

THE HOHAUSER

1030 6th Street
Miami Beach, FL 33139

DRAWING:

COVER SHEET

JENNIFER MCCONNEY FLORIDA LIC# AR93044

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SCALE: N.T.S.

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

THE HOHAUSER HOTEL

1030 6th Street, Miami Beach, Florida

HISTORIC PRESERVATION BOARD

FINAL SUBMISSION

December 14th, 2020



Scope of Work

- Restoration of two Historic 2-story structures and the adjoining courtyard.
- Partial demolition of 1 Contributing 2-story structure on the south side of the lot
- New construction of a 6-story Hotel
- 51 units in new proposed building and 14 units in existing buildings.

A0.00

THE HOHAUSER

RENDERINGS



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SHEET NUMBER

VIEW FACING SOUTH ON 6TH STREET

2010

PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street
Miami Beach, FL 33139

DRAWING:

RENDERINGS



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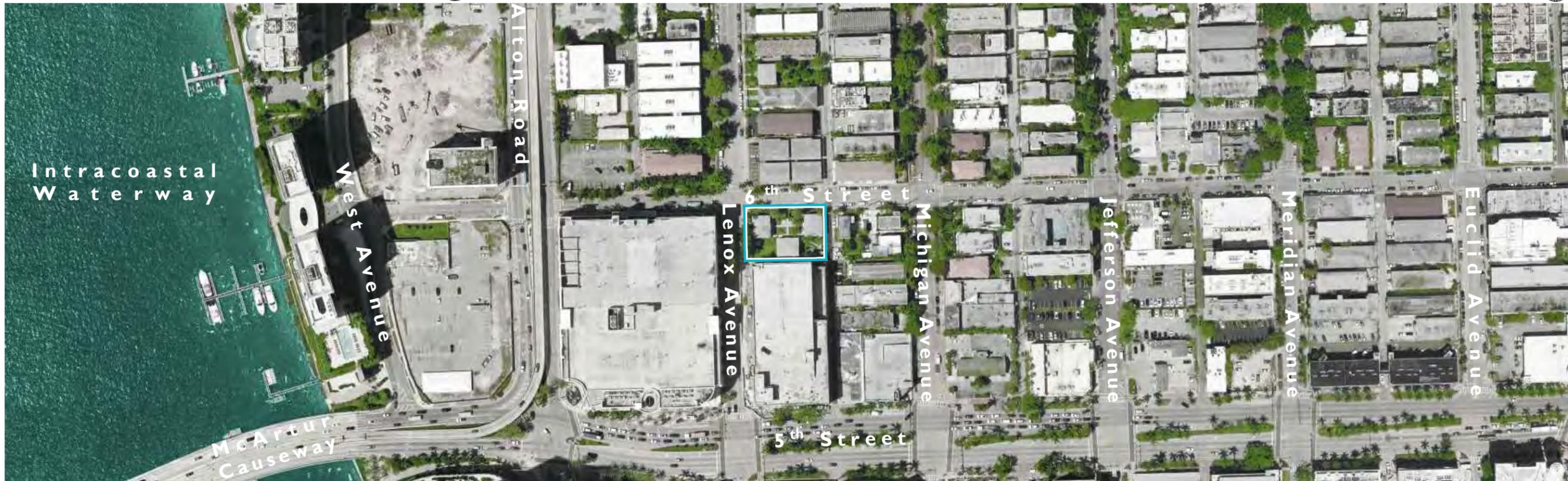
SHEET NUMBER



STATE AERIAL 



AERIAL OF 1/2 MILE RADIUS 



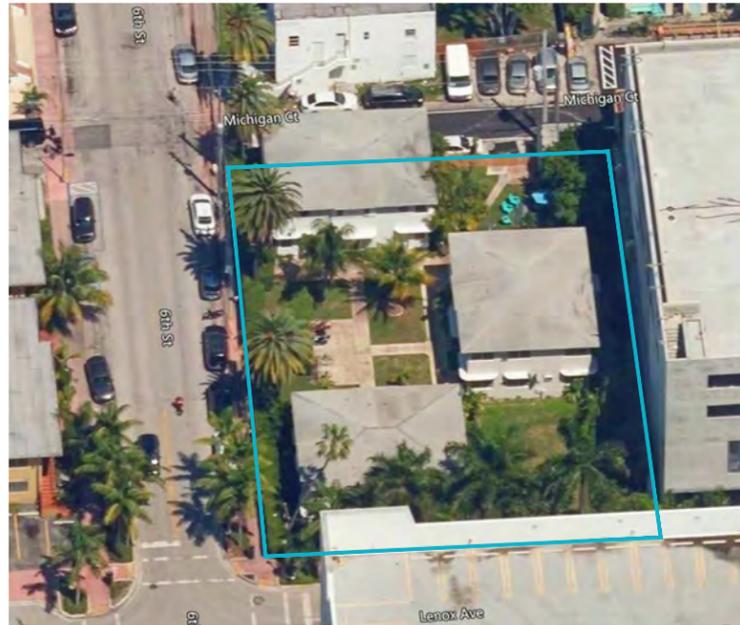
AERIAL PLAN 



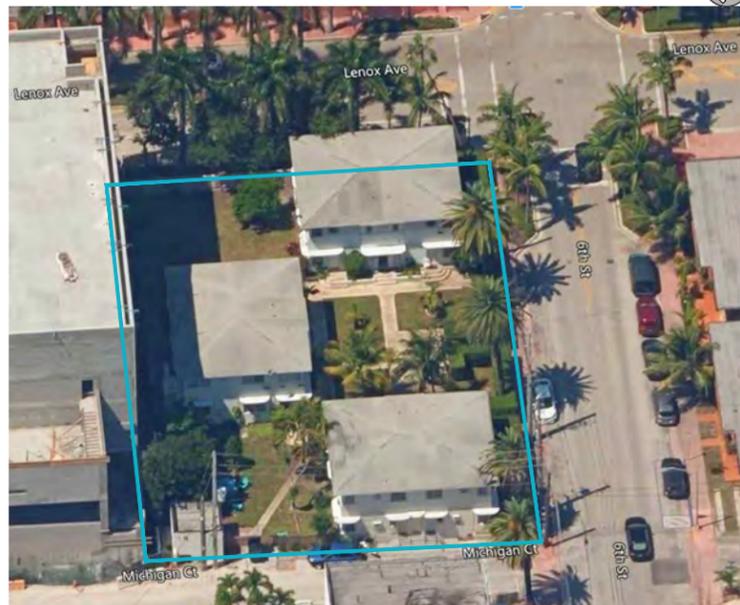
SITE AERIAL - NORTH



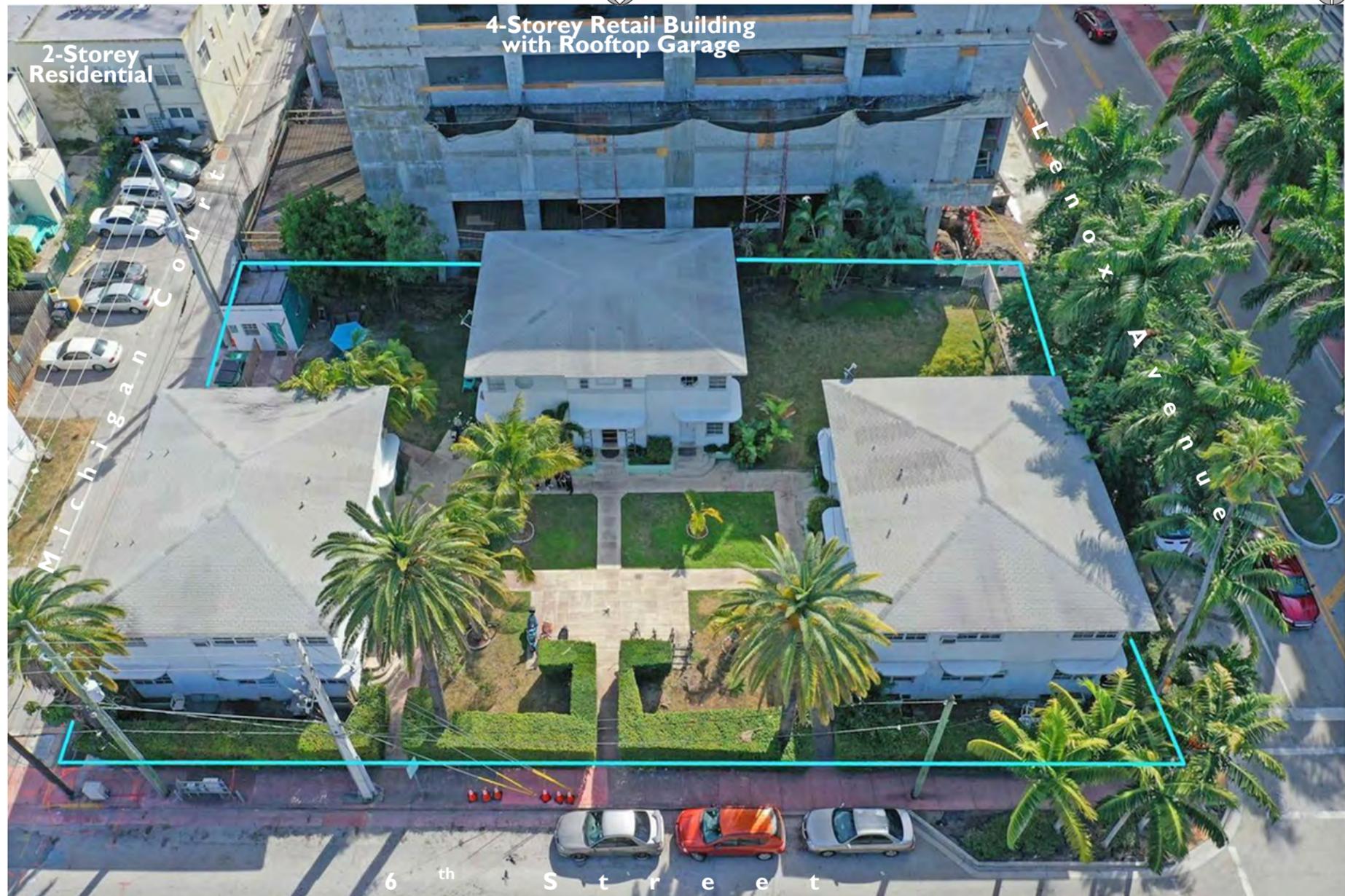
SITE AERIAL - SOUTH



SITE AERIAL - WEST



SITE AERIAL - EAST



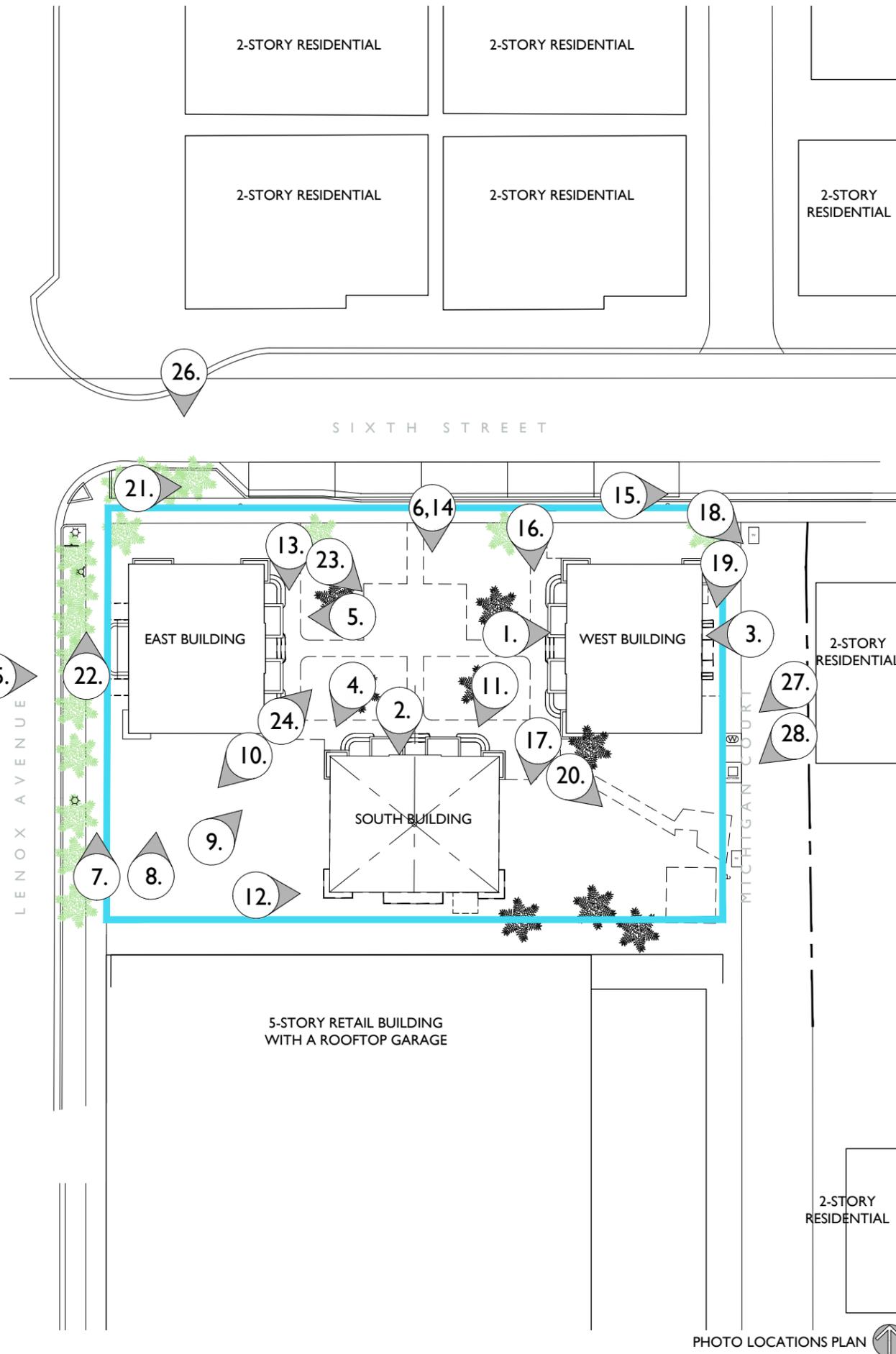
SITE AERIAL - NORTH



1. EAST BUILDING



2. SOUTH BUILDING



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1030 6th Street
Miami Beach, FL 33139

DRAWING:

SITE
PHOTO
LOCATIONS

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3. OVERLAPPING ROUNDED CANOPIES



4. STRIPS OF WINDOWS WITH STREAMLINE SPANDREL



5. CIRCULAR ORNAMENTAL SCREENS



6. SYMMETRICAL SITE PLAN WITH ALIGNED VIEWS

THE HOHAUSER



7. SIDEWALK ALONG LENOX AVENUE



8. GREEN SPACE ALONG EAST SIDE OF THE SITE



9. GREEN SPACE BETWEEN EAST AND SOUTH BUILDINGS



10. SOUTH SIDE OF THE SITE FACING THE RETAIL BUILDING

SITE
PHOTOS

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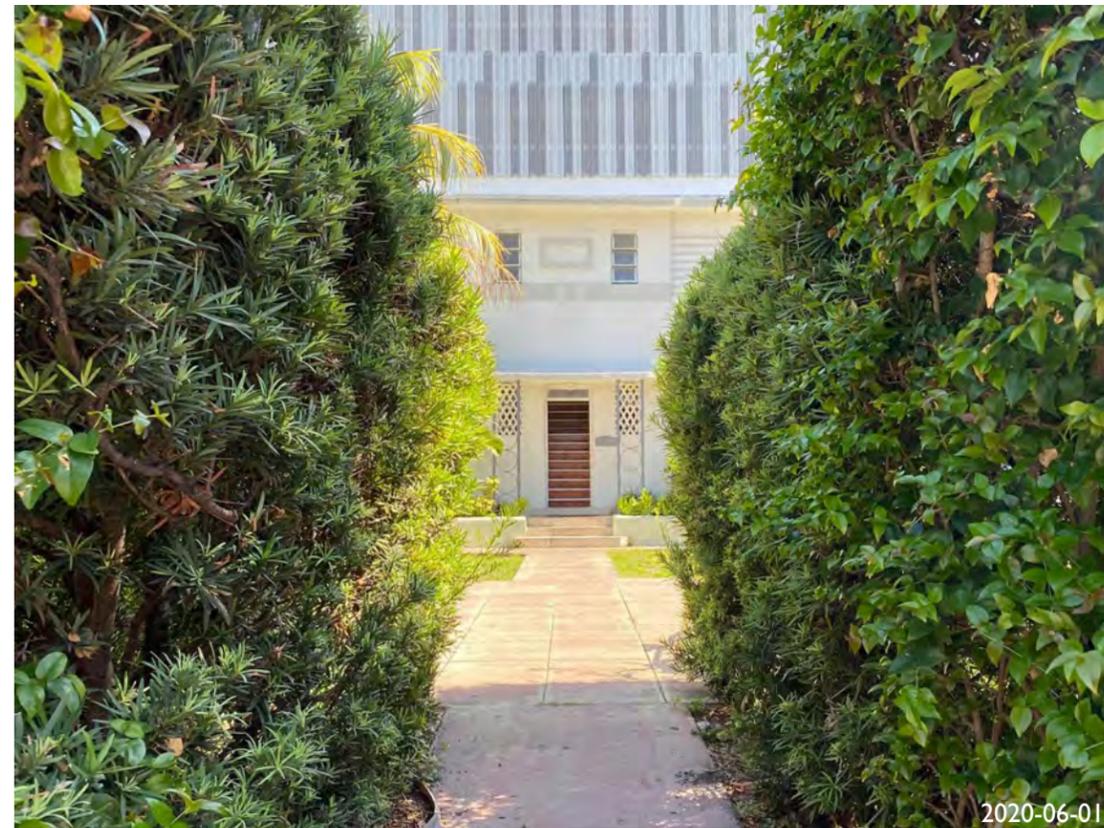
11. EXISTING SOUTH BUILDING



12. BACK OF SOUTH BUILDING AND ADJACENT RETAIL BUILDING



13. ENTRANCE OF EAST BUILDING



14. COURTYARD ENTRANCE

SITE
PHOTOS

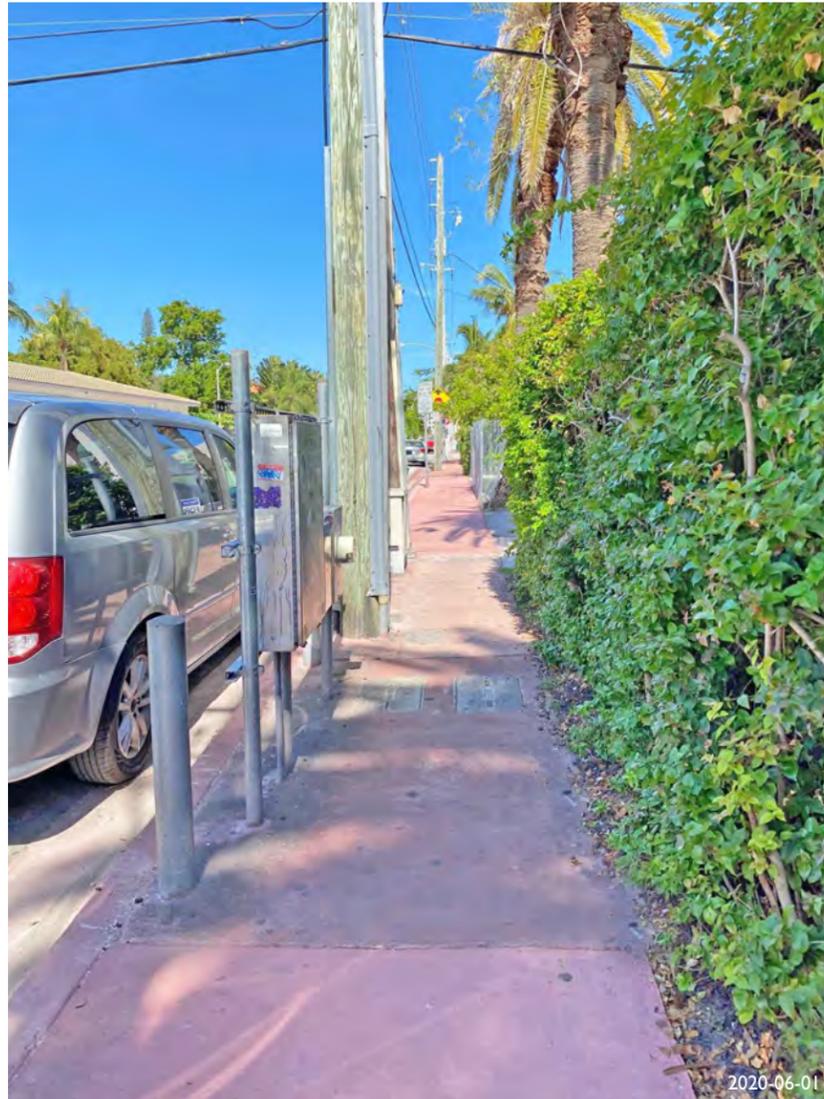
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2020-06-01

15. SIDEWALK ALONG 6TH STREET



2020-06-01

16. EAST BUILDING ENTRANCE



2020-06-01

17. SIDE OF THE SOUTH BUILDING

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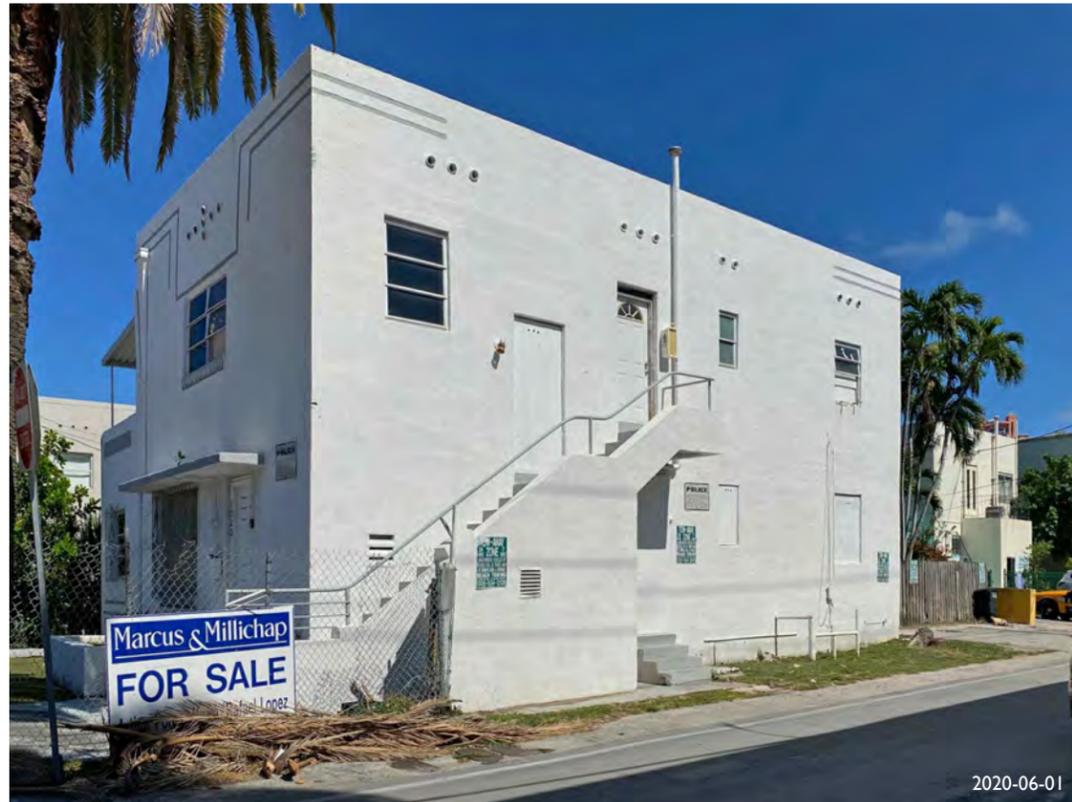
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THE HOHAUSER

SITE
PHOTOS



18. VIEW FROM THE SITE TOWARDS MICHIGAN COURT



19. EAST BUILDING'S SIDE FACING MICHIGAN COURT



20. ACCESSORY BUILDING WITH LAUNDRY MACHINES

THE HOHAUSER



21. WEST BUILDING FACING SIDEWALK ALONG 6TH STREET



22. WEST BUILDING FACING LENOX AVENUE



23. BICYCLE RACKS IN THE COURTYARD

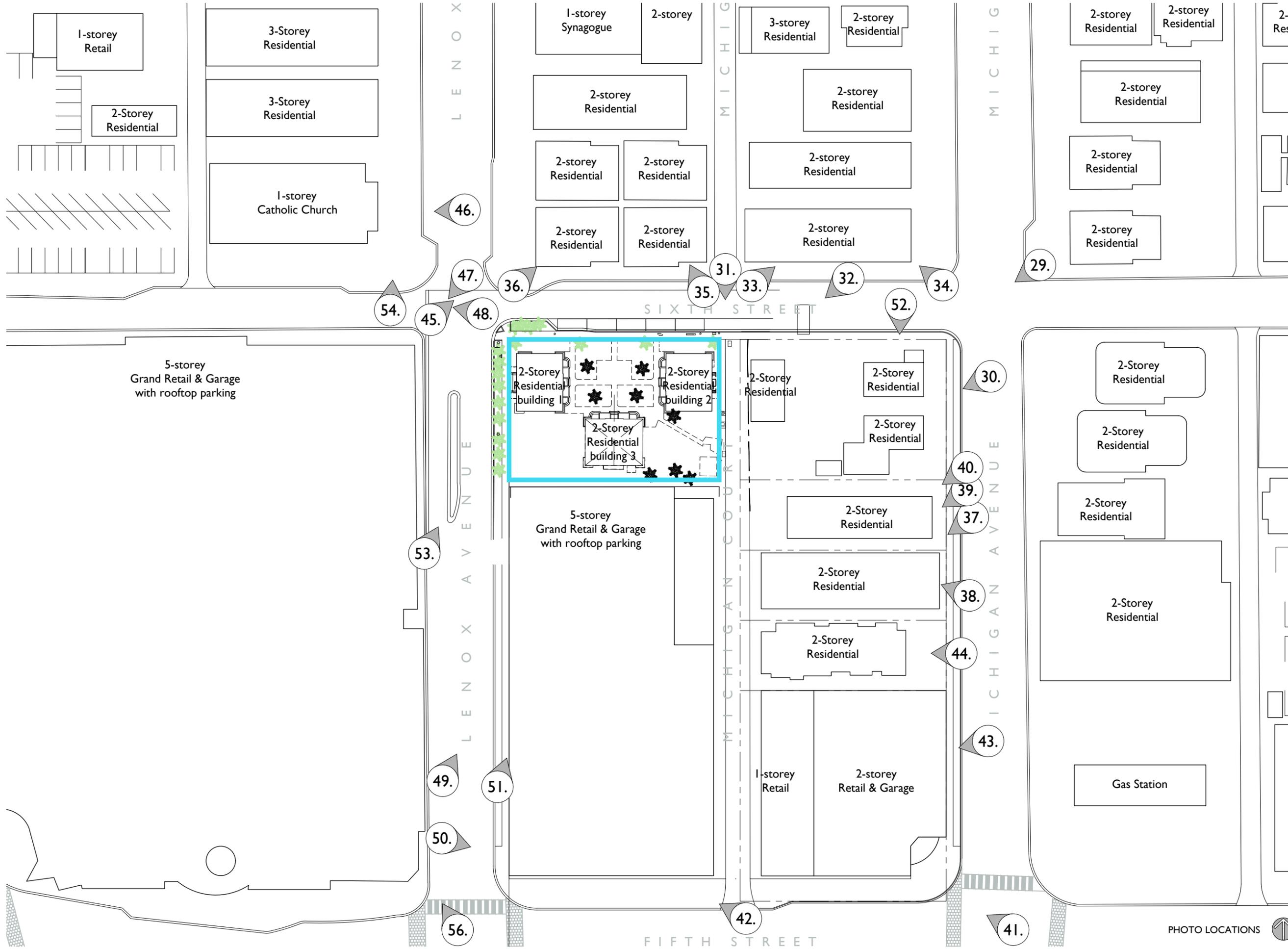


24. COURTYARD

SITE
 PHOTOS

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THE HOHAUSER

DRAWING:

NEIGHBORING
BUILDINGS:
PHOTO
LOCATIONS

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SCALE: 1/64" = 1'-0"
CHECK: JMcG
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2020-06-04

25.VIEW TOWARDS THE SITE FROM LENOX AVENUE



2020-06-04

26.VIEW TOWARDS THE SITE FROM 6TH STREET



2020-06-04

27.VIEW TOWARDS THE SITE FROM MICHIGAN COURT



2020-06-04

28.VIEW TOWARDS THE SITE FROM MICHIGAN COURT

SITE
PHOTOS

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2020-06-04

30. 550-562 MICHIGAN AVENUE



2020-06-04

31. 1020 6TH STREET



2020-06-04

29. 550-562 MICHIGAN AVENUE



2020-06-04

32. 1020 6TH STREET

SURROUNDING
BUILDING
PHOTOS

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2020-06-04
34. 1007 6TH STREET



2020-06-04
35. 1035 6TH STREET



2020-06-04
33. 1007 6TH STREET



2020-06-04
36. 1035 6TH STREET

SURROUNDING
BUILDING
PHOTOS

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38. 532 MICHIGAN AVENUE



39. 544 MICHIGAN AVENUE



37. 532 MICHIGAN AVENUE



40. 544 MICHIGAN AVENUE

SURROUNDING
BUILDING
PHOTOS

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42.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



43.VIEW OF GARAGE/RETAIL BUILDING FACING SOUTHWEST



41.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



44.VIEW OF RESIDENTIAL BUILDING FACING WEST

**SURROUNDING
 BUILDING
 PHOTOS**

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2020-06-04
46.VIEW OF CHURCH FACING WEST



2020-06-04
47.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHWEST



2020-06-04
45.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



2020-06-04
48.VIEW OF CHURCH FACING NORTHWEST

SURROUNDING
BUILDING
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044

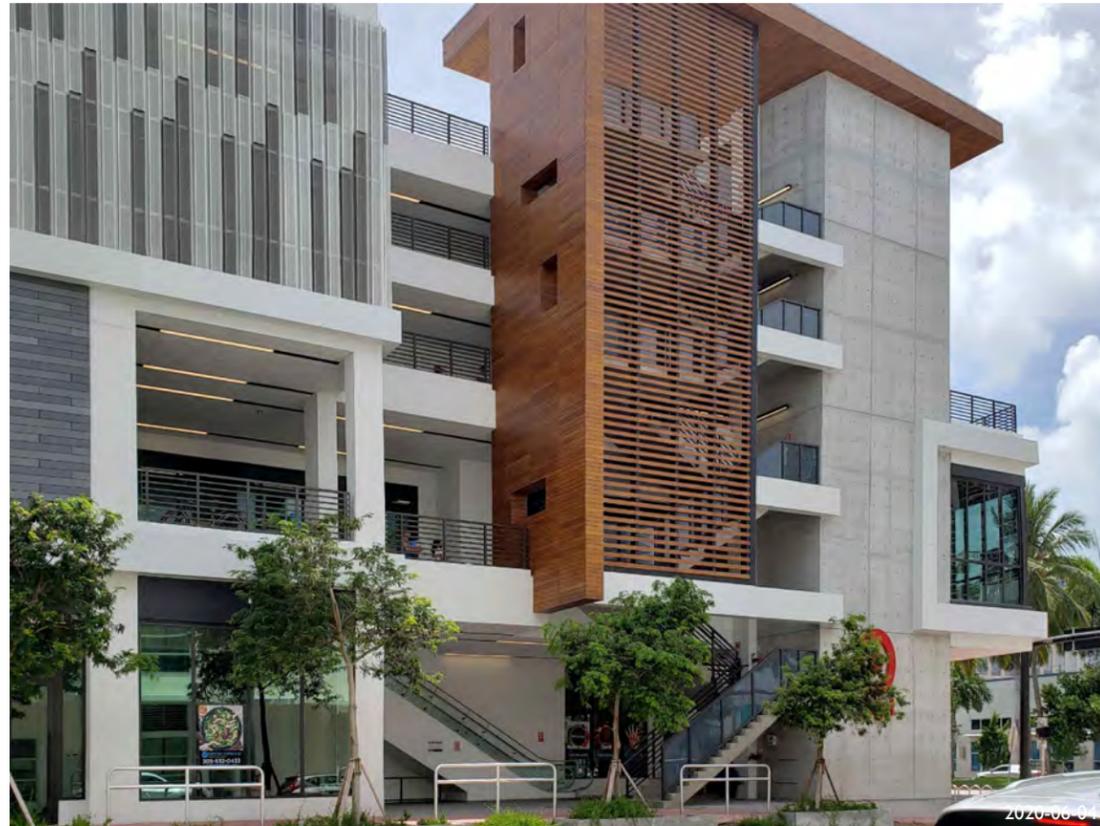
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50.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHEAST



51.VIEW OF GARAGE/RETAIL BUILDING FACING NORTH



49.VIEW OF RETAIL/GARAGE BUILDING FACING NORTHEAST



52.VIEW OF RESIDENTIAL BUILDING FACING SOUTH

**SURROUNDING
BUILDING
PHOTOS**

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54.VIEW OF CHURCH FACING NORTH



55.VIEW OF RETAIL/GARAGE BUILDING NORTHEAST



53.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



56.VIEW OF RETAIL/GARAGE BUILDING NORTHWEST

SURROUNDING
BUILDING
PHOTOS

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EXISTING EAST AND WEST BUILDINGS
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED NOVEMBER 24TH, 1993



EXISTING EAST BUILDING
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED NOVEMBER 24TH, 1993



EXISTING LAUNDRY ACCESSORY STRUCTURE
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED NOVEMBER 24TH, 1993



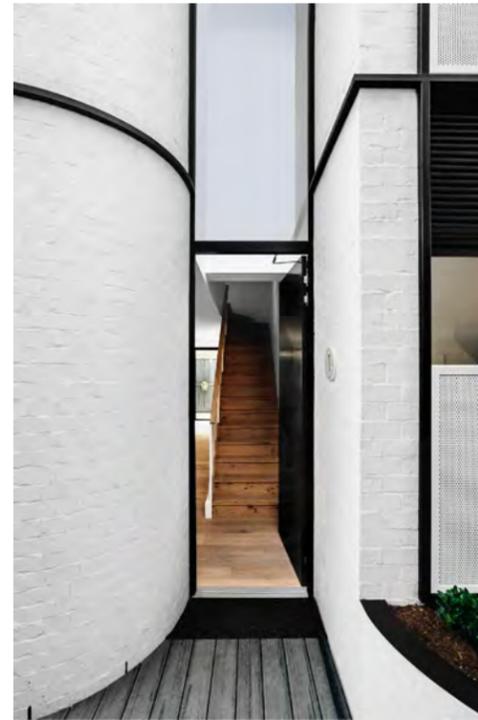
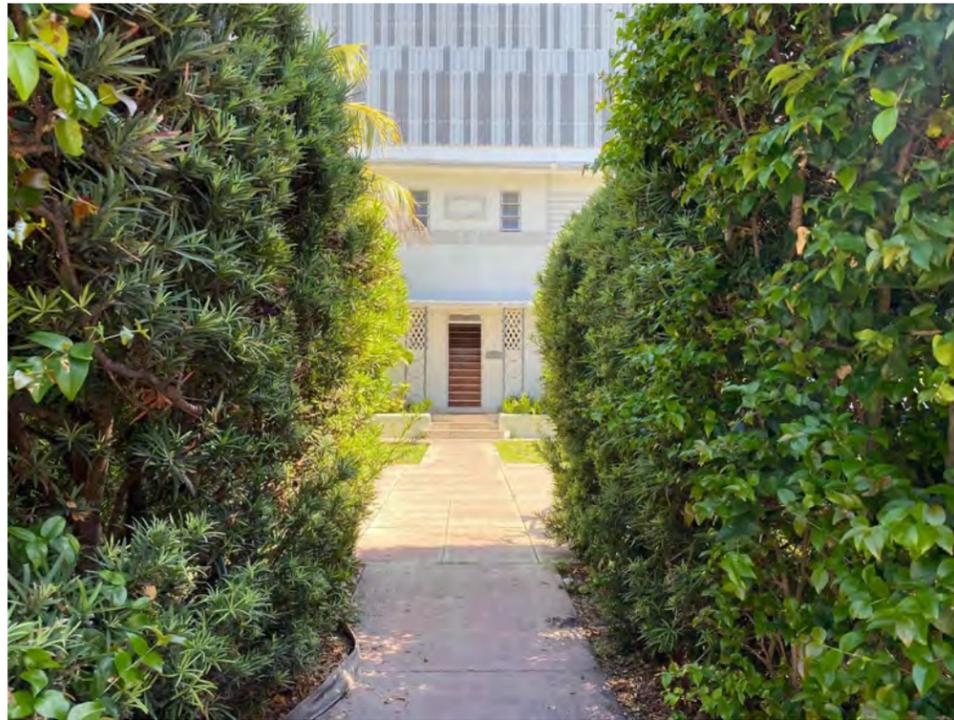
EXISTING EAST BUILDING
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED FEBRUARY 15TH, 1963



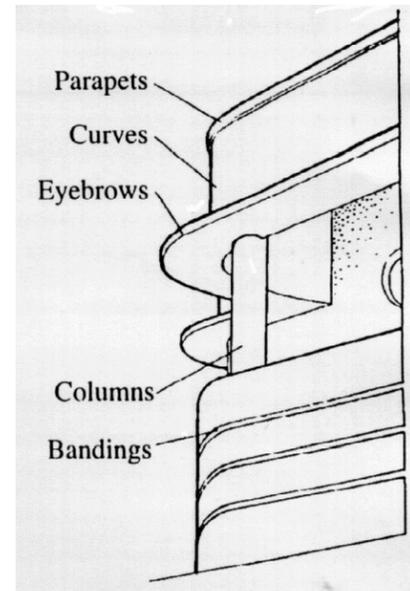
EXISTING SOUTH BUILDING
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED FEBRUARY 15TH, 1963



EXISTING WEST BUILDING
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
DATED FEBRUARY 15TH, 1963



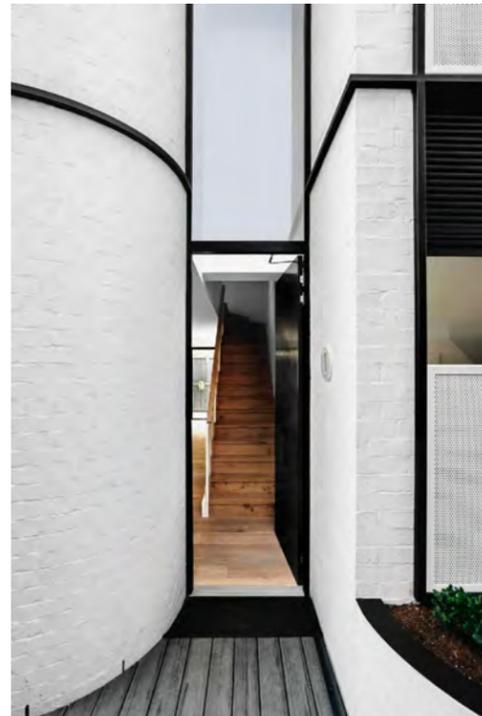
CONCEPTUAL
IMAGES



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CONCEPTUAL
IMAGES

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BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTH



BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTHWEST

PROPOSED
BUILDING
MASSING

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EXISTING
SITE
ELEVATIONS

JENNIFER McCONNERY FLORIDA LIC# AR93044

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SCALE: 1"=40'-0"

CHECK: JMcG

DATE: 12/14/2020

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1030 6th Street
Miami Beach, FL 33139

DRAWING:

PROPOSED
SITE
ELEVATIONS

JENNIFER McCONNIEY FLORIDA LIC# AR93044

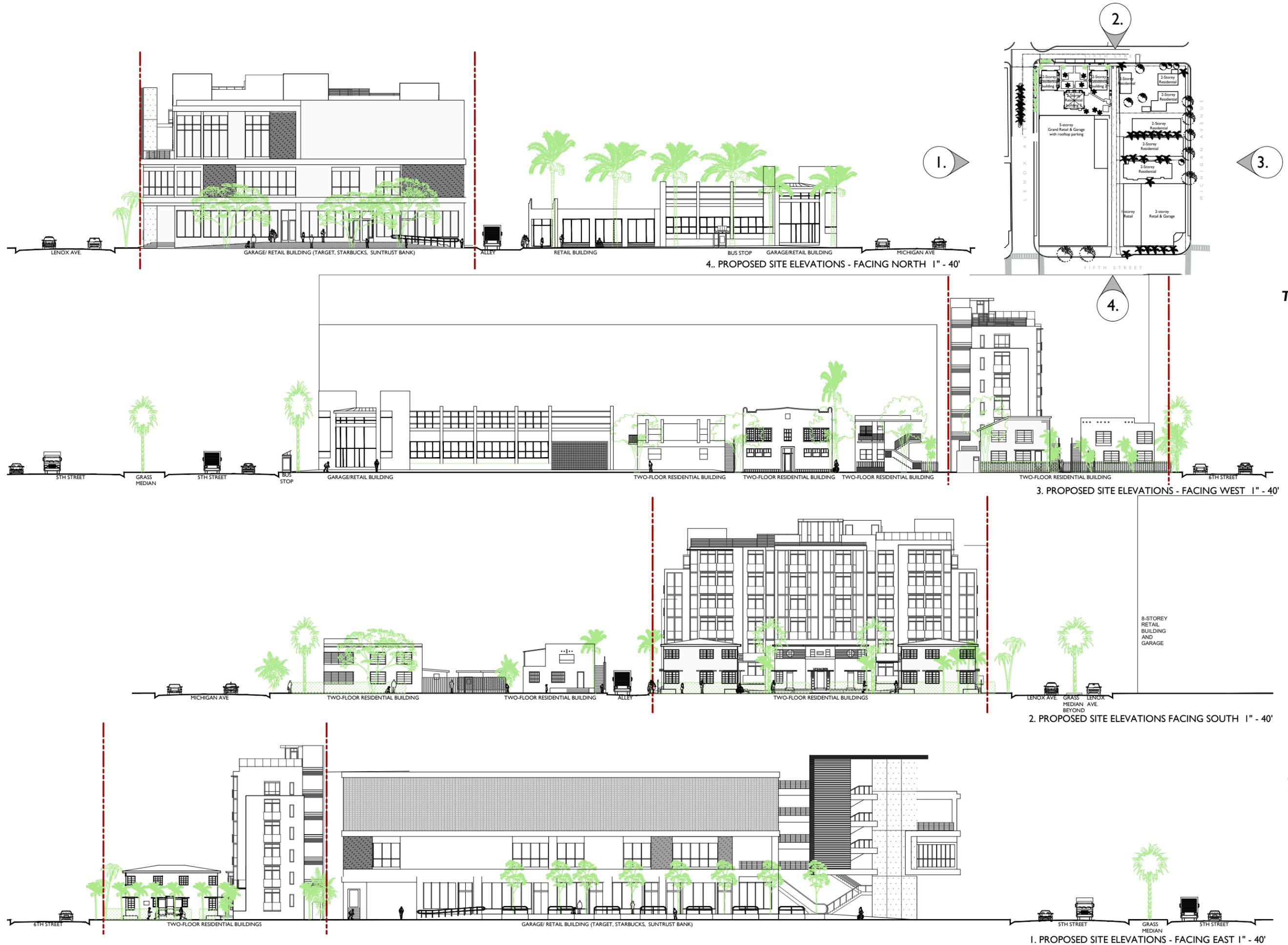
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SCALE: 1"=40'-0"

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4.. PROPOSED SITE ELEVATIONS - FACING NORTH 1" - 40'

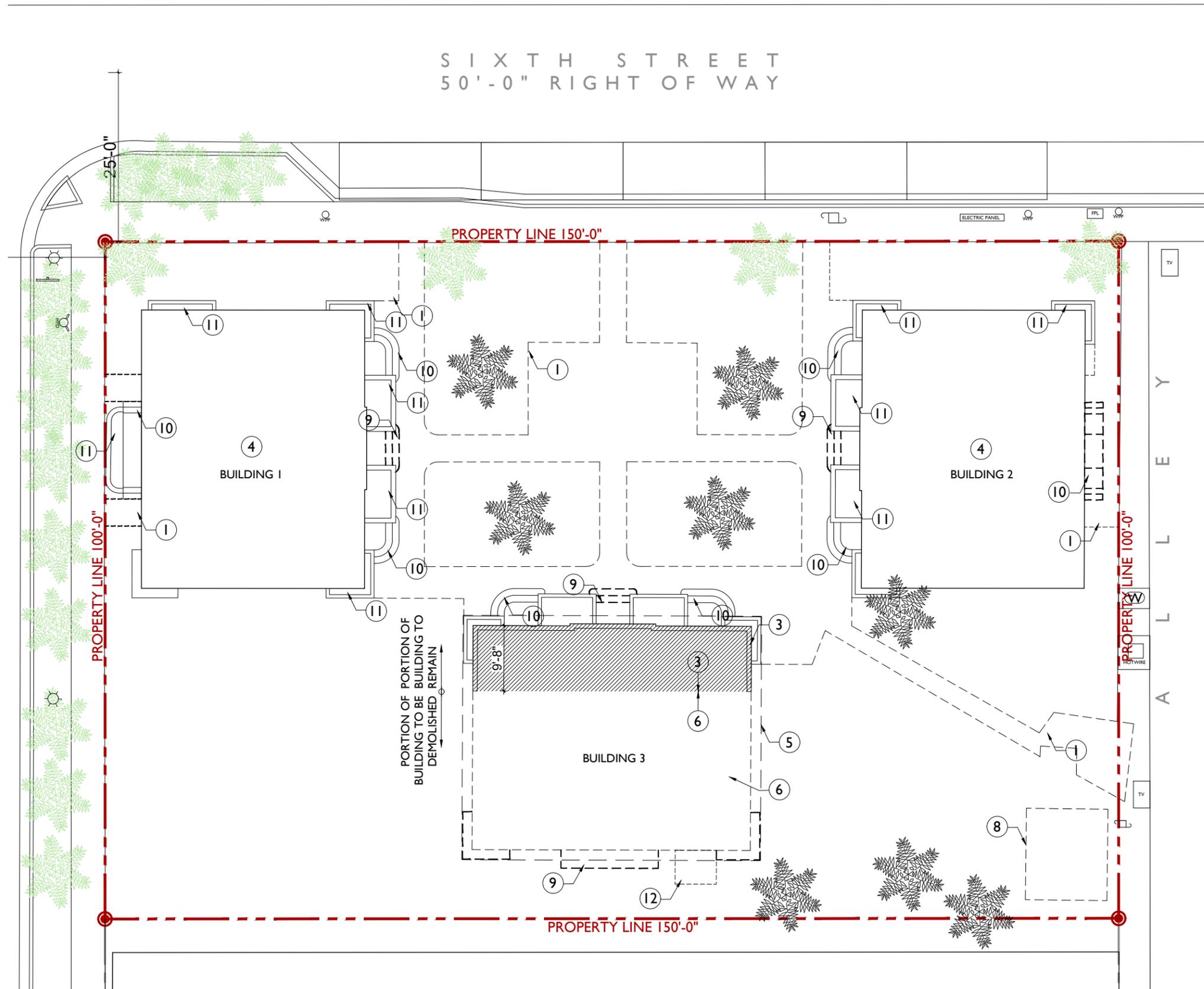
3. PROPOSED SITE ELEVATIONS - FACING WEST 1" - 40'

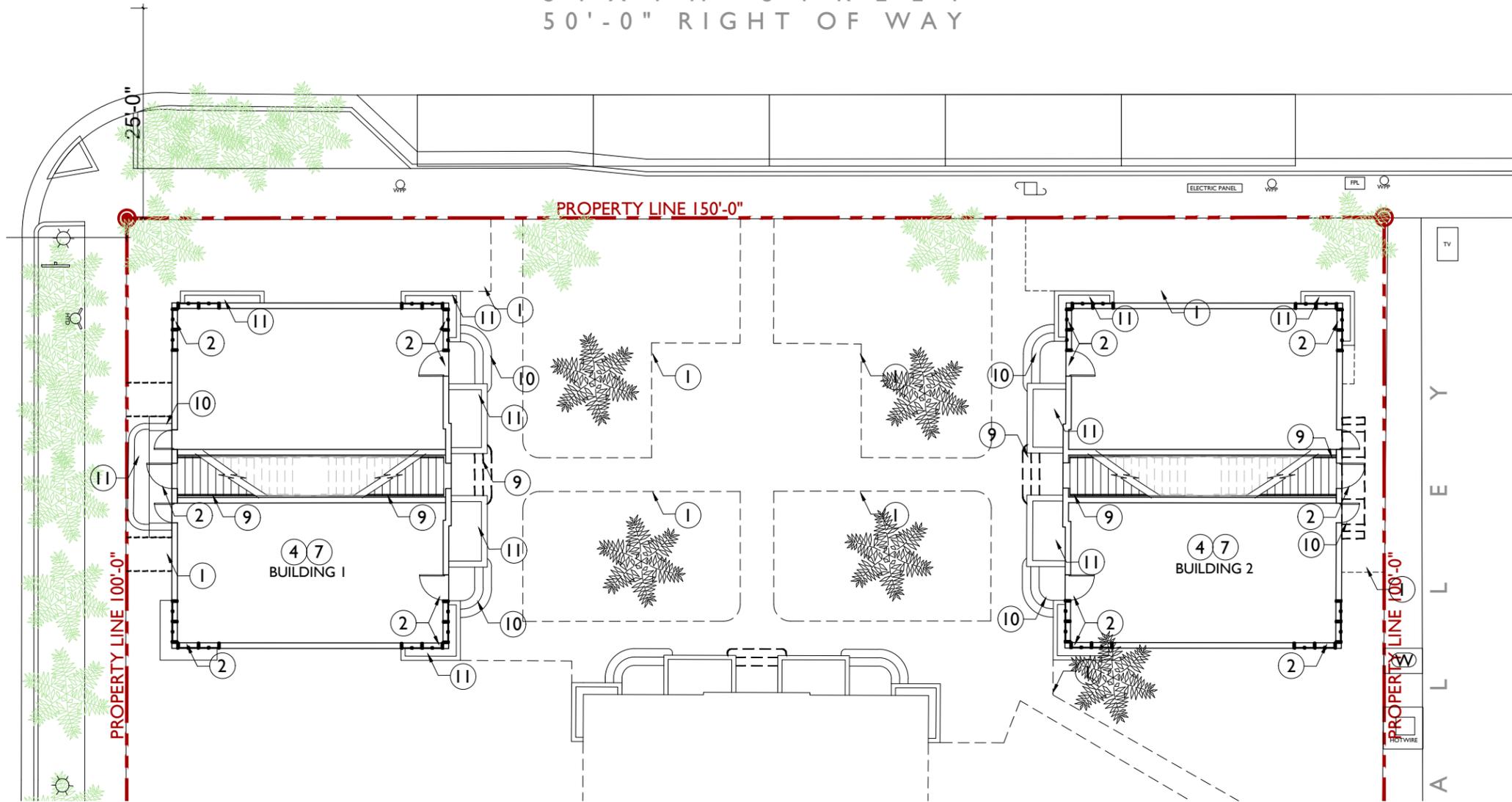
2. PROPOSED SITE ELEVATIONS FACING SOUTH 1" - 40'

1. PROPOSED SITE ELEVATIONS - FACING EAST 1" - 40'

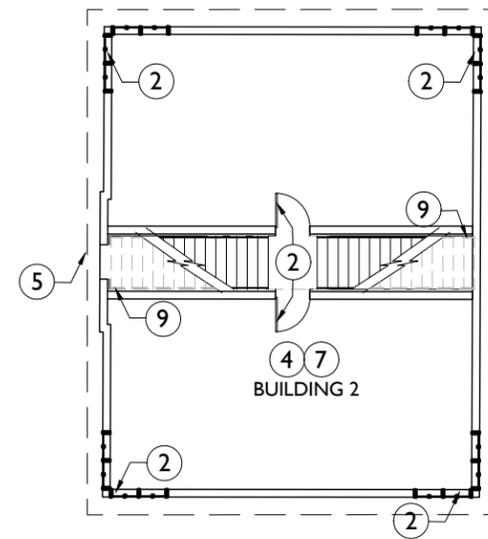
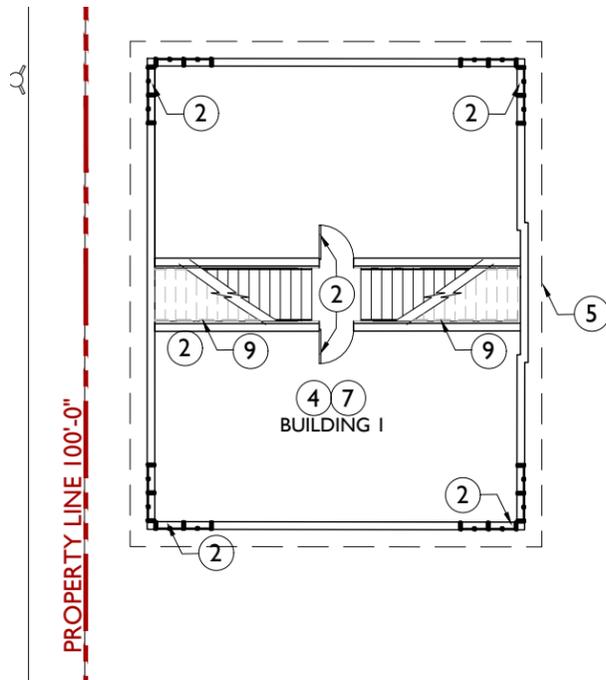
DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② (LEFT BLANK)
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ (LEFT BLANK)
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED





DEMOLITION PLAN 1ST FLOOR BUILDINGS 1 AND 2
1/16" = 1'-0"



DEMOLITION PLAN 2ND FLOOR BUILDINGS 1 AND 2
1/16" = 1'-0"

DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② NON-HISTORIC WINDOWS AND DOORS TO BE REMOVED
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ INTERIOR WALLS AND FLOORS TO BE REMOVED
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED

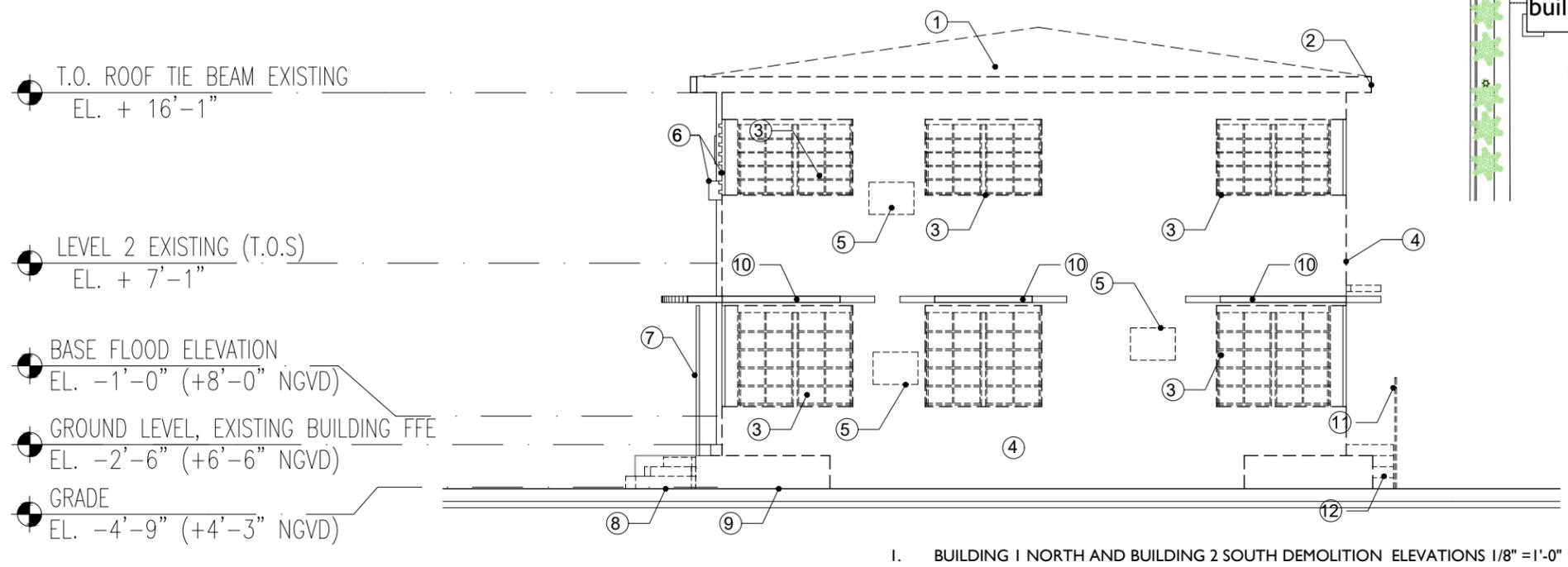
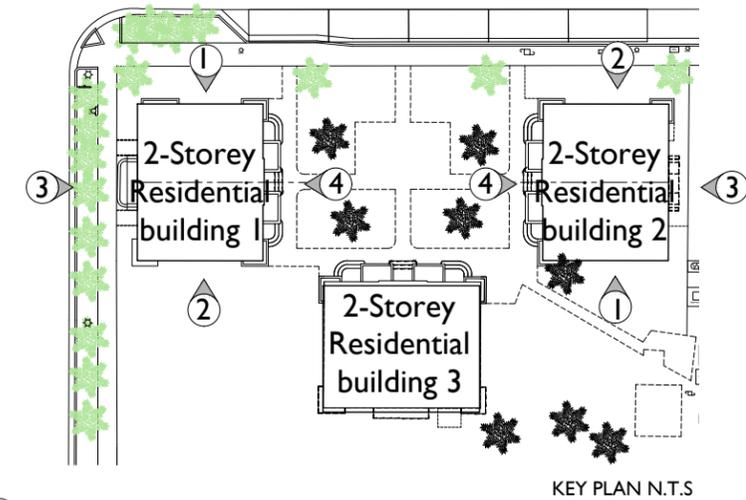
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SCALE: 1/32" = 1'-0"

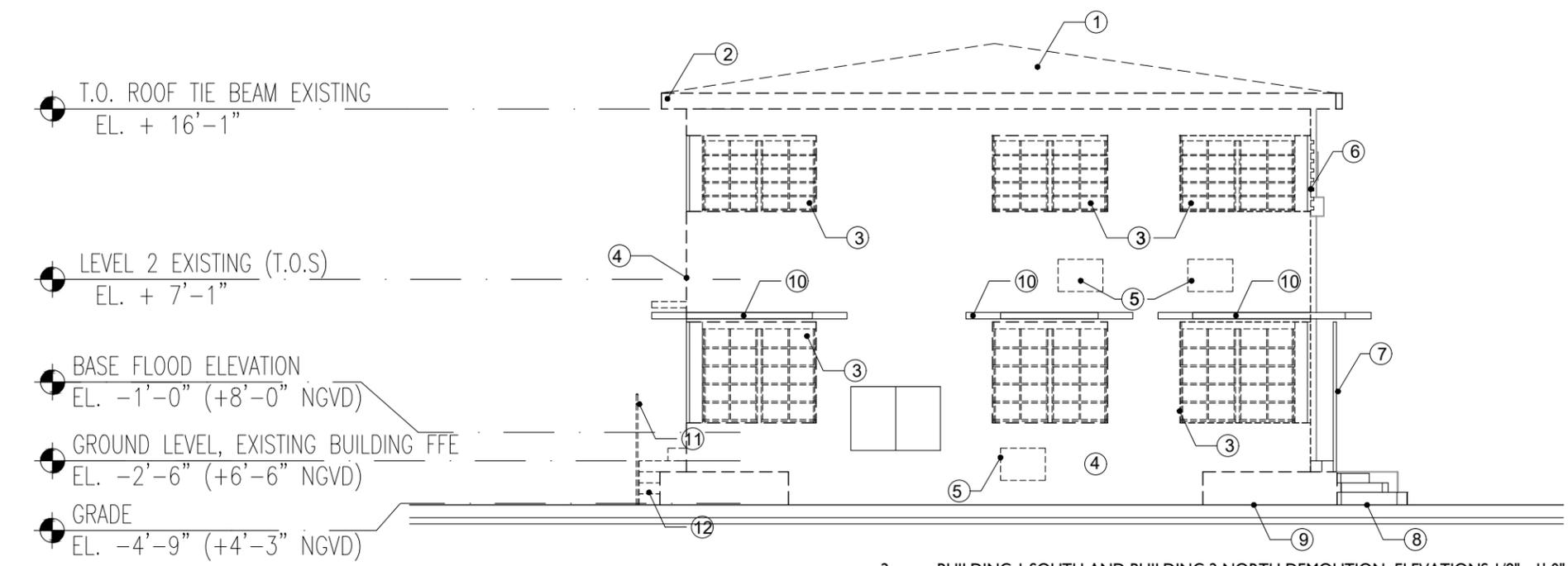
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1. BUILDING 1 NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8"=1'-0"



2. BUILDING 1 SOUTH AND BUILDING 2 NORTH DEMOLITION ELEVATIONS 1/8"=1'-0"

DEMOLITION LEGEND:

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED
- ⑩ STUCCO EYEBROW TO BE REPAIRED
- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

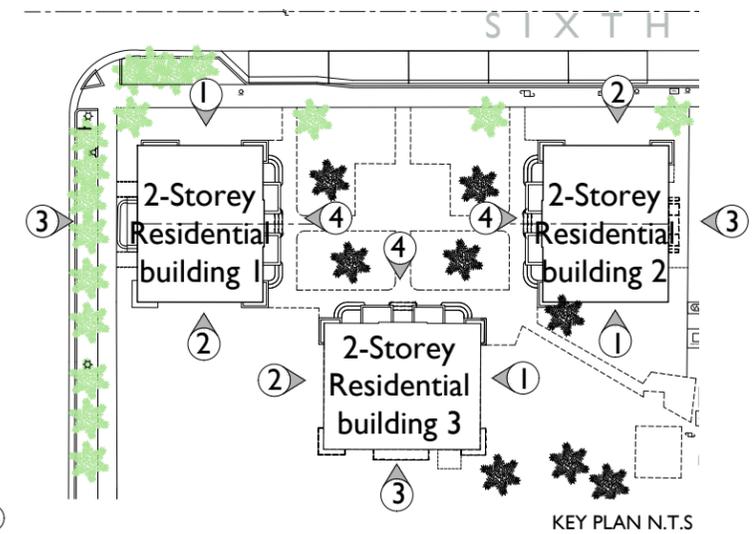
NOTES:

PREPARE FACADES FOR PAINTING. PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

**BUILDINGS 1
AND 2
DEMOLITION
ELEVATIONS
AND NOTES**

JENNIFER McCONNERY FLORIDA LIC# AR93044
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ARCHITECTURE, INC. (c) 2020

SCALE: 1/32"=1'-0"
CHECK: JMcG
DATE: 12/14/2020
SHEET NUMBER



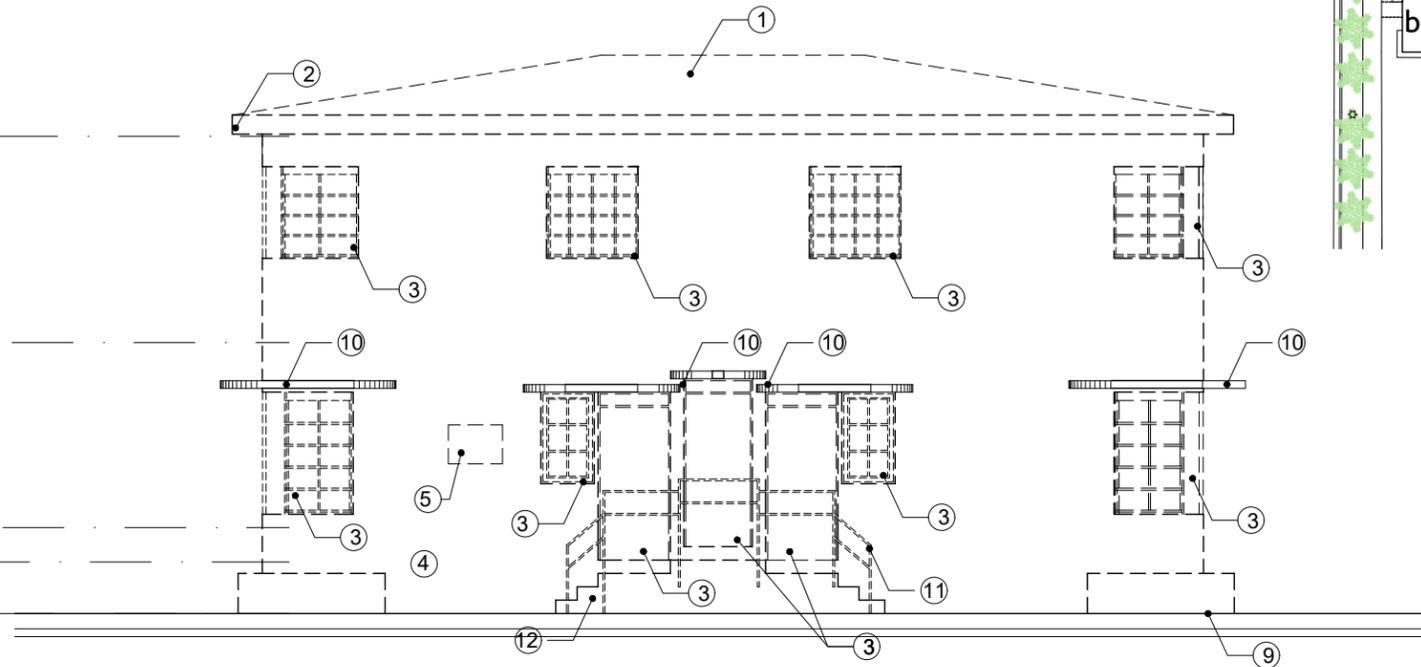
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



3. BUILDING 1 WEST AND BUILDING 2 EAST DEMOLITION ELEVATION 1/8" = 1'-0"

DEMOLITION LEGEND:

① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

② REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

⑨ STUCCO PLANTER TO BE REPAIRED

⑩ STUCCO EYEBROW TO BE REPAIRED

⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

⑫ CONCRETE STAIRS TO BE REPAIRED

⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

NOTES:

PREPARE FACADES FOR PAINTING. PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

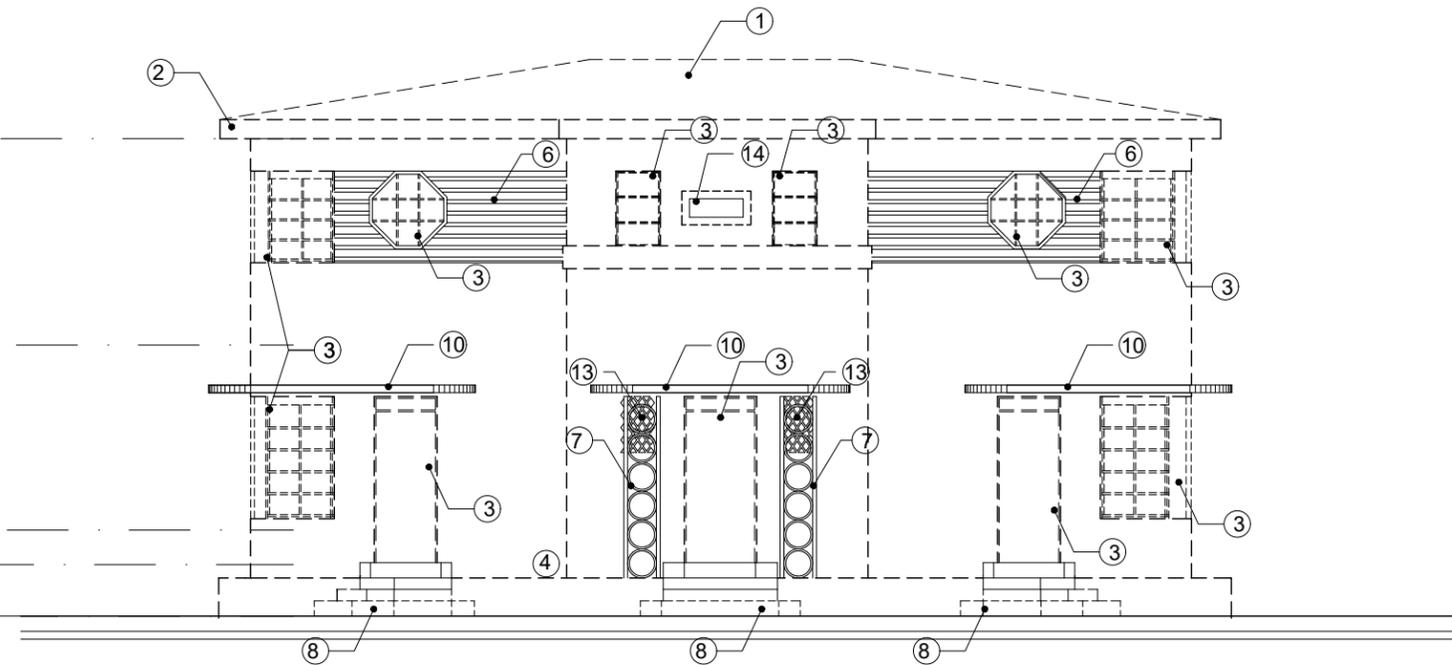
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



4. BUILDING 2 WEST AND BUILDING 1 EAST DEMOLITION BUILDING ELEVATION 1/8" = 1'-0"

**EXISTING
BUILDING 3
DEMOLITION
ELEVATIONS
AND NOTES**

JENNIFER McCONNERY FLORIDA LIC# AR93044

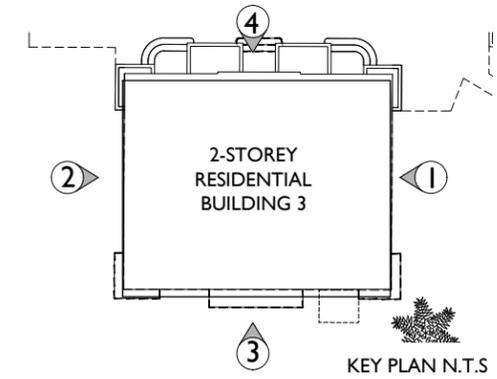
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SCALE: 1/32"=1'-0"

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



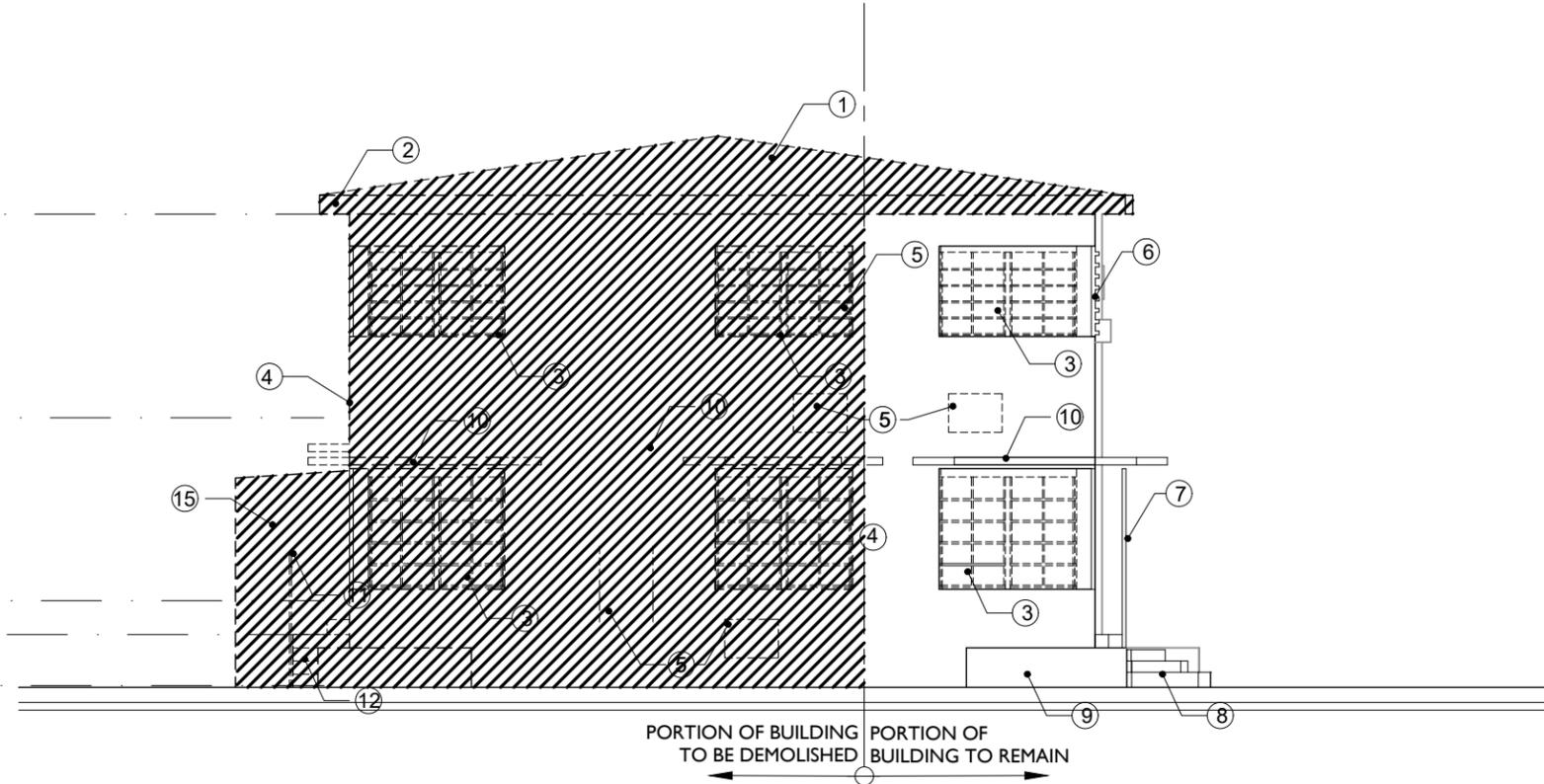
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:
PREPARE FACADES FOR PAINTING, PRESSURE
CLEANING, WATERPROOFING AROUND
WINDOWS, AND FOR ANY REPAIR OF LOOSE
STUCCO

DENOTES PORTION OF BUILDING TO BE DEMOLISHED

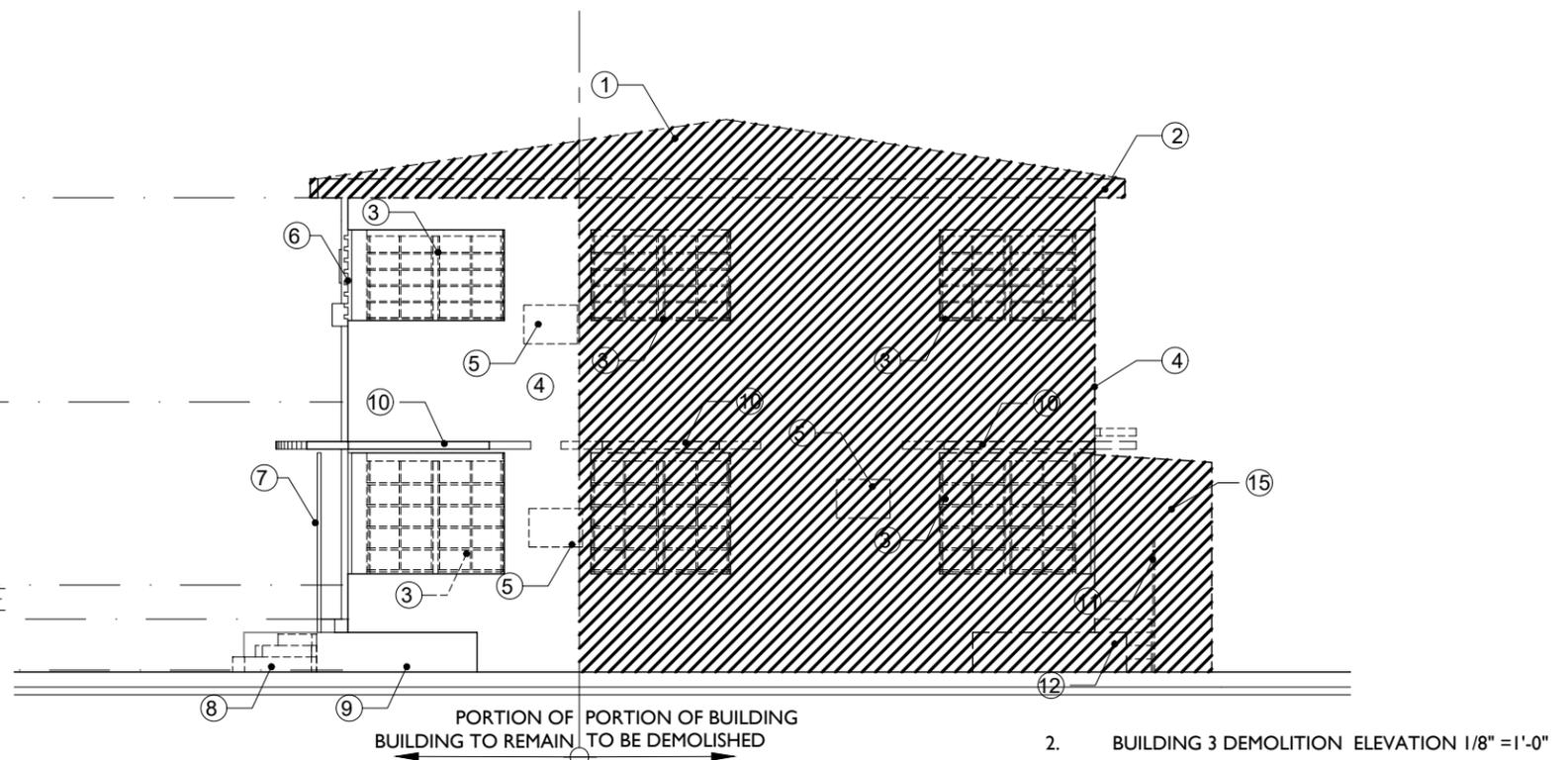
T.O. ROOF TIE BEAM EXISTING
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LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



EXISTING
BUILDING 3
DEMOLITION
ELEVATIONS
AND NOTES

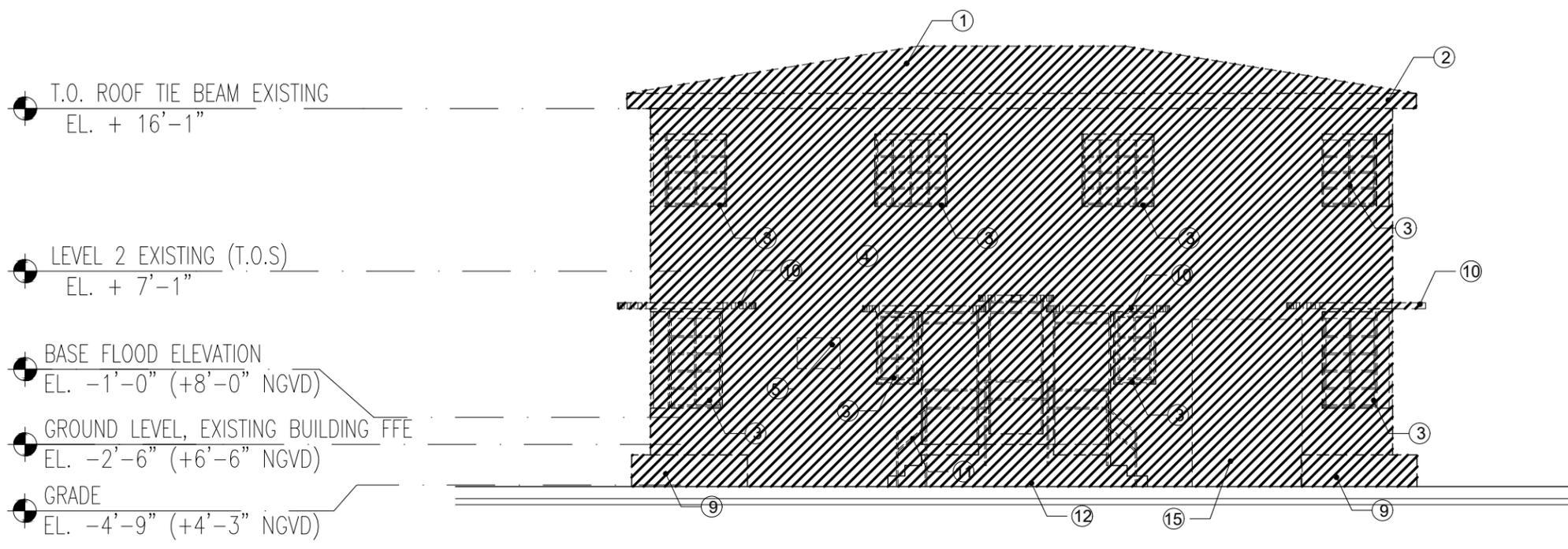
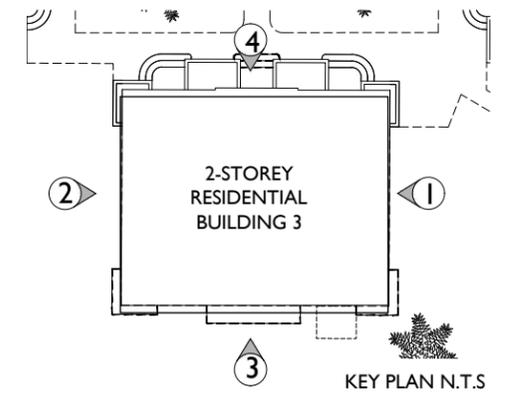
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SCALE: 1/32"=1'-0"

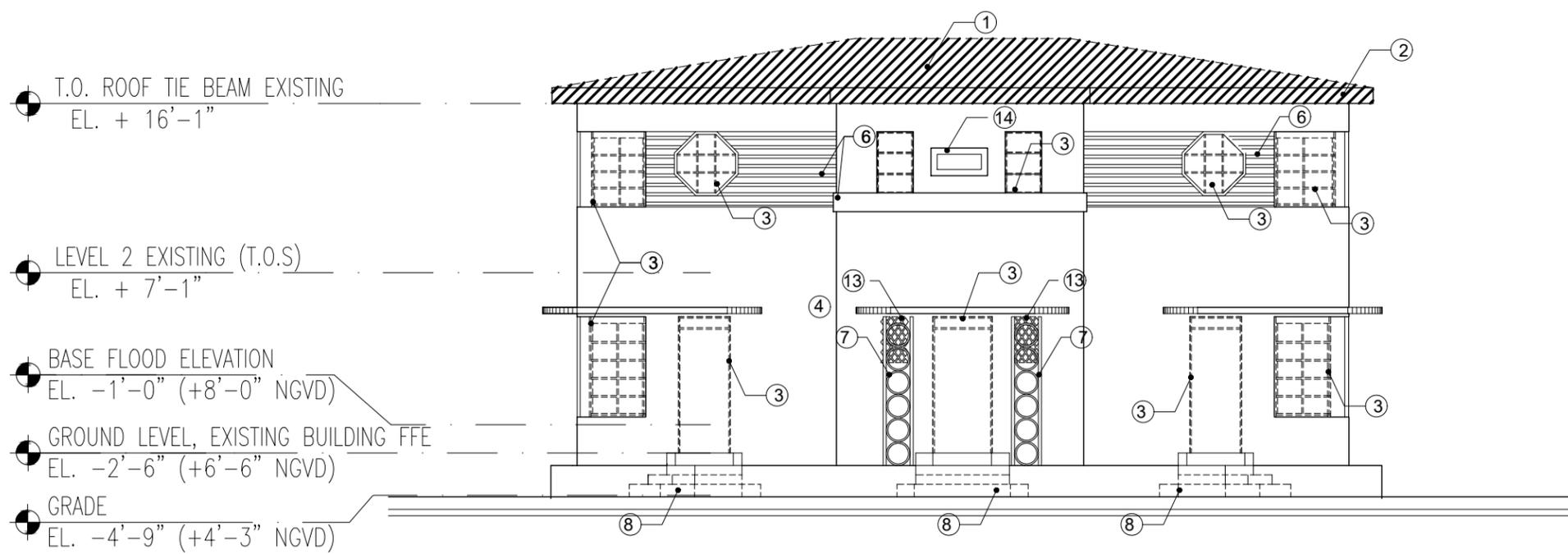
CHECKED: JMcG

DATE: 12/14/2020

SHEET NUMBER



3. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"



4. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
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- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:
PREPARE FACADES FOR PAINTING, PRESSURE
CLEANING, WATERPROOFING AROUND
WINDOWS, AND FOR ANY REPAIR OF LOOSE
STUCCO

 DENOTES PORTION OF BUILDING
TO BE DEMOLISHED

1-STORY
CATHOLIC CHURCH

RESIDENTIAL

RESIDENTIAL

2-STORY
RESIDENTIAL

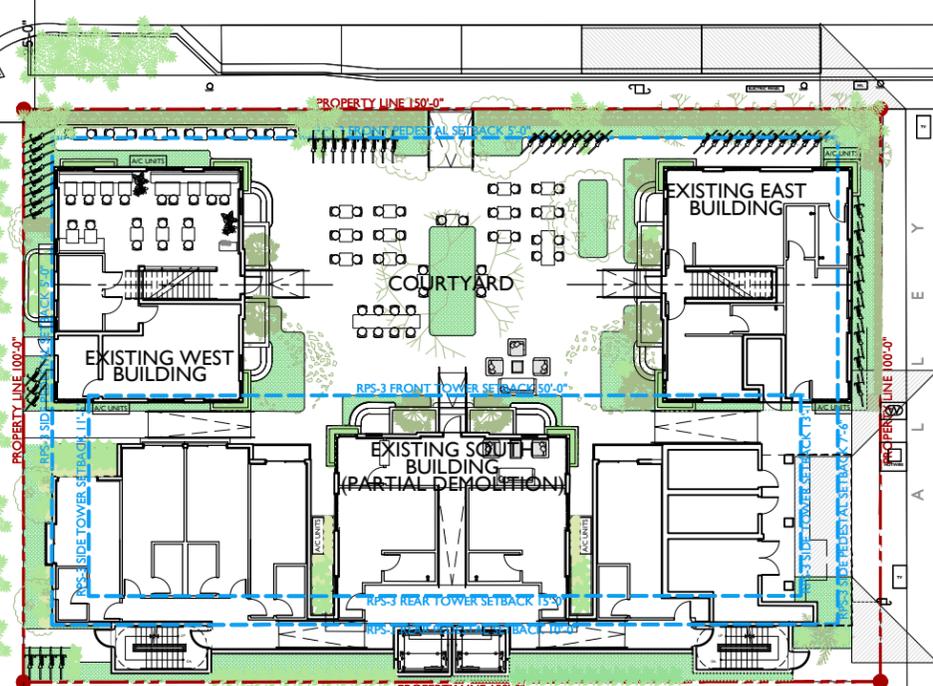
2-STORY
RESIDENTIAL

2-STORY
RESIDENTIAL

SIXTH STREET
50'-0" RIGHT OF WAY

LENOX AVENUE
70'-0" TOTAL RIGHT OF WAY

5-STORY GRAND RETAIL
& GARAGE WITH
ROOFTOP PARKING



2-STORY
RESIDENTIAL

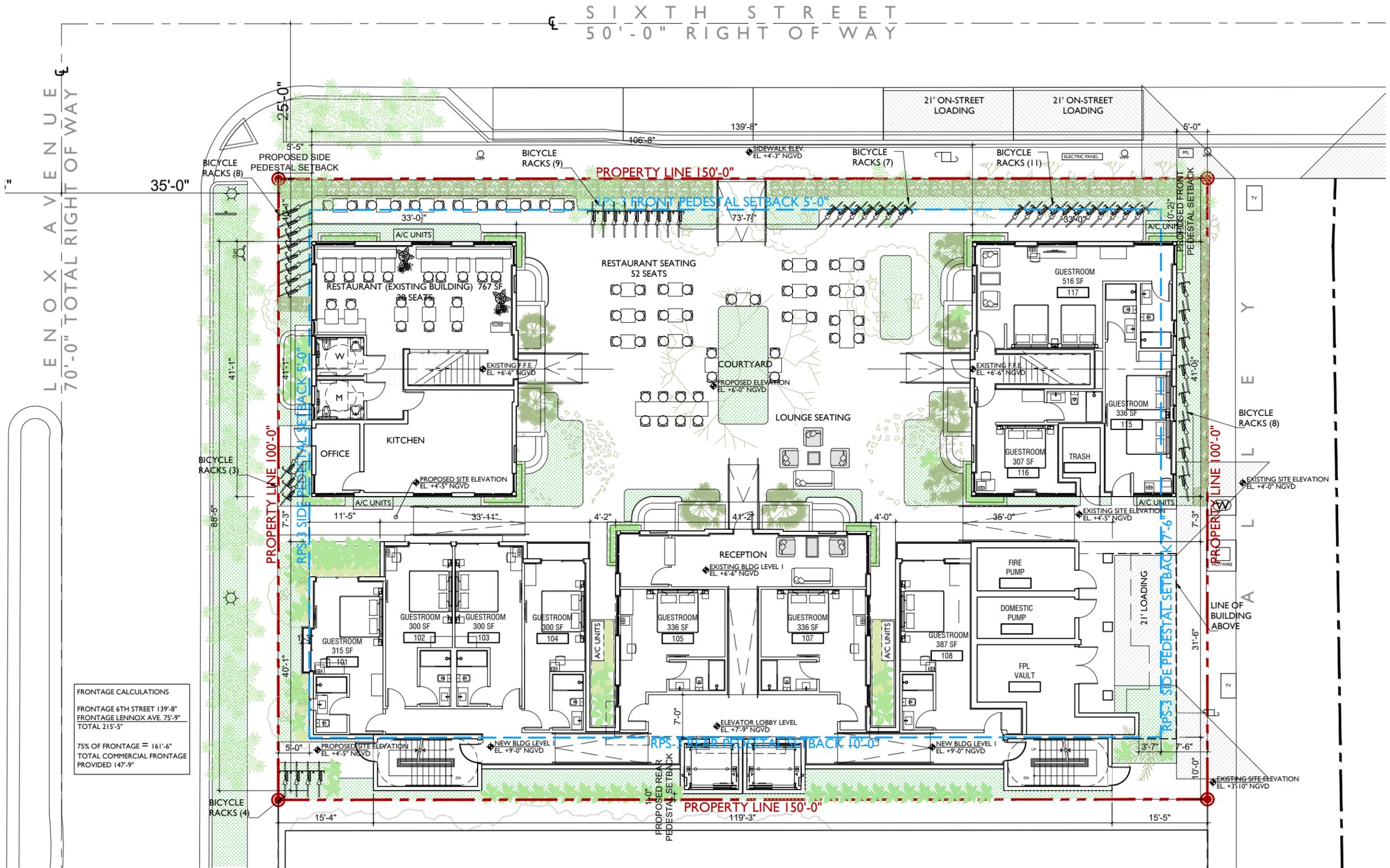
2-STORY
RESIDENTIAL

2-STORY
RESIDENTIAL

2-STORY
RESIDENTIAL

2-STORY
RESIDENTIAL

5-STORY GRAND RETAIL
& GARAGE WITH
ROOFTOP PARKING



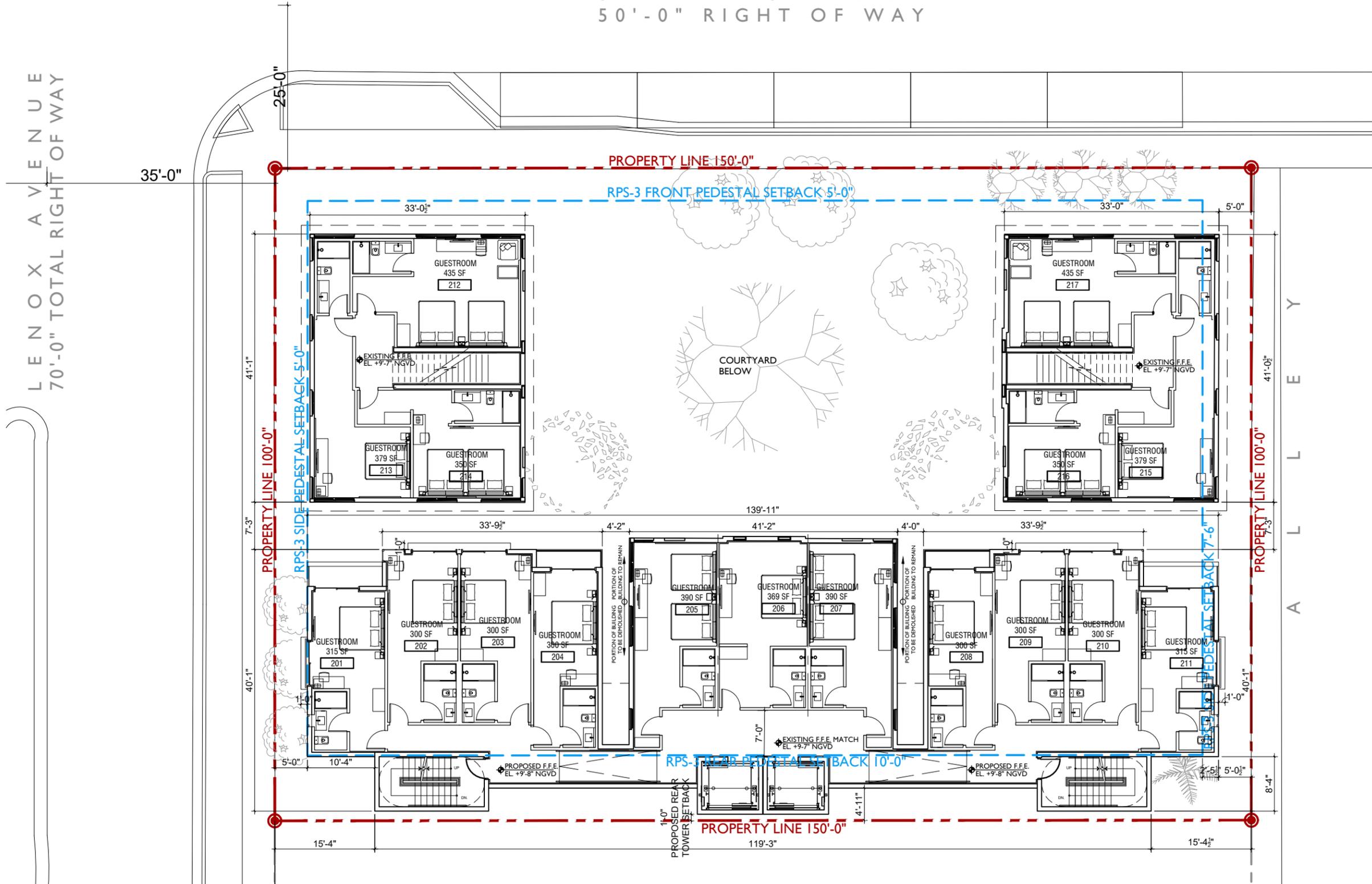
FRONTAGE CALCULATIONS
FRONTAGE 6TH STREET 139'-8"
FRONTAGE LENNOX AVE. 75'-9"
TOTAL 215'-5"

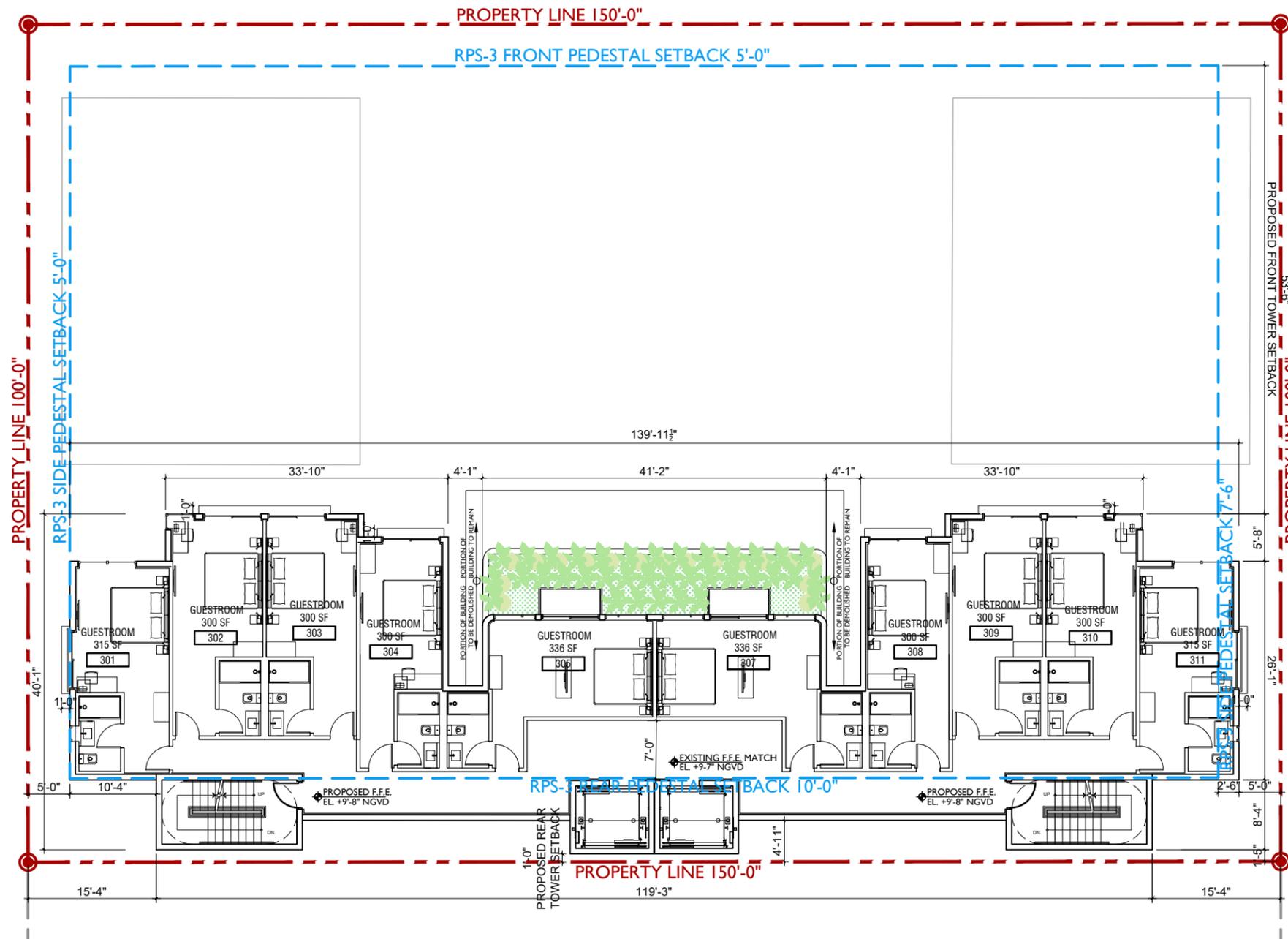
75% OF FRONTAGE = 161'-6"
TOTAL COMMERCIAL FRONTAGE
PROVIDED 147'-9"

SIXTH STREET
50'-0" RIGHT OF WAY

LENOX AVENUE
70'-0" TOTAL RIGHT OF WAY

ALLEY





JENNIFER McCONNERY FLORIDA LIC# AR93044

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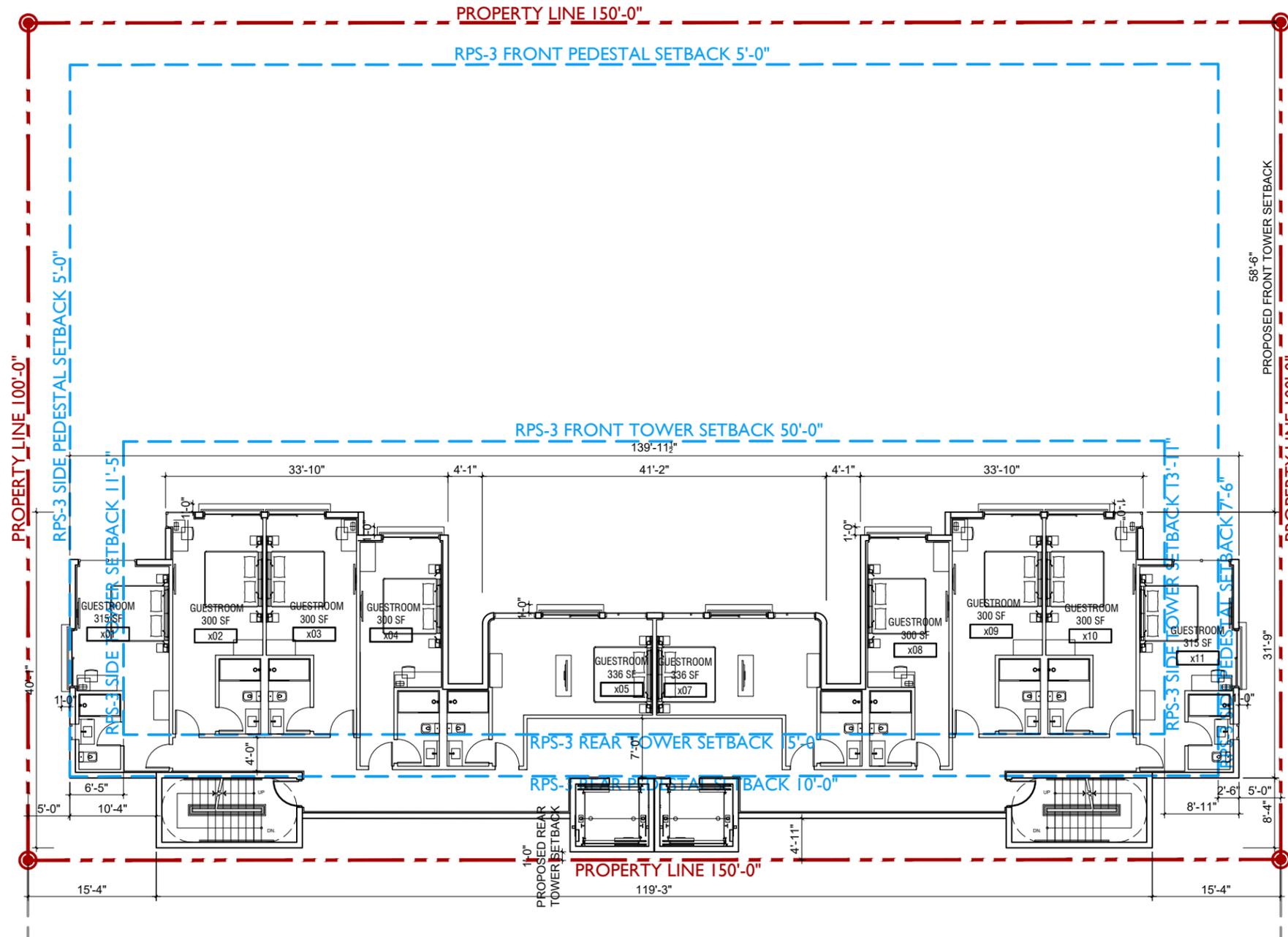
SCALE: 1/8" = 1'-0"

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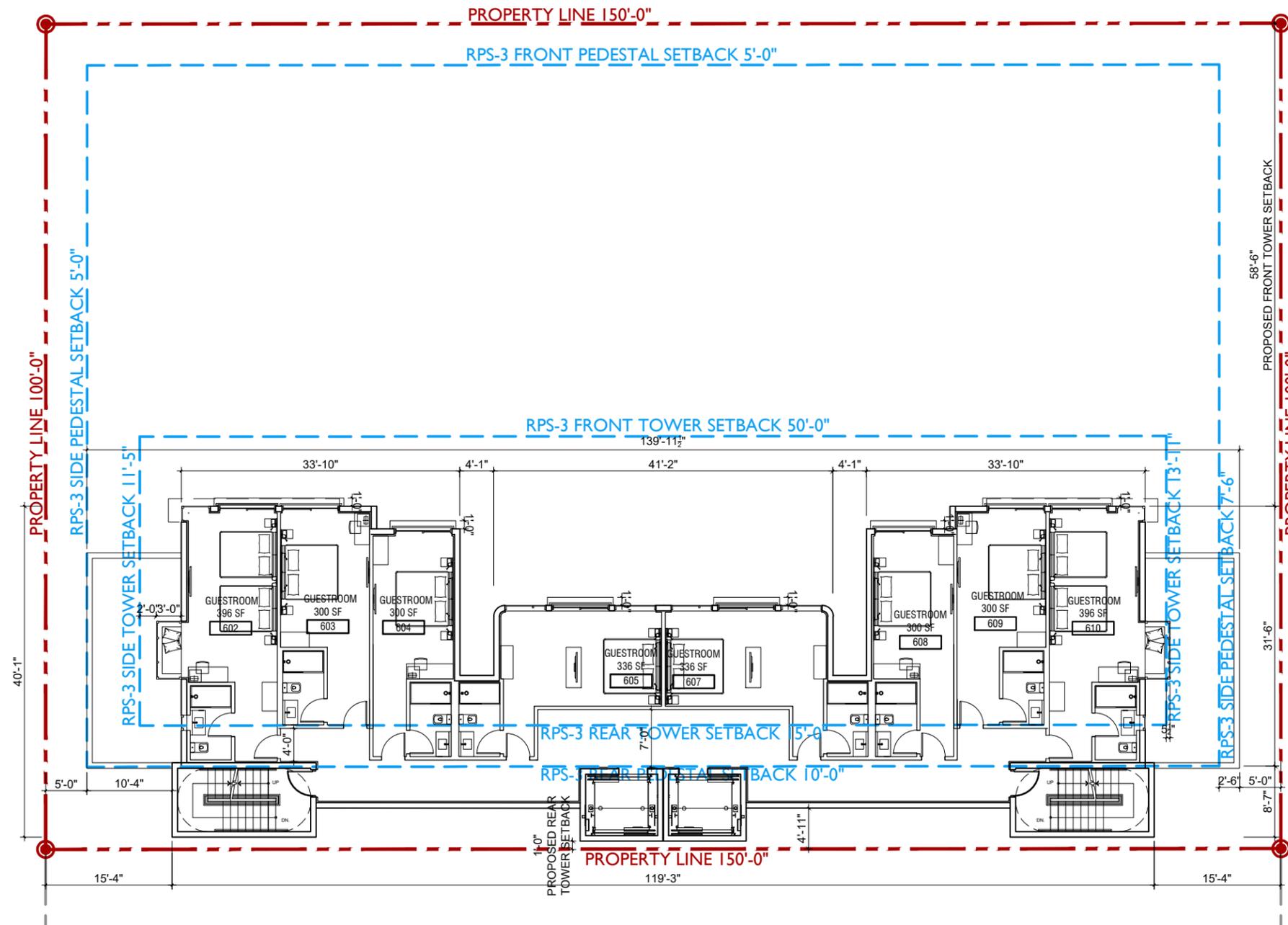
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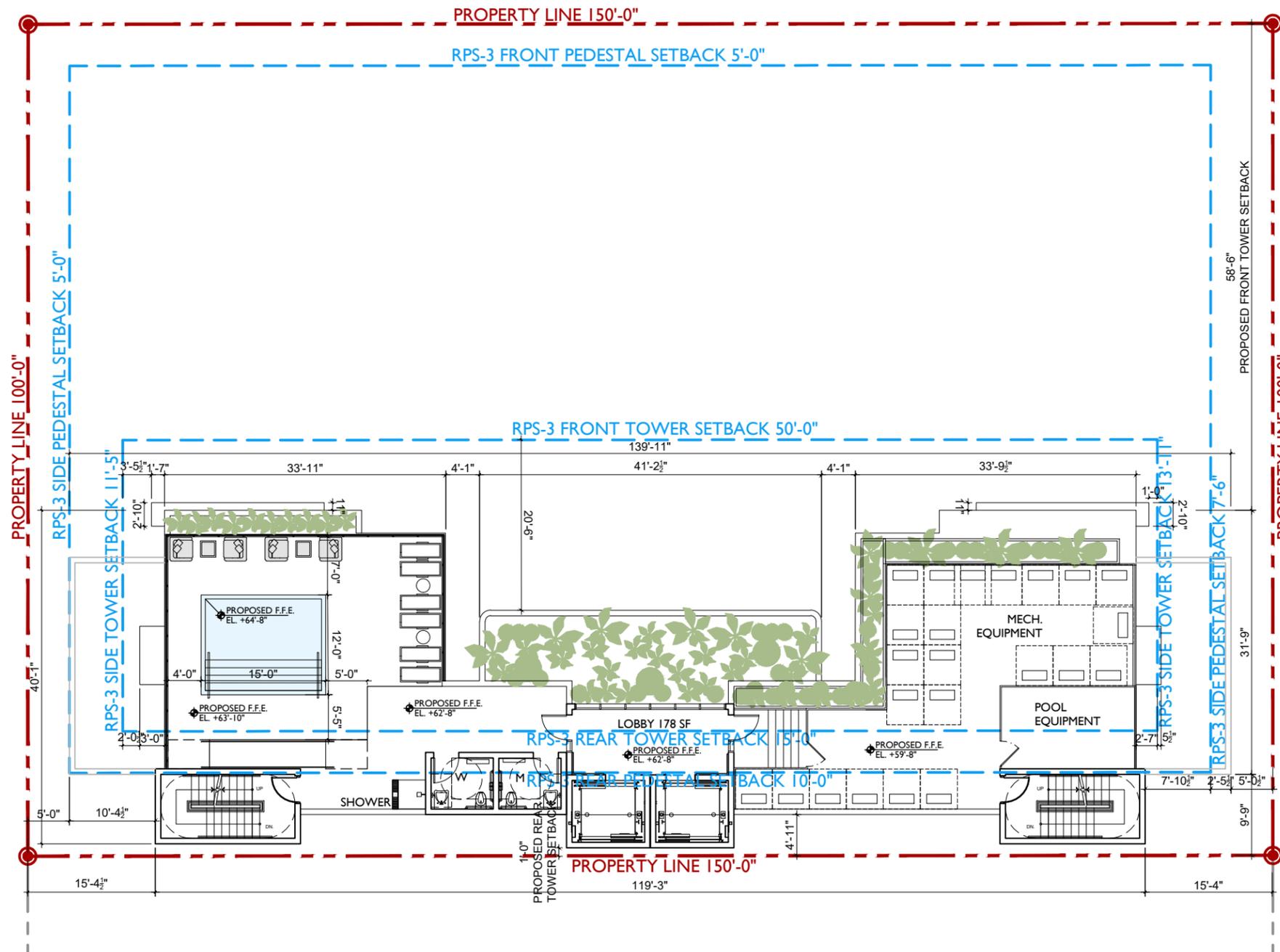
SCALE: $\frac{1}{16}'' = 1'-0''$

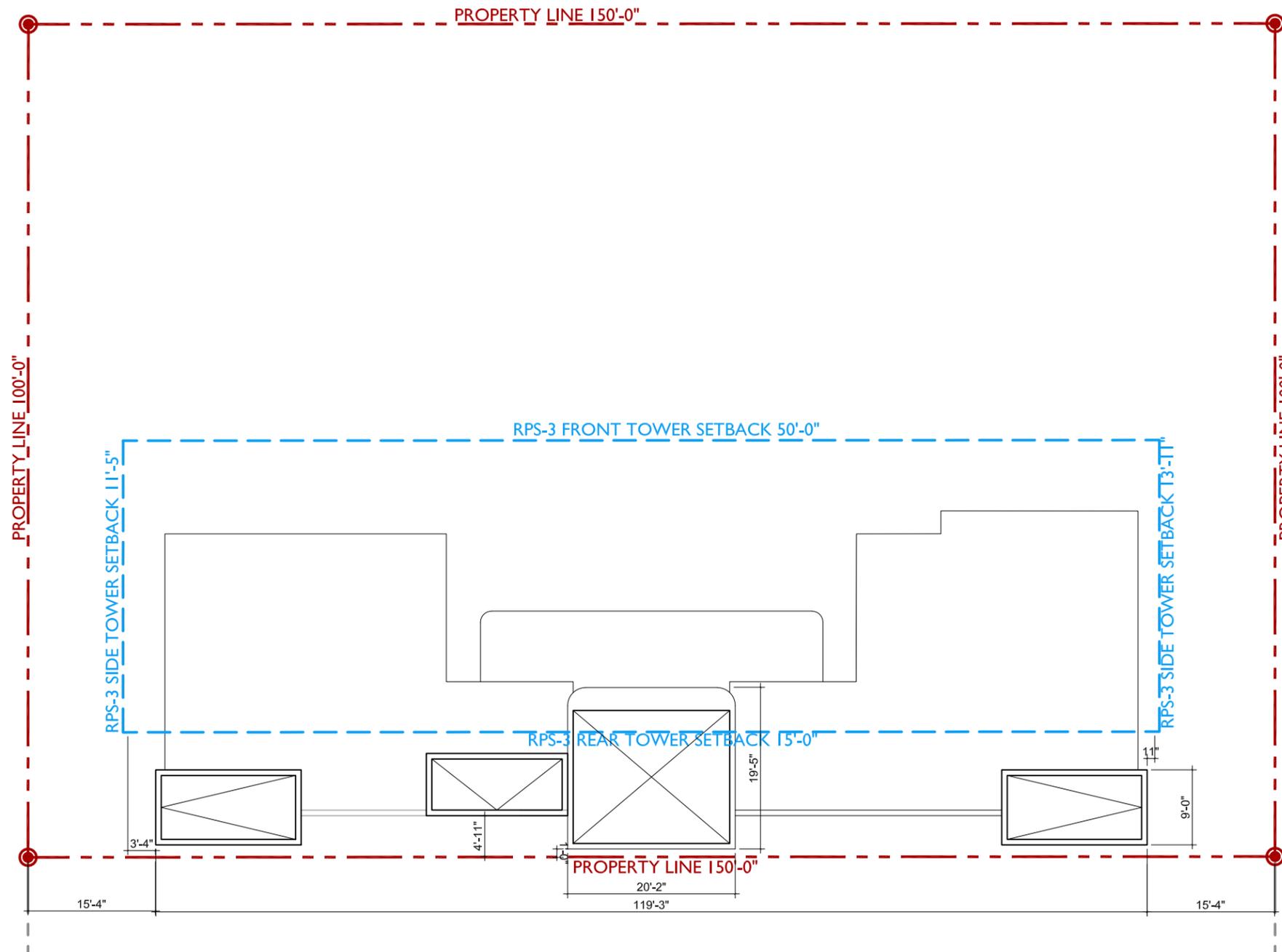
CHECK: JMcG

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SHEET NUMBER







ELEVATION LEGEND:

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.
- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL
- ⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER
- ⑩ STUCCO EYEBROW
- ⑪ STEEL GUARDRAILS
- ⑫ CONCRETE STAIRS
- ⑬ BREEZEBLOCK TO MATCH ORIGINAL
- ⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL
- ⑮ PAINTED STUCCO
- ⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ⑰ ALUMINUM SCREEN
- ⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS
- ⑳ GLASS JULIET BALCONIES
- ㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM
- ㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS
- ㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS
- ㉕ STUCCO SCORING
- ㉖ BACKLIT ALUMINUM SIGN

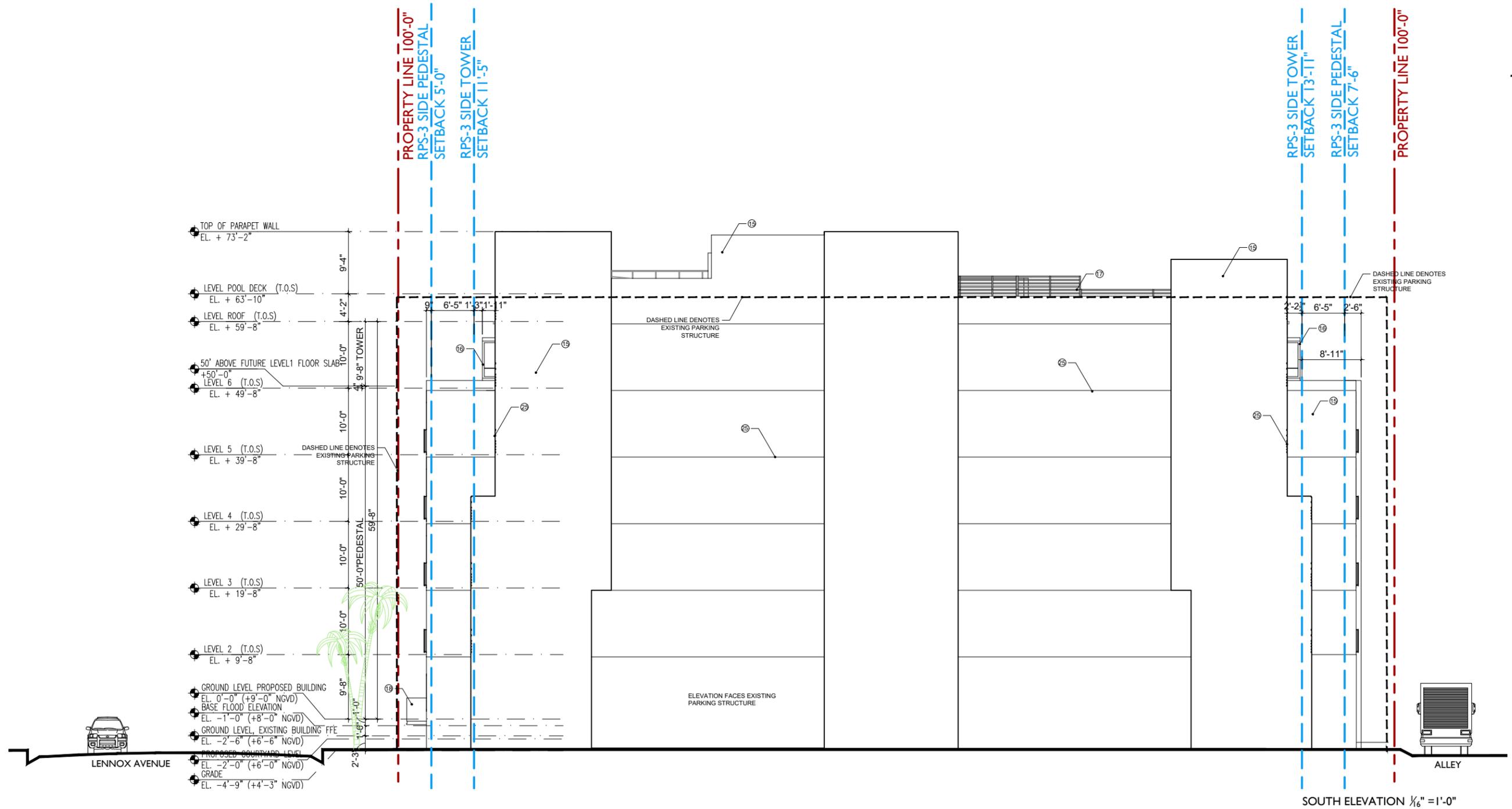


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ELEVATION LEGEND:

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② WOOD FASCIA

③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION

④ WHITE STUCCO

⑤ STUCCO FASCIA

⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL

⑧ RENOVATED STAIRS TO MATCH ORIGINAL

⑨ STUCCO PLANTER

⑩ STUCCO EYEBROW

⑪ STEEL GUARDRAILS

⑫ CONCRETE STAIRS

⑬ BREEZEBLOCK TO MATCH ORIGINAL

⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL

⑮ PAINTED STUCCO

⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

⑰ ALUMINUM SCREEN

⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS

⑳ GLASS JULIET BALCONIES

㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM

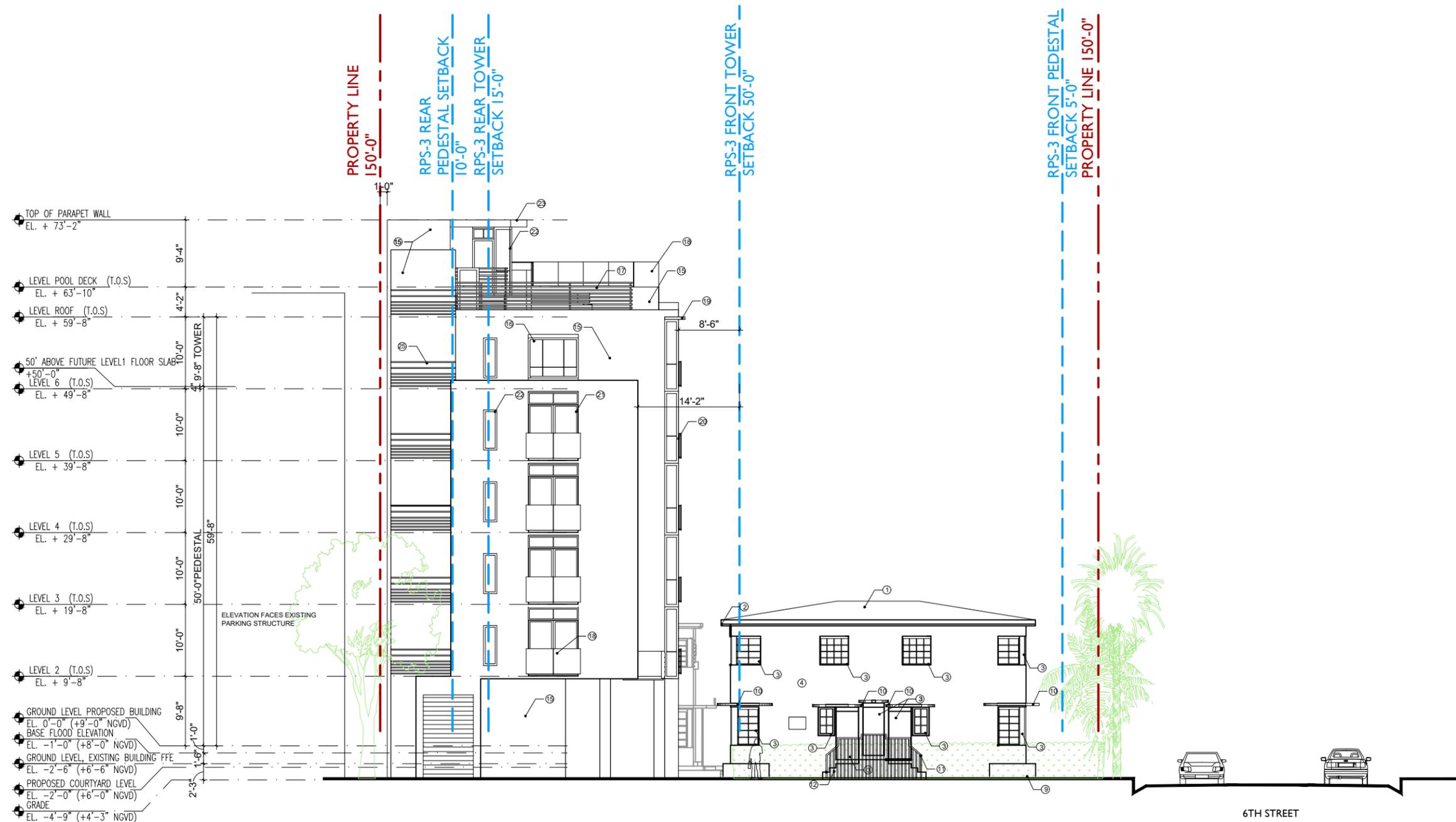
㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS

㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS

㉕ STUCCO SCORING

㉖ BACKLIT ALUMINUM SIGN



6TH STREET

EAST ELEVATION 1/8" = 1'-0"

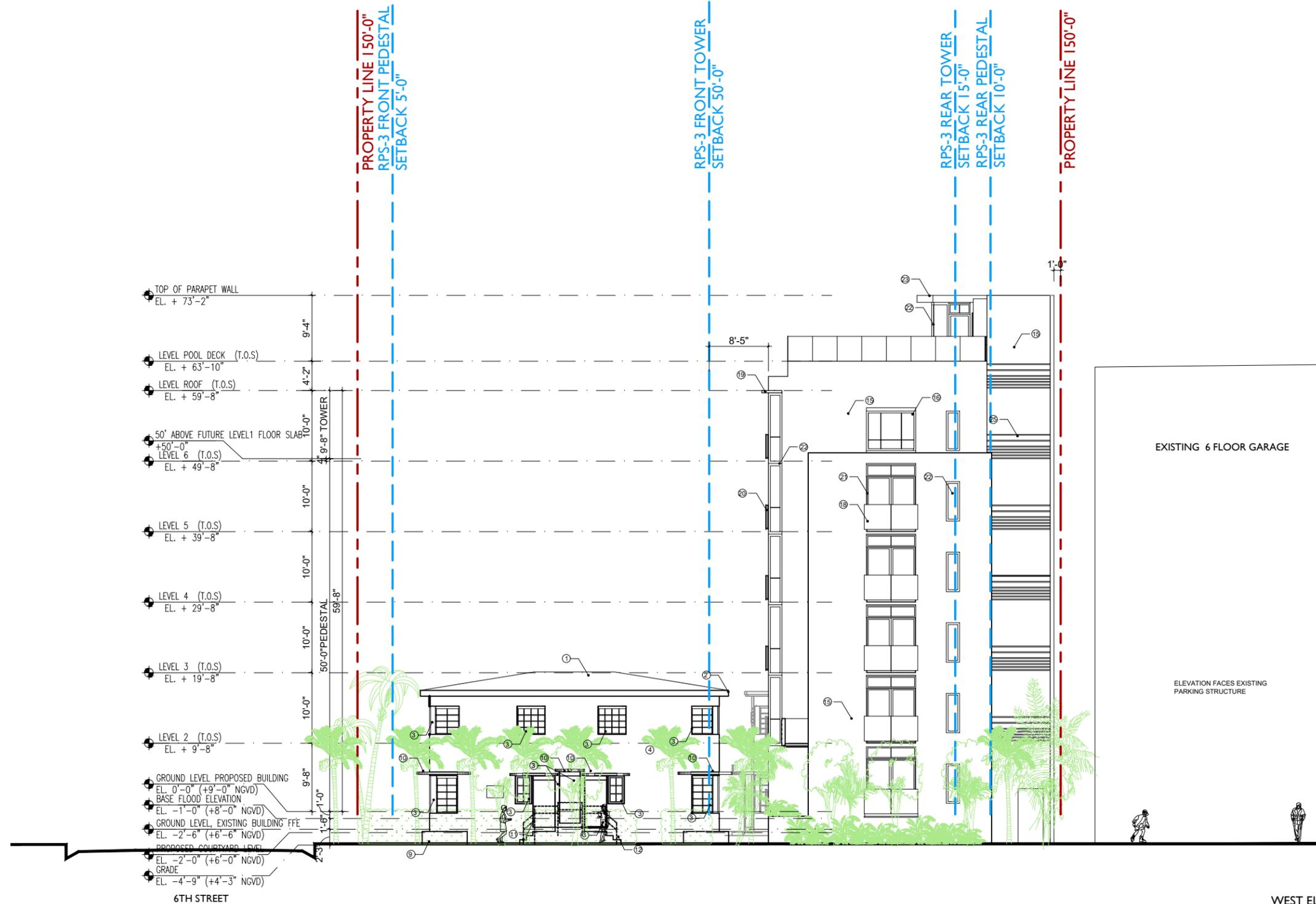
A3.02

ELEVATION LEGEND:

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- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
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WEST ELEVATION 1/8" = 1'-0"

SECTION
NORTH-SOUTH

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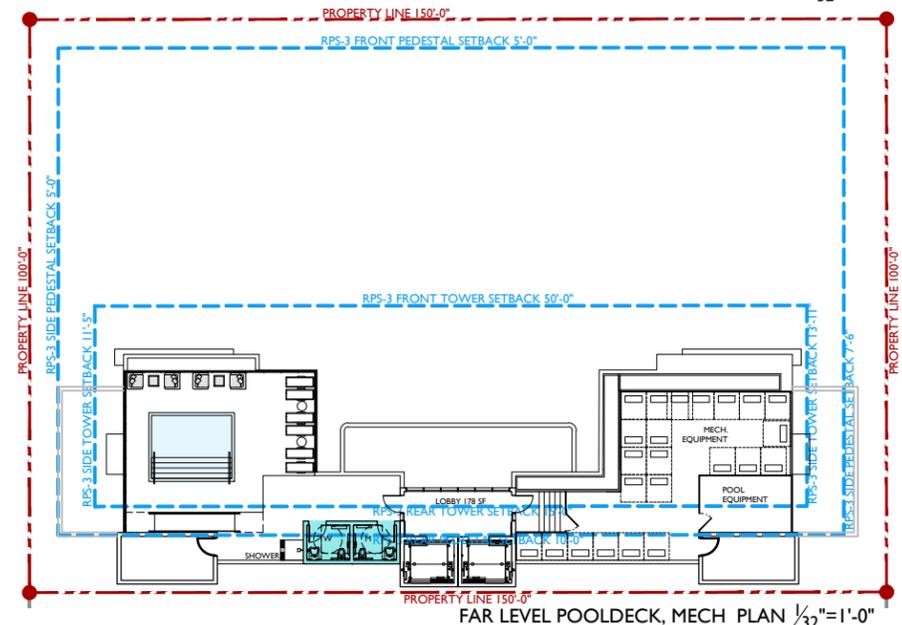
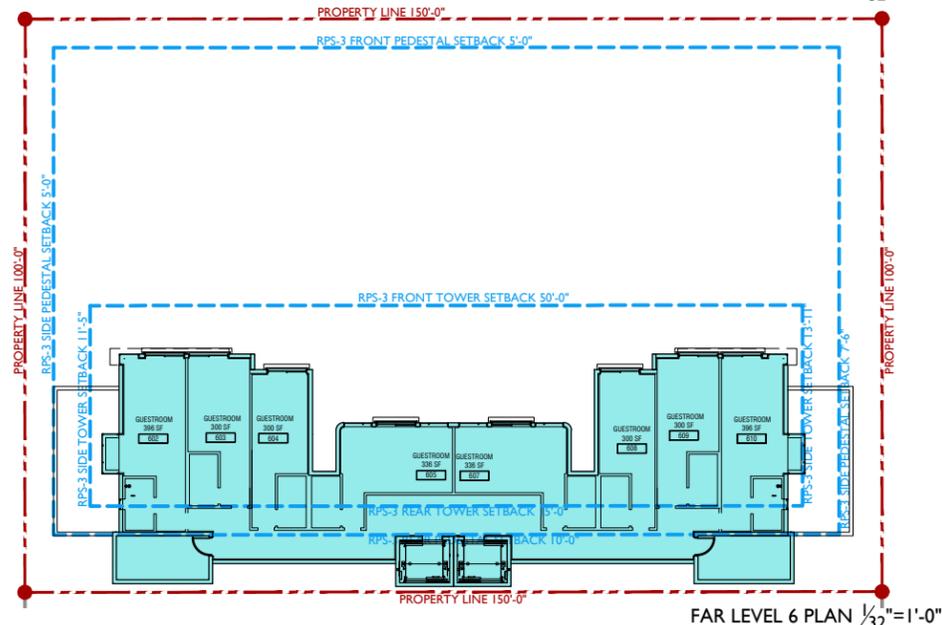
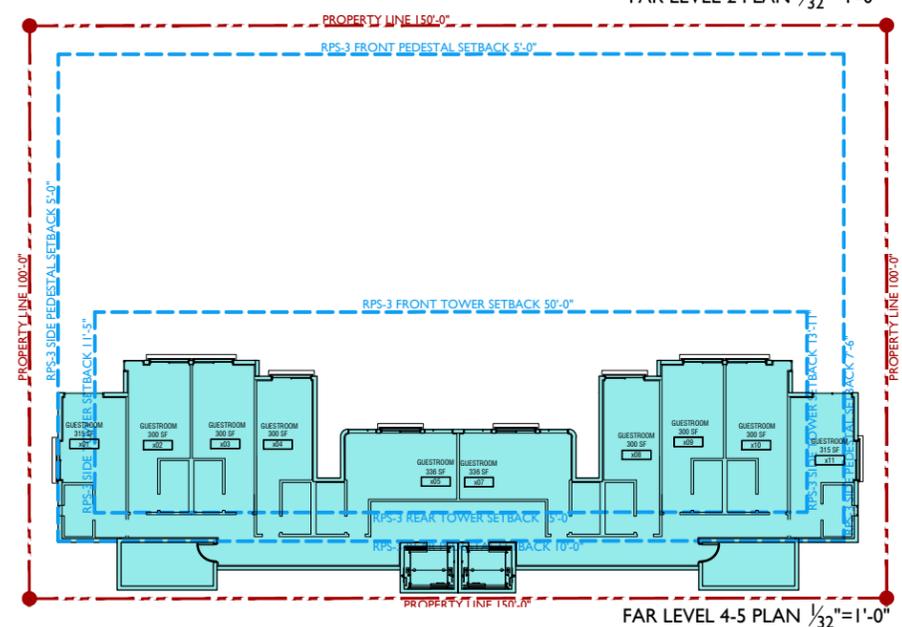
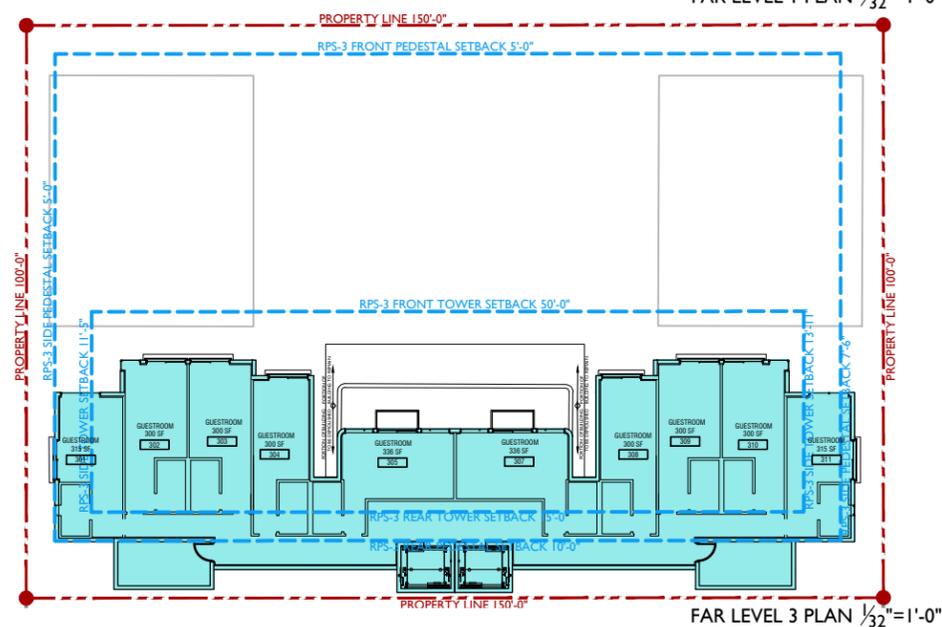
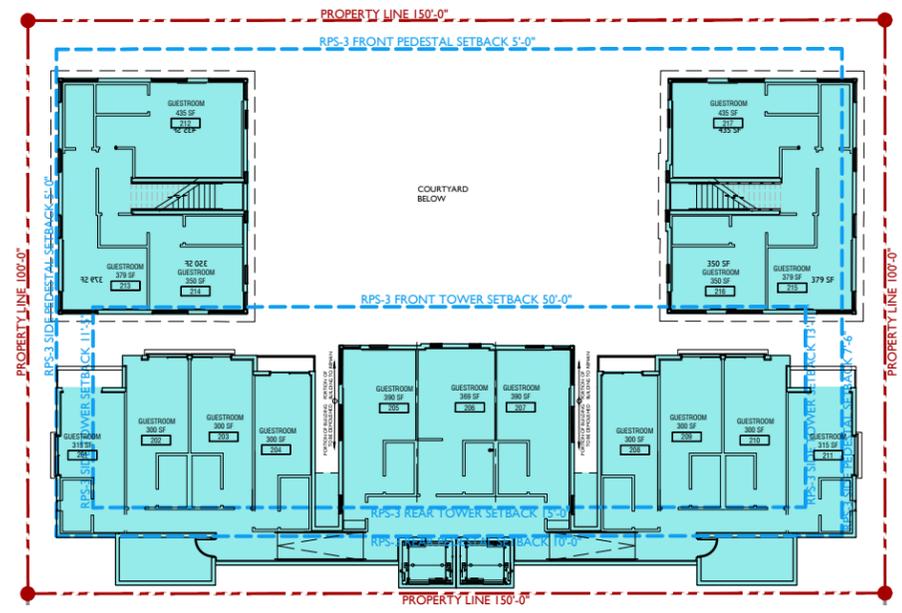
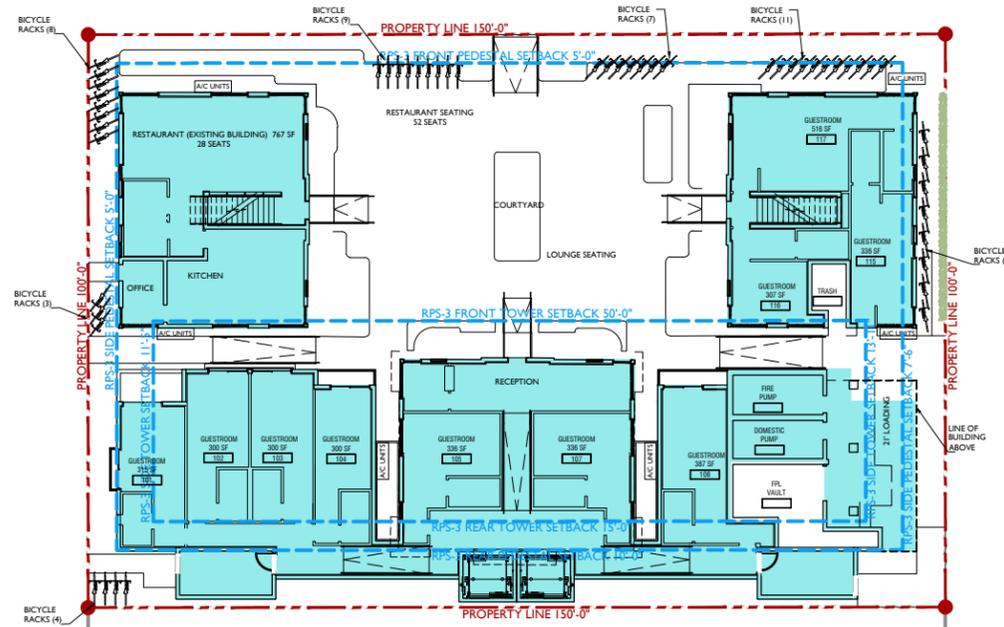
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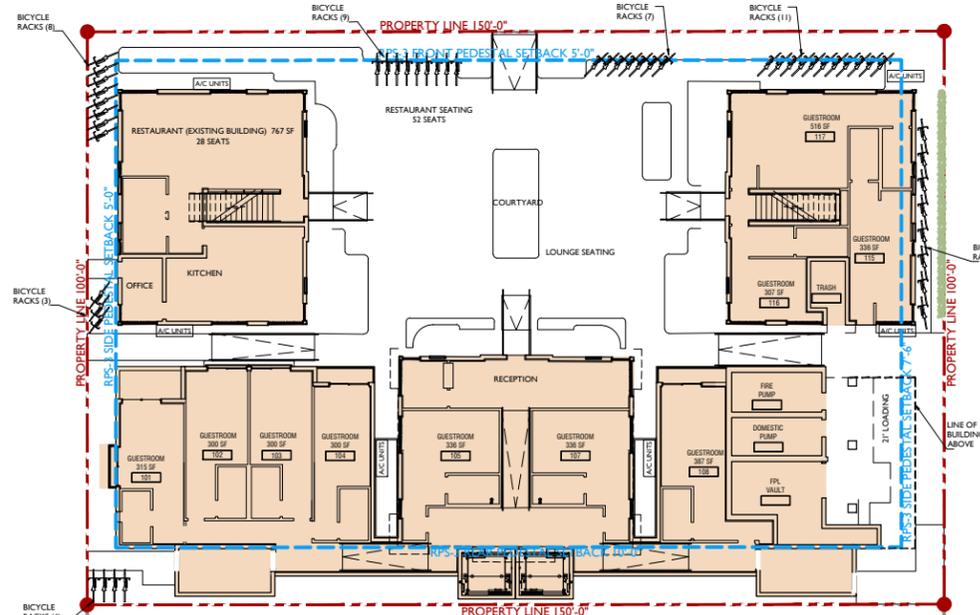


SECTION 1/8" = 1'-0"

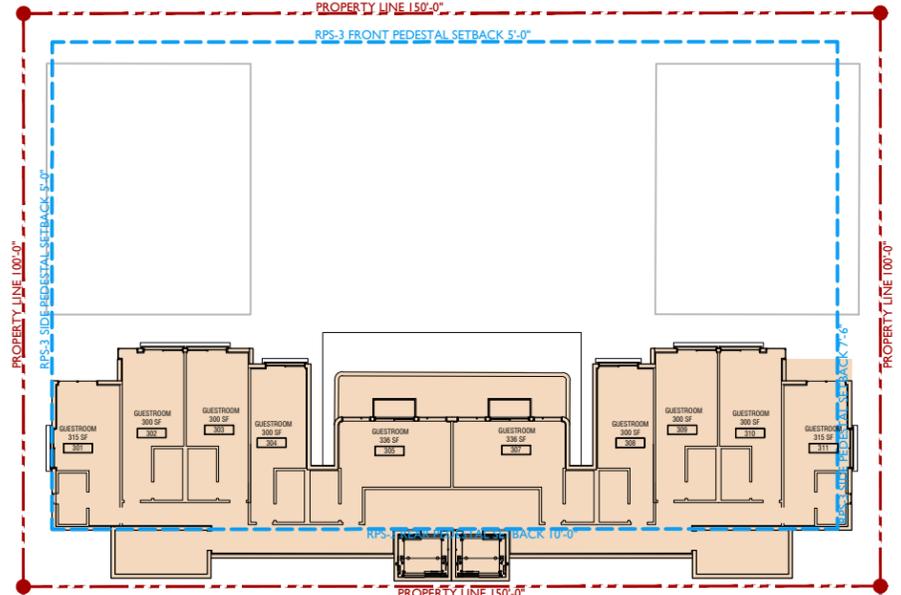


FAR AREA CALCULATIONS

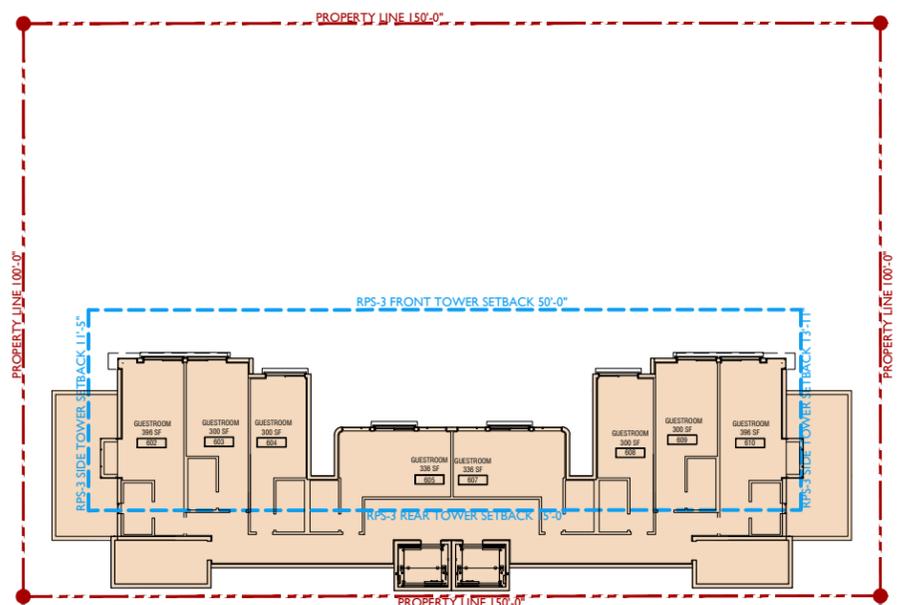
| LEVEL | FAR AREA |
|--------------------------|------------------|
| LEVEL 1 | |
| NEW BUILDING | 4,601 SF |
| EXISTING WEST BUILDING | 1,361 SF |
| EXISTING EAST BUILDING | 1,289 SF |
| LEVEL 1 TOTAL | 7,251 SF |
| LEVEL 2 | |
| NEW BUILDING | 4,943 SF |
| EXISTING WEST BUILDING | 1,361 SF |
| EXISTING EAST BUILDING | 1,358 SF |
| LEVEL 2 TOTAL | 7,662 SF |
| LEVEL 3 | 3,740 SF |
| LEVEL 4 | 3,740 SF |
| LEVEL 5 | 3,740 SF |
| LEVEL 6 | 3,376 SF |
| LEVEL 7 POOL DECK | 120 SF |
| GRAND TOTAL | 29,629 SF |



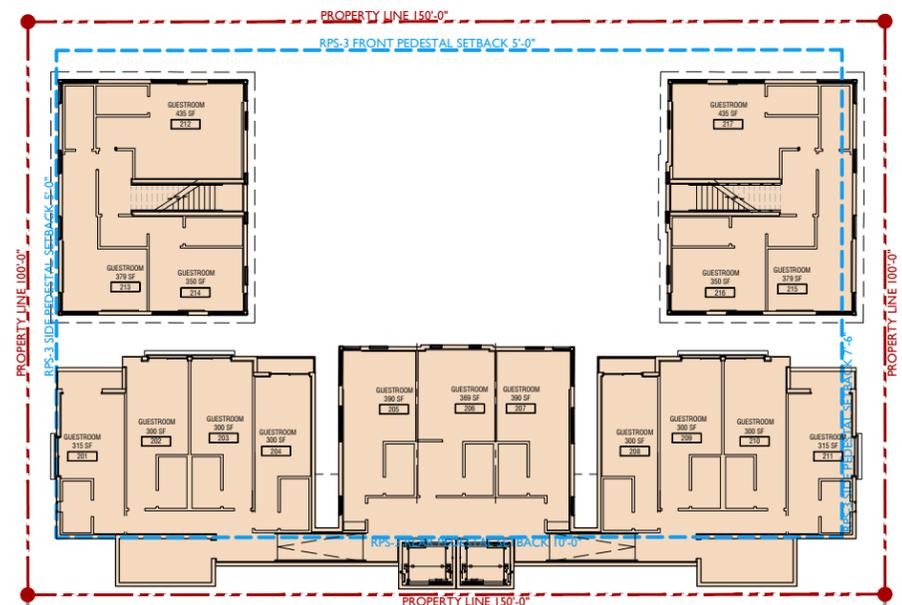
FAR LEVEL 1 PLAN $\frac{1}{32}''=1'-0''$



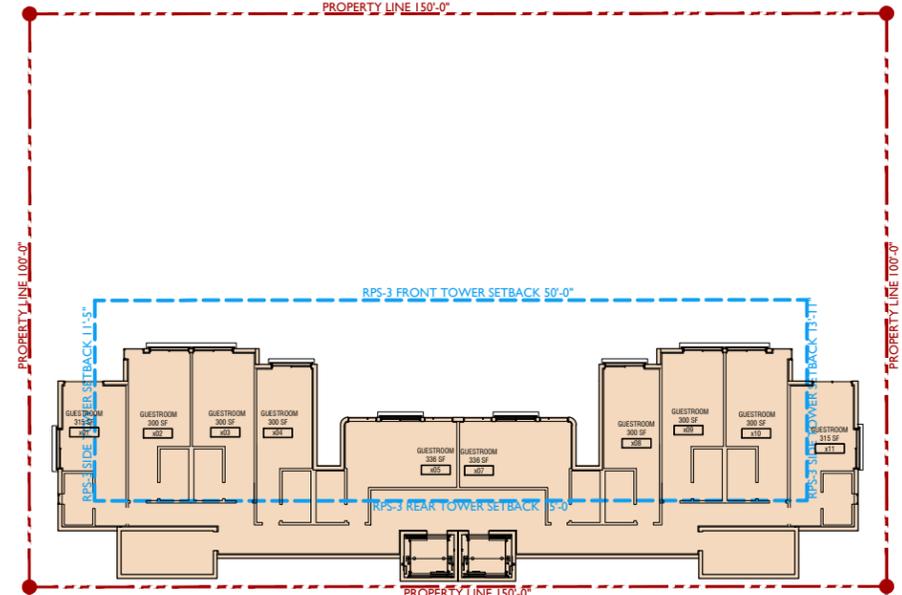
FAR LEVEL 2 PLAN $\frac{1}{32}''=1'-0''$



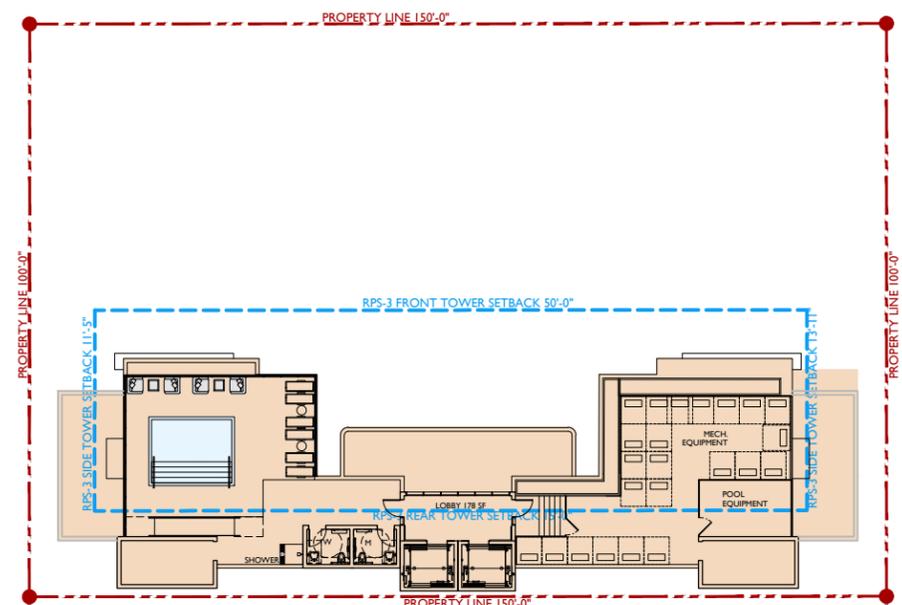
FAR LEVEL 3 PLAN $\frac{1}{32}''=1'-0''$



FAR LEVEL 4 PLAN $\frac{1}{32}''=1'-0''$



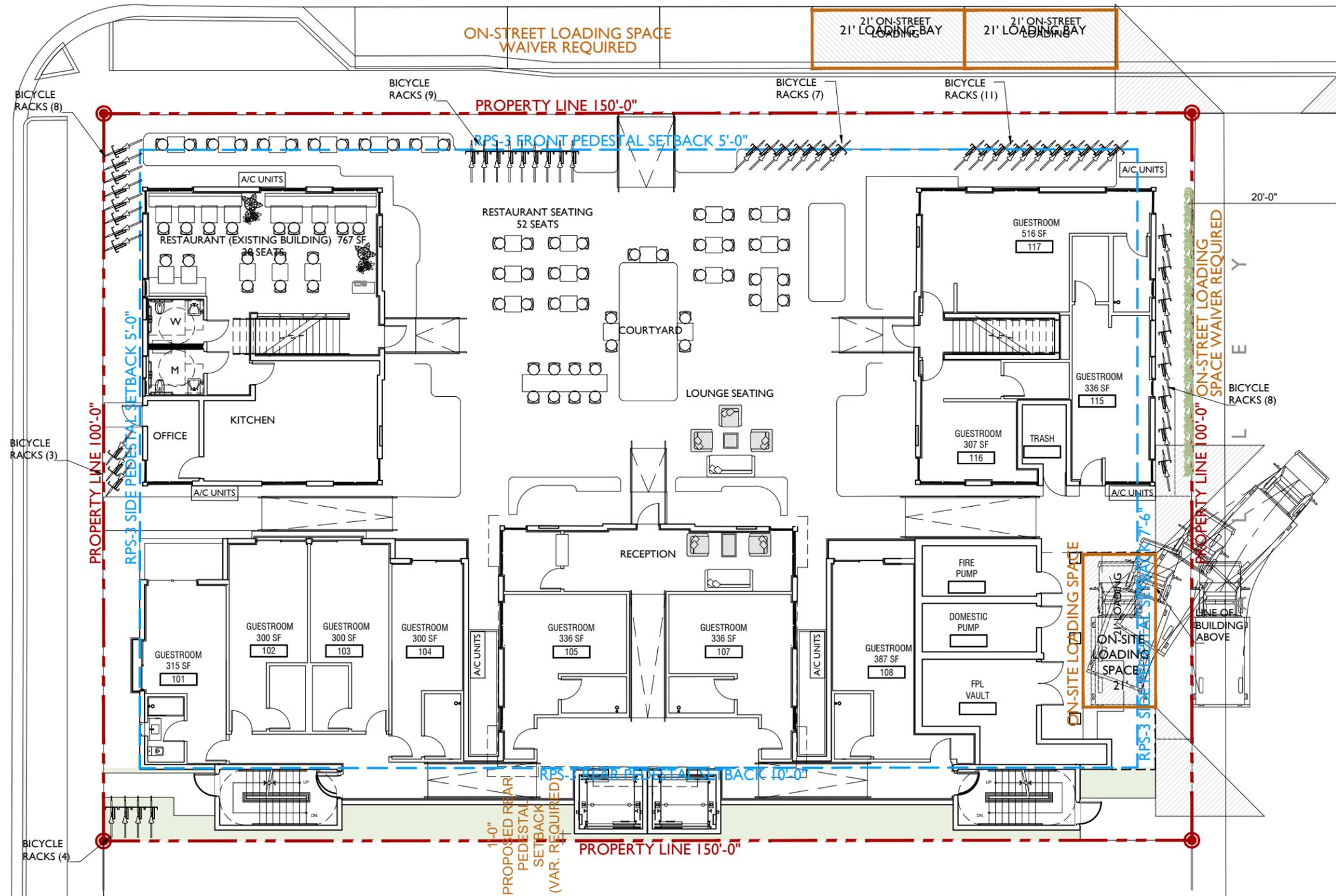
FAR LEVEL 4-5 PLAN $\frac{1}{32}''=1'-0''$



FAR LEVEL 7 POOLDECK, MECH PLAN $\frac{1}{32}''=1'-0''$

| GROSS AREA CALCULATIONS | |
|-------------------------|------------------|
| LEVEL | GROSS AREA |
| LEVEL 1 | |
| NEW BUILDING | 4,677 SF |
| EXISTING WEST BUILDING | 1,361 SF |
| EXISTING EAST BUILDING | 1,358 SF |
| LEVEL 1 TOTAL | 7,396 SF |
| LEVEL 2 | |
| NEW BUILDING | 5,008 SF |
| EXISTING WEST BUILDING | 1,361 SF |
| EXISTING EAST BUILDING | 1,358 SF |
| LEVEL 2 TOTAL | 7,727 SF |
| LEVEL 3 | 3,740 SF |
| LEVEL 4 | 3,740 SF |
| LEVEL 5 | 3,740 SF |
| LEVEL 6 | 3,376 SF |
| ROOF LEVEL | 3,777 SF |
| GRAND TOTAL | 33,496 SF |

NOTE: THE LOADING SPACE COUNT AND DIMENSIONS CAN BE ADDED OR MODIFIED AS NEEDED BASED ON THE SIZE OF VEHICLE



- REAR YARD (1,500 SF)
- LANDSCAPED REAR YARD (518 SF OR 34.53%)

VARIANCE REQUIRED - 65.47% ENCROACHMENTS WITHIN THE REQUIRED REAR YARD WHEN 30% IS PERMITTED

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SCALE: 1/8" = 1'-0"
CHECK: JMcG
DATE: 12/14/2020
SHEET NUMBER



SECTION 1/8" = 1'-0"



VIEW FACING SOUTH ON 6TH STREET-PROPOSED



VIEW FACING SOUTH ON 6TH STREET-EXISTING

THE HOHAUSER

**PERSPECTIVE
COMPARISON**

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DATE: 12/14/2020

SHEET NUMBER