

**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

COVER SHEET



**Scope of Work**

- Restoration of two Historic 2-story structures and the adjoining courtyard.
- Partial demolition of 1 Contributing 2-story structure on the south side of the lot
- New construction of a 6-story Hotel
- 51 units in new proposed building and 14 units in existing buildings.

JENNIFER MCCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

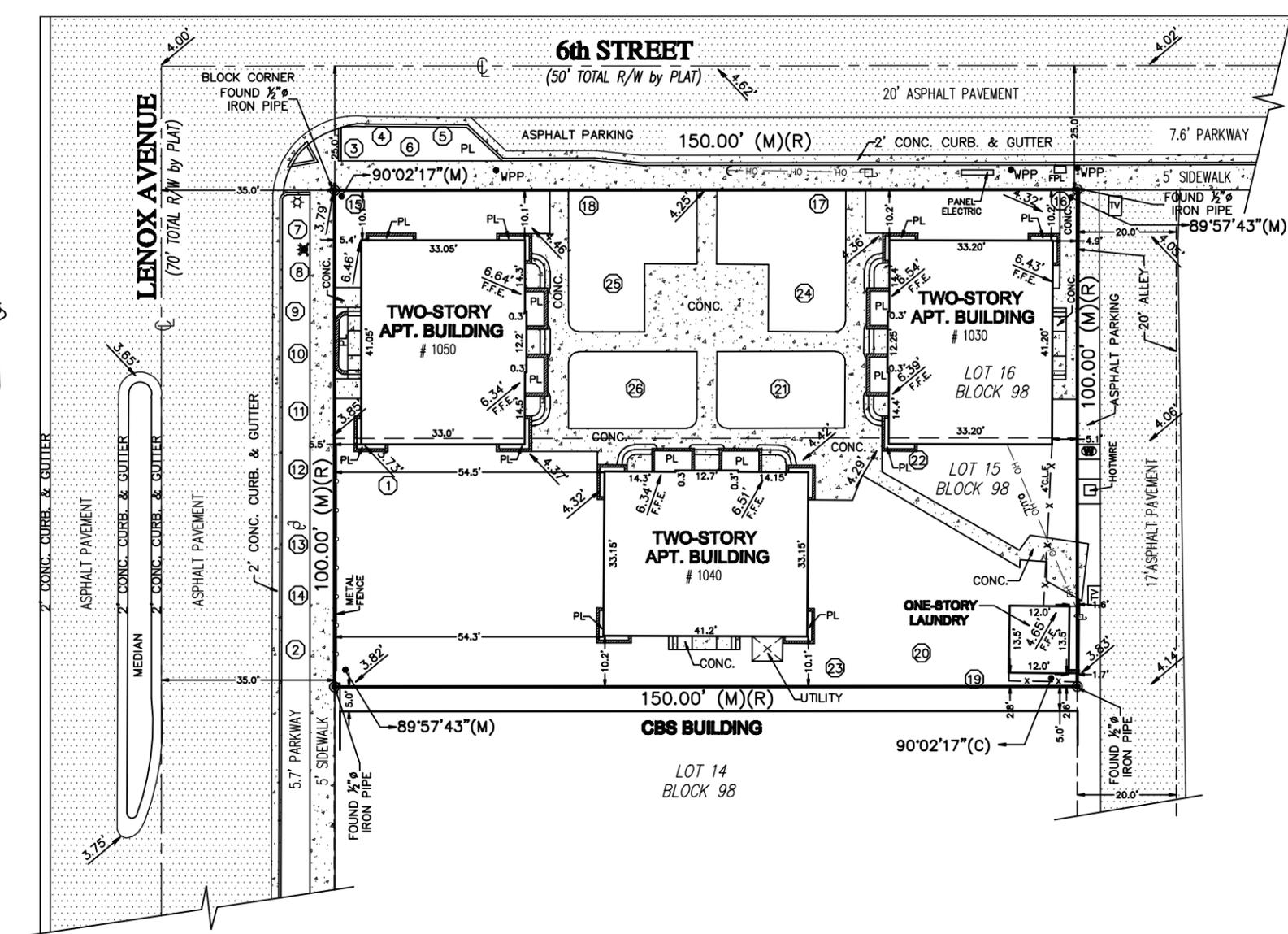
SCALE: N.T.S.

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

**A0.00**



LAND AREA = 15,000 SQ. FEET (0.344 ACRES)

## BOUNDARY SURVEY

### LEGEND & ABBREVIATIONS:

<p>CONCRETE</p> <p>CONC. BLOCK WALL</p> <p>WOOD DECK</p> <p>COVERED AREA</p> <p>ASPHALT</p> <p>CHAIN LINK FENCE (CLF)</p> <p>WOOD FENCE (WF)</p> <p>IRON FENCE (IF)</p> <p>A = ARC DISTANCE</p> <p>L = LENGTH</p> <p>Δ = CENTRAL ANGLE / DELTA</p> <p>R = RADIUS</p> <p>T = TANGENT</p> <p>P.T. = POINT OF TANGENCY</p> <p>P.C. = POINT OF CURVATURE</p> <p>P.C.C. = POINT OF COMPOUND CURVE</p> <p>C.B. = CATCH BASIN</p> <p>CATV = CABLE UTILITY BOX</p>	<p>B.C. = BLOCK CORNER</p> <p>P = PROPERTY LINE</p> <p>C = CENTER LINE</p> <p>M = MONUMENT LINE</p> <p>CALC. = CALCULATED</p> <p>M. = FIELD MEASURED</p> <p>P. = PER PLAT</p> <p>TYP. = TYPICAL</p> <p>P.R.M. = PERMANENT REFERENCE MONUMENT</p> <p>P.C.P. = PERMANENT CONTROL POINT</p> <p>FD. NAIL = FOUND NAIL</p> <p>FD. D/H = FOUND DRILL HOLE</p> <p>FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER</p> <p>P.C.C. = POINT OF COMPOUND CURVE</p> <p>C.M. = CONCRETE MONUMENT</p> <p>W.M. = WATER METER</p> <p>R/W = RIGHT OF WAY</p>	<p>U.E. = UTILITY EASEMENT</p> <p>A.E. = ANCHOR EASEMENT</p> <p>D.E. = DRAINAGE EASEMENT</p> <p>ENCR. = ENCROACHMENT</p> <p>F.F. ELEV. = FINISHED FLOOR ELEVATION</p> <p>N.T.S. = NOT TO SCALE</p> <p>P.B. = PLAT BOOK</p> <p>O.R.B. = OFFICIAL RECORD BOOK</p> <p>M.H. = MAN HOLE</p> <p>C.B.S. = CONCRETE BLOCK STRUCTURE</p> <p>BLDG = BUILDING</p> <p>O.H.L. = OVERHEAD UTILITY LINES</p> <p>TEL. = TELEPHONE FACILITIES</p>	<p>P.R.C. = POINT OF REVERSE CURVE</p> <p>CH = CHORD</p> <p>CH. BRG. = CHORD BEARING</p> <p>B.M. = BENCH MARK</p> <p>B.R. = BEARING REFERENCE</p> <p>P.O.C. = POINT OF COMMENCEMENT</p> <p>P.O.B. = POINT OF BEGINNING</p> <p>T.B.M. = TEMPORARY BENCH MARK</p> <p>P.O.B. = POINT OF BEGINNING</p> <p>T.B.M. = TEMPORARY BENCH MARK</p> <p>FD. I.R. = FOUND IRON REBAR</p> <p>FD. P.K.NAIL = FOUND PARKER-KALON NAIL</p> <p>P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER</p> <p>A/C = AIR CONDITIONER PAD</p> <p>TX = TRANSFORMER</p> <p>P.P. = POWER POLE</p> <p>D.M.E. = DRAINAGE &amp; MAINTENANCE EASEMENT</p> <p>+ 0.0' = EXISTING ELEVATION</p>	<p>ELEV. = ELEVATION</p> <p>SEC. = SECTION</p> <p>TWS. = TOWNSHIP</p> <p>RG. = RANGE</p> <p>SWK = SIDEWALK</p>
--	--	--	--	--

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EASEMENTS APPEARING ON THE PLAT OR VISIBLE EASEMENTS OTHER THAN AS SHOWN HEREON.

ADIS N. NUNEZ  
REGISTERED LAND SURVEYOR  
STATE OF FLORIDA #5924

SINCE 1987

## BLANCO SURVEYORS INC.

Engineers • Land Surveyors • Planners • LB # 0007059  
555 NORTH SHORE DRIVE  
MIAMI BEACH, FL 33141

(305) 865-1200      Email: [blancosurveyorsinc@yahoo.com](mailto:blancosurveyorsinc@yahoo.com)      Fax: (305) 865-7810

FLOOD ZONE: AE	SUFFIX: L	FEMA DATE: 09/11/09	BASE: 8'
PANEL: 0319	COMMUNITY # 120651		
DATE: 07/07/2020	SCALE: 1" = 30'	DWN. BY: R.BELLO	JOB No. 20-428

LOCATION MAP  
NOT TO SCALE



#	TYPE	DIAM.	HEIGHT	CANOPY
1	Flamboyant	1'	20'	12'
2	Flamboyant	0.8'	30'	20'
3	Palm	0.75'	28'	12'
4	Palm	0.75'	28'	12'
5	Palm	0.75'	28'	12'
6	Palm	0.75'	28'	12'
7	Palm	0.40'	10'	8'
8	Palm	0.75'	25'	10'
9	Palm	0.75'	20'	10'
10	Palm	1.50'	35'	12'
11	Flamboyant	1'	25'	20'
12	Palm	2'	50'	15'
13	Flamboyant	1'	20'	20'
14	Palm	2'	50'	18'
15	Palm	1.25'	55'	6'
16	Palm	1.40'	60'	12'
17	Palm	1.50'	70'	10'
18	Palm	1.40'	60'	12'
19	UNKNOWN	0.85'	30'	18'
20	EUCALYPTUS	1.0'	35'	20'
21	COCONUT	0.75'	15'	7'
22	Areca Palm	CLOSTER 2'	23'	13'
23	Palm	0.5'	12'	8'
24	COCONUT	0.85'	18'	9'
25	Areca Palm	0.75'	8'	6'
26	Areca Palm	0.75'	8'	6'

PROPERTY ADDRESS: 1030 6 ST., MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: LOT 15 AND 16, BLOCK 98, OF OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
- 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- 7) OWNERSHIP OF FENCES ARE UNKNOWN.
- 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
- 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
- 11) ELEVATIONS BASED OFF OF BM# D-151 LOC# 4203 W ELEV. 3.63' NGVD

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES  
BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 2 PG: 81

NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL



**THE HOHAUSER**

RENDERINGS



JENNIFER MCCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

VIEW FACING SOUTH ON 6TH STREET

2010

PROJECT NUMBER

PROJECT:

**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

RENDERINGS



JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

VIEW INTO COURTYARD FACING SOUTH ON  
6TH STREET

PARKING CALCULATIONS		
Hotel units in new construction	51 units X 0.5 parking space	26 P.S.
RESTAURANT/CAFÉ	Restaurant is located inside historic structure and historic courtyard space	0 P.S.
ALTERNATIVE PARKING (reduction up to 50% of required parking)	10 parking spaces of required parking * 5 bike racks/parking space	MINUS 10 P.S.
FEE in lieu of providing parking spaces. Sec.130-132(a,b)	15 parking spaces	
<b>TOTAL</b>		<b>16 P.S.</b>

Unit Number	300-335sf	335+ sf	Part of Existing Bldg	Area
<b>Level 1</b>				
101	I			315 SF
102	I			300 SF
103	I			300 SF
104	I			300 SF
105	I	I	yes	336 SF
XX				
107	I	I	yes	336 SF
108	I	I		387 SF
XX				
115	I	I	yes	336 SF
116	I	I	yes	307 SF
117	I	I	yes	516 SF
<b>Floor Total</b>	<b>10 units</b>			<b>3,433 SF</b>
<b>Level 2</b>				
201	I			314 SF
202	I			300 SF
203	I			300 SF
204	I			300 SF
205	I	I	yes	390 SF
206	I	I	yes	369 SF
207	I	I	yes	390 SF
208	I			300 SF
209	I			300 SF
210	I			300 SF
211	I			314 SF
212	I	I	yes	435 SF
213	I	I	yes	379 SF
214	I	I	yes	350 SF
215	I	I	yes	379 SF
216	I	I	yes	350 SF
217	I	I	yes	435 SF
<b>Floor Total</b>	<b>17 units</b>			<b>5,905 SF</b>
<b>Level 3</b>				
301	I			315 SF
302	I			300 SF
303	I			300 SF
304	I			300 SF
305	I	I		336 SF
XX				
307	I	I		336 SF
308	I			300 SF
309	I			300 SF
310	I			300 SF
311	I			315 SF
<b>Floor Total</b>	<b>10 units</b>			<b>3,102 SF</b>
<b>Level 4</b>				
401	I			315 SF
402	I			300 SF
403	I			300 SF
404	I			300 SF
405	I	I		336 SF
XX				
407	I	I		336 SF
408	I			300 SF
409	I			300 SF
410	I			300 SF
411	I			315 SF
<b>Floor Total</b>	<b>10 units</b>			<b>3,102 SF</b>
<b>Level 5</b>				
501	I			315 SF
502	I			300 SF
503	I			300 SF
504	I			300 SF
505	I	I		336 SF
XX				
507	I	I		336 SF
508	I			300 SF
509	I			300 SF
510	I			300 SF
511	I			315 SF
<b>Floor Total</b>	<b>10 units</b>			<b>3,102 SF</b>
<b>Level 6</b>				
602	I	I		396 SF
603	I			300 SF
604	I			300 SF
605	I	I		336 SF
XX				
607	I	I		336 SF
608	I			300 SF
609	I			300 SF
610	I	I		396 SF
<b>Floor Total</b>	<b>8 units</b>			<b>2,664 SF</b>
<b>Level 7</b>				
<b>Floor Total</b>	<b>0 units</b>			<b>0 SF</b>
<b>Grand Subtotal</b>	<b>41 units</b>	<b>24 units</b>	<b>14 units</b>	<b>42,616 SF</b>
<b>Ratio</b>	<b>63.08%</b>	<b>36.92%</b>		
<b>Grand Total</b>	<b>65 units</b>			

GUEST ROOMS PER LEVEL	
Level 1	10 units
Level 2	17 units
Level 3	10 units
Level 4	10 units
Level 5	10 units
Level 6	8 units
Level 7	0 units
<b>TOTAL</b>	<b>65 units</b>

Building height	63'-10"	or 766"
10% of height	6'-5"	or 77"
Tower Setbacks Calculations		
East Tower Setback	Pedestal+10% height	7'-6" + 6'-5"= 13'-11"
West Tower Setback	Pedestal+10% height	5'-0" + 6'-5"= 11'-5"

# MIAMI BEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

## MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITE M #	Zoning Information			
1	Address:	1030-1050 6 Street, Miami Beach FL 33139		
2	Board and File numbers:	HPB20-0420.		
3	Folio number(s):	02-4203-009-7860		
4	Year constructed:	1938	Zoning District:	CPS-2 w/ RPS-3 setbacks
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	4.25' NGVD
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	15,000 SF
7	Lot Width	150'-0"	Lot Depth:	100'-0"
8	Minimum Unit Size	300SF	Average Unit Size:	N/A
9	Existing User	Residential Multi-Family	Proposed Use:	Hotel

	Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	N/A	63'-10"
11	Number of Stories	N/A	2	6
12	<b>FAR</b>	2.0	N/A	2.0
13	FLOOR AREA Square Footage	30,000 SF	N/A	29,629 SF
14	Square Footage by use	N/A	N/A	N/A
15	Number of Units Residential	N/A	N/A	0
16	Number of Units Hotel	N/A	15	65
17	Number of Seats	N/A	N/A	80
18	Occupancy Load	N/A	N/A	-

	Required	Existing	Proposed	Deficiencies
<b>Setbacks</b>				
<b>At Grade Parking:</b>				
19	Front Setback (NORTH):	5'-0"	N/A	N/A
20	Rear Setback (SOUTH):	5'-0"	N/A	N/A
21	Side Setback interior (alley) (EAST):	5'-0"	N/A	0'
22	Side Setback facing Lennox Ave (WEST):	5'-0"	N/A	N/A
<b>Pedestal LEVEL 1 (RPS-3)</b>				
23	Front Setback (NORTH):	5'-0"	10'-2"	10'-2"
24	Rear Setback (SOUTH):	10'-0"	10'-1"	1'-0" (VARIANCE REQUIRED)
25	Side Setback interior (alley) (EAST):	7'-6"	5'-0"	5'-0" (VARIANCE REQUIRED)
26	Side Setback facing Lennox Ave (WEST):	5'-0"	5'-5"	5'-0"
<b>Tower (RPS-3)</b>				
27	Front Setback (NORTH):	50'-0"	N/A	58'-6"
28	Rear Setback (SOUTH):	15'-0"	N/A	1'-0" (VARIANCE REQUIRED)
29	Side Setback Interior (alley) (EAST):	13'-11"	N/A	5'-0" (VARIANCE REQUIRED)
30	Side Setback facing Street (WEST):	11'-5"	N/A	5'-0" (VARIANCE REQUIRED)

	Required	Existing	Proposed	Deficiencies
<b>Parking</b>				
31	Parking District	I	I	-
32	Total # of parking spaces	100	N/A	0
33	# of parking spaces required	51 NEW CONSTRUCTION UNITSX0.5 SPACE=25PS.	N/A	0
34	Parking Space Dimensions	8.5' X 18'	N/A	-
35	Parking Space Configurations (45°,60°,90°,Parallel)	90 DEGREE	N/A	-
36	ADA Spaces	0	N/A	0
37	Tandem Spaces	N/A	N/A	N/A
38	Drive Aisle Width	22'	N/A	N/A
39	Valet Drop off and pick up	11'	N/A	N/A
40	Loading zones and Trash collection areas	3	0	3
41	Bike Racks (15% of required parking)	25 p.s.*15%=4 BIKE RACKS REQUIRED	N/A	50 BIKE RACKS

	Required	Existing	Proposed	Deficiencies
<b>Restaurants, Cafes, Bars, Lounges,</b>				
42	Type of use	N/A	RESIDENTIAL	HOTEL/COMMERCIAL
43	Total # of Seats	N/A	N/A	80
44	Total # of Seats per venue	N/A	N/A	80
45	Total Occupant Content	N/A	N/A	N/A
46	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A

47	Is this a contributing building?	YES
48	Located within a Local Historic District?	YES

Notes: If not applicable write N/A  
All other data information may be required and presented like the above format.  
\* SEE PARKING REQUIREMENTS (A)

## INDEX

A0.00	COVER SHEET
A0.01	INDEX AND DATA
	SURVEY
	1 RENDERINGS
	2 RENDERINGS
	3 RENDERINGS
A0.02	AERIALS
A0.03	AXONOMETRIC VIEWS OF SITE
A0.04	SITE PHOTO LOCATIONS
A0.05	SITE PHOTOS
A0.06	SITE PHOTOS
A0.07	SITE PHOTOS
A0.08	SITE PHOTOS
A0.09	SITE PHOTOS
A0.10	SITE PHOTOS
A0.11	SITE PHOTOS
A0.12	SITE PHOTO LOCATIONS
A0.13	SURROUNDING BUILDING PHOTOS
A0.14	SURROUNDING BUILDING PHOTOS
A0.15	SURROUNDING BUILDING PHOTOS
A0.16	SURROUNDING BUILDING PHOTOS
A0.17	SURROUNDING BUILDING PHOTOS
A0.18	SURROUNDING BUILDING PHOTOS
A0.19	SURROUNDING BUILDING PHOTOS
A0.20	ARCHIVE PHOTOS
A0.30	CONCEPTUAL IMAGES
A0.31	CONCEPTUAL IMAGES
A0.32	PROPOSED BUILDING MASSING
A1.00	EXISTING LOCATION PLAN
A1.01	EXISTING SITE ELEVATIONS
A1.02	PROPOSED SITE ELEVATIONS
A1.03	DEMOLITION SITE PLAN
A1.04	DEMOLITION PLAN BUILDINGS 1-2
A1.05	DEMOLITION ELEVATIONS
A1.06	DEMOLITION ELEVATIONS
A1.07	EXISTING BUILDING 3 DEMOLITION ELEVATIONS
A1.08	EXISTING BUILDING 3 DEMOLITION ELEVATIONS
A2.00	PROPOSED SITE PLAN
A2.01	LEVEL 1 PLAN
A2.02	LEVEL 2 PLAN
A2.03	LEVEL 3 PLAN
A2.04	LEVEL 4-5 PLAN
A2.06	LEVEL 6 PLAN
A2.07	LEVEL 7 POOL DECK PLAN
A2.08	LEVEL 8 ROOF PLAN
A3.00	NORTH ELEVATION
A3.01	SOUTH ELEVATION
A3.02	EAST ELEVATION
A3.03	WEST ELEVATION
A4.01	SECTION N-S
A4.02	SECTION E-W
A5.01	F.A.R. AREA DIAGRAM
A5.02	GROSS DIAGRAMS
A5.03	ZONING DIAGRAM
A5.04	VARIANCE DIAGRAM
A5.05	PERSPECTIVE COMPARISON
L0.00	COVER SHEET& INDEX, LANDSCAPE LEGEND
L1.00	LANDSCAPE PLAN RENDERING
L1.01	GROUND LEVEL LANDSCAPE PLAN
L1.02	LEVEL 3 LANDSCAPE PLAN
L1.03	ROOF DECK LANDSCAPE PLAN
L2.00	PLANT LIST, LANDSCAPE NOTES AND DETAILS
L3.00	EXISTING TREE SURVEY AND DISPOSITION PLAN
L.301	EXISTING TREE CHART, MITIGATION SUMMARY, NOTES, DETAILS



7500 NE 4th Court  
Studio 103  
Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

INDEX AND DATA

JENNIFER MCCONNEY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO MCG ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

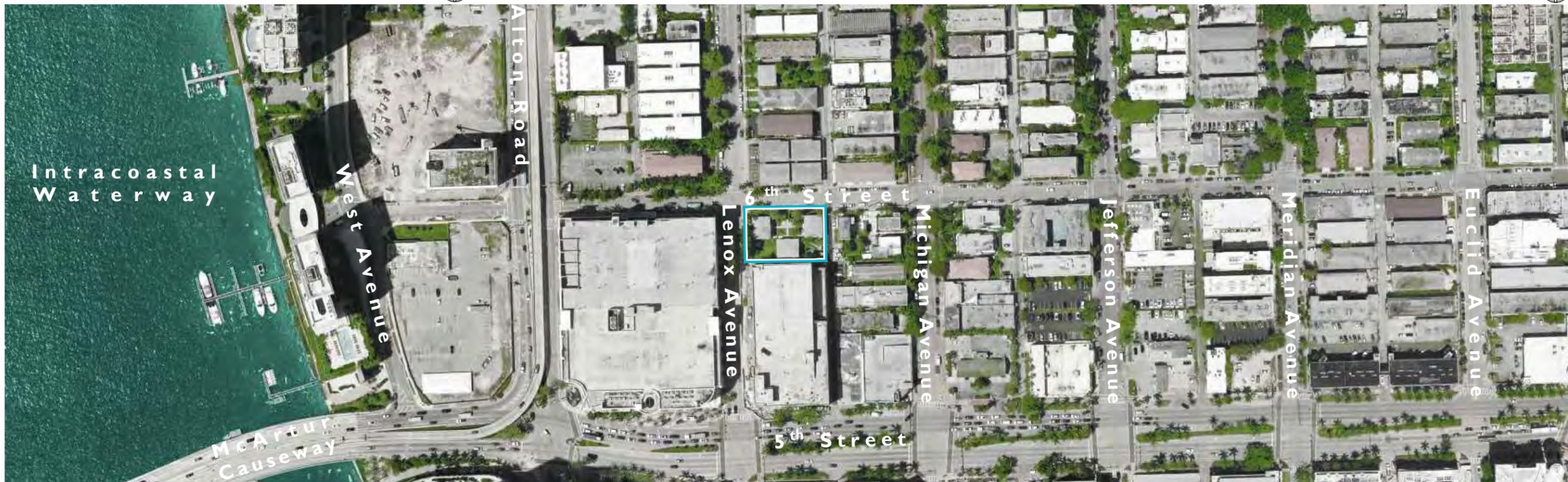
A0.01



STATE AERIAL 



AERIAL OF 1/2 MILE RADIUS 



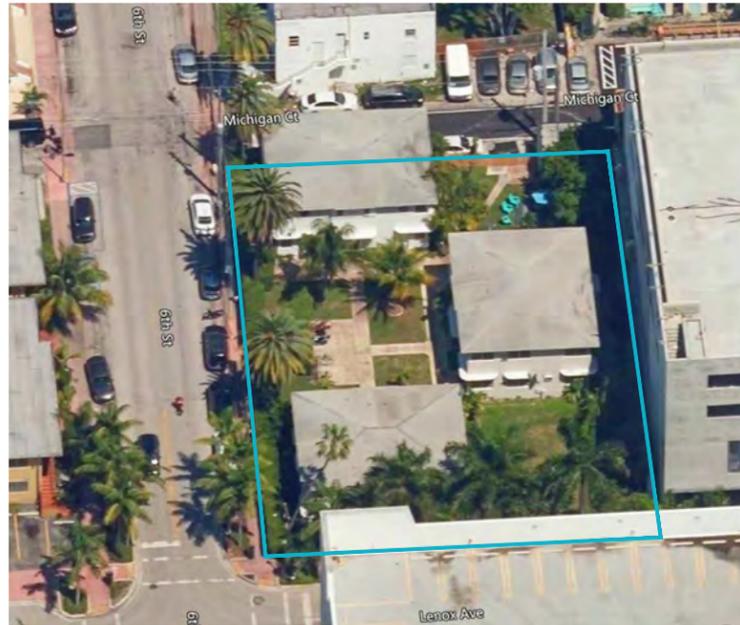
AERIAL PLAN 



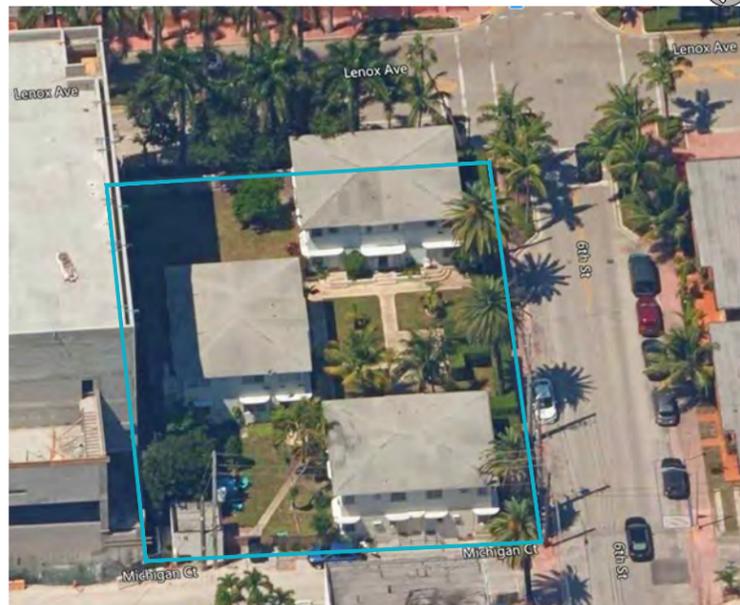
SITE AERIAL - NORTH



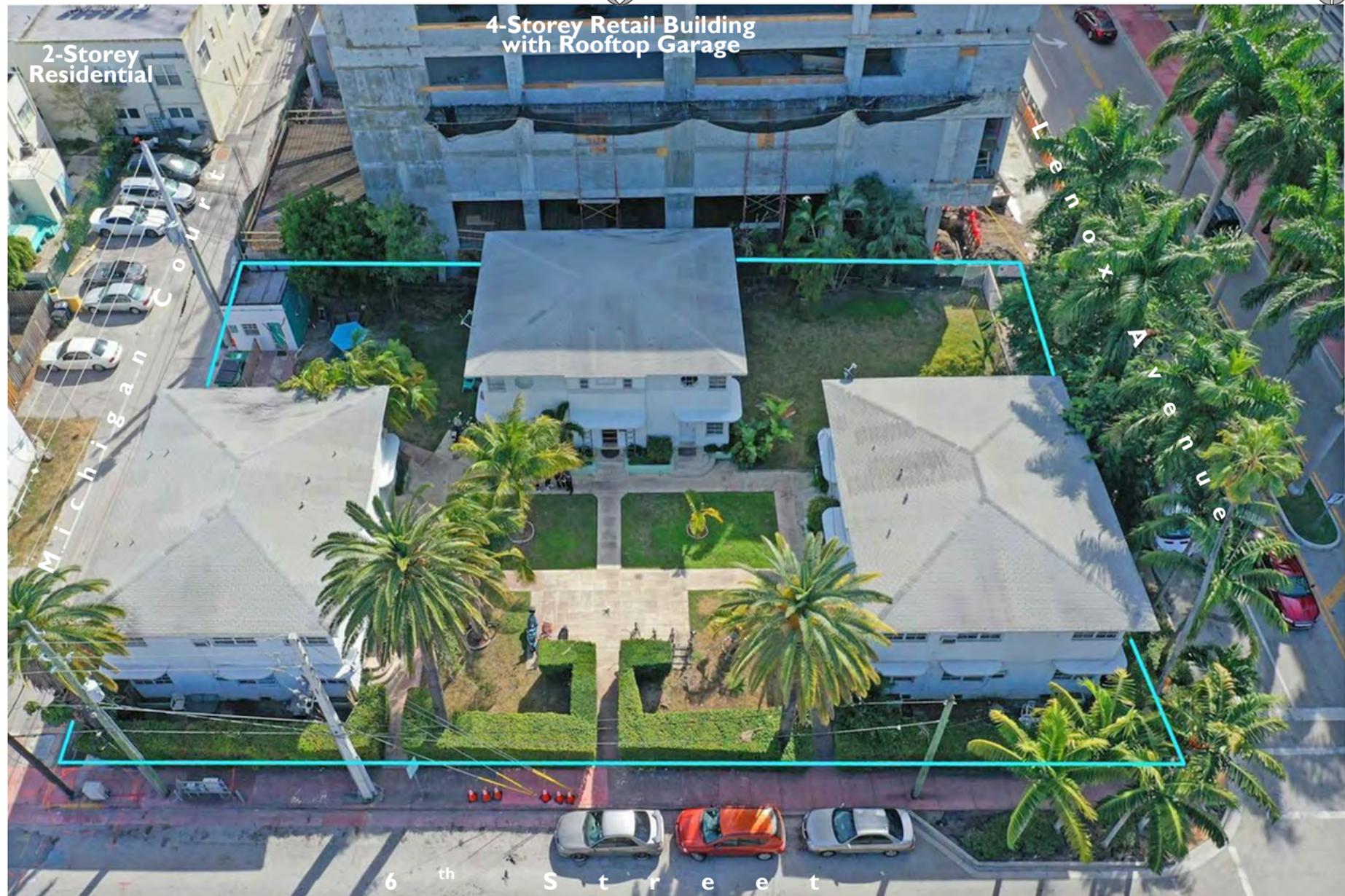
SITE AERIAL - SOUTH



SITE AERIAL - WEST



SITE AERIAL - EAST



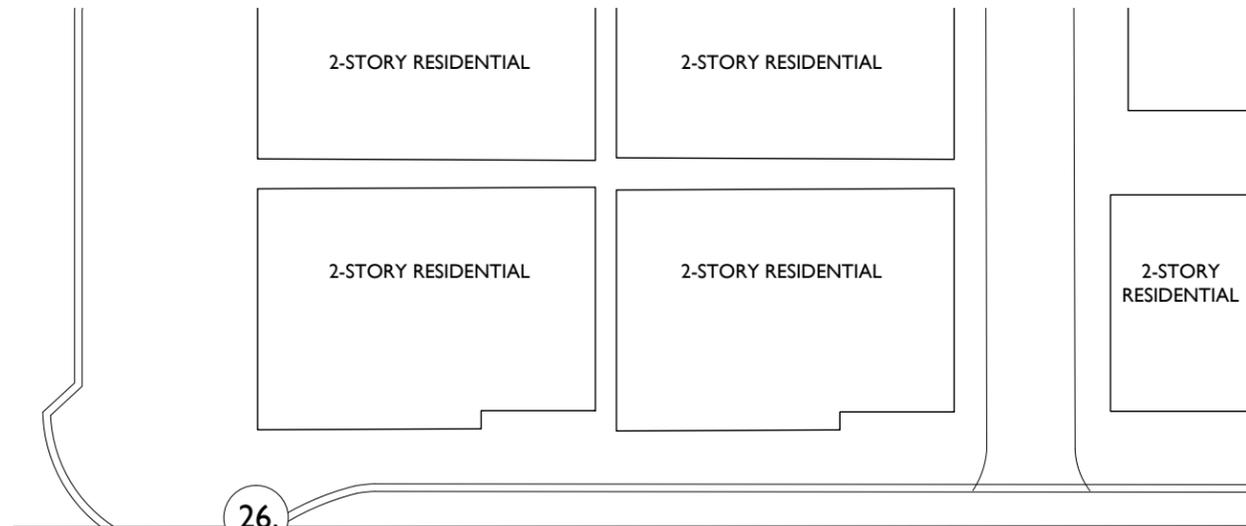
SITE AERIAL - NORTH



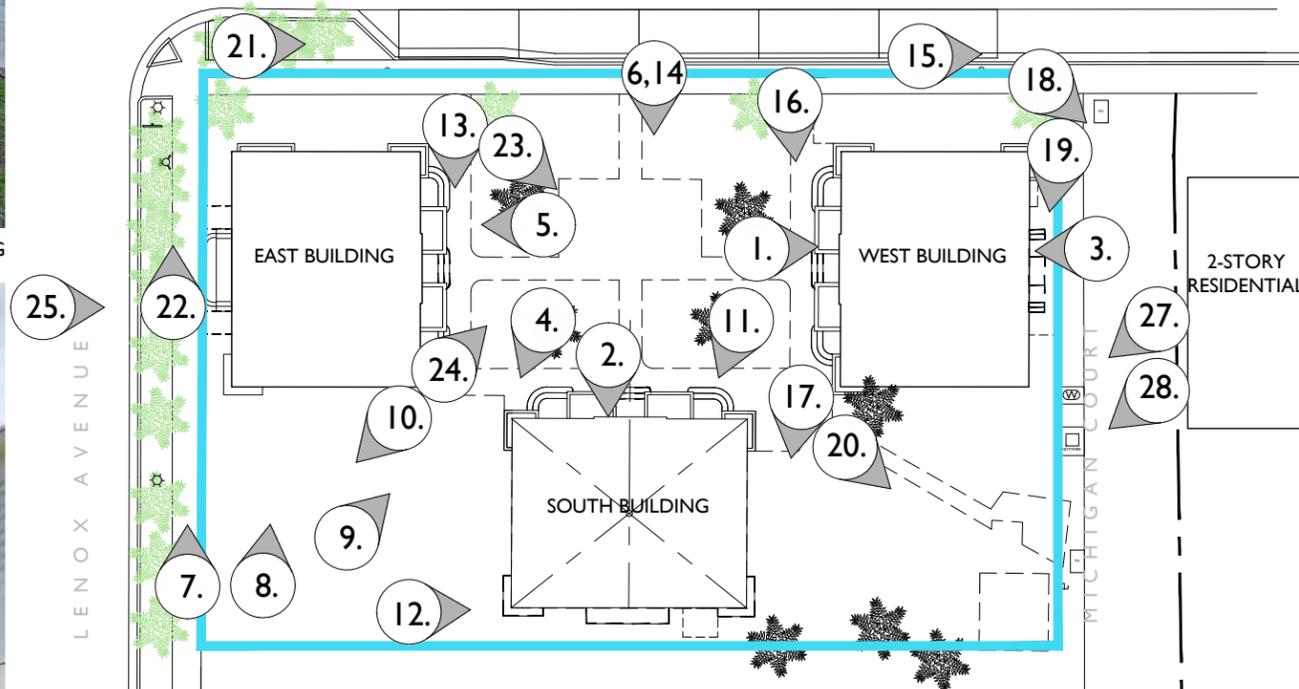
1. EAST BUILDING



2. SOUTH BUILDING



SIXTH STREET



5-STORY RETAIL BUILDING WITH A ROOFTOP GARAGE

2-STORY RESIDENTIAL

PHOTO LOCATIONS PLAN

**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

SITE  
PHOTO  
LOCATIONS

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER



3. OVERLAPPING ROUNDED CANOPIES



4. STRIPS OF WINDOWS WITH STREAMLINE SPANDREL



5. CIRCULAR ORNAMENTAL SCREENS



6. SYMMETRICAL SITE PLAN WITH ALIGNED VIEWS

**THE HOHAUSER**



2020-06-01  
 7. SIDEWALK ALONG LENOX AVENUE



2020-06-01  
 8. GREEN SPACE ALONG EAST SIDE OF THE SITE



2020-06-01  
 9. GREEN SPACE BETWEEN EAST AND SOUTH BUILDINGS



2020-06-01  
 10. SOUTH SIDE OF THE SITE FACING THE RETAIL BUILDING

SITE  
 PHOTOS

JENNIFER MCCONNEY FLORIDA LIC# AR93044  
 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2020

SCALE:  
 CHECK: JMcG  
 DATE: 12/14/2020  
 SHEET NUMBER

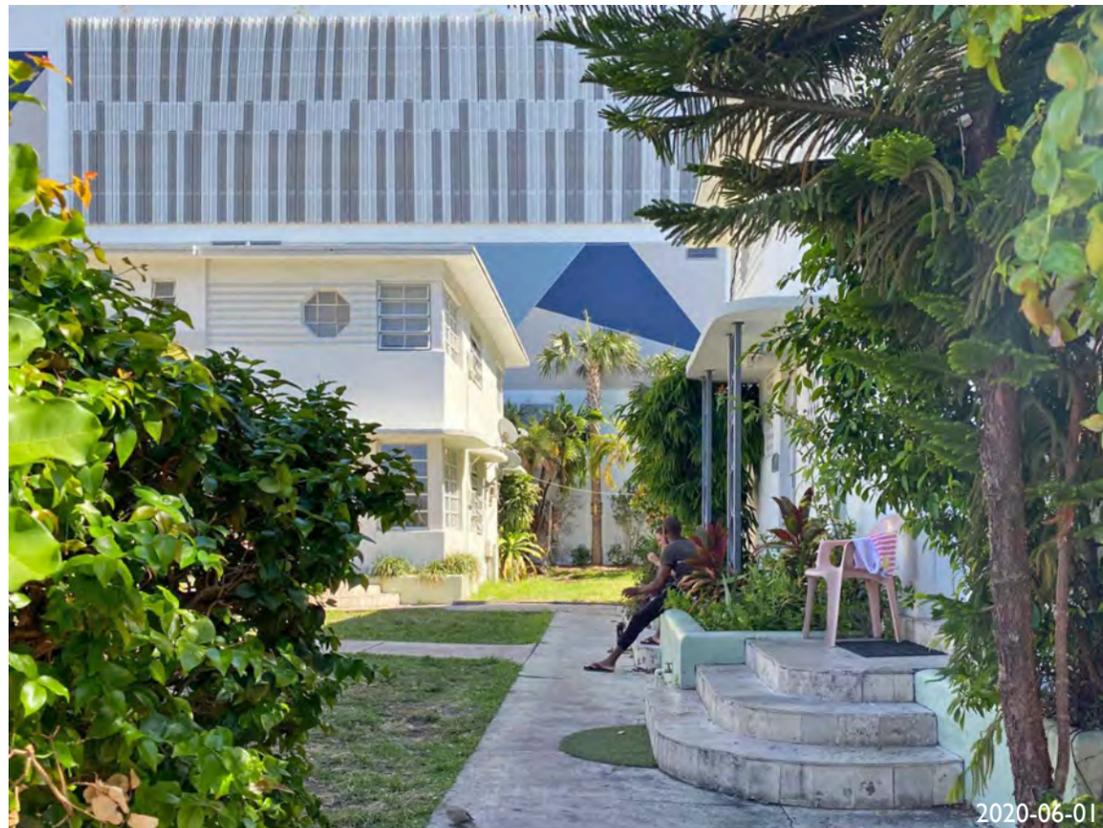
**THE HOHAUSER**



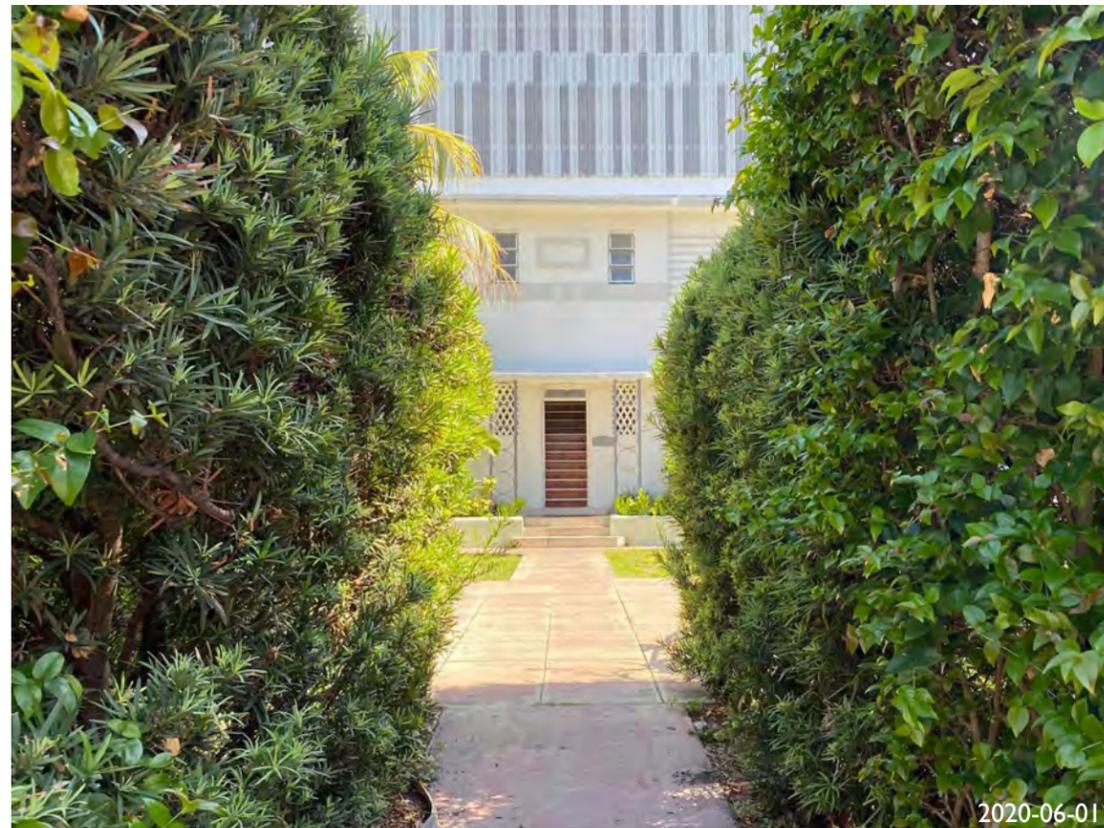
11. EXISTING SOUTH BUILDING



12. BACK OF SOUTH BUILDING AND ADJACENT RETAIL BUILDING



13. ENTRANCE OF EAST BUILDING



14. COURTYARD ENTRANCE

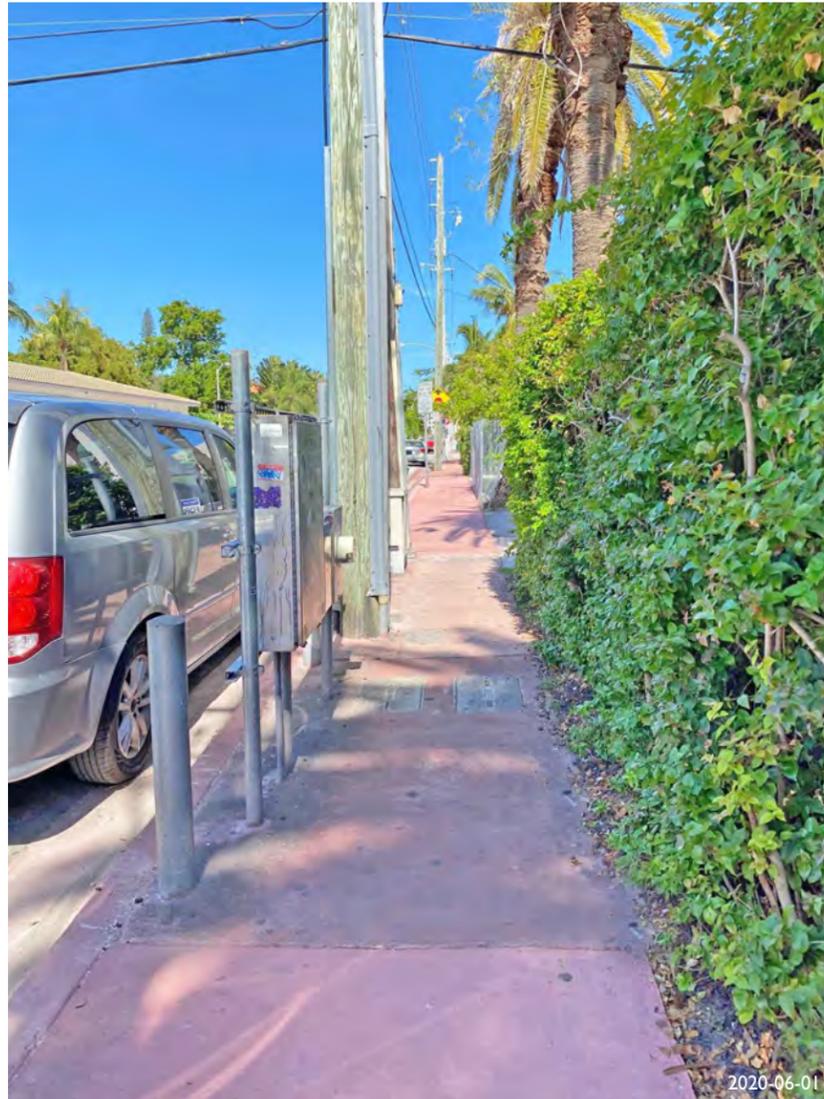
SITE  
 PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044  
 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2020

SCALE:  
 CHECK: JMcG  
 DATE: 12/14/2020  
 SHEET NUMBER

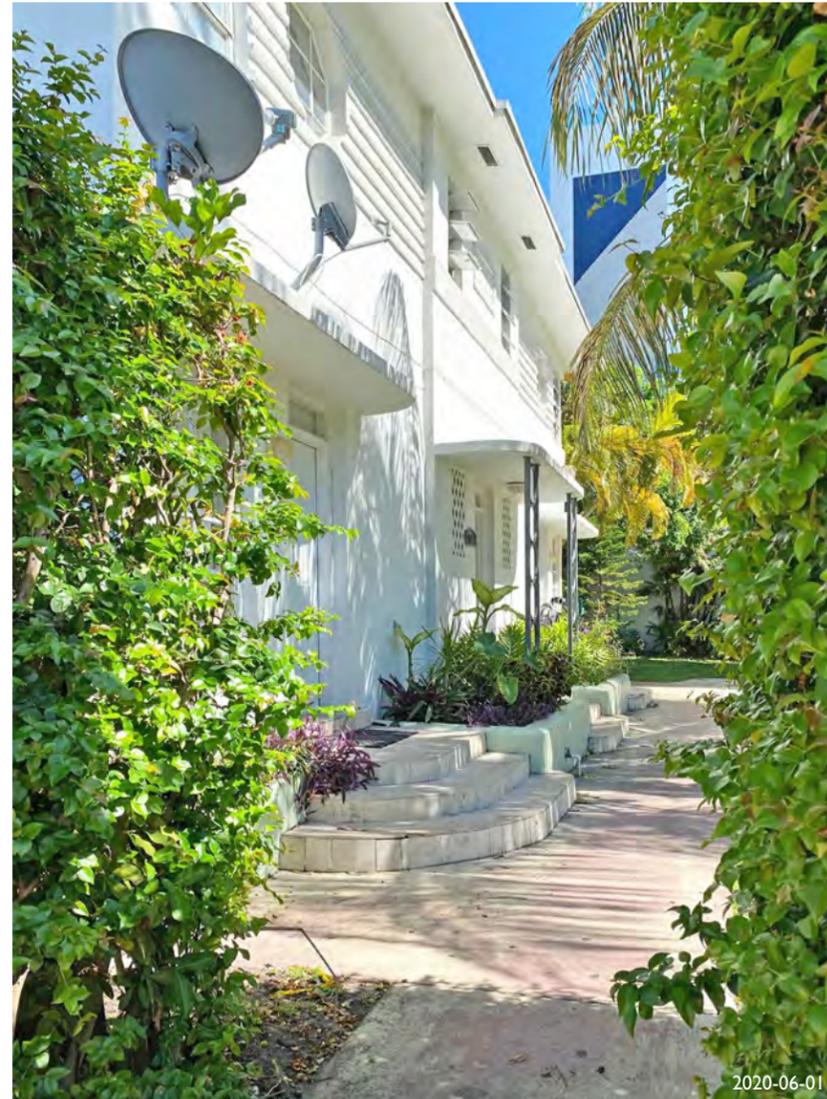
**THE HOHAUSER**

SITE  
PHOTOS



2020-06-01

15. SIDEWALK ALONG 6<sup>TH</sup> STREET



2020-06-01

16. EAST BUILDING ENTRANCE



2020-06-01

17. SIDE OF THE SOUTH BUILDING



18. VIEW FROM THE SITE TOWARDS MICHIGAN COURT



19. EAST BUILDING'S SIDE FACING MICHIGAN COURT



20. ACCESSORY BUILDING WITH LAUNDRY MACHINES



21. WEST BUILDING FACING SIDEWALK ALONG 6<sup>TH</sup> STREET



22. WEST BUILDING FACING LENOX AVENUE



23. BICYCLE RACKS IN THE COURTYARD



24. COURTYARD

SITE  
 PHOTOS

JENNIFER McCONNERY FLORIDA LIC# AR93044  
 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2020

SCALE:  
 CHECK: JMcG  
 DATE: 12/14/2020  
 SHEET NUMBER





25.VIEW TOWARDS THE SITE FROM LENOX AVENUE



26.VIEW TOWARDS THE SITE FROM 6<sup>TH</sup> STREET



27.VIEW TOWARDS THE SITE FROM MICHIGAN COURT



28.VIEW TOWARDS THE SITE FROM MICHIGAN COURT

SITE  
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER

**THE HOHAUSER**



2020-06-04

30. 550-562 MICHIGAN AVENUE



2020-06-04

31. 1020 6<sup>TH</sup> STREET



2020-06-04

29. 550-562 MICHIGAN AVENUE



2020-06-04

32. 1020 6<sup>TH</sup> STREET

SURROUNDING  
BUILDING  
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

**THE HOHAUSER**



2020-06-04  
34. 1007 6TH STREET



2020-06-04  
35. 1035 6TH STREET



2020-06-04  
33. 1007 6TH STREET



2020-06-04  
36. 1035 6TH STREET

SURROUNDING  
BUILDING  
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER

**THE HOHAUSER**



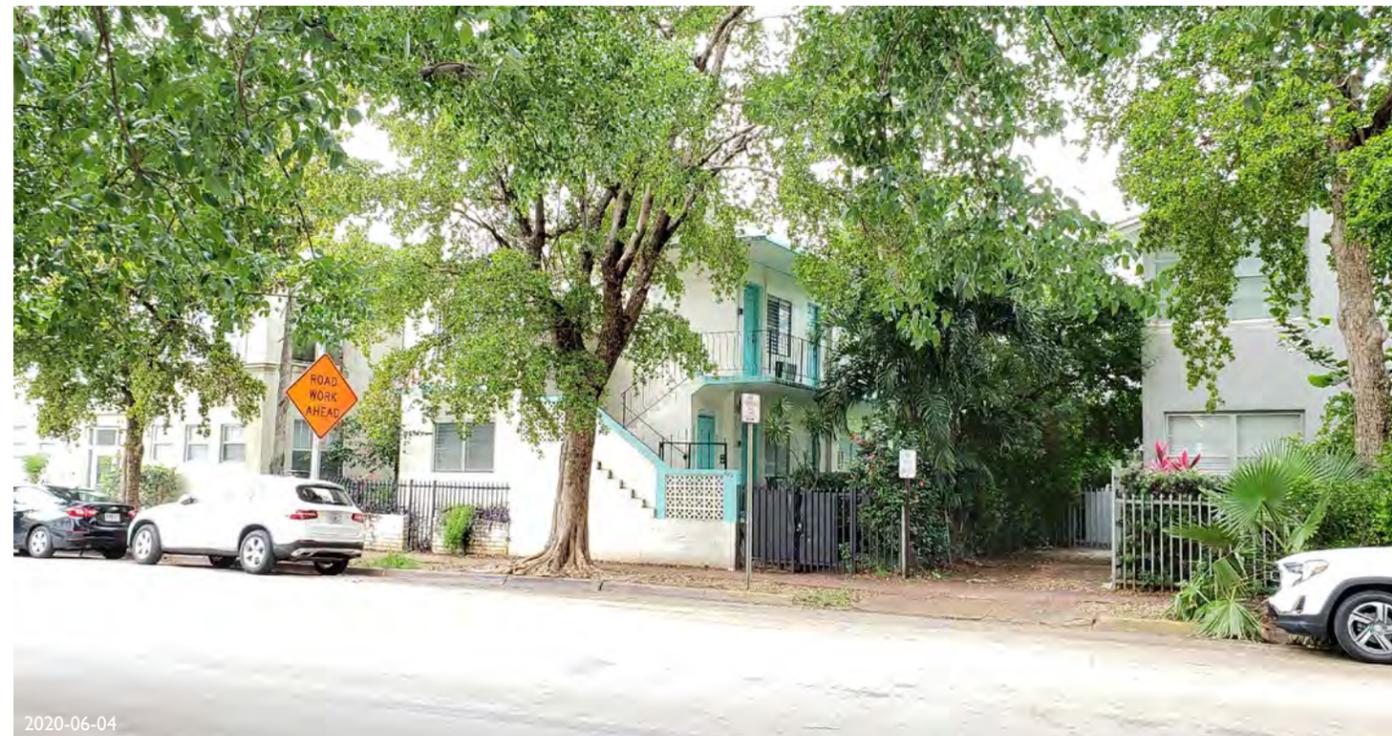
38. 532 MICHIGAN AVENUE



39. 544 MICHIGAN AVENUE



37. 532 MICHIGAN AVENUE



40. 544 MICHIGAN AVENUE

SURROUNDING  
BUILDING  
PHOTOS

JENNIFER McCONNERY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



42.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



43.VIEW OF GARAGE/RETAIL BUILDING FACING SOUTHWEST



41.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



44.VIEW OF RESIDENTIAL BUILDING FACING WEST

**SURROUNDING  
BUILDING  
PHOTOS**

JENNIFER McCONNERY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



2020-06-04  
46.VIEW OF CHURCH FACING WEST



2020-06-04  
47.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHWEST



2020-06-04  
45.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



2020-06-04  
48.VIEW OF CHURCH FACING NORTHWEST

SURROUNDING  
BUILDING  
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044

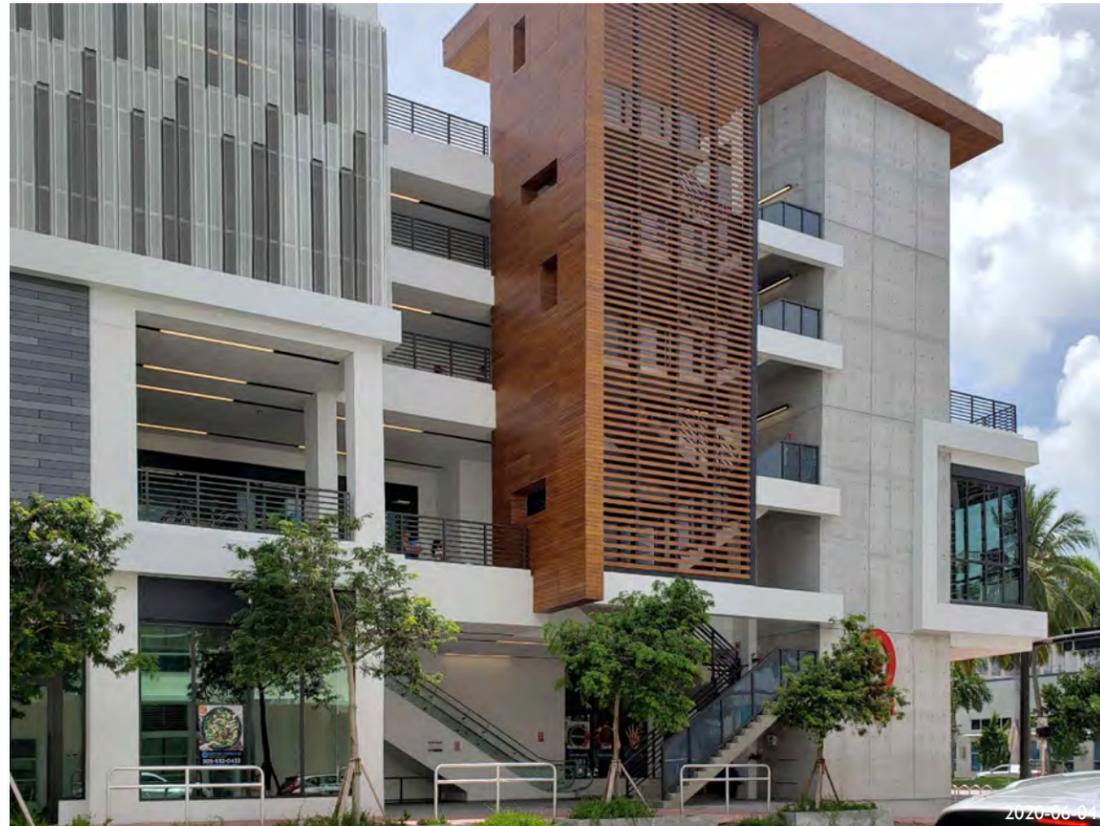
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



50.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHEAST



51.VIEW OF GARAGE/RETAIL BUILDING FACING NORTH



49.VIEW OF RETAIL/GARAGE BUILDING FACING NORTHEAST



52.VIEW OF RESIDENTIAL BUILDING FACING SOUTH

**SURROUNDING  
BUILDING  
PHOTOS**

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER



54.VIEW OF CHURCH FACING NORTH



55.VIEW OF RETAIL/GARAGE BUILDING NORTHEAST



53.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



56.VIEW OF RETAIL/GARAGE BUILDING NORTHWEST

SURROUNDING  
BUILDING  
PHOTOS

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. © 2020

SCALE:  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER

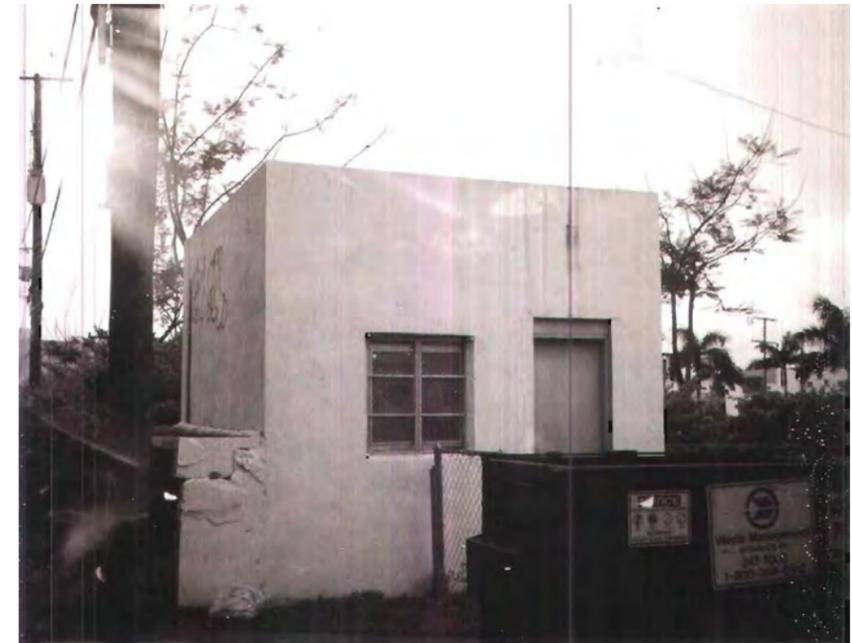
**THE HOHAUSER**



EXISTING EAST AND WEST BUILDINGS  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



EXISTING EAST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



EXISTING LAUNDRY ACCESSORY STRUCTURE  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



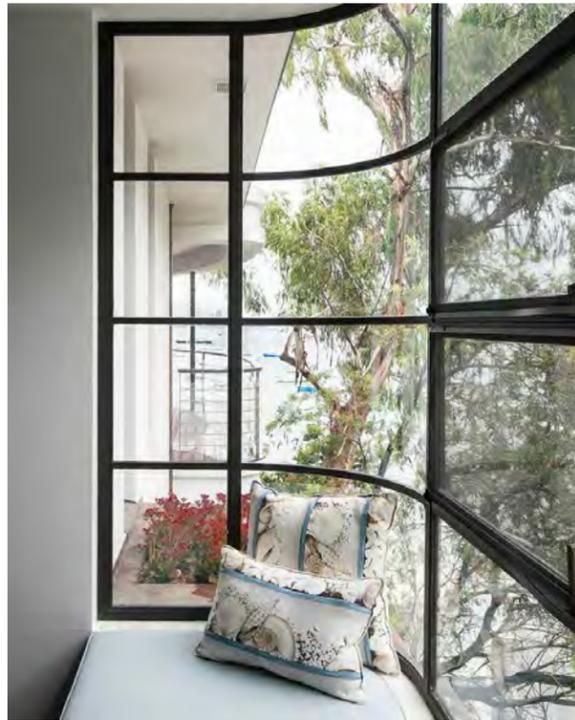
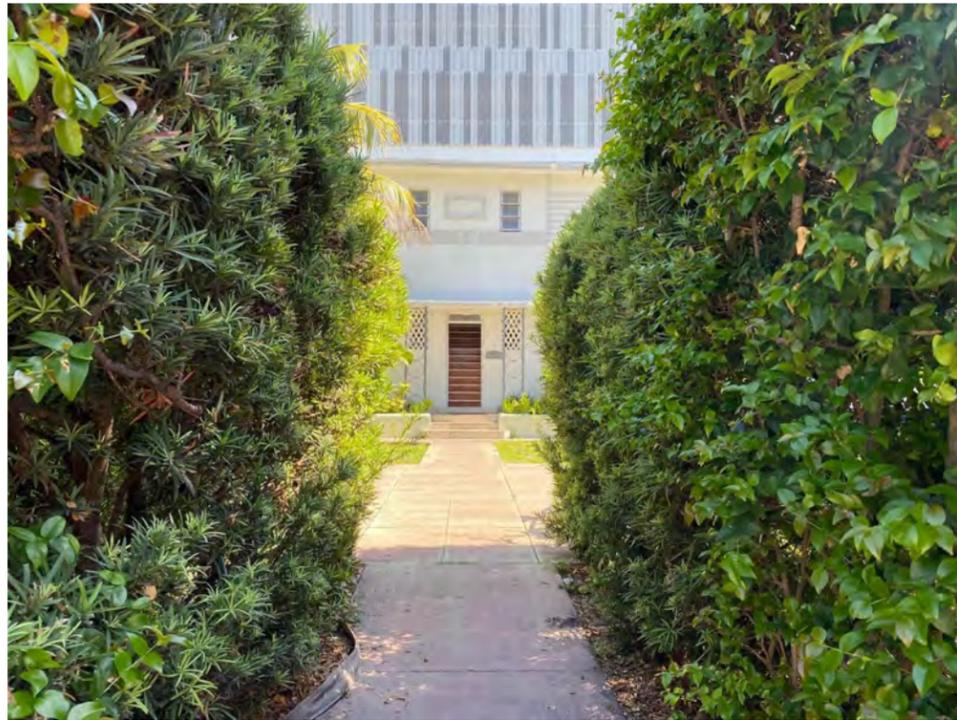
EXISTING EAST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963



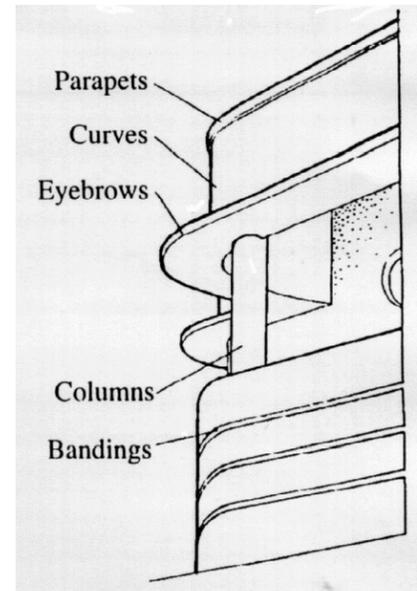
EXISTING SOUTH BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963



EXISTING WEST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963

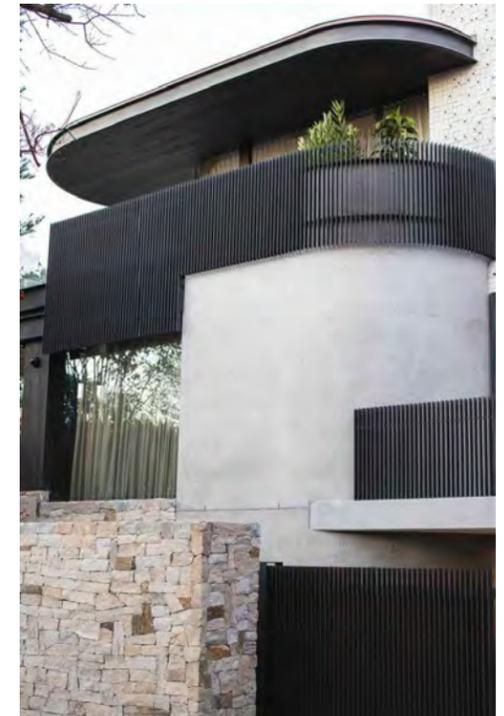
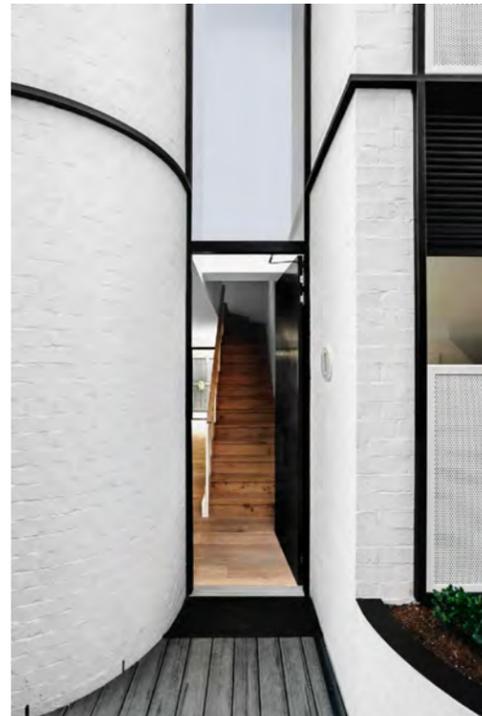


CONCEPTUAL  
 IMAGES



JENNIFER McCONNAY FLORIDA LIC# AR93044  
 ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
 HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
 NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
 THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
 ARCHITECTURE, INC. (c) 2020

SCALE:  
 CHECK: JMcG  
 DATE: 12/14/2020  
 SHEET NUMBER



**THE HOHAUSER**



BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTH



BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTHWEST

**PROPOSED  
BUILDING  
MASSING**

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE:  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER



**THE HOHAUSER**

EXISTING  
SITE  
ELEVATIONS

JENNIFER McCONNERY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1"=40'-0"

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

PROPOSED  
SITE  
ELEVATIONS

JENNIFER McCONNAY FLORIDA LIC# AR93044

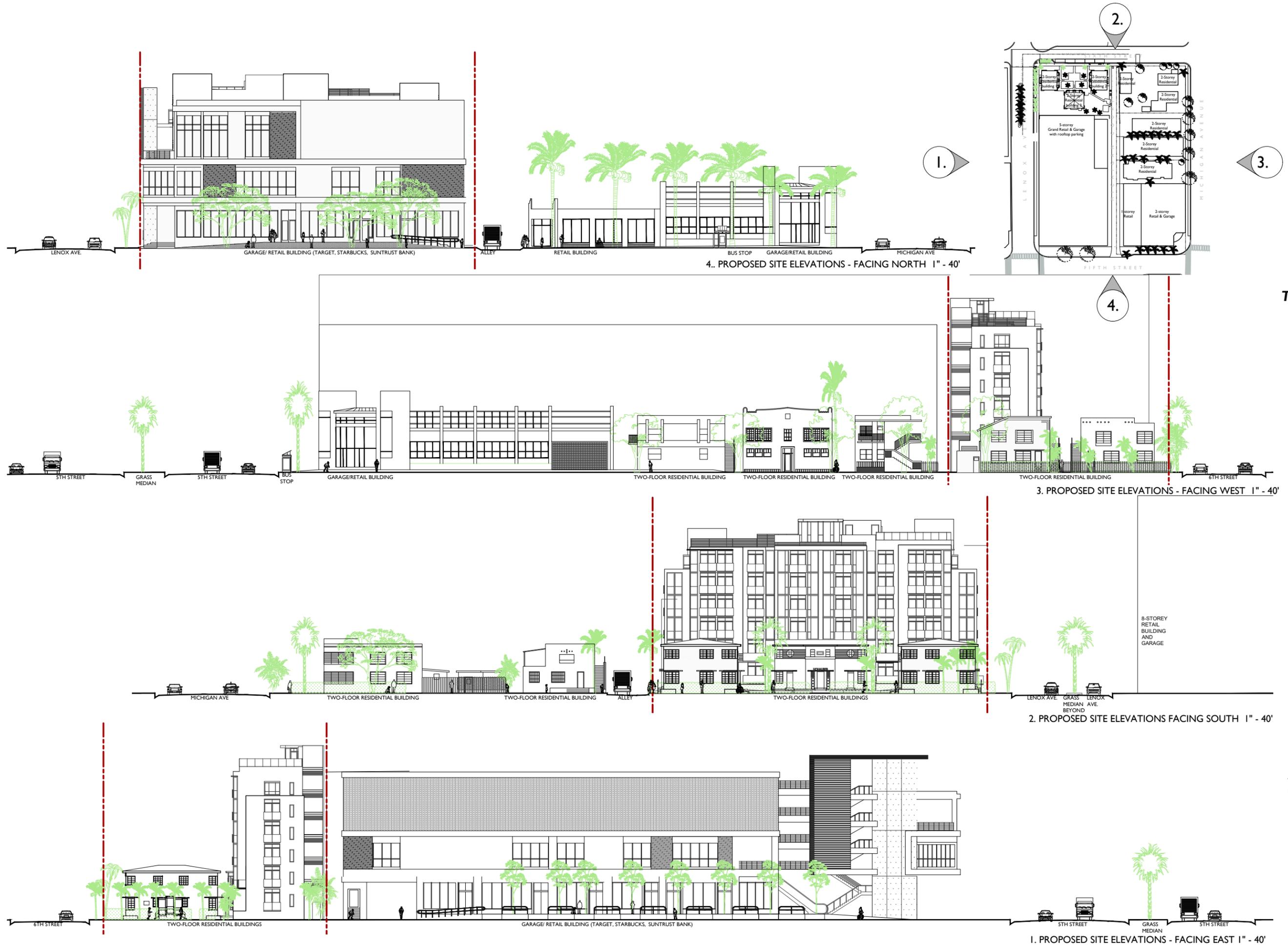
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1"=40'-0"

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



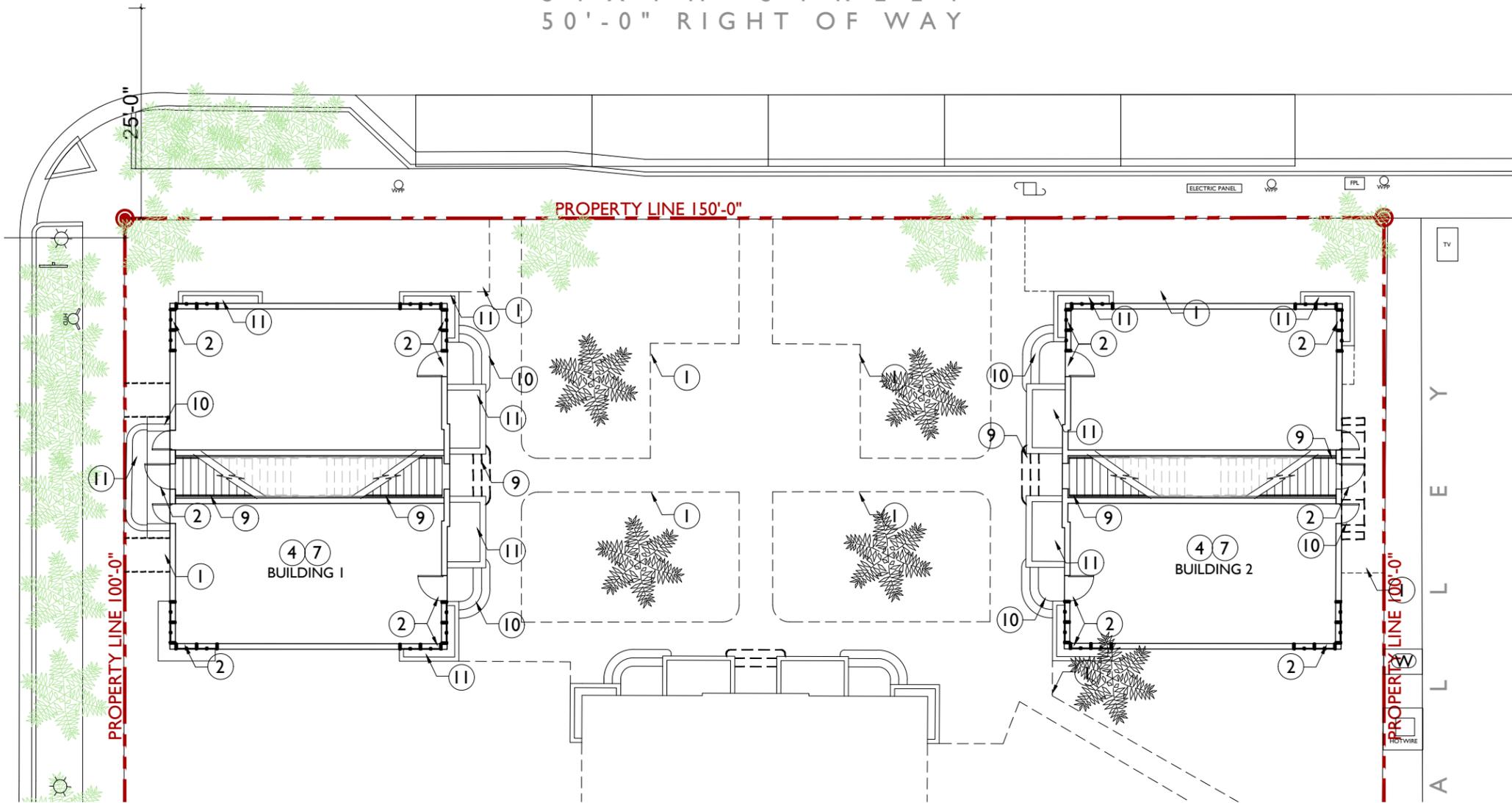
4.. PROPOSED SITE ELEVATIONS - FACING NORTH 1" - 40'

3. PROPOSED SITE ELEVATIONS - FACING WEST 1" - 40'

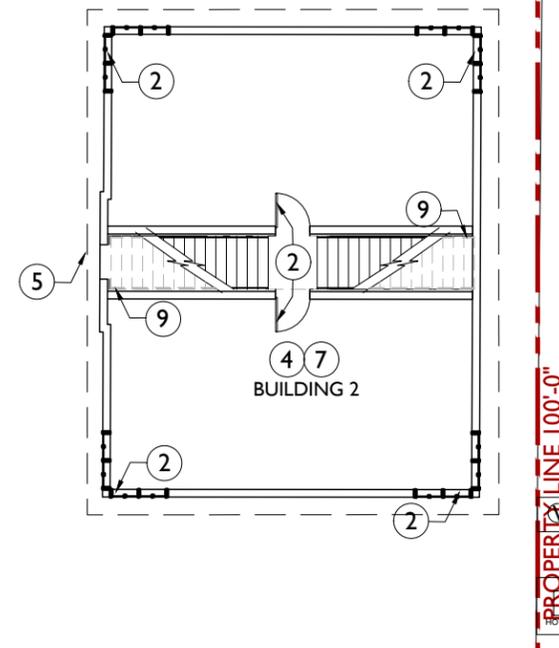
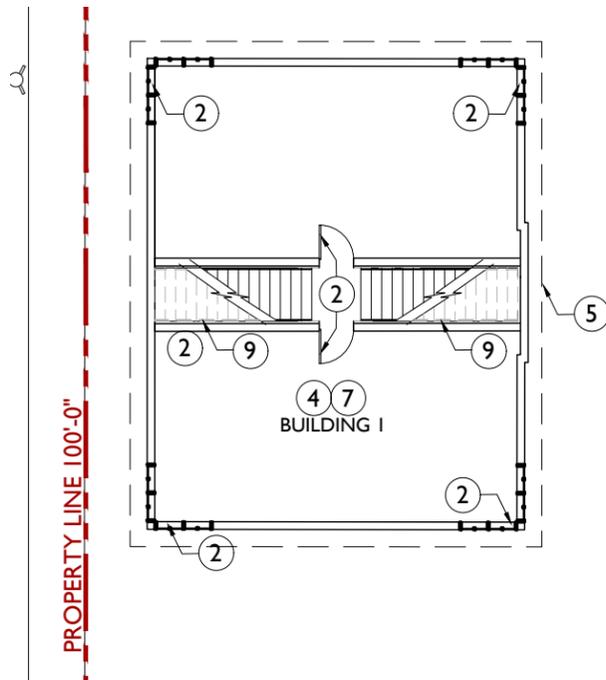
2. PROPOSED SITE ELEVATIONS FACING SOUTH 1" - 40'

1. PROPOSED SITE ELEVATIONS - FACING EAST 1" - 40'





DEMOLITION PLAN 1ST FLOOR BUILDINGS 1 AND 2  
1/16" = 1'-0"



DEMOLITION PLAN 2ND FLOOR BUILDINGS 1 AND 2  
1/16" = 1'-0"

DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② NON-HISTORIC WINDOWS AND DOORS TO BE REMOVED
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ INTERIOR WALLS AND FLOORS TO BE REMOVED
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED

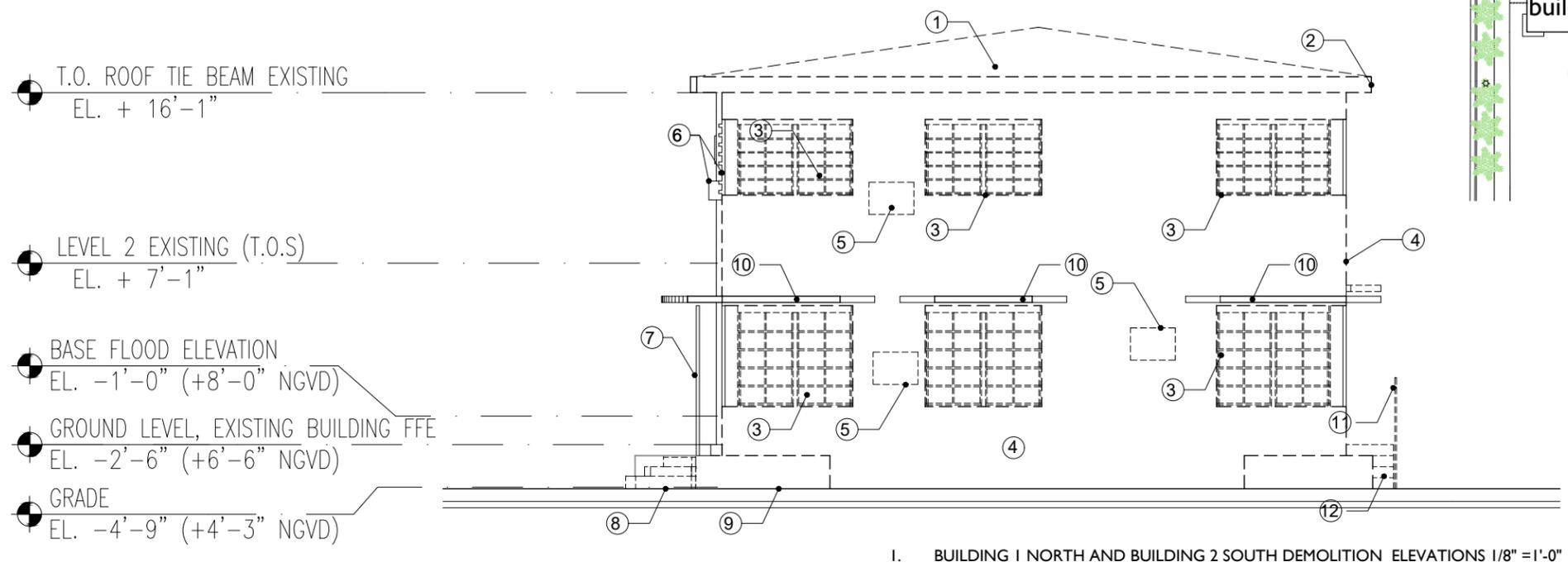
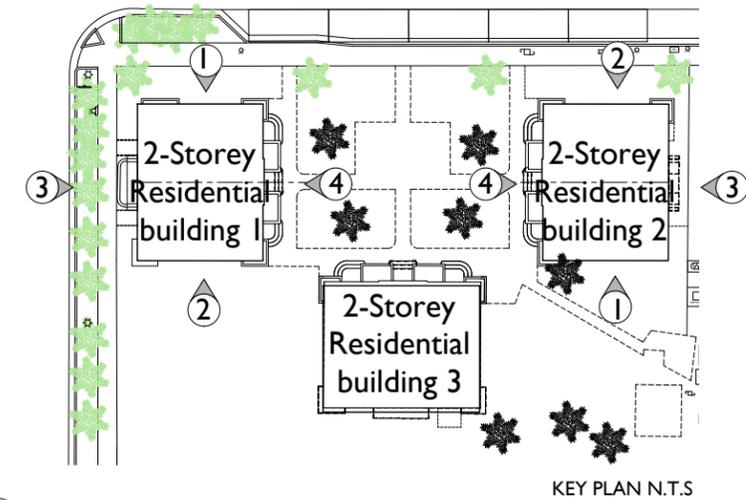
JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. © 2020

SCALE: 1/32" = 1'-0"

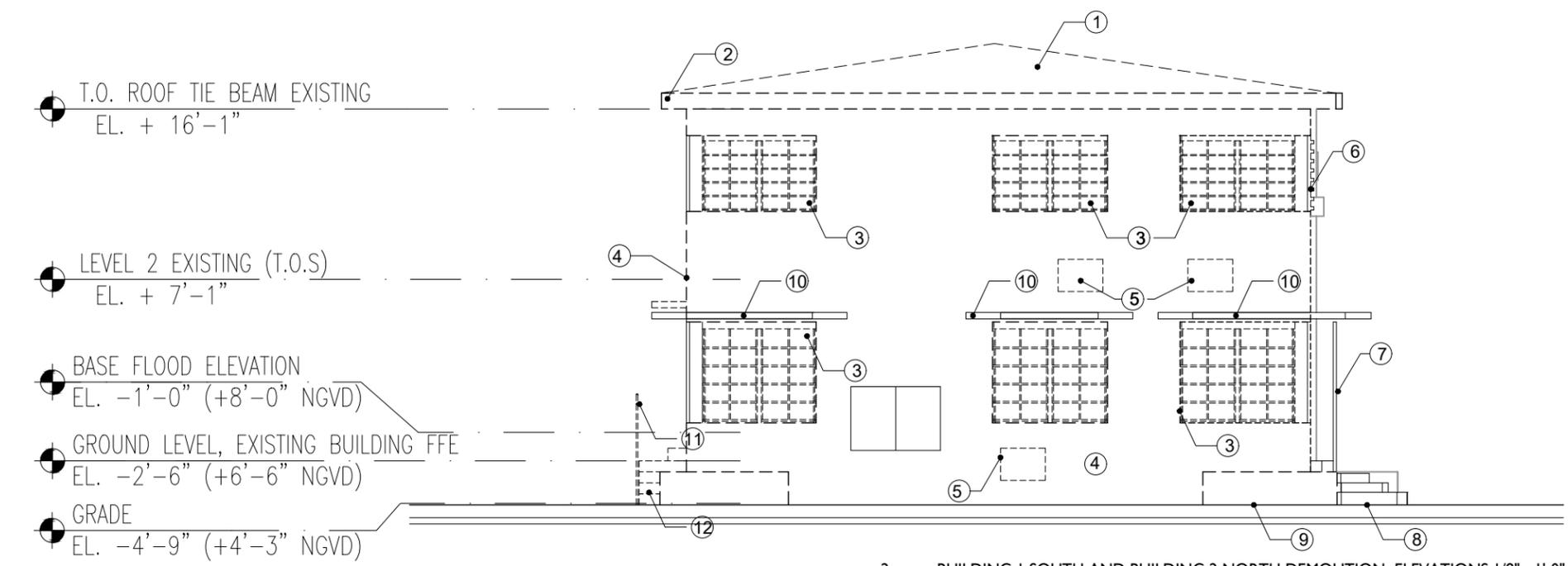
CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



1. BUILDING 1 NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8" = 1'-0"



2. BUILDING 1 SOUTH AND BUILDING 2 NORTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

**DEMOLITION LEGEND:**

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED
- ⑩ STUCCO EYEBROW TO BE REPAIRED
- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

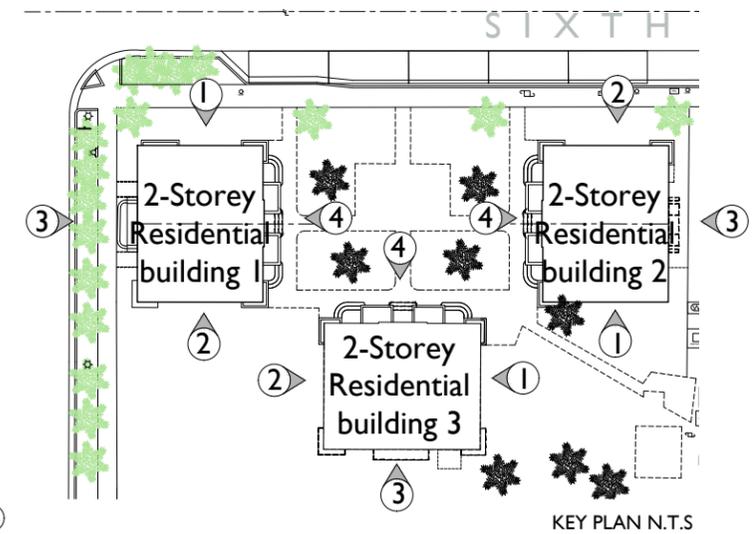
**NOTES:**

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

**BUILDINGS 1  
AND 2  
DEMOLITION  
ELEVATIONS  
AND NOTES**

JENNIFER McCONNERY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1/32"=1'-0"  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER



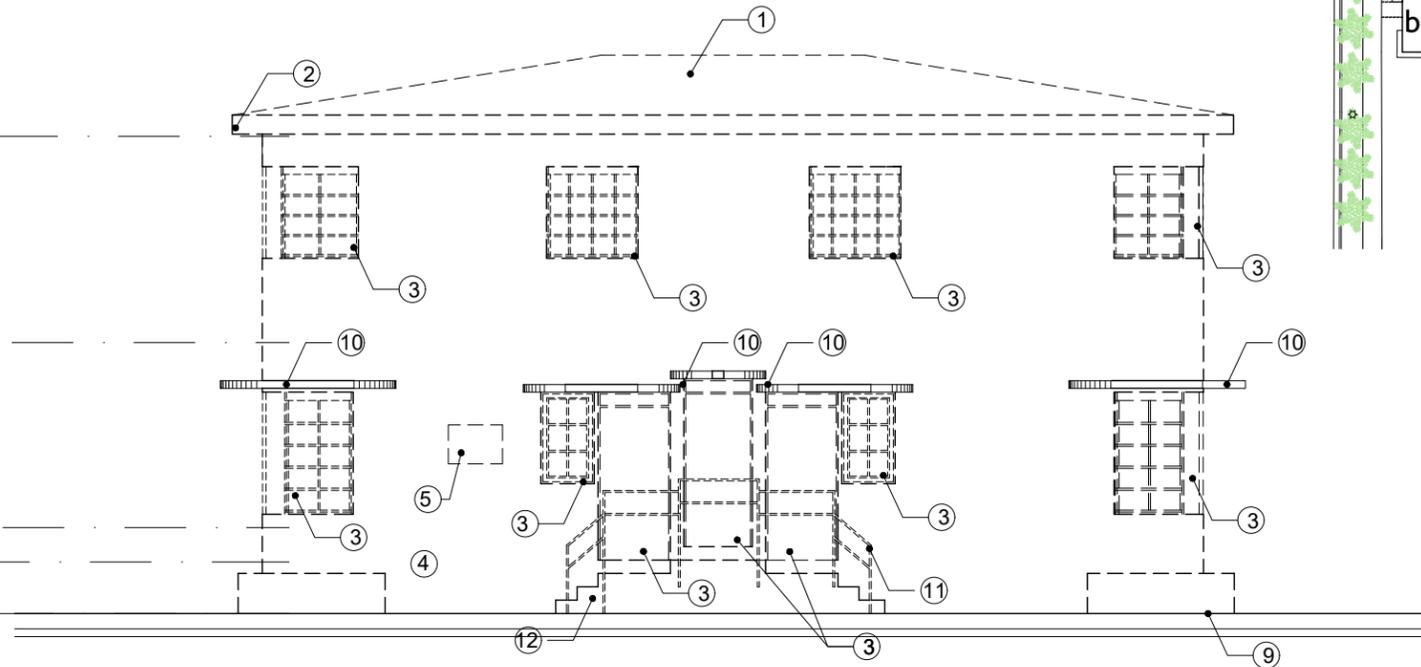
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



3. BUILDING 1 WEST AND BUILDING 2 EAST DEMOLITION ELEVATION 1/8" = 1'-0"

**DEMOLITION LEGEND:**

① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

② REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

⑨ STUCCO PLANTER TO BE REPAIRED

⑩ STUCCO EYEBROW TO BE REPAIRED

⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

⑫ CONCRETE STAIRS TO BE REPAIRED

⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

**NOTES:**

PREPARE FACADES FOR PAINTING. PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

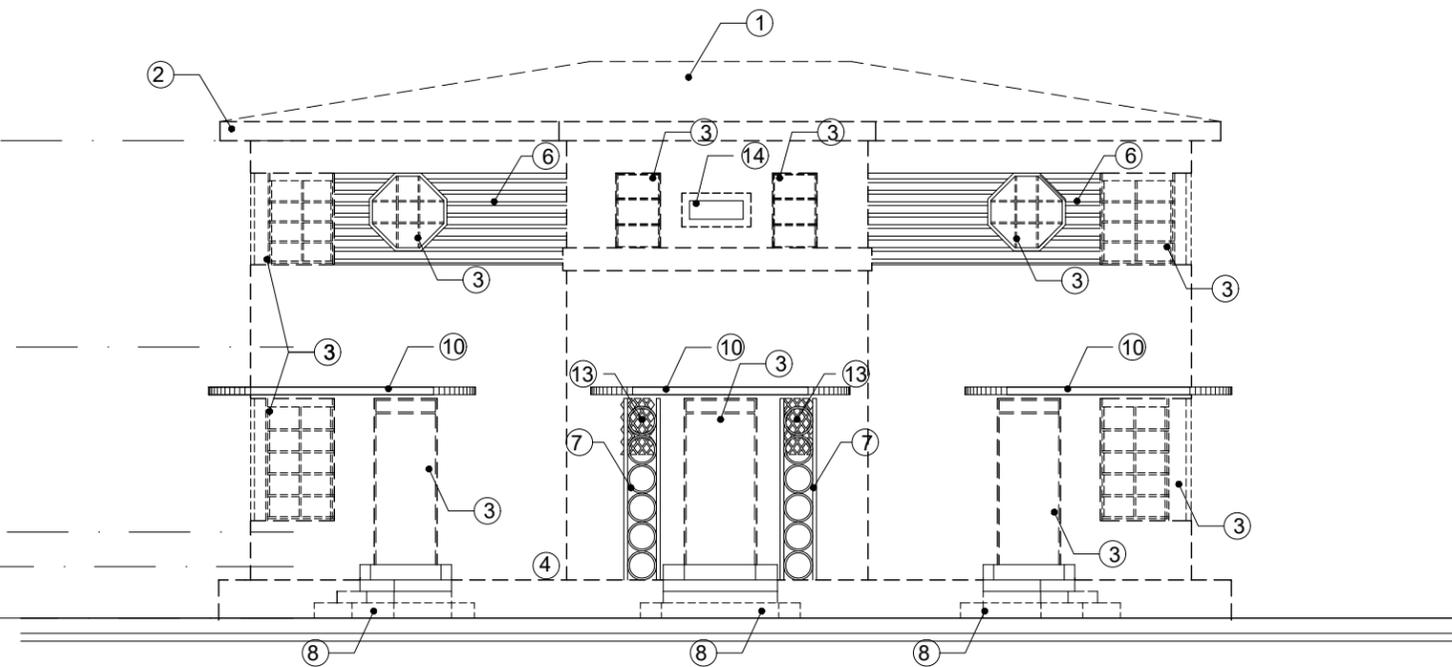
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



4. BUILDING 2 WEST AND BUILDING 1 EAST DEMOLITION BUILDING ELEVATION 1/8" = 1'-0"

EXISTING  
BUILDING 3  
DEMOLITION  
ELEVATIONS  
AND NOTES

JENNIFER McCONNERY FLORIDA LIC# AR93044

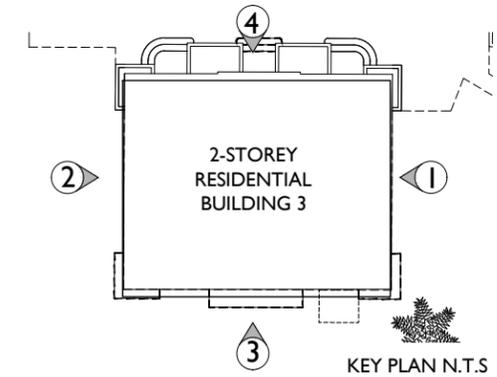
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1/32"=1'-0"

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



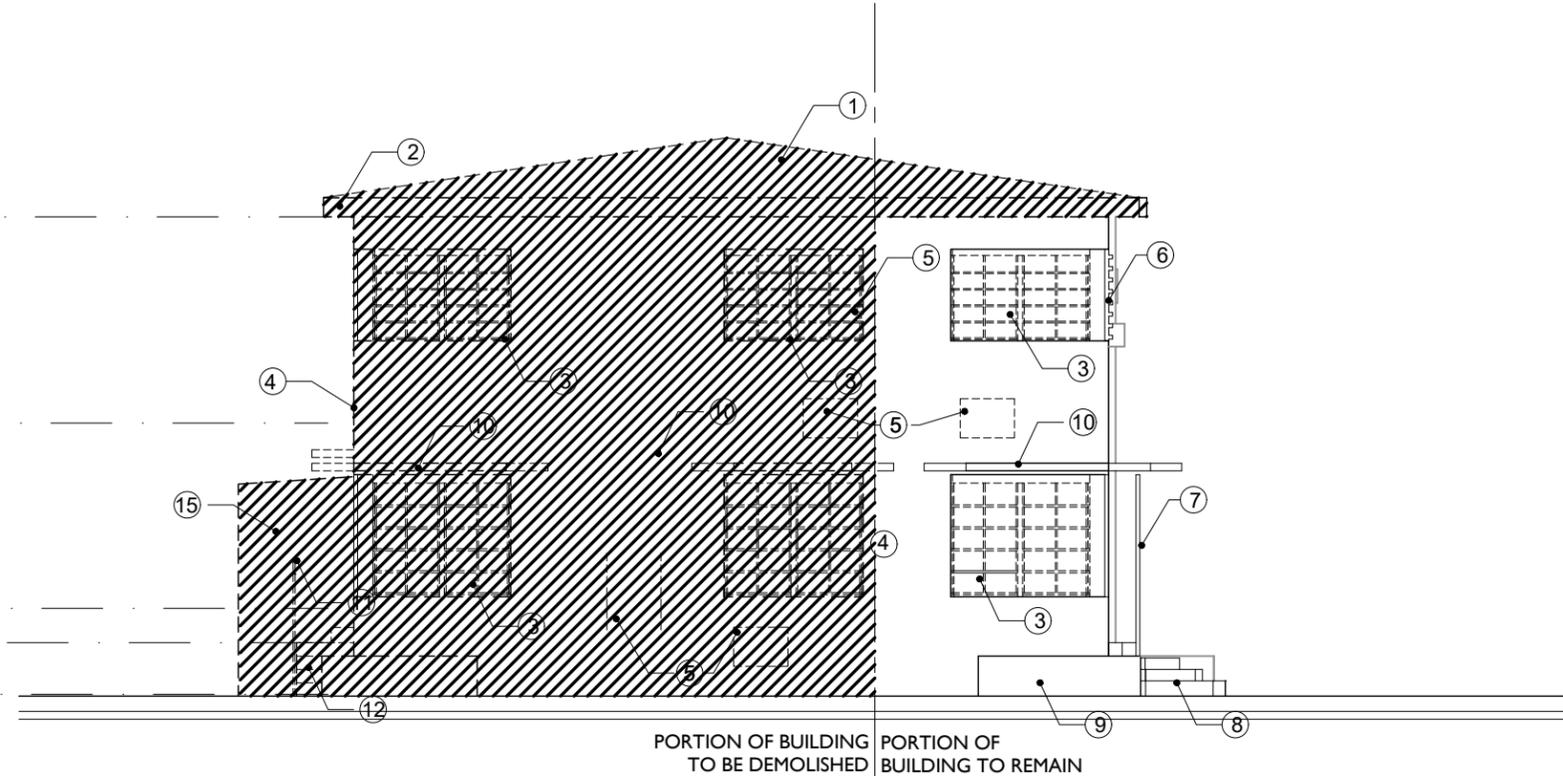
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



1. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

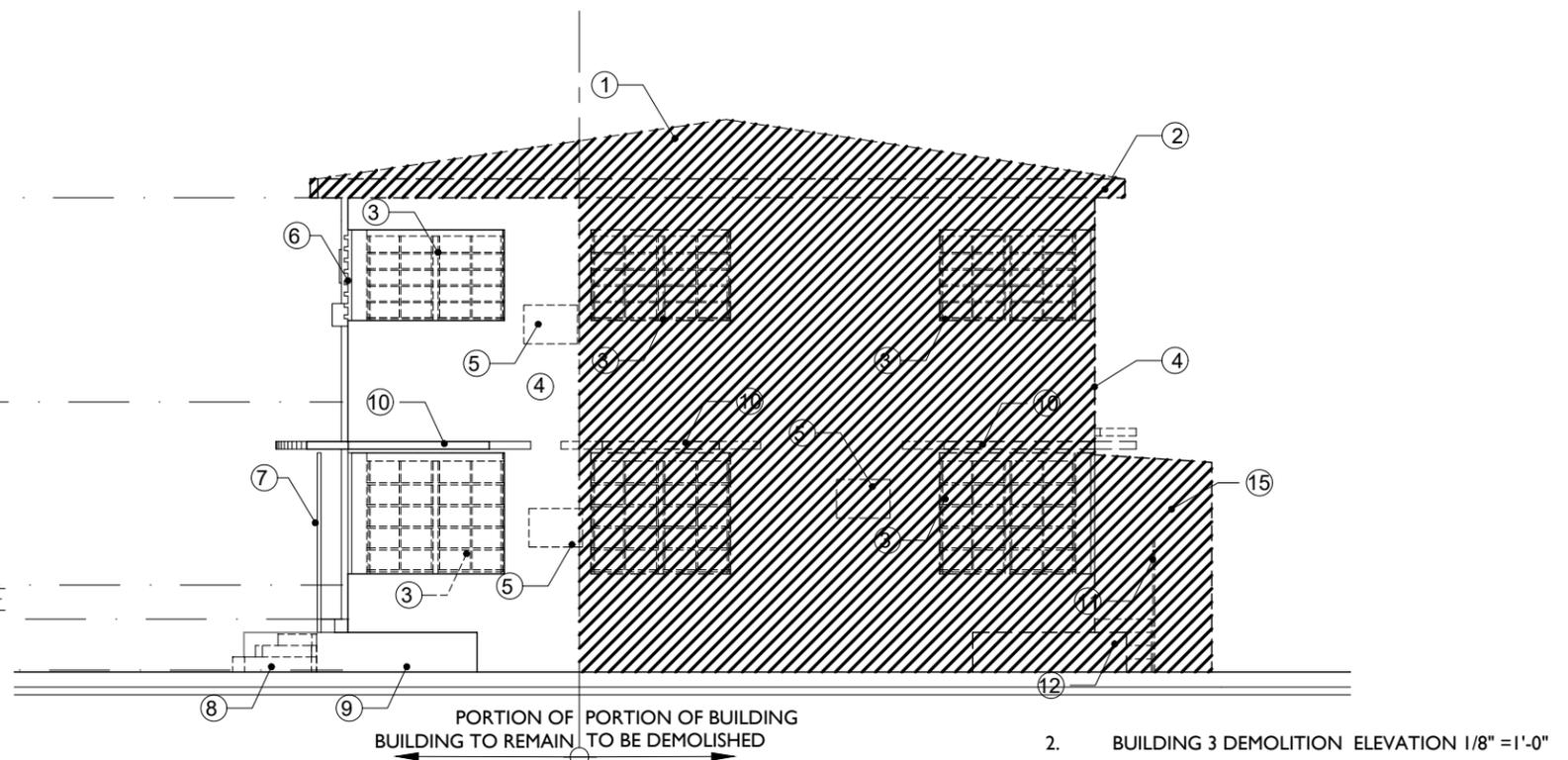
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



2. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:  
PREPARE FACADES FOR PAINTING, PRESSURE  
CLEANING, WATERPROOFING AROUND  
WINDOWS, AND FOR ANY REPAIR OF LOOSE  
STUCCO

 DENOTES PORTION OF BUILDING TO BE DEMOLISHED

**EXISTING  
BUILDING 3  
DEMOLITION  
ELEVATIONS  
AND NOTES**

JENNIFER McCONNERY FLORIDA LIC# AR93044

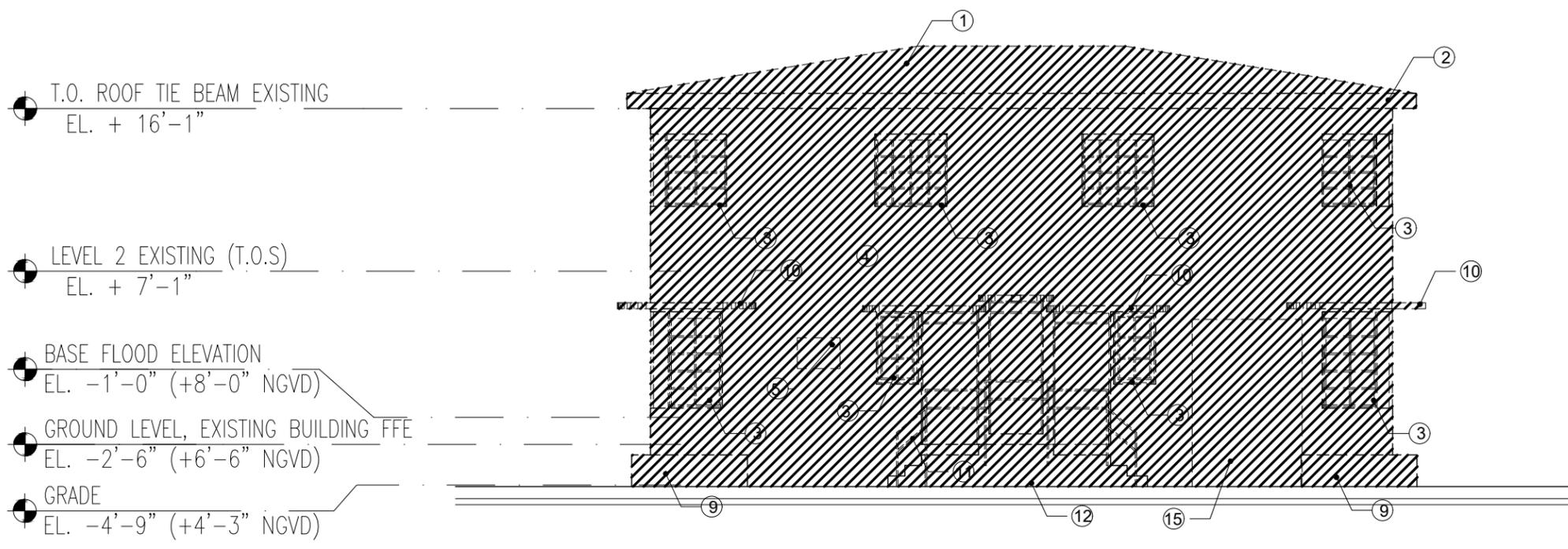
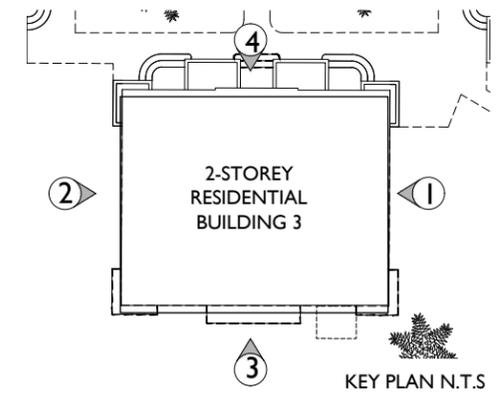
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1/32"=1'-0"

CHECKED: JMcG

DATE: 12/14/2020

SHEET NUMBER

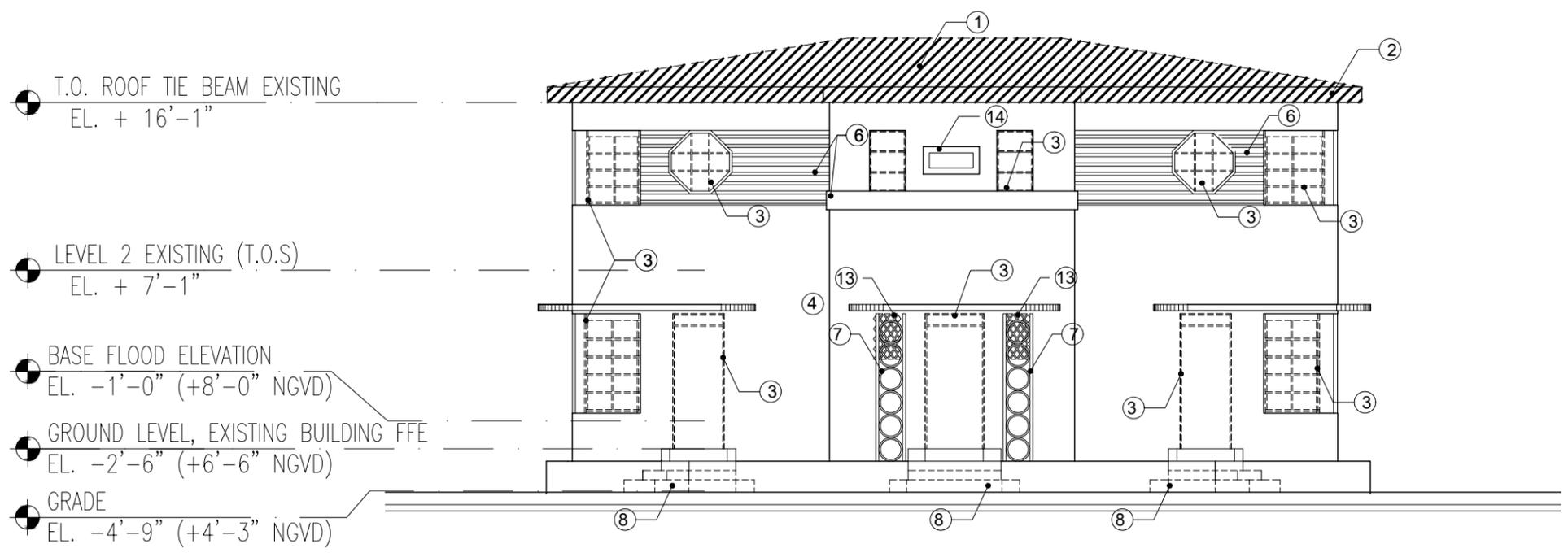
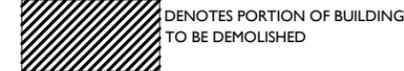


3. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

**DEMOLITION LEGEND:**

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:  
PREPARE FACADES FOR PAINTING, PRESSURE  
CLEANING, WATERPROOFING AROUND  
WINDOWS, AND FOR ANY REPAIR OF LOOSE  
STUCCO



4. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

1-STORY  
CATHOLIC CHURCH

RESIDENTIAL

RESIDENTIAL

2-STORY  
RESIDENTIAL

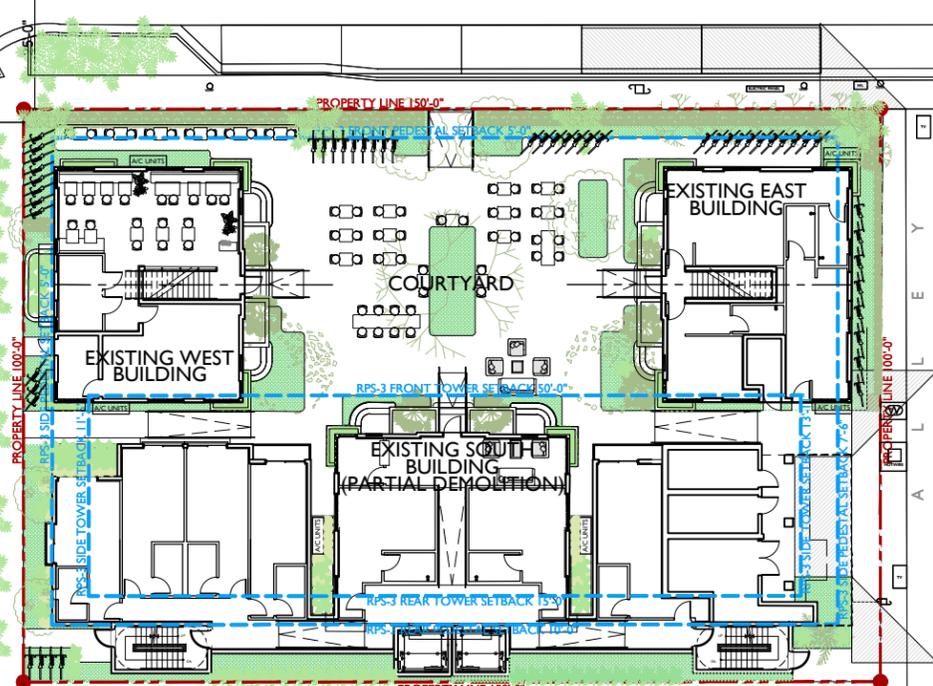
2-STORY  
RESIDENTIAL

2-STORY  
RESIDENTIAL

SIXTH STREET  
50'-0" RIGHT OF WAY

LENOX AVENUE  
70'-0" TOTAL RIGHT OF WAY

5-STORY GRAND RETAIL  
& GARAGE WITH  
ROOFTOP PARKING



2-STORY  
RESIDENTIAL

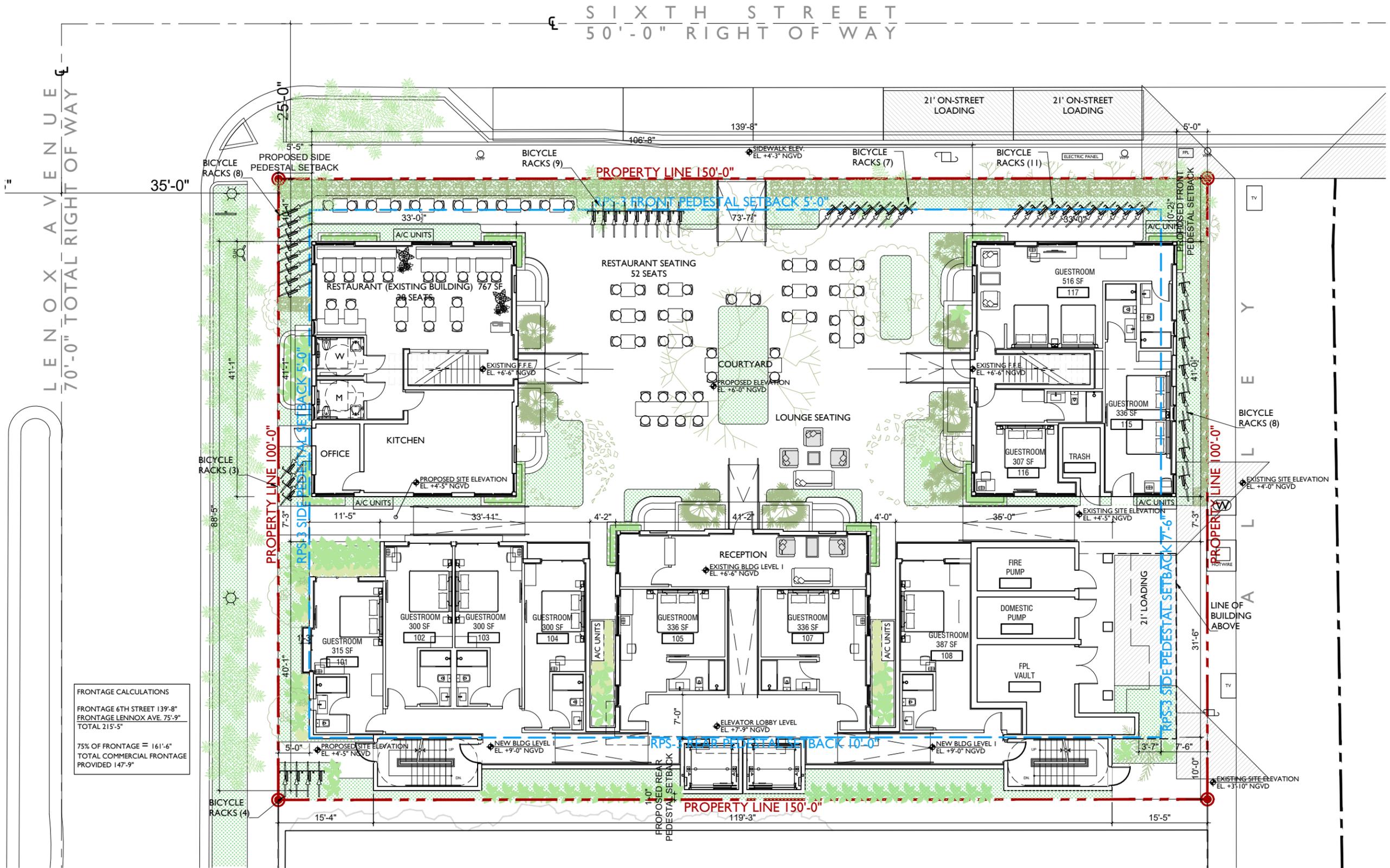
2-STORY  
RESIDENTIAL

2-STORY  
RESIDENTIAL

2-STORY  
RESIDENTIAL

2-STORY  
RESIDENTIAL

5-STORY GRAND RETAIL  
& GARAGE WITH  
ROOFTOP PARKING

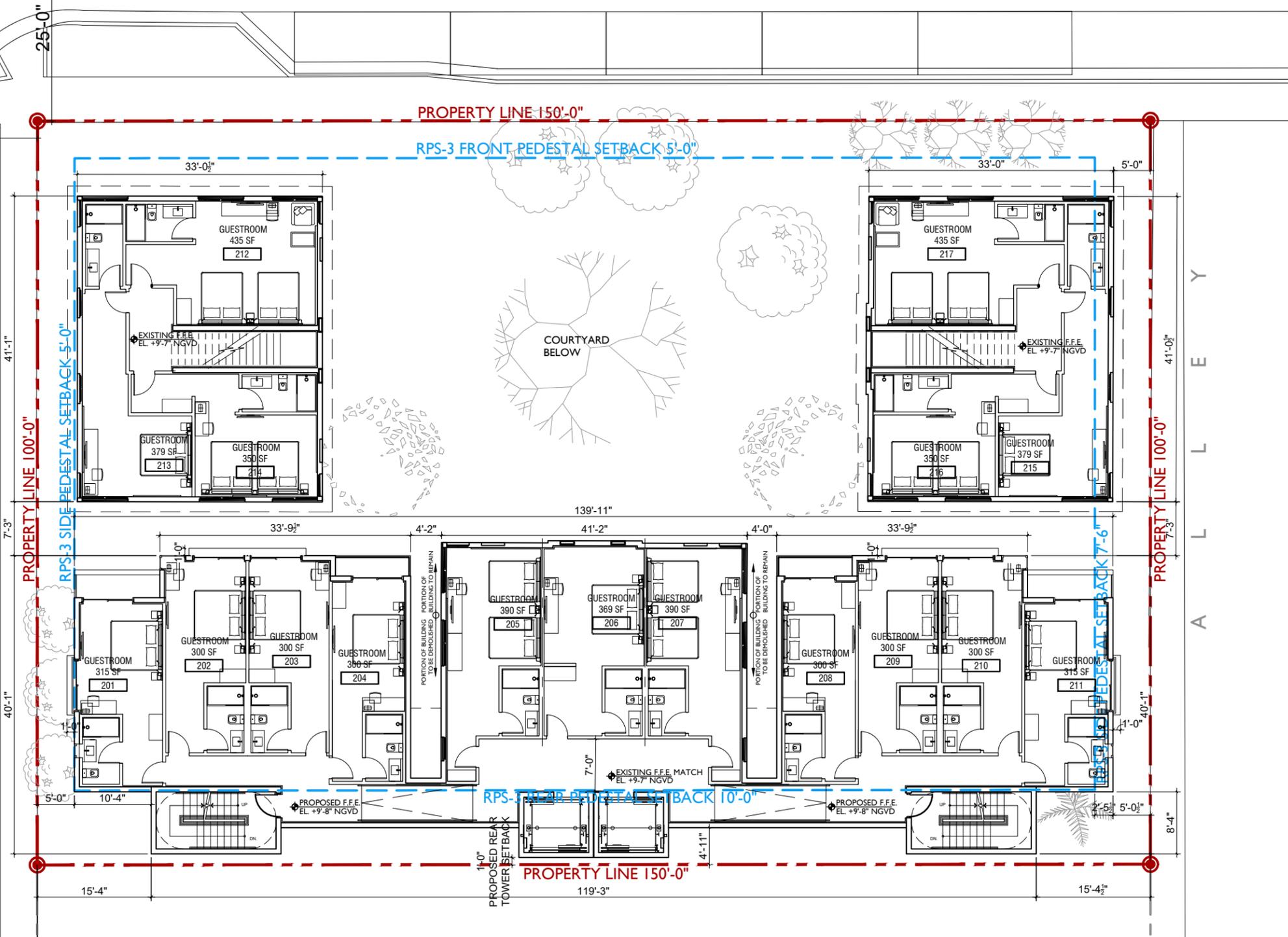


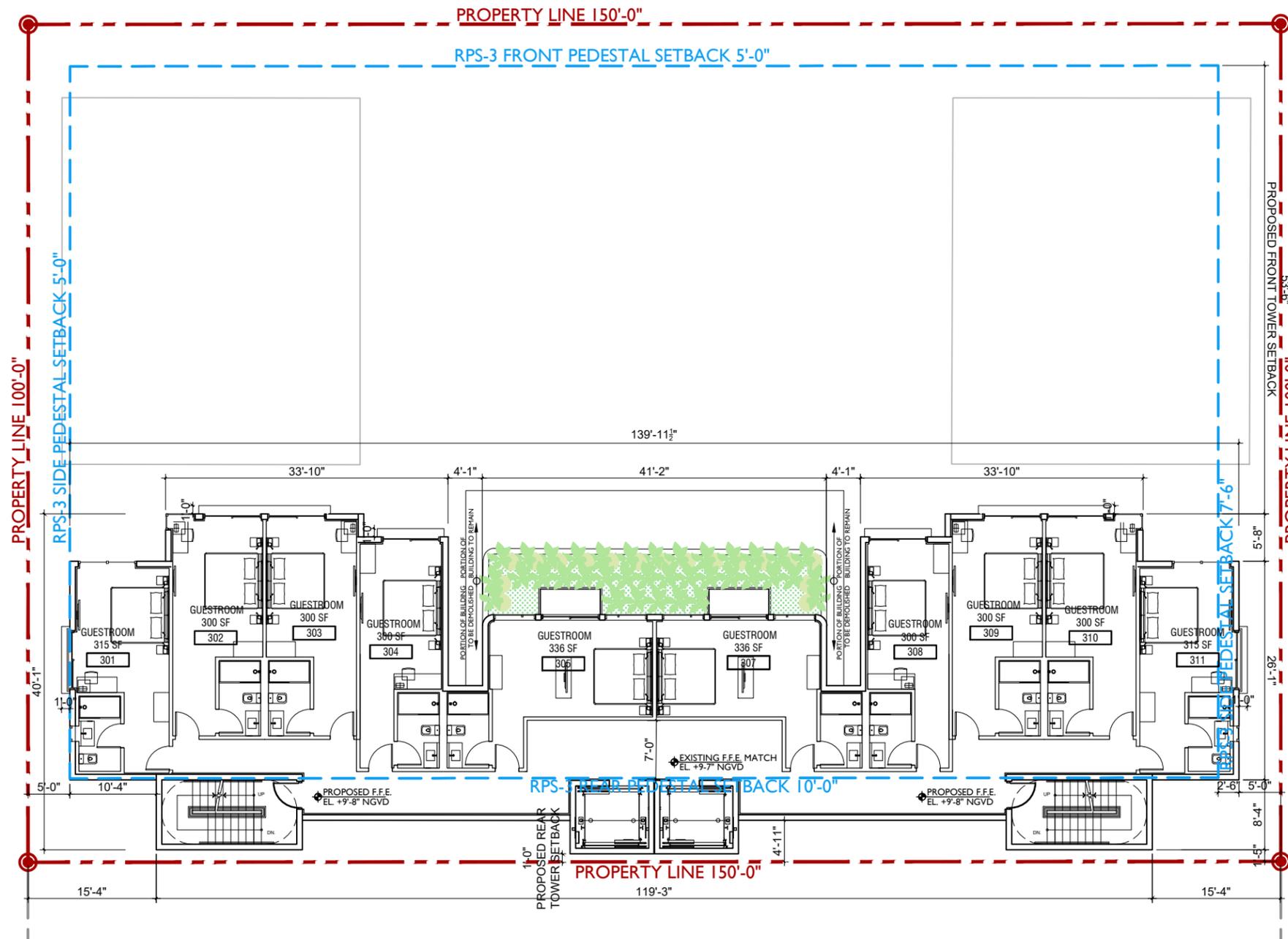
**FRONTAGE CALCULATIONS**  
FRONTAGE 6TH STREET 139'-8"  
FRONTAGE LENNOX AVE. 75'-9"  
TOTAL 215'-5"  
  
75% OF FRONTAGE = 161'-6"  
TOTAL COMMERCIAL FRONTAGE  
PROVIDED 147'-9"

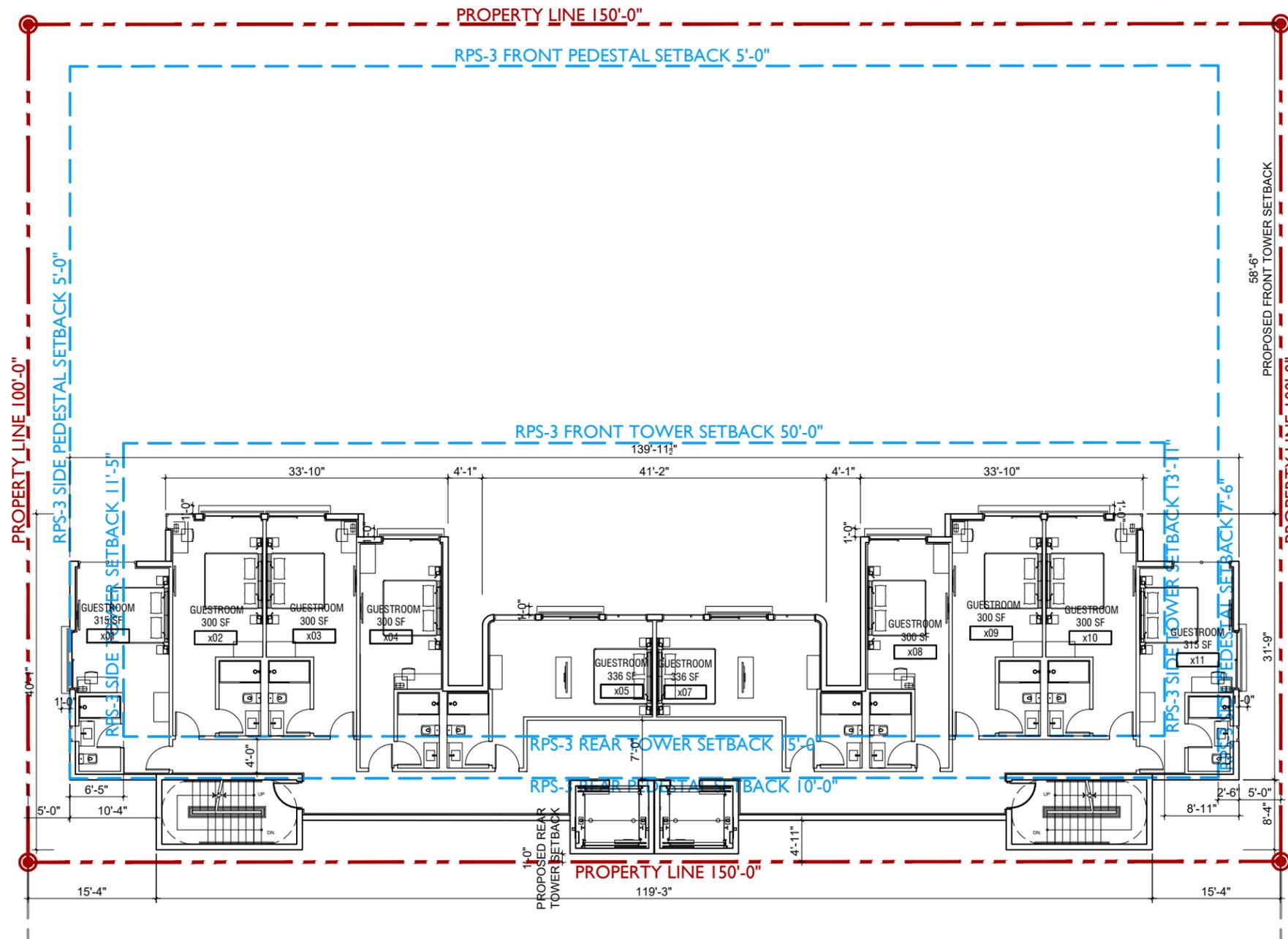
SIXTH STREET  
50'-0" RIGHT OF WAY

LENOX AVENUE  
70'-0" TOTAL RIGHT OF WAY

ALLEY







JENNIFER McCONNERY FLORIDA LIC# AR93044

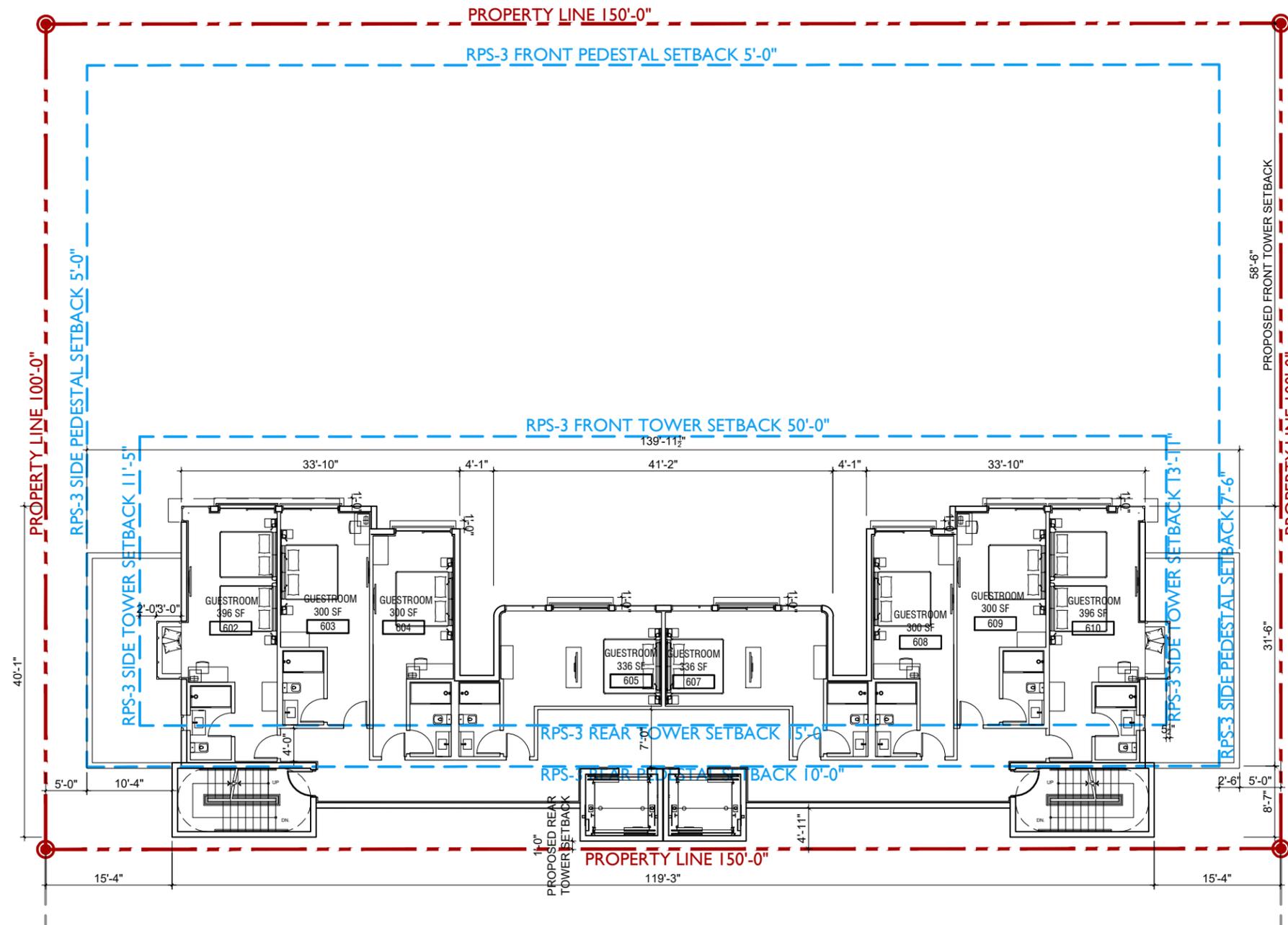
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO MCG ARCHITECTURE, INC. (c) 2020

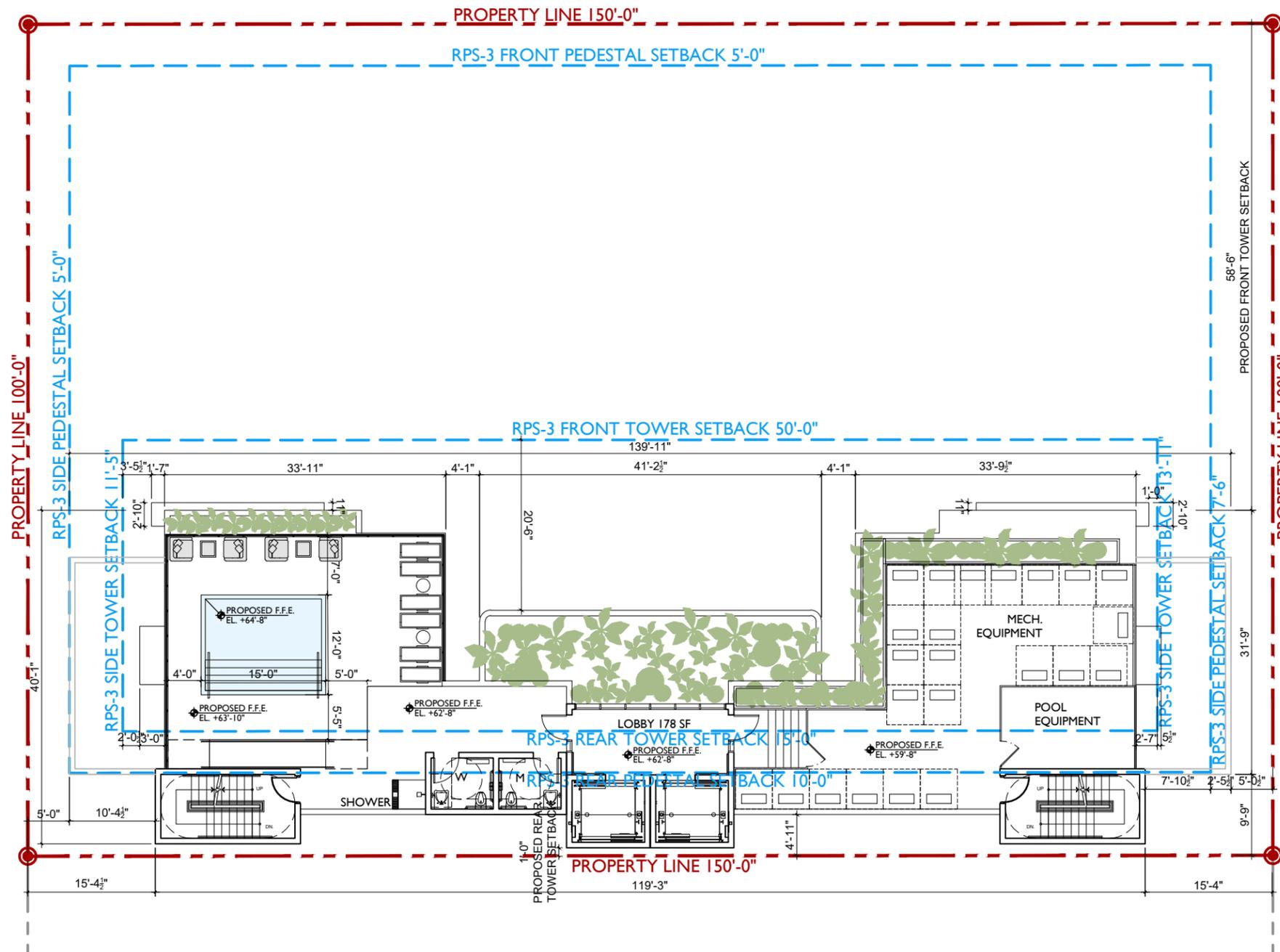
SCALE:  $\frac{1}{16}" = 1'-0"$

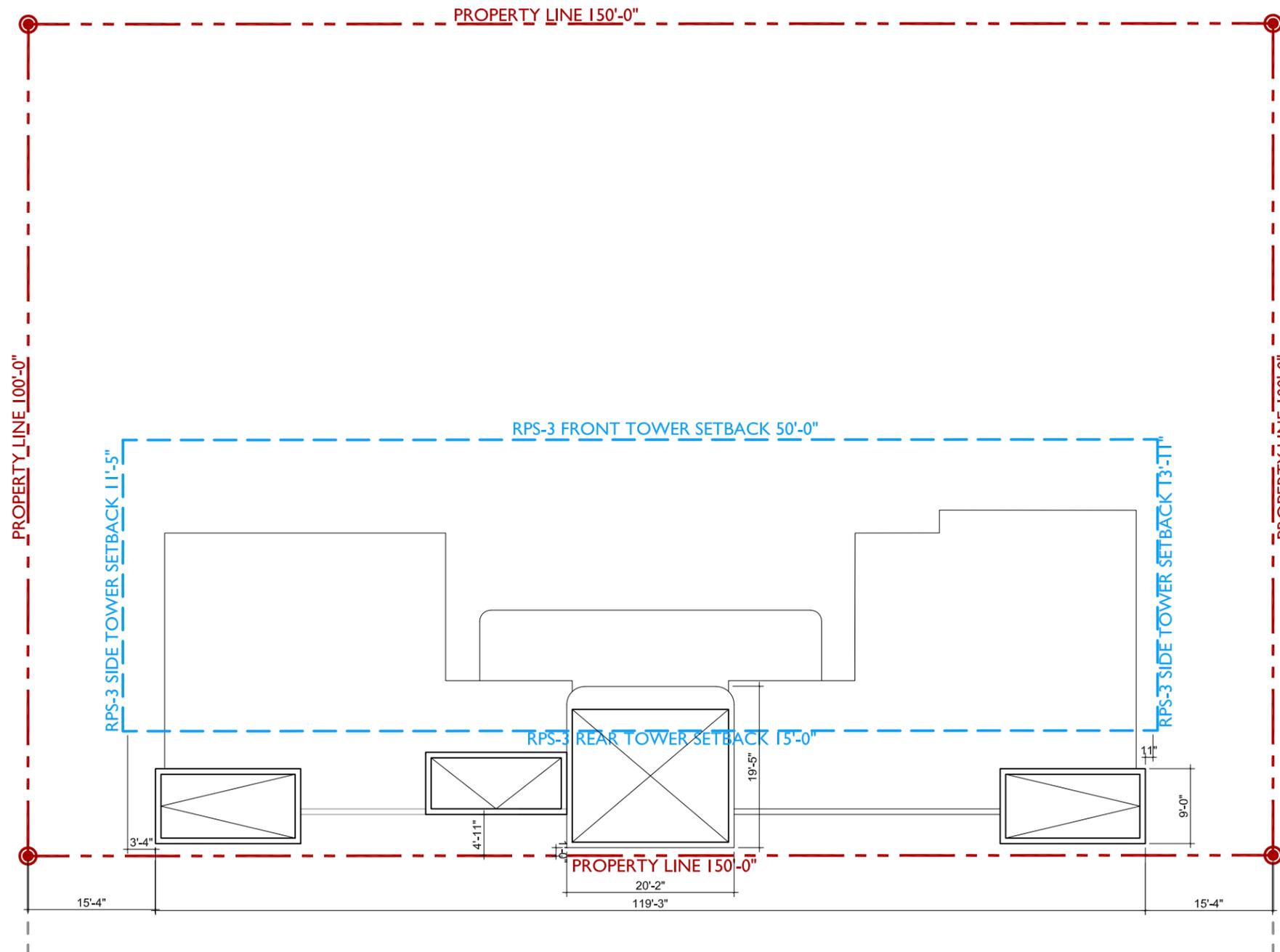
CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER







**ELEVATION LEGEND:**

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.
- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL
- ⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER
- ⑩ STUCCO EYEBROW
- ⑪ STEEL GUARDRAILS
- ⑫ CONCRETE STAIRS
- ⑬ BREEZEBLOCK TO MATCH ORIGINAL
- ⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL
- ⑮ PAINTED STUCCO
- ⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ⑰ ALUMINUM SCREEN
- ⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS
- ⑳ GLASS JULIET BALCONIES
- ㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM
- ㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS
- ㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS
- ㉕ STUCCO SCORING
- ㉖ BACKLIT ALUMINUM SIGN

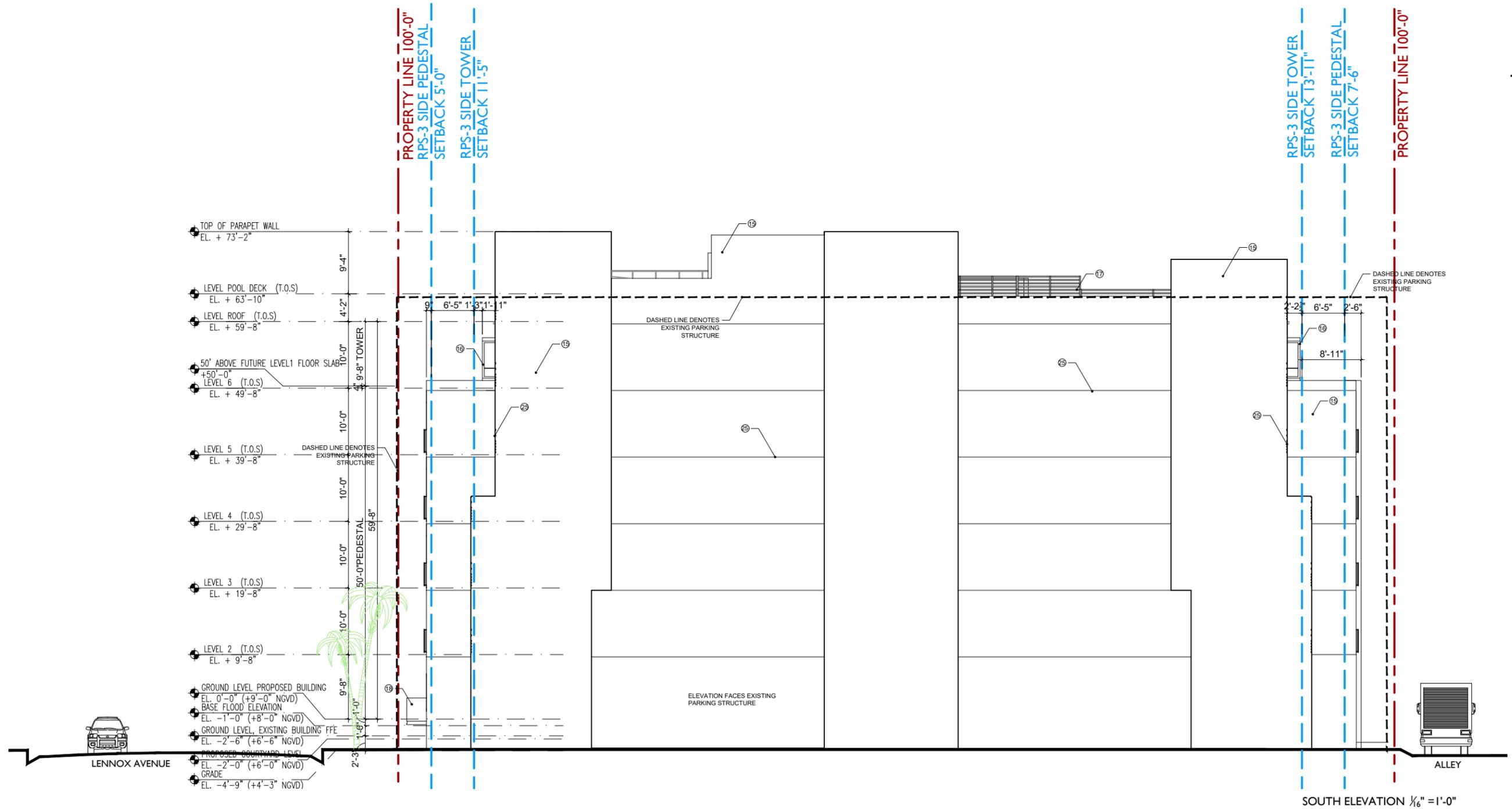


**ELEVATION LEGEND:**

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.
- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL
- ⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER
- ⑩ STUCCO EYEBROW
- ⑪ STEEL GUARDRAILS
- ⑫ CONCRETE STAIRS
- ⑬ BREEZEBLOCK TO MATCH ORIGINAL
- ⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL
- ⑮ PAINTED STUCCO
- ⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ⑰ ALUMINUM SCREEN
- ⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS
- ⑳ GLASS JULIET BALCONIES
- ㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM
- ㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS
- ㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS
- ㉕ STUCCO SCORING
- ㉖ BACKLIT ALUMINUM SIGN



**ELEVATION LEGEND:**

① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.

② WOOD FASCIA

③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION

④ WHITE STUCCO

⑤ STUCCO FASCIA

⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL

⑧ RENOVATED STAIRS TO MATCH ORIGINAL

⑨ STUCCO PLANTER

⑩ STUCCO EYEBROW

⑪ STEEL GUARDRAILS

⑫ CONCRETE STAIRS

⑬ BREEZEBLOCK TO MATCH ORIGINAL

⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL

⑮ PAINTED STUCCO

⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

⑰ ALUMINUM SCREEN

⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS

⑳ GLASS JULIET BALCONIES

㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM

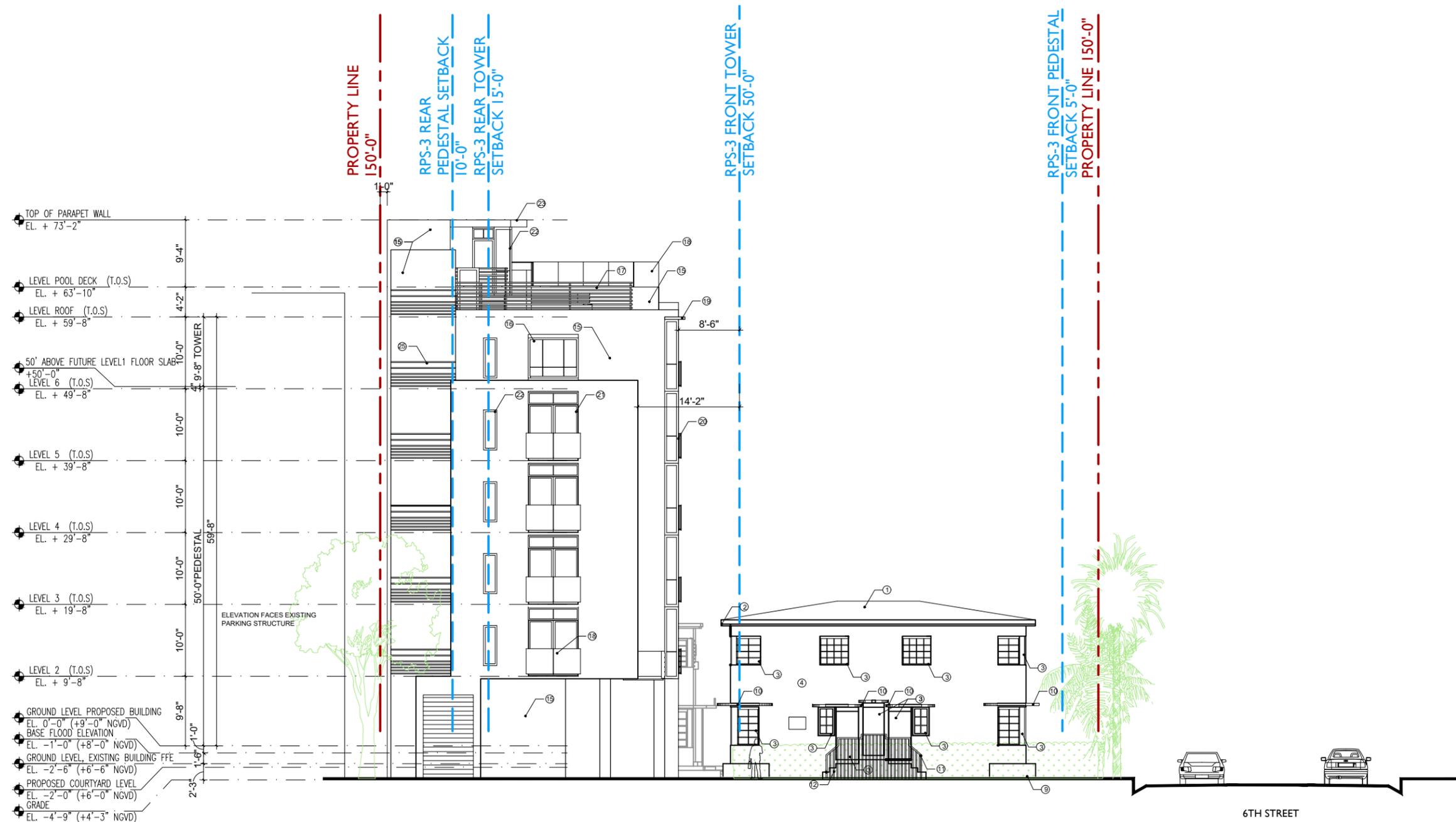
㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS

㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS

㉕ STUCCO SCORING

㉖ BACKLIT ALUMINUM SIGN



6TH STREET

EAST ELEVATION 1/8" = 1'-0"

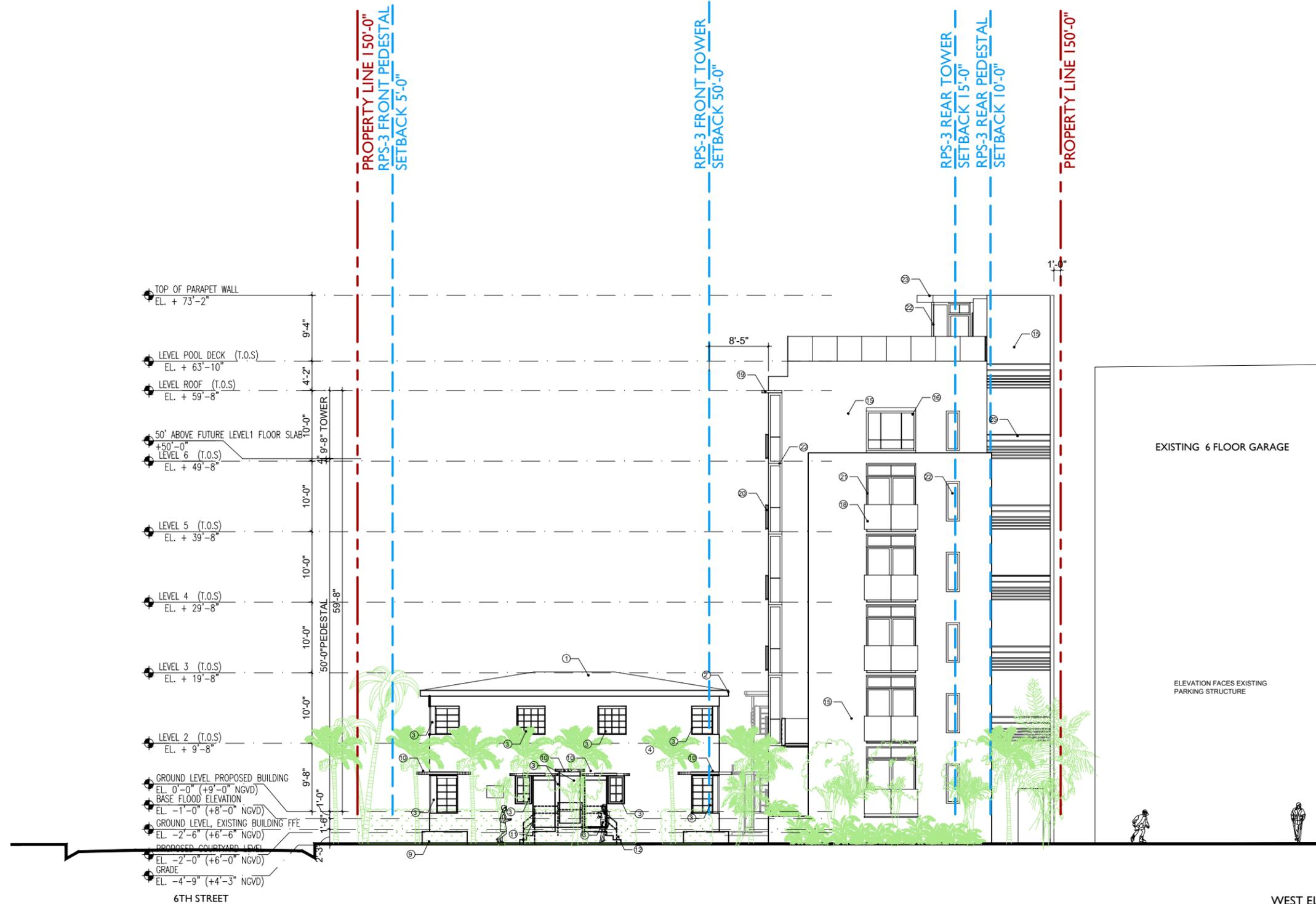
**A3.02**

**ELEVATION LEGEND:**

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.
- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL
- ⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER
- ⑩ STUCCO EYEBROW
- ⑪ STEEL GUARDRAILS
- ⑫ CONCRETE STAIRS
- ⑬ BREEZEBLOCK TO MATCH ORIGINAL
- ⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL
- ⑮ PAINTED STUCCO
- ⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ⑰ ALUMINUM SCREEN
- ⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS
- ⑳ GLASS JULIET BALCONIES
- ㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM
- ㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS
- ㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS
- ㉕ STUCCO SCORING
- ㉖ BACKLIT ALUMINUM SIGN



WEST ELEVATION 1/8" = 1'-0"



SECTION  
NORTH-SOUTH

JENNIFER McCONNAY FLORIDA LIC# AR93044

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. (c) 2020

SCALE: 1/8" = 1'-0"

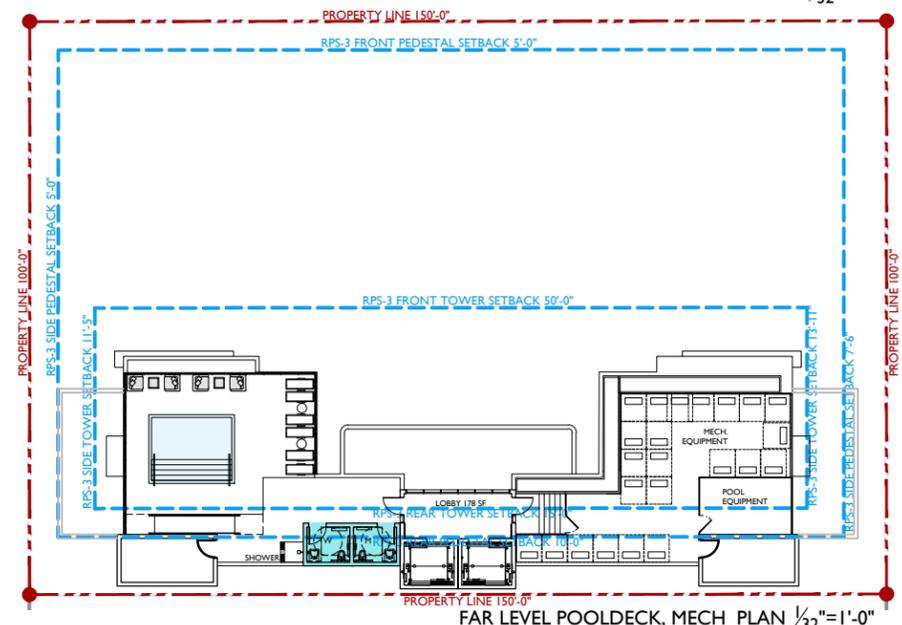
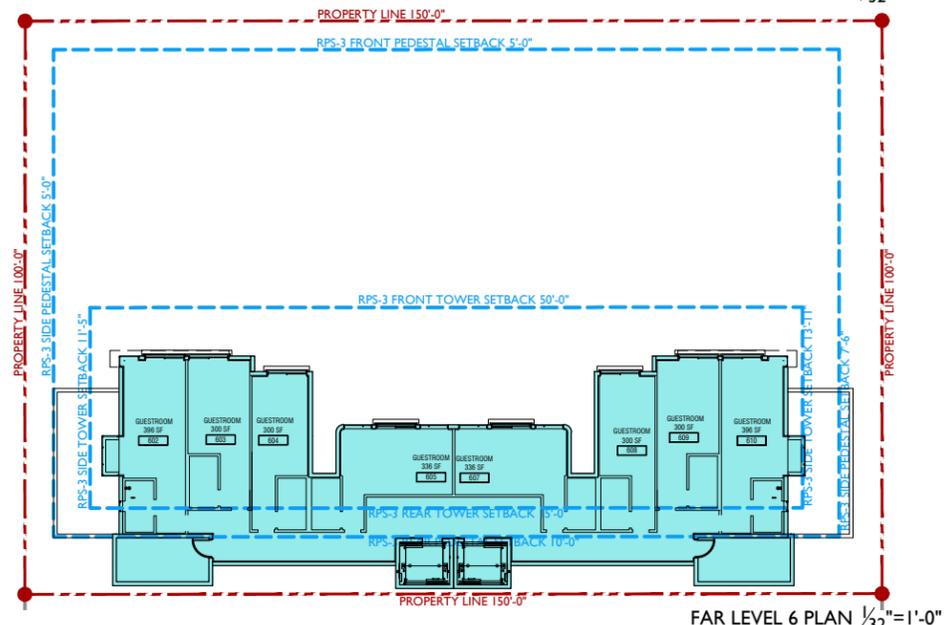
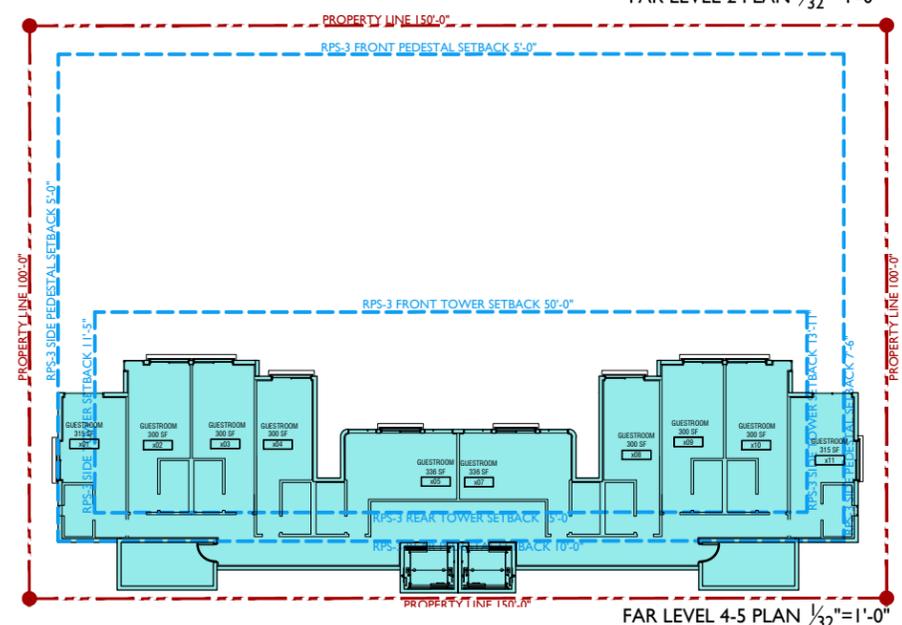
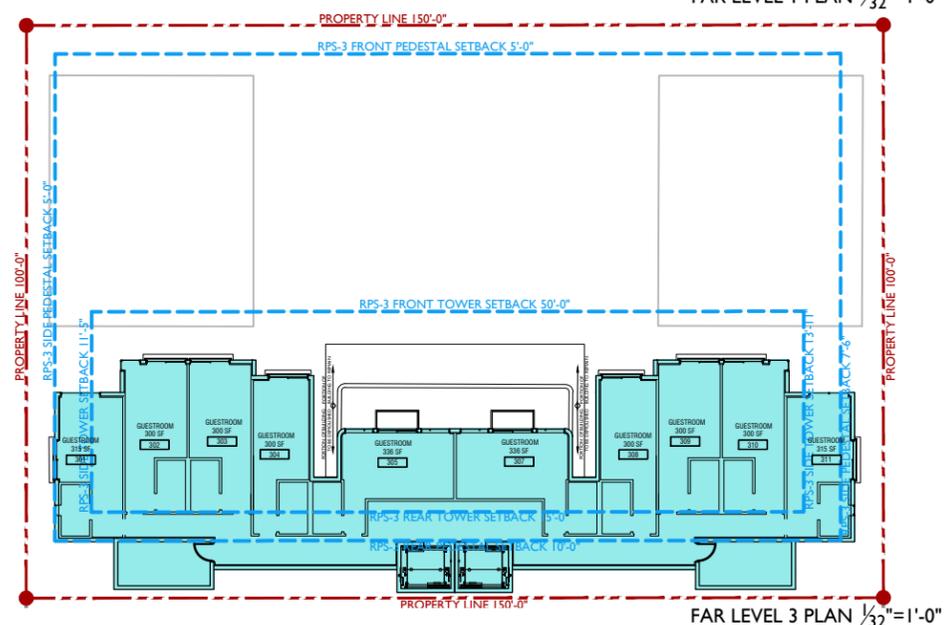
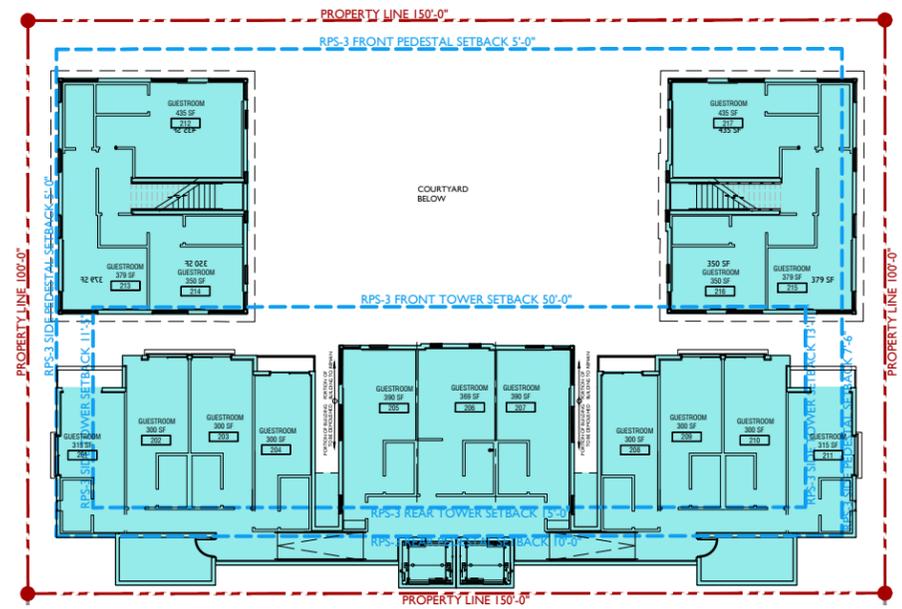
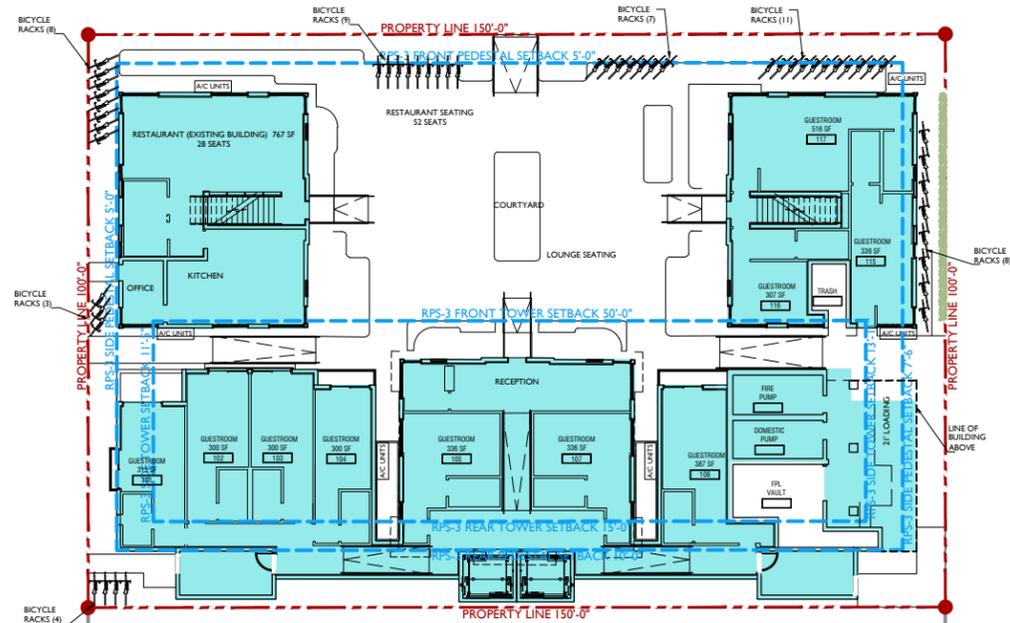
CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



SECTION 1/8" = 1'-0"

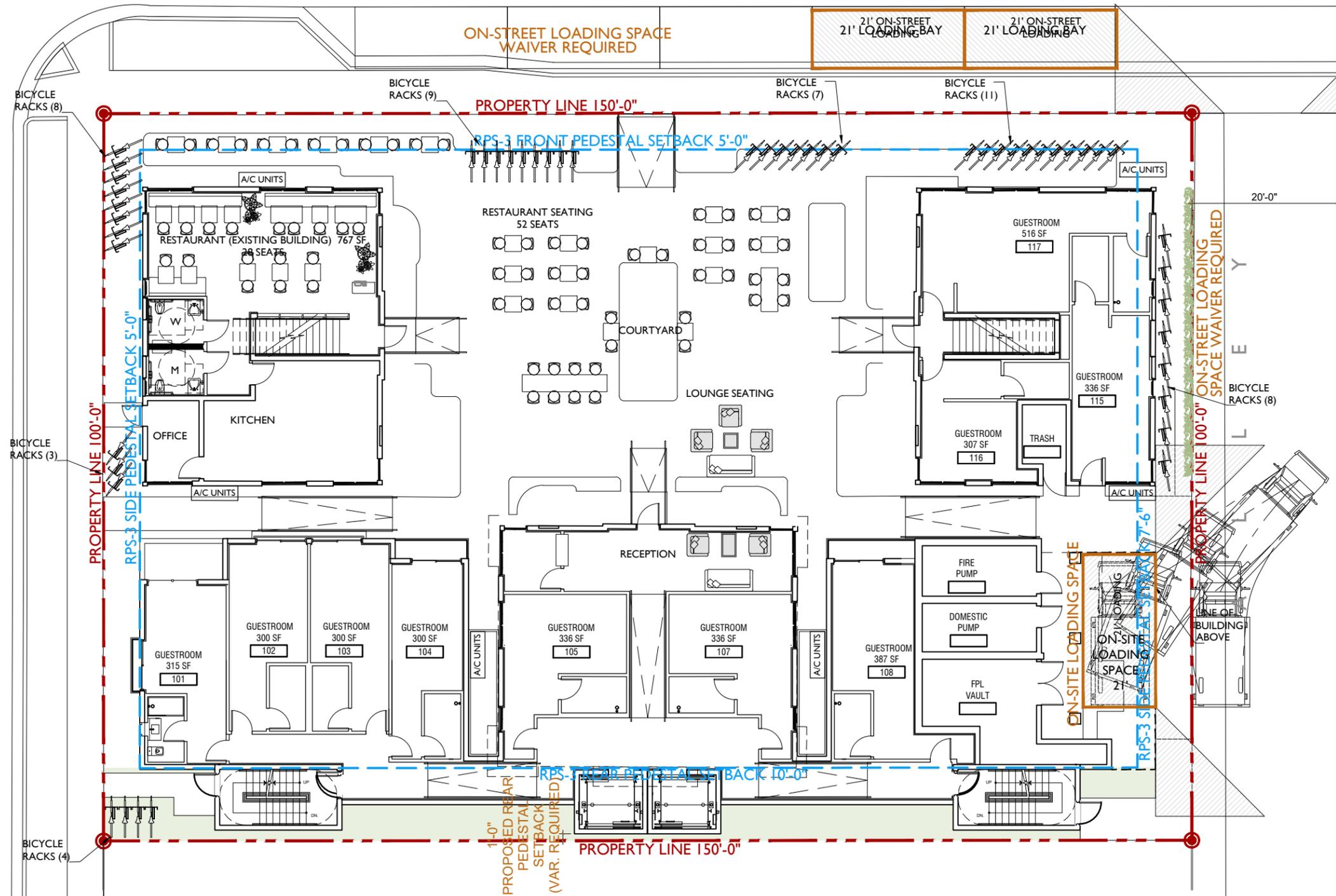


**FAR AREA CALCULATIONS**

LEVEL	FAR AREA
<b>LEVEL 1</b>	
NEW BUILDING	4,601 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,289 SF
<b>LEVEL 1 TOTAL</b>	<b>7,251 SF</b>
<b>LEVEL 2</b>	
NEW BUILDING	4,943 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,358 SF
<b>LEVEL 2 TOTAL</b>	<b>7,662 SF</b>
<b>LEVEL 3</b>	3,740 SF
<b>LEVEL 4</b>	3,740 SF
<b>LEVEL 5</b>	3,740 SF
<b>LEVEL 6</b>	3,376 SF
<b>LEVEL 7 POOL DECK</b>	120 SF
<b>GRAND TOTAL</b>	<b>29,629 SF</b>



NOTE: THE LOADING SPACE COUNT AND DIMENSIONS CAN BE ADDED OR MODIFIED AS NEEDED BASED ON THE SIZE OF VEHICLE



REAR YARD (1,500 SF)  
LANDSCAPED REAR YARD (518 SF OR 34.53%)

VARIANCE REQUIRED - 65.47% ENCROACHMENTS WITHIN THE REQUIRED REAR YARD WHEN 30% IS PERMITTED

JENNIFER McCONNERY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO MCG ARCHITECTURE, INC. (c) 2020  
SCALE: 1/8"=1'-0"  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER



SECTION 1/8" = 1'-0"



VIEW FACING SOUTH ON 6TH STREET-PROPOSED



VIEW FACING SOUTH ON 6TH STREET-EXISTING

**THE HOHAUSER**

PERSPECTIVE  
COMPARISON

JENNIFER McCONNAY FLORIDA LIC# AR93044  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF STUDIO MCG ARCHITECTURE, INC. AND MAY  
NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT  
THE EXPRESS WRITTEN CONSENT OF STUDIO MCG  
ARCHITECTURE, INC. © 2020

SCALE: N.T.S.

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER