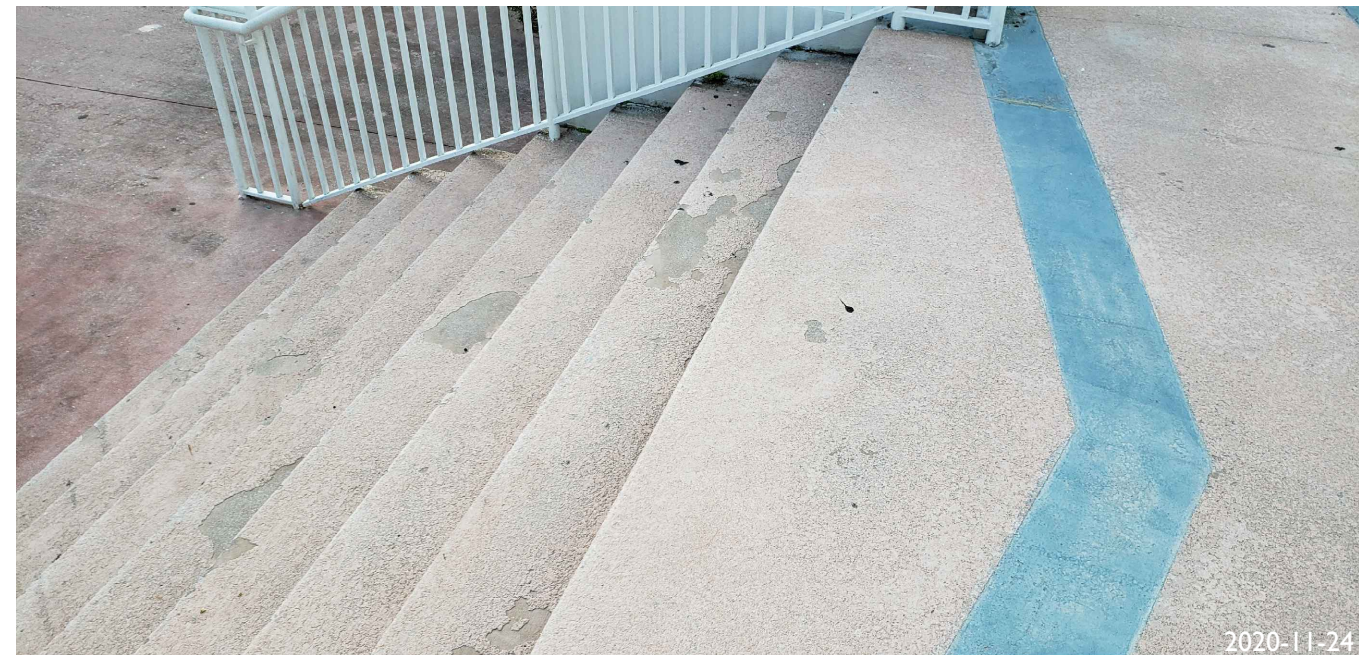
23. VIEW OF BANCROFT BUILDING FACING WEST



24. VIEW OF BANCROFT BUILDING FACING SW



25. VIEW OF BANCROFT BUILDING FACING SE



26. VIEW OF BANCROFT BUILDING

**BUILDING  
PHOTOS**

JENNIFER MCCONNEY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2021

SCALE:  
CHECK: JMcG  
DATE: 3/8/2021  
SHEET NUMBER

2026

PROJECT NUMBER  
 DESIGNER  
 allen  
 saunders  
 design

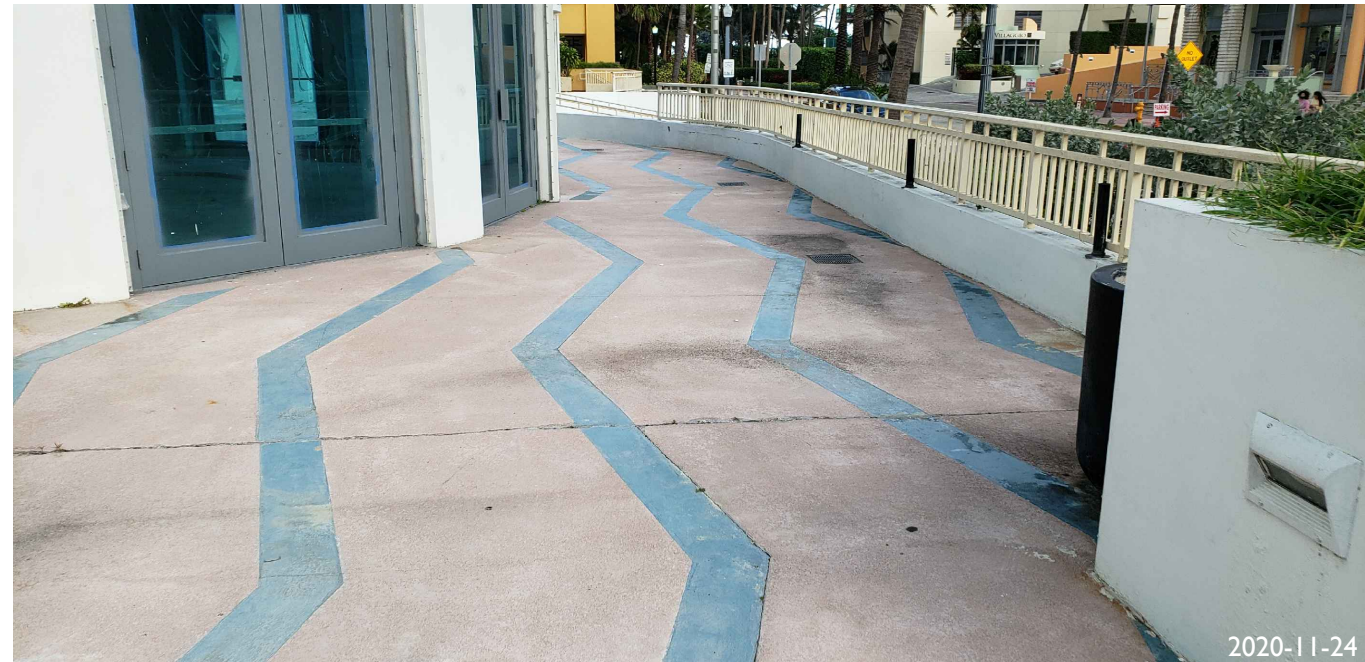
PROJECT:  
**BANCROFT  
 EXECUTIVE  
 OFFICE SUITES**

1501 COLLINS AVE  
 MIAMI BEACH, FL 33139

DRAWING:



2020-11-24  
 27. VIEW OF BANCROFT BUILDING



2020-11-24  
 28. VIEW OF OCEAN STEPS FACING EAST

**BUILDING  
 PHOTOS**



2020-11-24  
 29. VIEW OF OCEAN STEPS STOREFRONT



2020-11-24  
 30. VIEW OF BANCROFT BUILDING FACING WEST

JENNIFER MCCONNEY FLORIDA LIC# AR93044  
 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2021

SCALE:  
 CHECK: JMcG  
 DATE: 3/8/2021  
 SHEET NUMBER

2026

PROJECT NUMBER

DESIGNER

allen  
 saunders  
 design

PROJECT:  
**BANCROFT  
 EXECUTIVE  
 OFFICE SUITES**

1501 COLLINS AVE  
 MIAMI BEACH, FL 33139

DRAWING:

**BUILDING  
 PHOTOS**

JENNIFER McCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2021

SCALE:

CHECK: JMcG

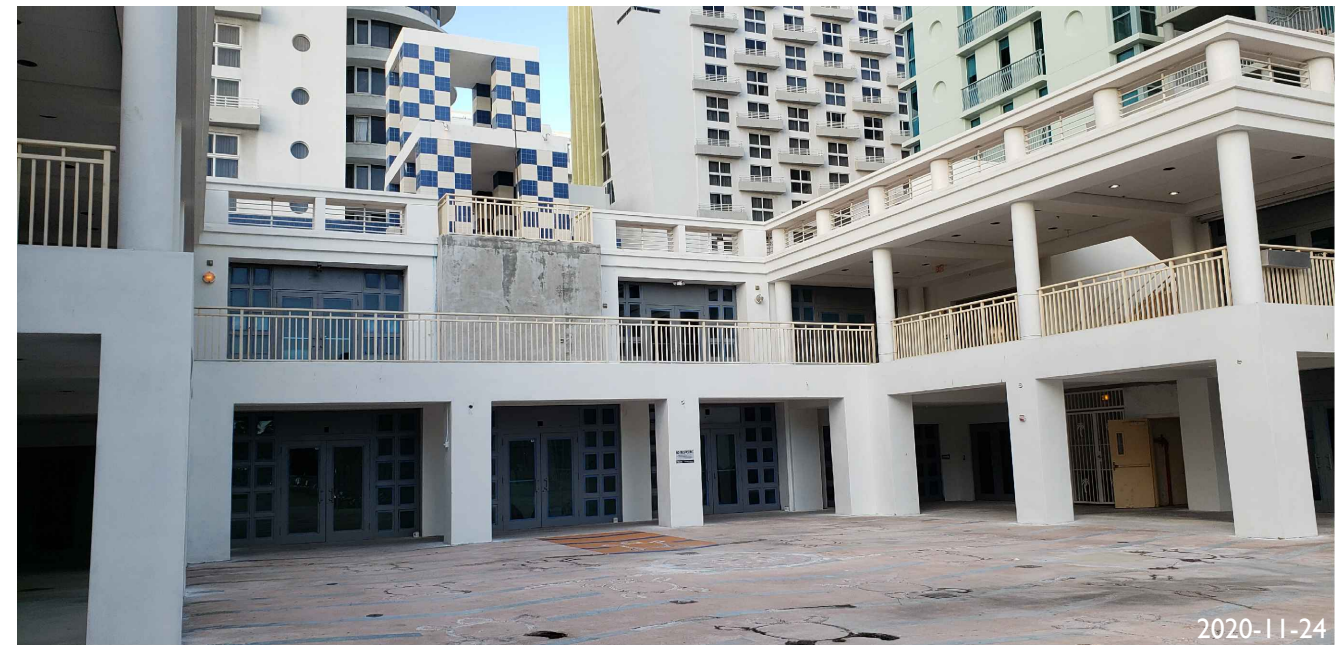
DATE: 3/8/2021

SHEET NUMBER

**A0.12**



2020-11-24  
 31. VIEW OF OCEAN STEPS FACING NORTH



2020-11-24  
 32. VIEW OF OCEAN STEPS FACING NORTH



2020-11-24  
 33. VIEW OF OCEAN STEPS STOREFRONT



2020-11-24  
 34. VIEW OF OCEAN STEPS FACING WEST