

PROJECT SITE
 4441 Collins Ave, Miami Beach, FL 33140
 Fontainebleau Miami Beach, Address

SCALE: 700 FT.



AREA OF PROJECT



**NEW STAIR / ELEVATORS
 ADDITION PROJECT**

**NEW BALLROOM
 EXPANSION PROJECT**

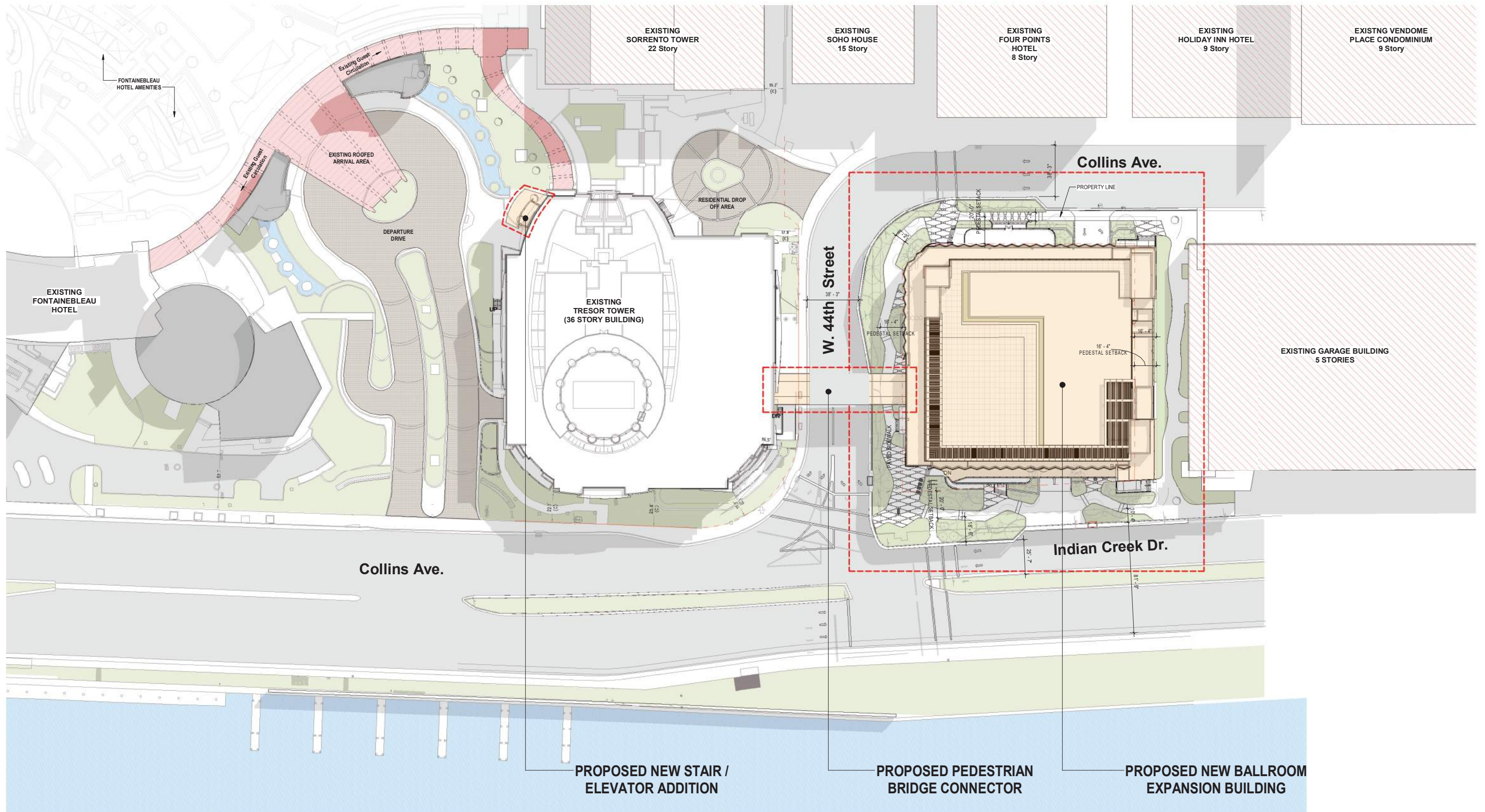
COLLINS AVE

COLLINS AVE

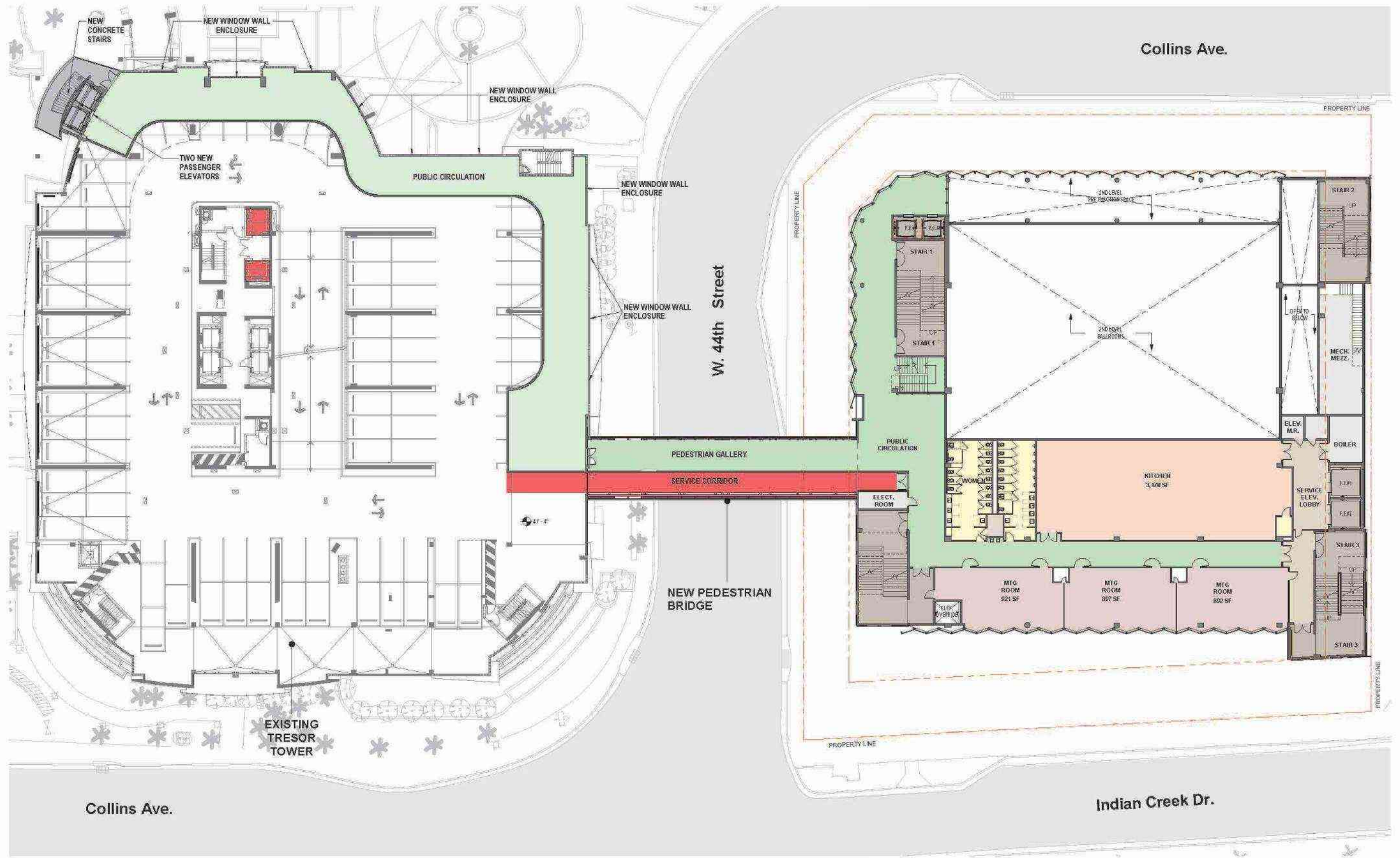
W 44 STREET

INDIAN CREEK DR

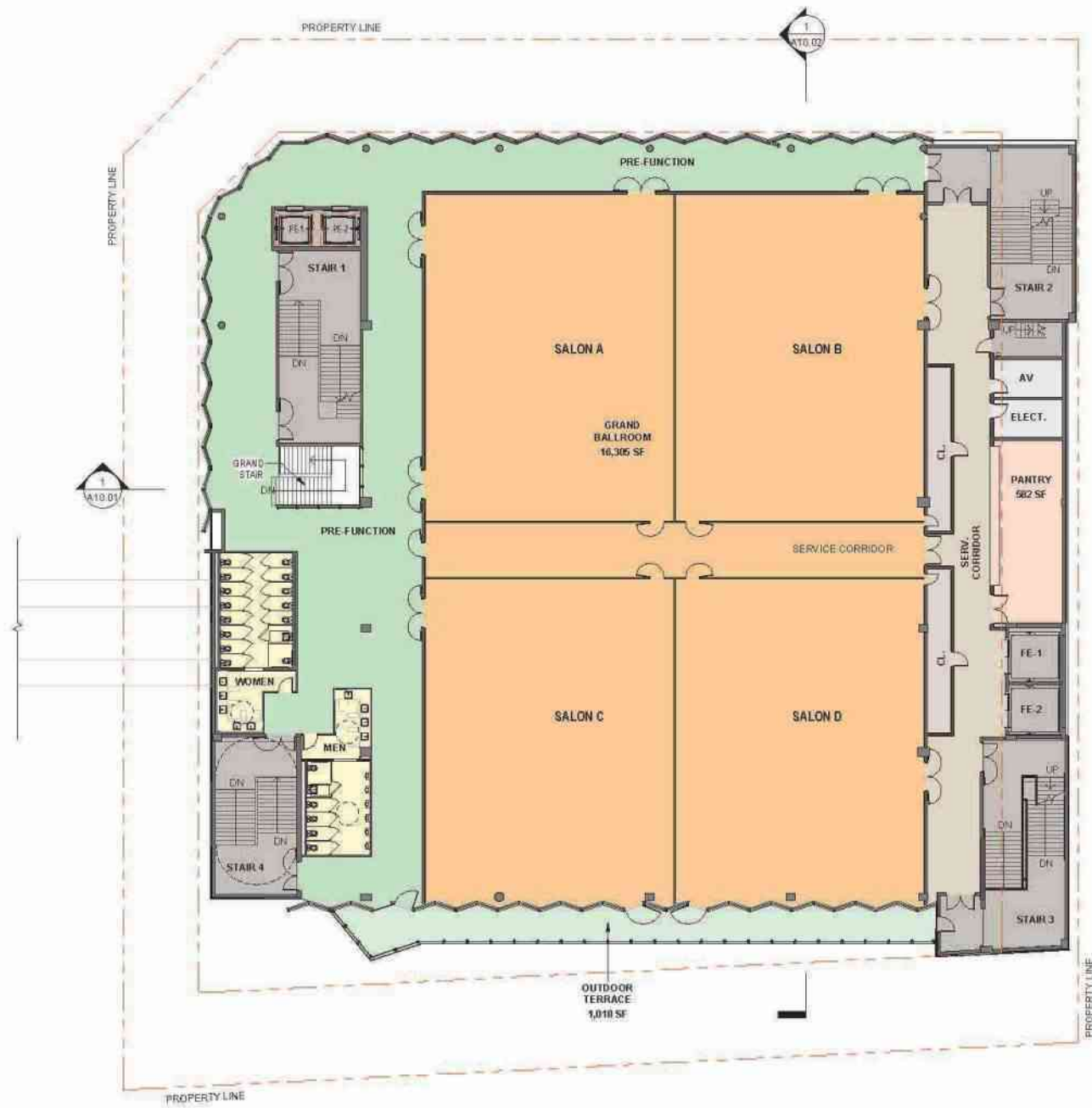
 CONTEXT LOCATION PLAN



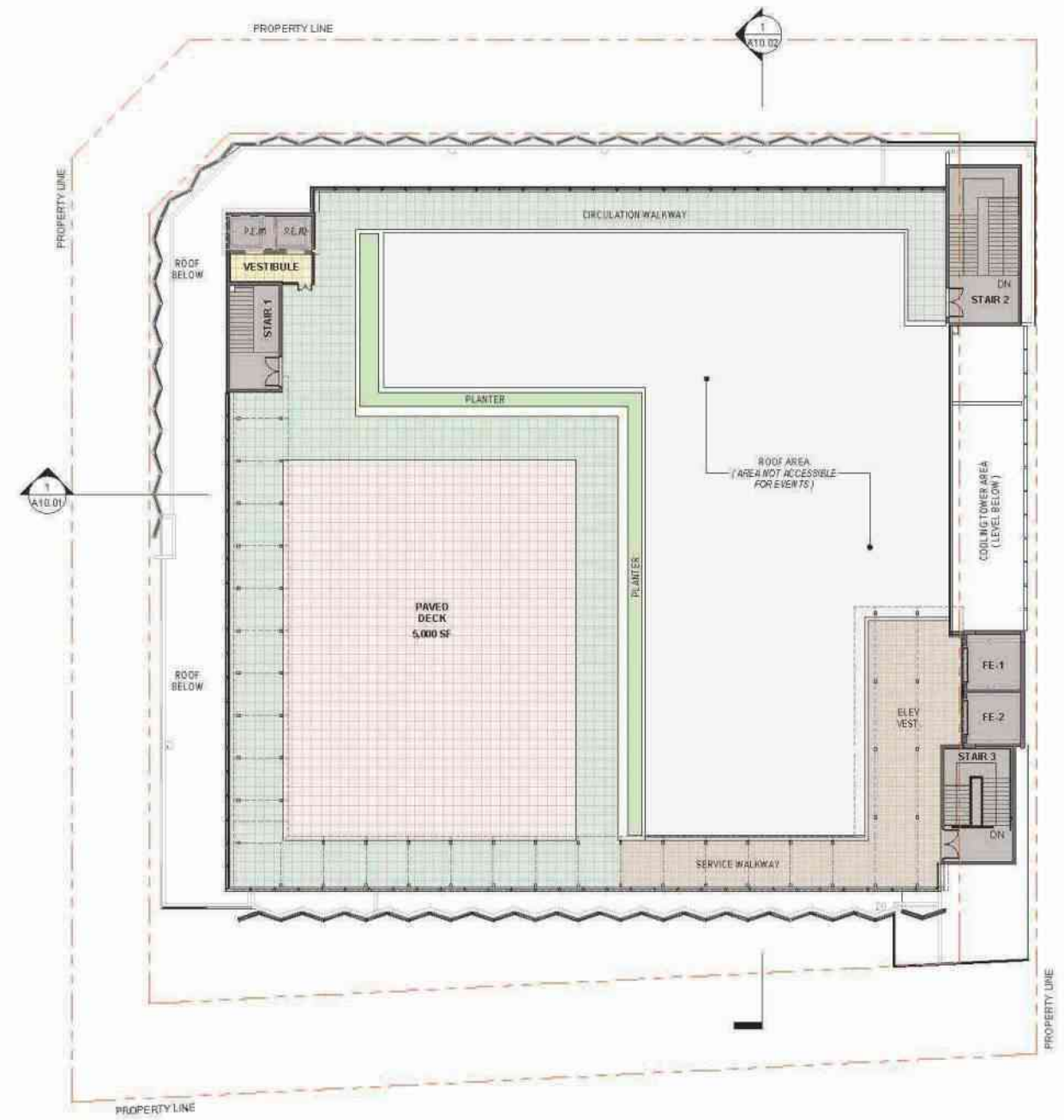
1 SITE PLAN_COLORED
A04 1/32" = 1'-0"



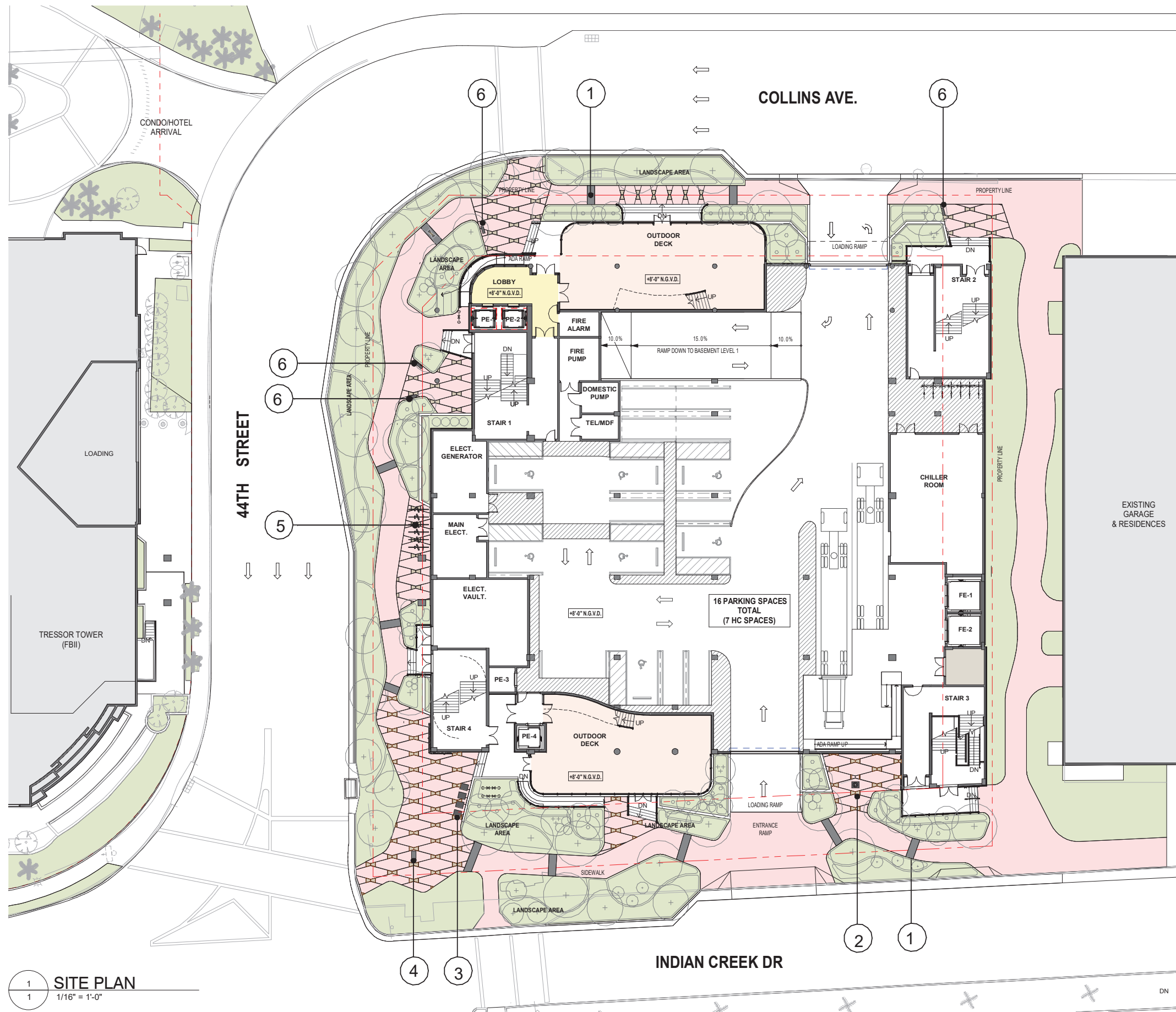
1 3RD LEVEL - OVERALL - FLOOR PLAN
A07 1/16" = 1'-0"



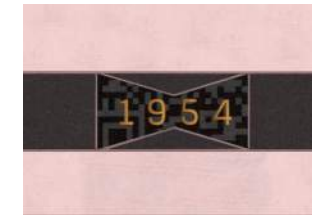
1
A08
4TH LEVEL - FLOOR PLAN
1/16" = 1'-0"



2
A08
ROOF TOP DECK - FLOOR PLAN
1/16" = 1'-0"



1 CHRONOLOGICAL SIDEWALK PLAQUE TRIGGERING AUGMENTED REALITY ACTIVATION



2 MORRIS LAPIDUS PLAZA WITH BOWTIE PAVEMENT & URBAN SCULPTURE. REFER TO RENDERINGS



3 URBAN PEDESTALS WITH HISTORIC DOCUMENTATION & AUGMENTED REALITY PLAQUES

4 NW PLAZA WITH BOWTIE PAVEMENT & DIGITAL INFO KIOSK.



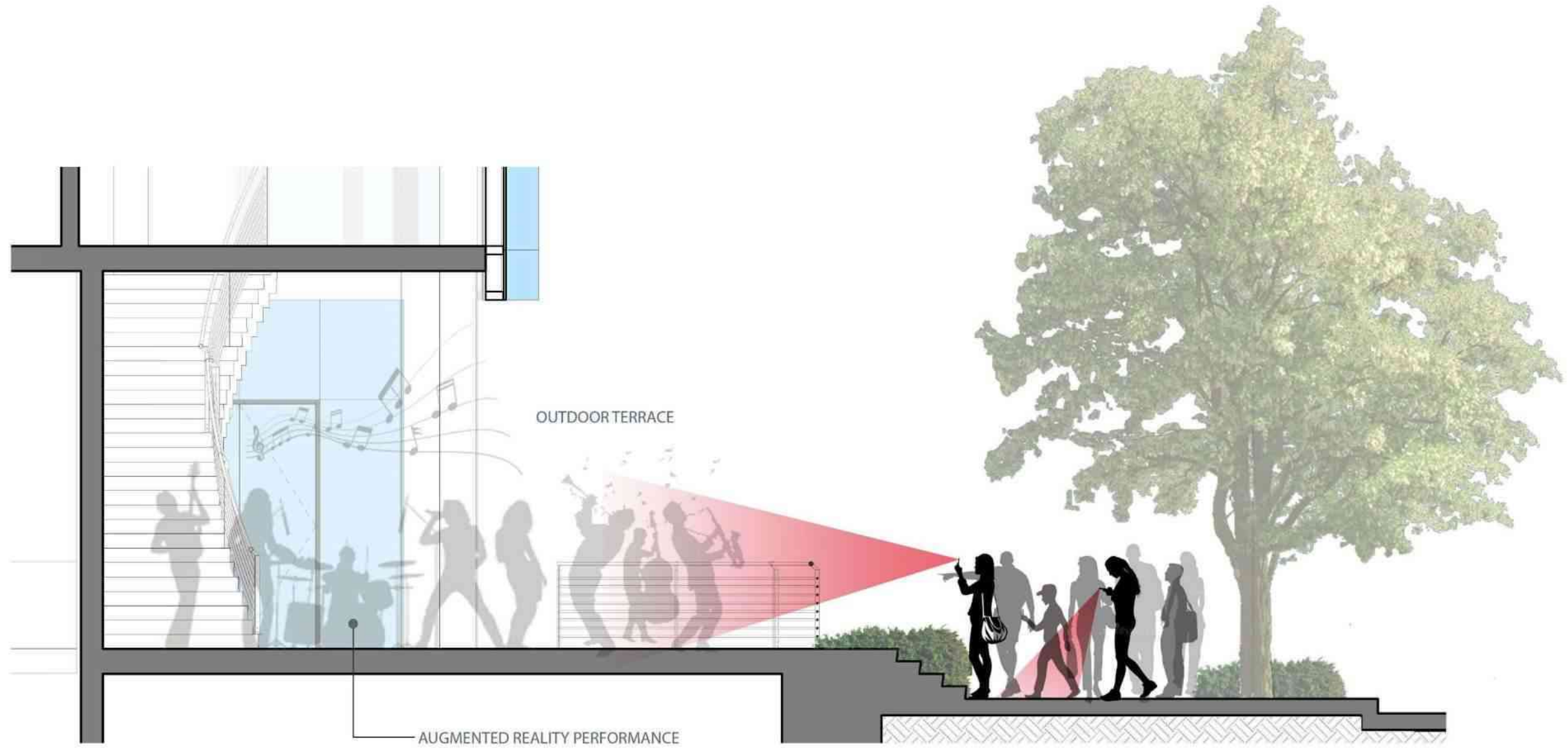
5 BICYCLE PARKING



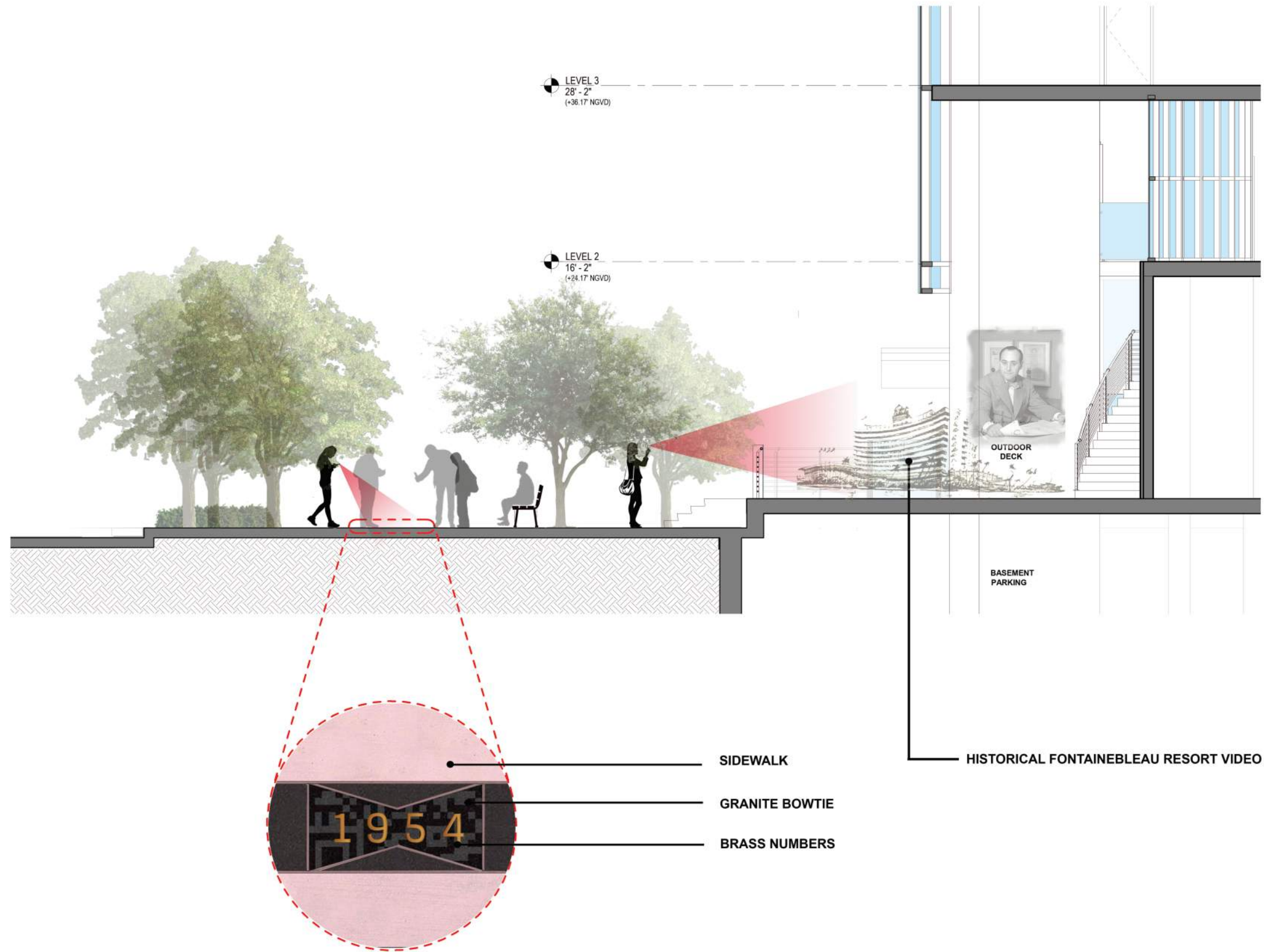
6 BOWTIE PAVEMENT AREA WITH AUGMENTED REALITY ACTIVATION STAND



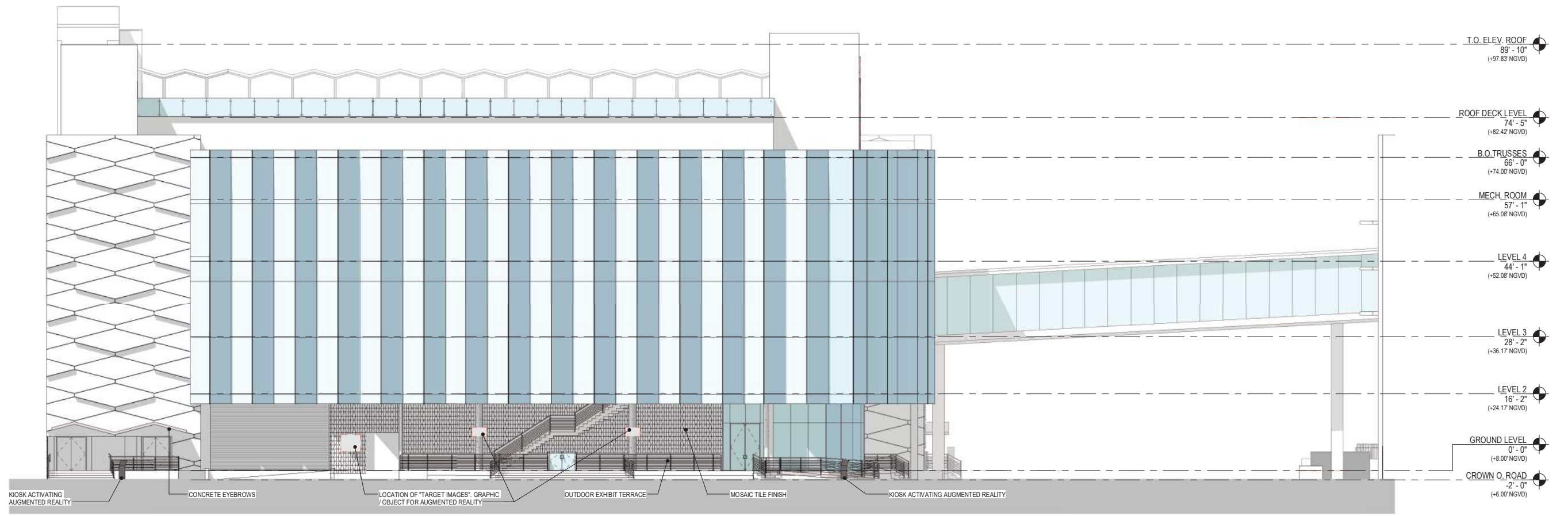
1 SITE PLAN
1/16" = 1'-0"



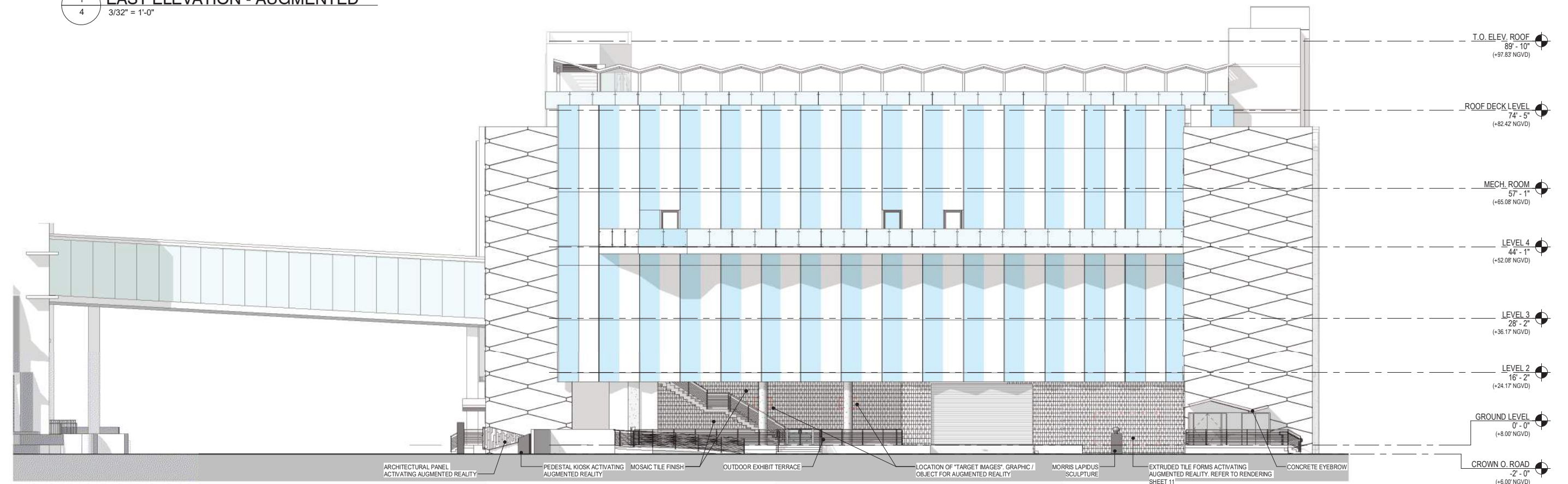
EAST TERRACE SECTION



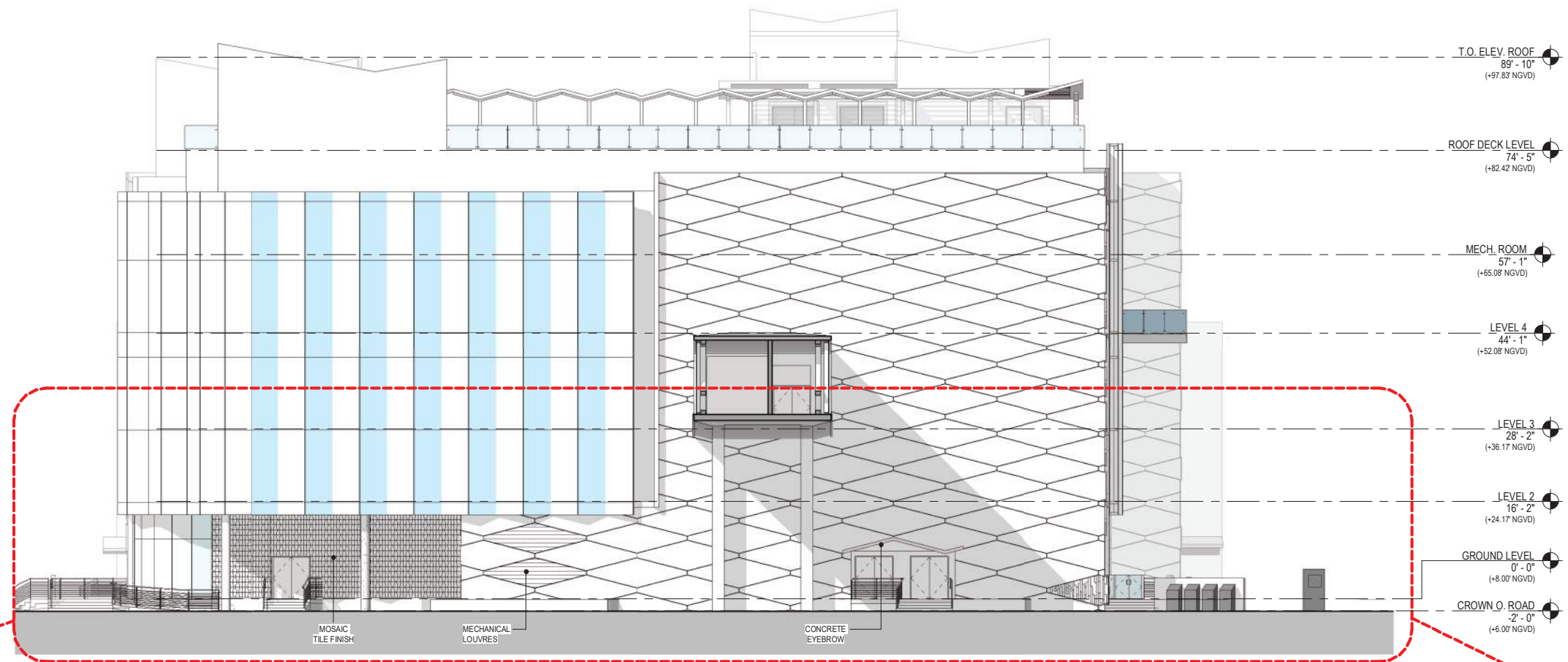
WEST TERRACE SECTION



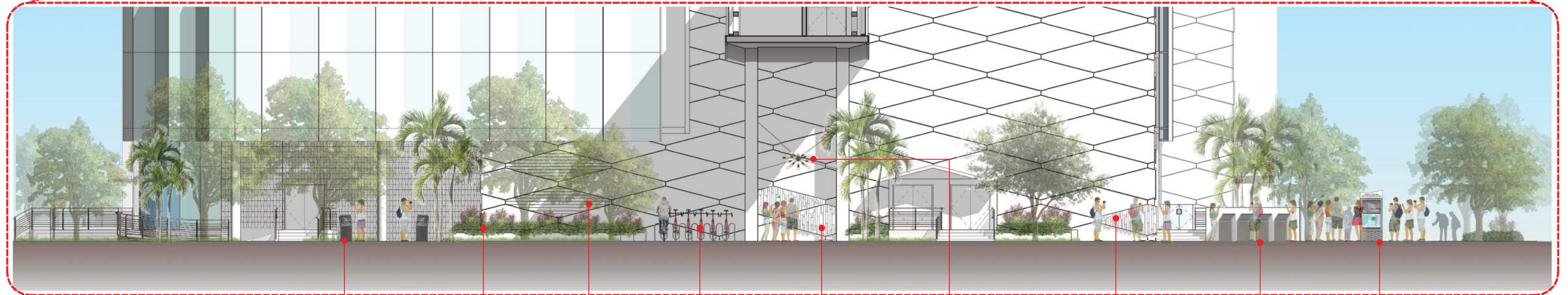
1 EAST ELEVATION - AUGMENTED
 4 3/32" = 1'-0"



2 WEST ELEVATION - AUGMENTED
 4 3/32" = 1'-0"



1 NORTH ELEVATION.
5 3/32" = 1'-0"



ENLARGED NORTH ELEVATION

AR = AUGMENTED REALITY

KIOSK ACTIVATING AR

TROPICAL PLANTERS

INTEGRATED DIAMOND LOUVRES

BICYCLE RACK

ARCHITECTURAL PANEL ACTIVATING AR.

EXTERIOR LIGHT FIXTURE

ARCHITECTURAL PANEL ACTIVATING AR.

PEDESTALS WITH AR ACTIVATION

CORNER PLAZA WITH DIGITAL KIOSK





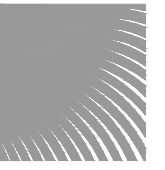


**FB GARAGE & BALLROOM
EXPANSION
4441 COLLINS AVE., MIAMI BEACH, FLORIDA
ILLUSTRATIVE SITE PLAN**

REVISIONS:

DECEMBER 11, 2020
DATE
J.R.
DRAWN BY:
M.J.
APPROVED BY:

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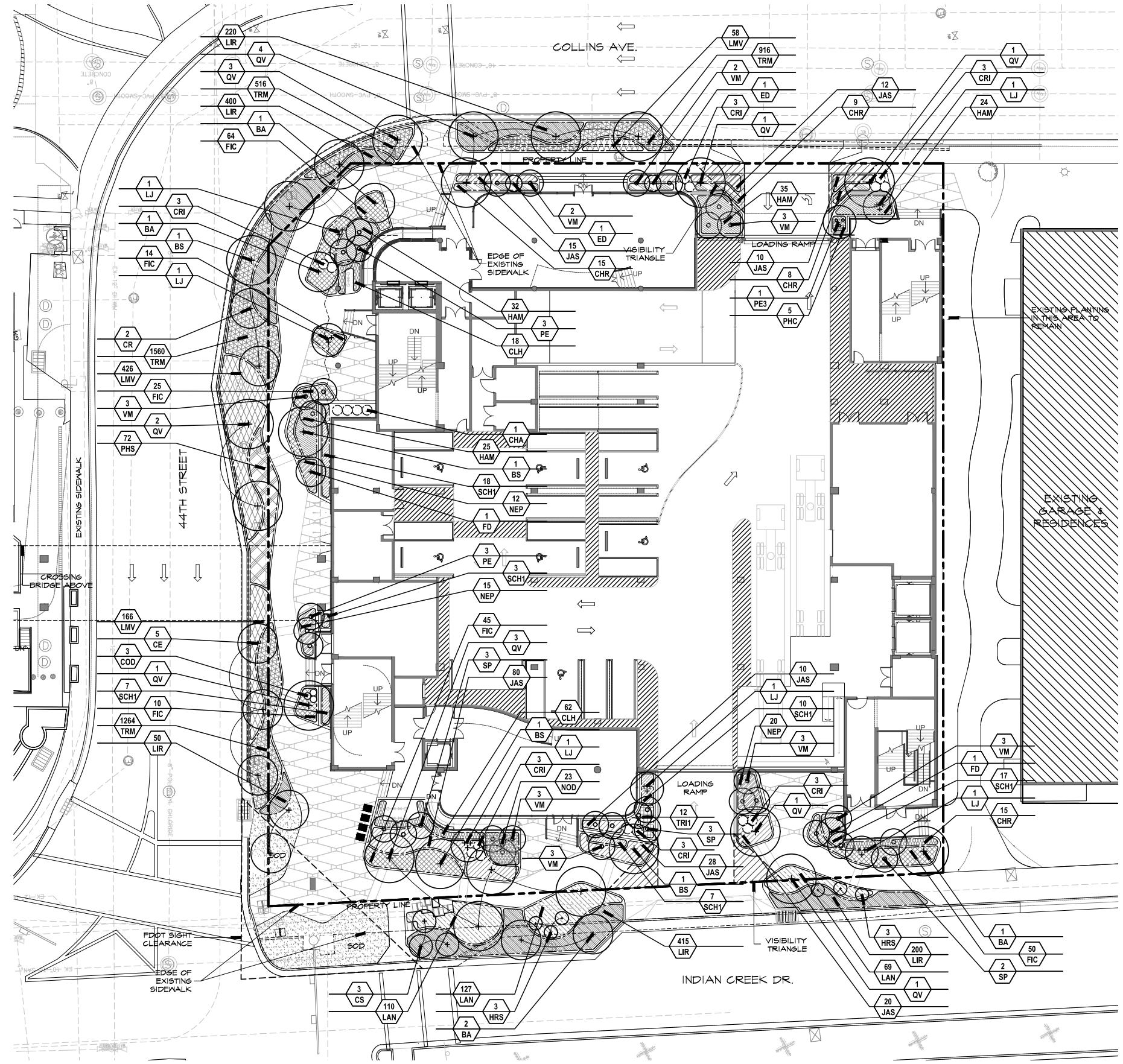
DSBOCA
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Boca Raton, Florida 33431
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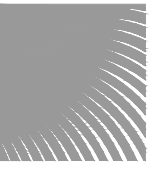
**FB GARAGE & BALLROOM
EXPANSION
4441 COLLINS AVE., MIAMI BEACH, FLORIDA
GROUND LEVEL PLANTING PLAN**



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**FB GARAGE & BALLROOM
EXPANSION
4441 COLLINS AVE., MIAMI BEACH, FLORIDA
ROOF DECK PLANTING PLAN**

REVISIONS:

DECEMBER 11, 2020
DATE
J.R.
DRAWN BY:
M.J.
APPROVED BY:

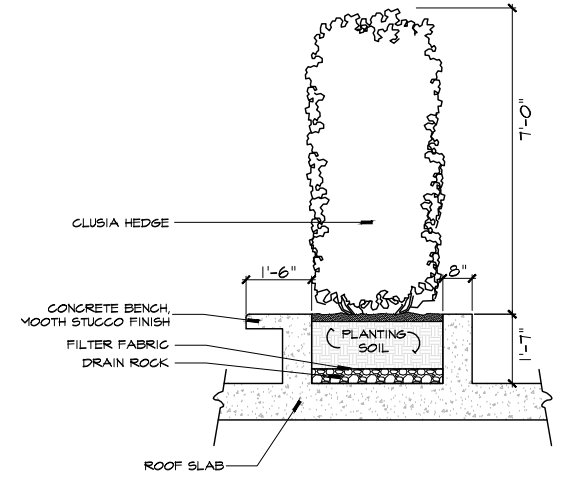
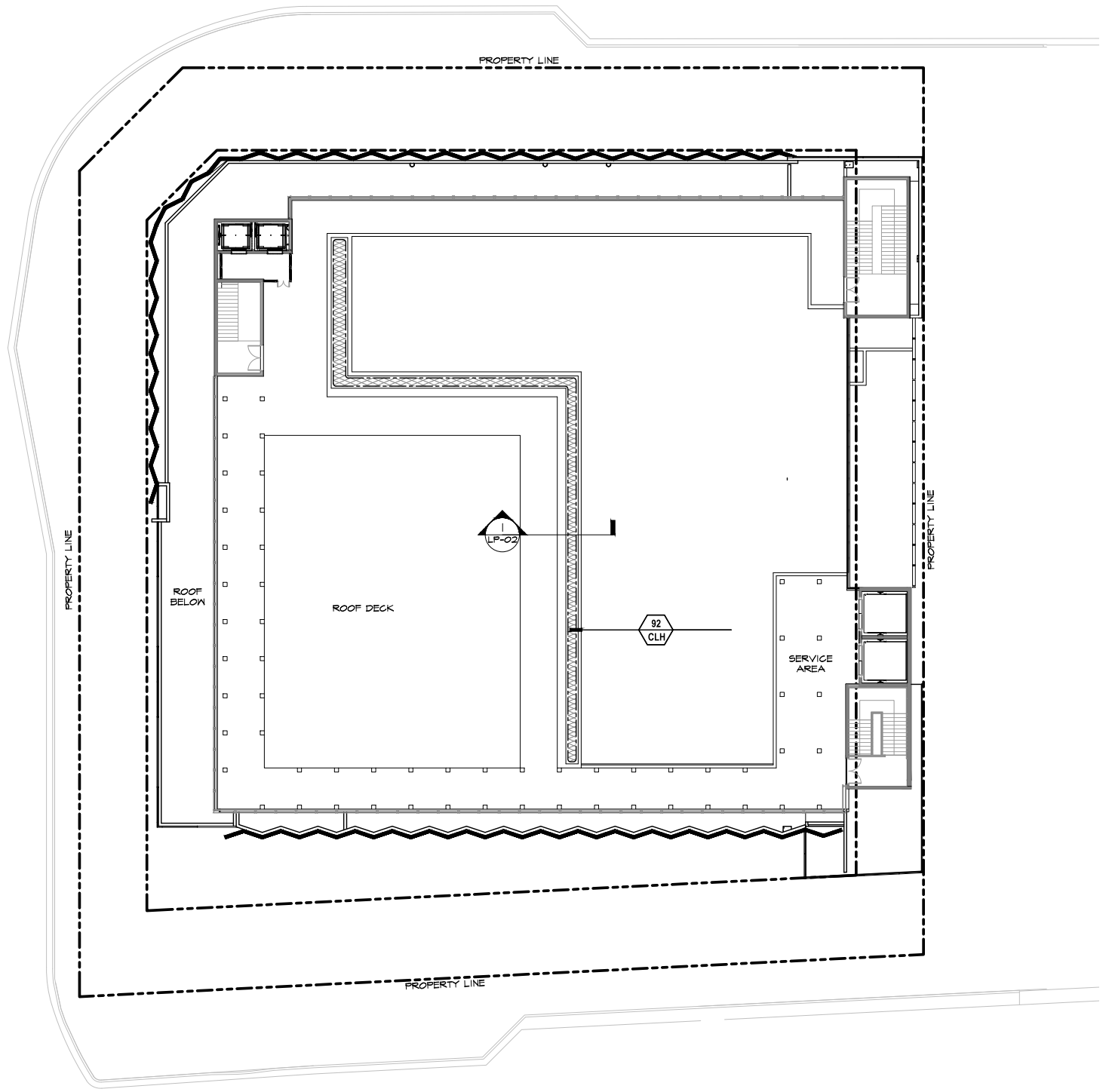
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LP-02

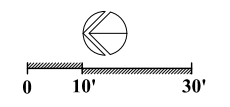
COLLINS AVE.

44TH STREET

INDIAN CREEK DR.



1 PLANTER SECTION
LP-02 N.T.S.



1. Scope:

The work includes furnishing all plants, materials, equipment and labor necessary for planting of plant materials indicated on the drawings and in these specifications. A list of plants is attached to these specifications.

2. Plant Materials & Protection:

- A. All plant materials shall be nursery grown unless otherwise noted.
- Spread (or Spr.): Indicates average spread to midpoint of current season's growth.
- Height (or O.A.): Indicates overall height from top of ball to midpoint of current season's growth.
- G.T.: Indicates clear trunk measurement from top of ball to first branching (see tree & Palm Planting Diagrams)
- Meter of Wood (or Meter of Hard Gray Wood): Indicates measurement of Palms from top of ball to top of solid trunk before start of frond stalks or green'boots'. (See Palm Planting Diagram)
B. Quantities:
All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off.
C. Quality and Sizes:
Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list...

D. Substitution:
Plant substitution requests by the Contractor will be considered by the Architect/Landscape Architect only upon submission of proof that any plant is not obtainable in the type or size specified.

E. Protection of Plants:

1. Root Protection

A. Balled and Burlapped Plants (B & B) shall be dug with natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant.

B. Container Grown Plants: Plants grown in containers will be accepted as B & B, providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the plans, and shall not be governed by container sizes.

2. Protection During Transporting:
All plant material shall be protected from possible bark injury or breakage of branches.

3. Protection After Delivery:
Plants which cannot be planted immediately upon delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun.

4. Protection of Palms:
Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling.

5. Protection During Planting:
Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of other approved methods.

3. Materials:

A. Commercial Fertilizer: Commercial fertilizer shall be organic fertilizer containing nitrogen, phosphoric acid and potash in equal percentages, 6-6-6 with micro nutrients.

Nitrogen shall be not less than 50 % from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis.

The following shall be sterilized, certified and free of seed:

- B. Peat: Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis.
C. Planting Soil: Planting soil for all plantings shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter.
D. Mulch: Mulch material to be shredded "dark brown" hybrid mulch B grade or better, moistened at time of installation to prevent wind displacement.
E. Drainage Stone (when applicable): Drainage stone shall be gravel or crushed stone reasonably free of sharp edges.
F. Filter Fabric: (when applicable): Filter fabric, as required between gravel and soil in planters to be Densit "Filter-Fabric" (800)888-9669 or equal.

4. Planting Operations:

A. Soil Preparation:
All existing soil and new fill/berms shall be treated with an approved weed killer such as "Round Up" according to manufacturer's specifications.

B. Layout:
Location for plants and outlines of areas to be planted are indicated on the drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Architect/Landscape Architect.

C. Excavation for Planting:
Excavation of holes shall extend to the required sub-grades as specified hereunder. Plant pits shall be circular in outline and shall have a profile which conforms to the "Typical Tree & Palm Planting Details"(attached).

D. Balled and Burlapped Plants:
After final setting, loosen wrappings of balled and burlapped plants and roll wrappings back from top of ball, leaving ball unbroken.

E. Container Grown Plants:
Container grown plants shall, when delivered, have sufficient root growth to hold earth intact when removed from container. They shall not be root bound.

F. Pit Sizes:
Minimum diameter (Width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

- Diameter-Trees: 18" greater than diameter of ball or spread of roots.
-Diameter-Shrubs: 6" greater than diameter of ball or spread of roots.
-Depth-Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the root ball.
-Depth-Vines and Ground Covers: Pits shall be large enough for adequate planting.

G. Backfilling:
When pit has been excavated as specified in Paragraph IV-C, the pit shall be backfilled with material as specified in Paragraph III. A, B, C, D, and IV. B and shown in the Typical Tree and Shrub diagrams (attached).

H. Setting Trees and Shrubs:
Unless otherwise specified, all trees and shrubs shall be planted in pits, centered and set on four inches (4") of compacted topsoil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown.

I. Setting Palms:
All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings.

J. Pruning - New Plant Material:
Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as is practicable.

K. Guying Tree:
(See "Typical Tree Planting Diagram" included herein.) Guy all trees 1/2 inches in caliper and greater, in three directions with two strands of No. 12 galvanized wire attached to approved anchors driven below grade.

L. Mulching:
All trees and shrub beds shall be mulched immediately after planting to a two inch (2") depth. Prevent wind displacement of mulch by thoroughly wetting down.

M. Excess Excavated Soil:
Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner, at Owner's discretion.

N. Relocated Material (when applicable):
Existing material shown on the plan to be relocated shall be root-pruned as far ahead of time as necessary to move them safely, and shall be protected and treated as new material, as previously specified.

O. Disposition of Existing Material:
All existing plant material not shown as remaining or relocated shall be removed from the site at no additional cost to the Owner, at Owner's discretion.

5. Sod

A. Sod:
The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1"), to all areas receiving sod.

B. Grades:
It shall be the responsibility of the Landscape Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Architect/Landscape Architect.

C. The sod shall be as called for on the landscape plans. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no weeds or any other objectionable vegetation.

D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut.

E. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

6. Clean-up:

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly keeping these areas clean as the work progresses.

7. Maintenance:

A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance by the Owner.

B. The Contractor shall deep-water all trees and shrubs for a period of ninety (90) days after planting.

8. Inspection and Acceptance:

A. Inspection:
Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the written request of the Contractor.

B. Acceptance:
After inspection, the Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

9. Guarantee and Replacement:

A. Guarantee:
The Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, for a period specified in the General Conditions of Project Specifications.

B. Replacement:
During guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Architect/Landscape Architect, shall be replaced within two weeks of notification.

C. Material and Operations:
All replacements shall be plants of the same kind and size as specified in the plant list. They shall be furnished and planted as specified herein.

10. Care and Maintenance Schedule:

A. The Contractor shall furnish the Owner's Maintenance staff with a written and detailed description for the care and maintenance of all plant materials and irrigation systems at the time of final inspection.

11. Permits and Regulations:

A. The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of this work as drawn and specified.

12. Protection of Work and Property:

A. The Contractor shall continuously maintain adequate protection of all his work from damage and theft and shall protect the Owner's property from injury and loss arising in connection with this contract.

B. The Contractor shall provide protection for existing trees and other plant material as designated by drawings, by Owner's representative or by local authorities.

C. A competent superintendent, foreman or workman capable of reading drawings and acting on behalf of the Contractor shall be kept on the work during its progress.

13. Changes in The Work:

A. The Contractor shall conduct a soil survey of the site to determine the need for any additives to overcome severe conditions not met by normal planting soil requirements.

B. The Contractor shall advise the Owner and Landscape Architect of any special site conditions (high water table, light or soil conditions, etc.) that might require change of plant material or adjustment to finish elevation shown.

14. Landscape Architect:

A. The Landscape Architect is the author of the design and agents for its execution. When his services are used by the Owner for supervision, he shall act impartially between the Owner and Contractor.

The Contractor shall remove from the site all materials considered not up to specifications by the Landscape Architect and replace with suitable materials.

15. Obstructions:

A. The Contractor shall acquaint himself with the existence and location of all surface and subsurface structures, utilities and installations before commencing any work, and shall avoid any disturbance or damage to them throughout the course of the work.



landscape architects and planners

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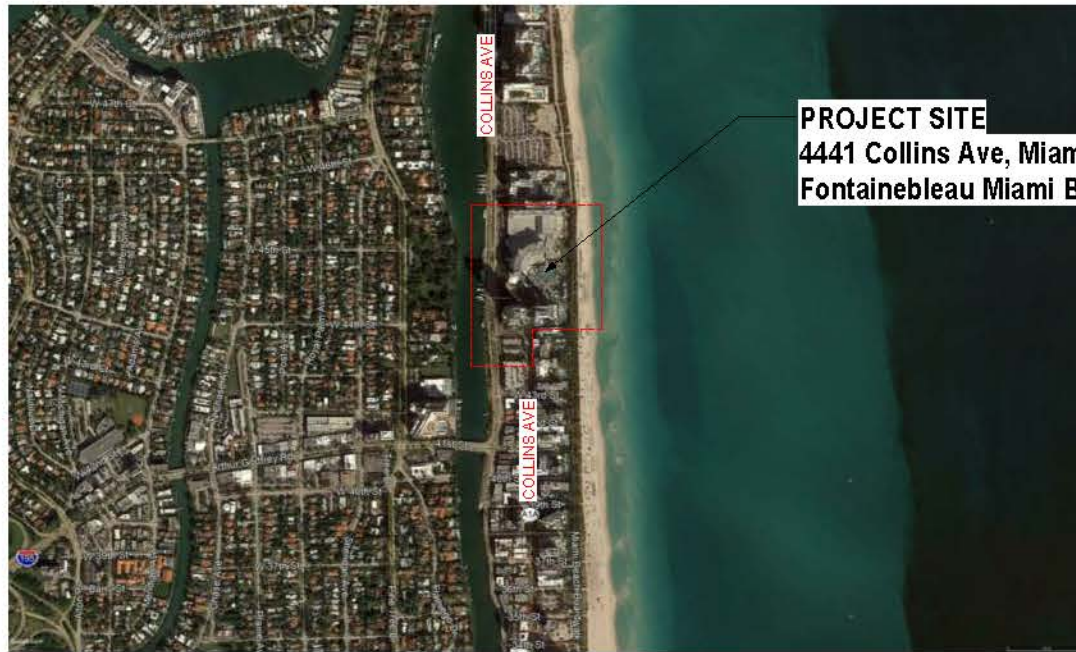
FB GARAGE & BALLROOM EXPANSION 4441 COLLINS AVE., MIAMI BEACH, FLORIDA PLANTING SPECIFICATIONS

Table with 2 columns: REVISIONS, Description. Contains 5 empty rows.

DECEMBER 11, 2020
DATE
J.R.
DRAWN BY:
M.J.
APPROVED BY:

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PREVIOUS HPB BOARD PRESENTATION ON
11/10/2020 (FOR REFERENCE ONLY)



PROJECT SITE
 4441 Collins Ave, Miami Beach, FL 33140
 Fontainebleau Miami Beach, Address

SCALE: 700 FT.



AREA OF PROJECT



**NEW STAIR / ELEVATORS
 ADDITION PROJECT**

**NEW BALLROOM
 EXPANSION PROJECT**

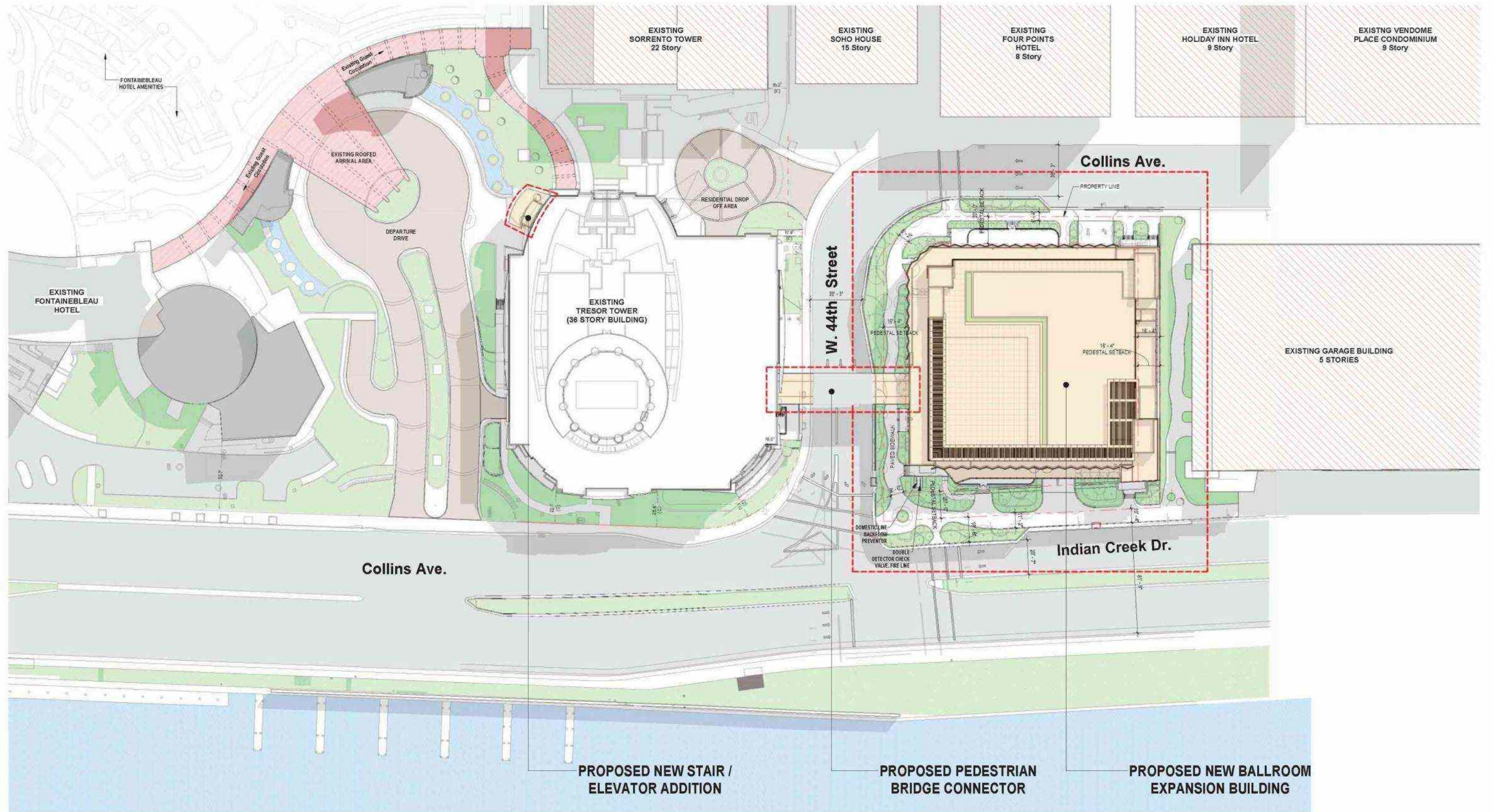
COLLINS AVE

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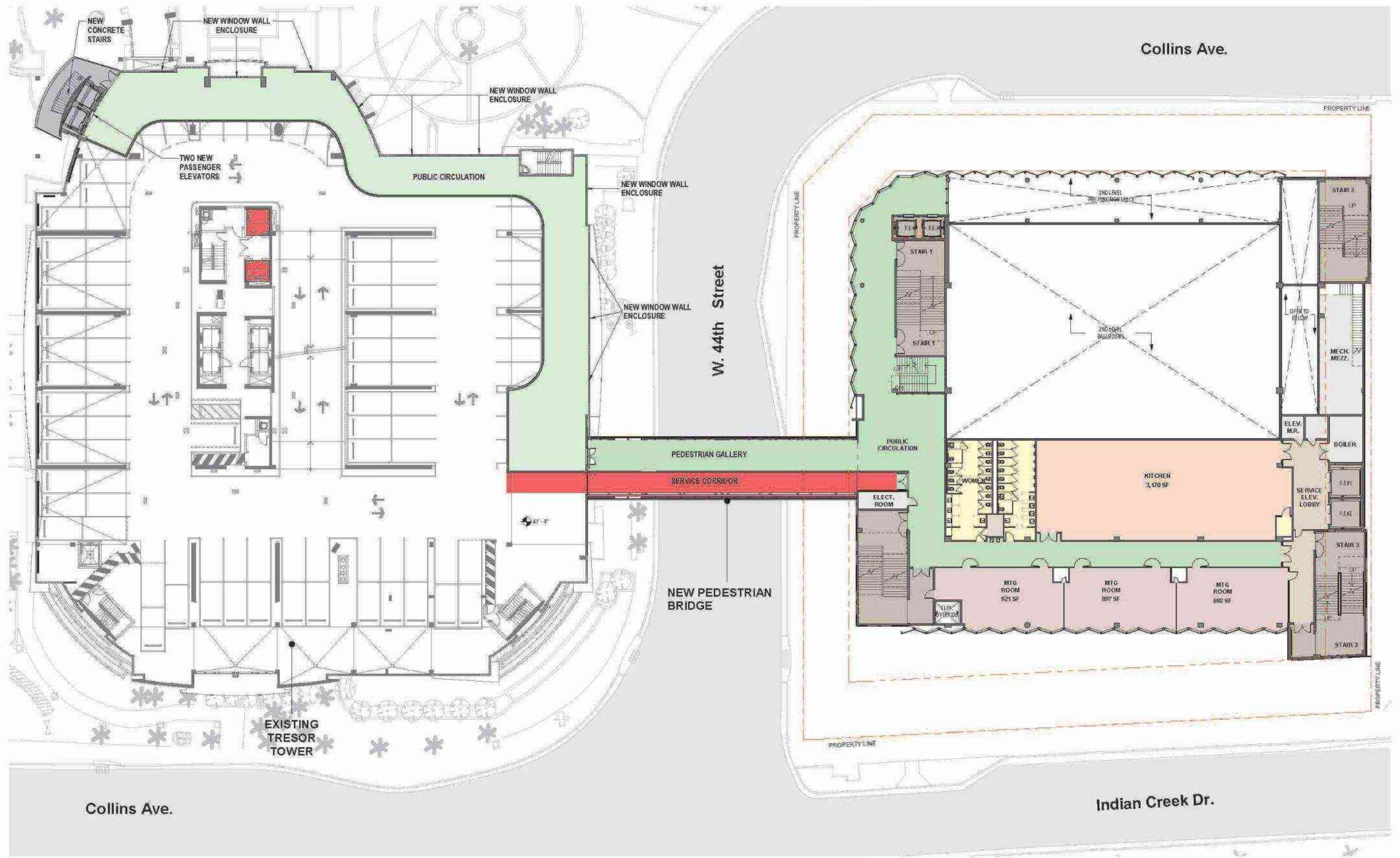
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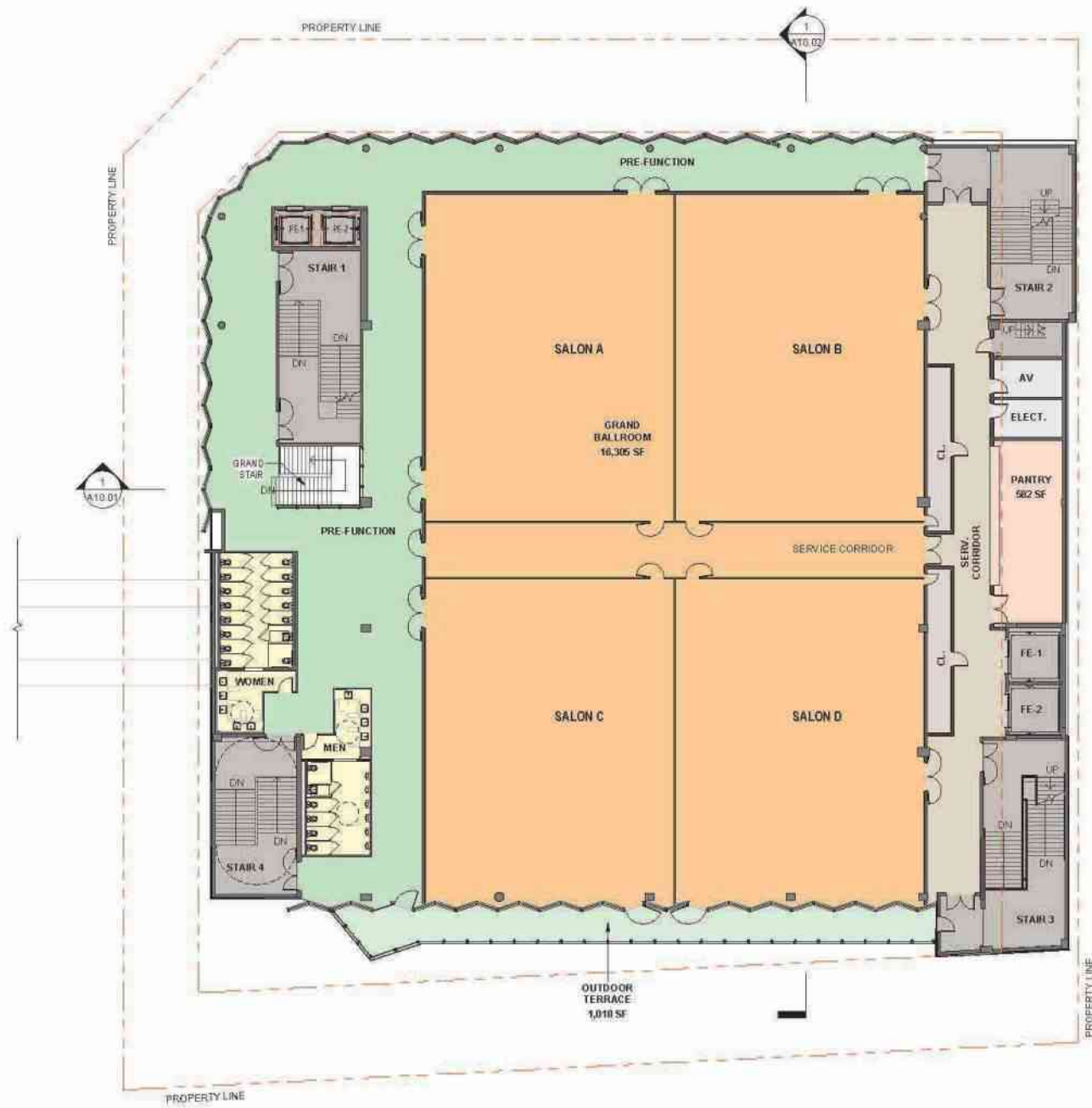
 CONTEXT LOCATION PLAN



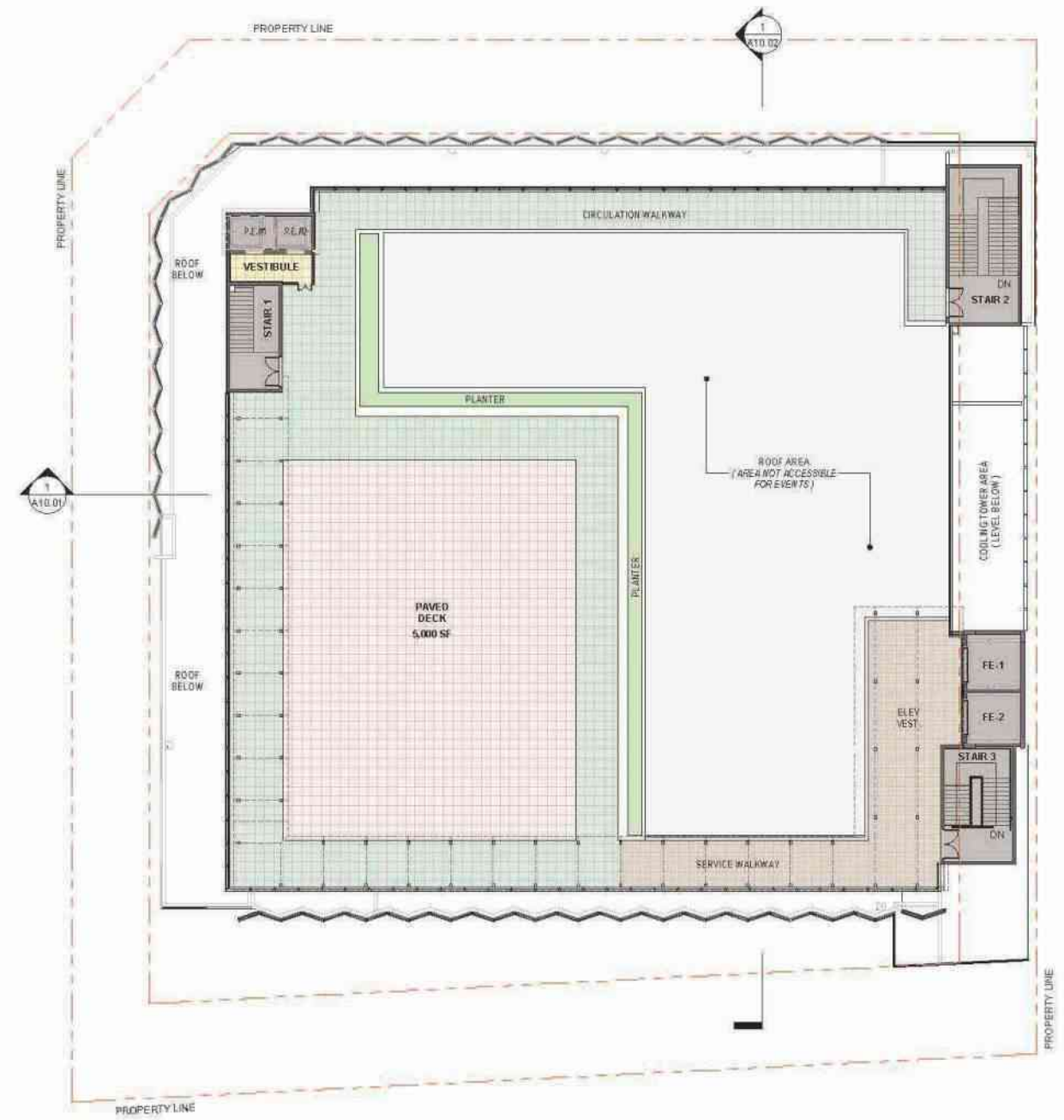
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 A04 1/32" = 1'-0"



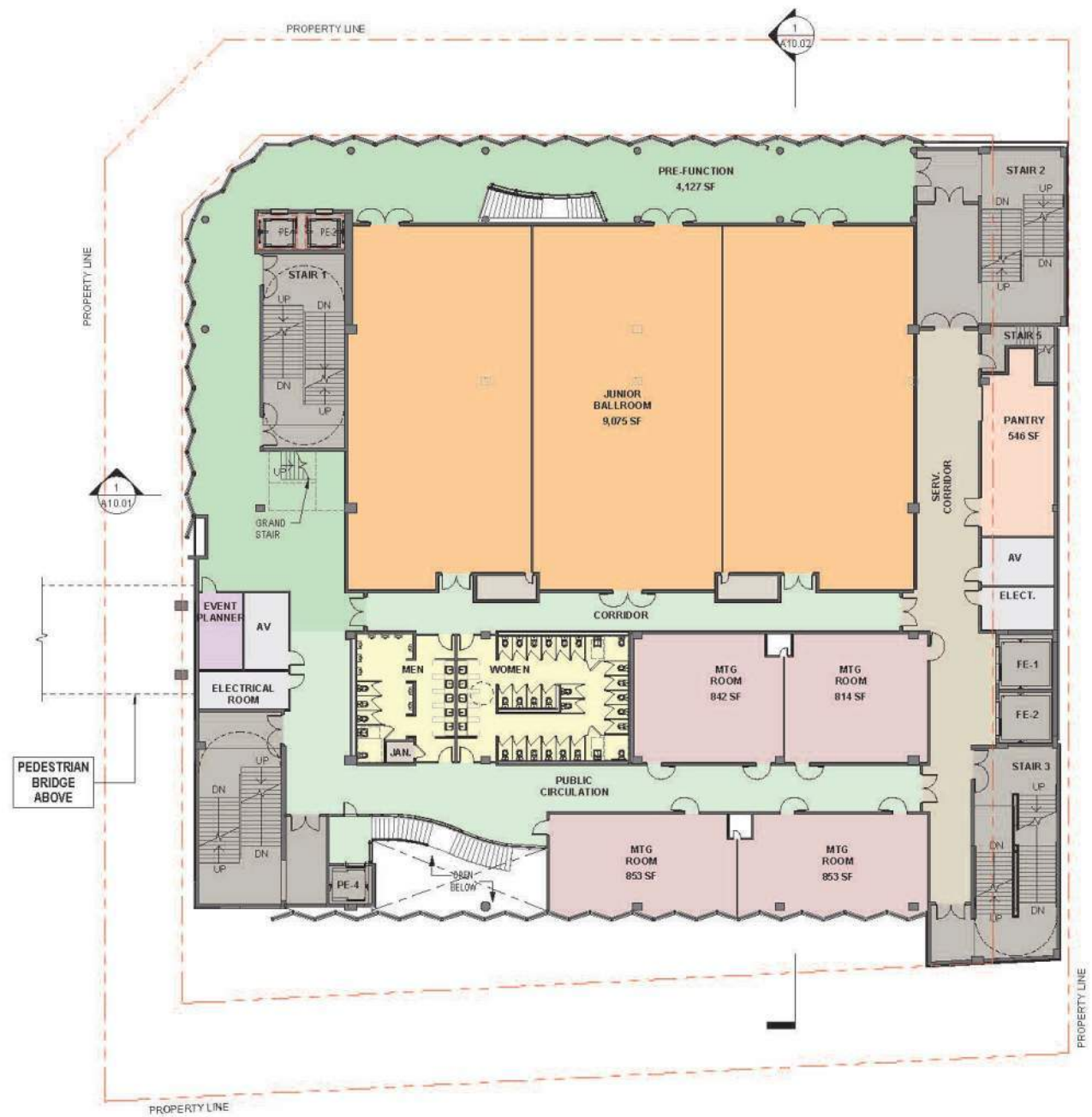
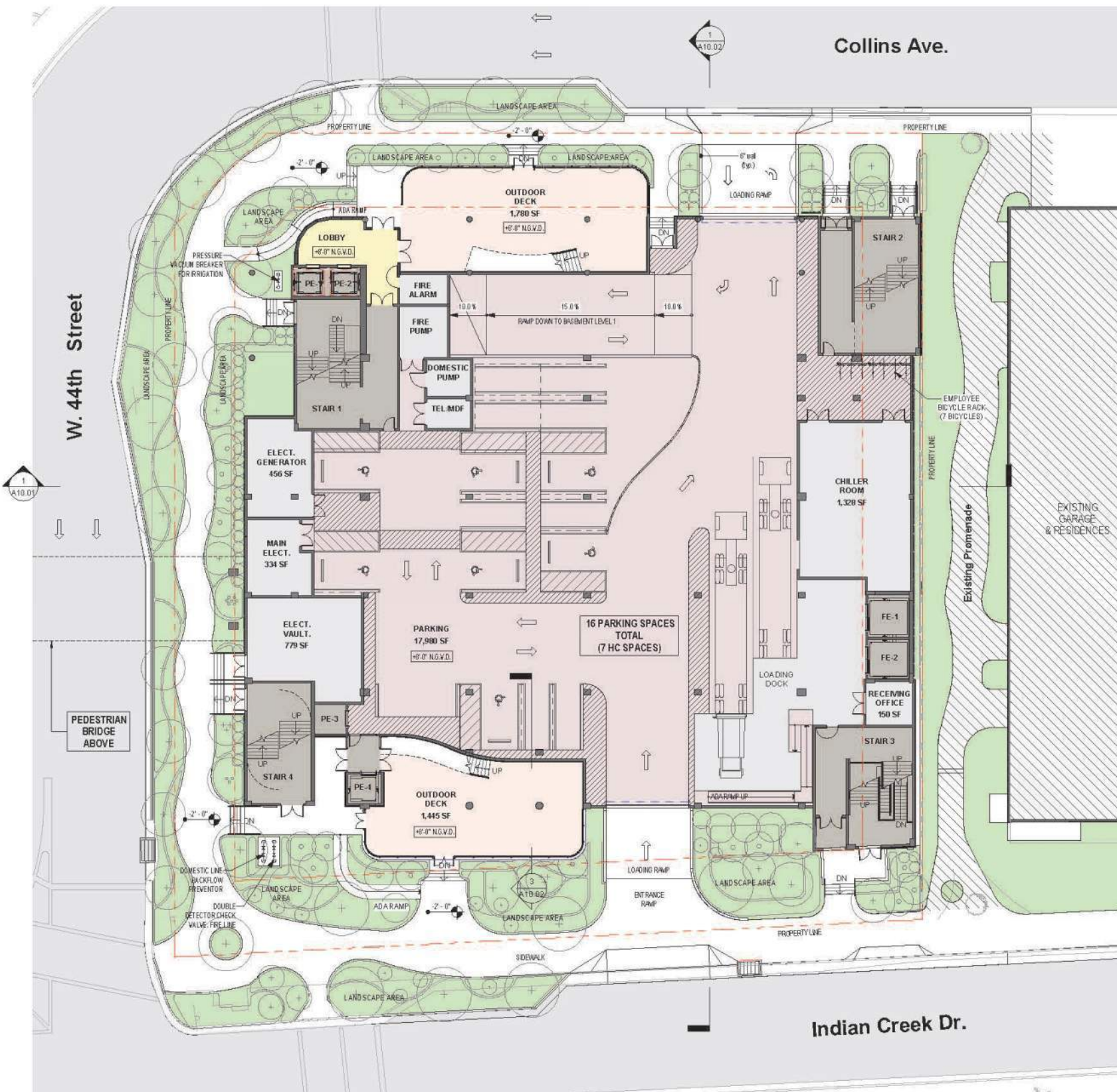
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4TH LEVEL - FLOOR PLAN
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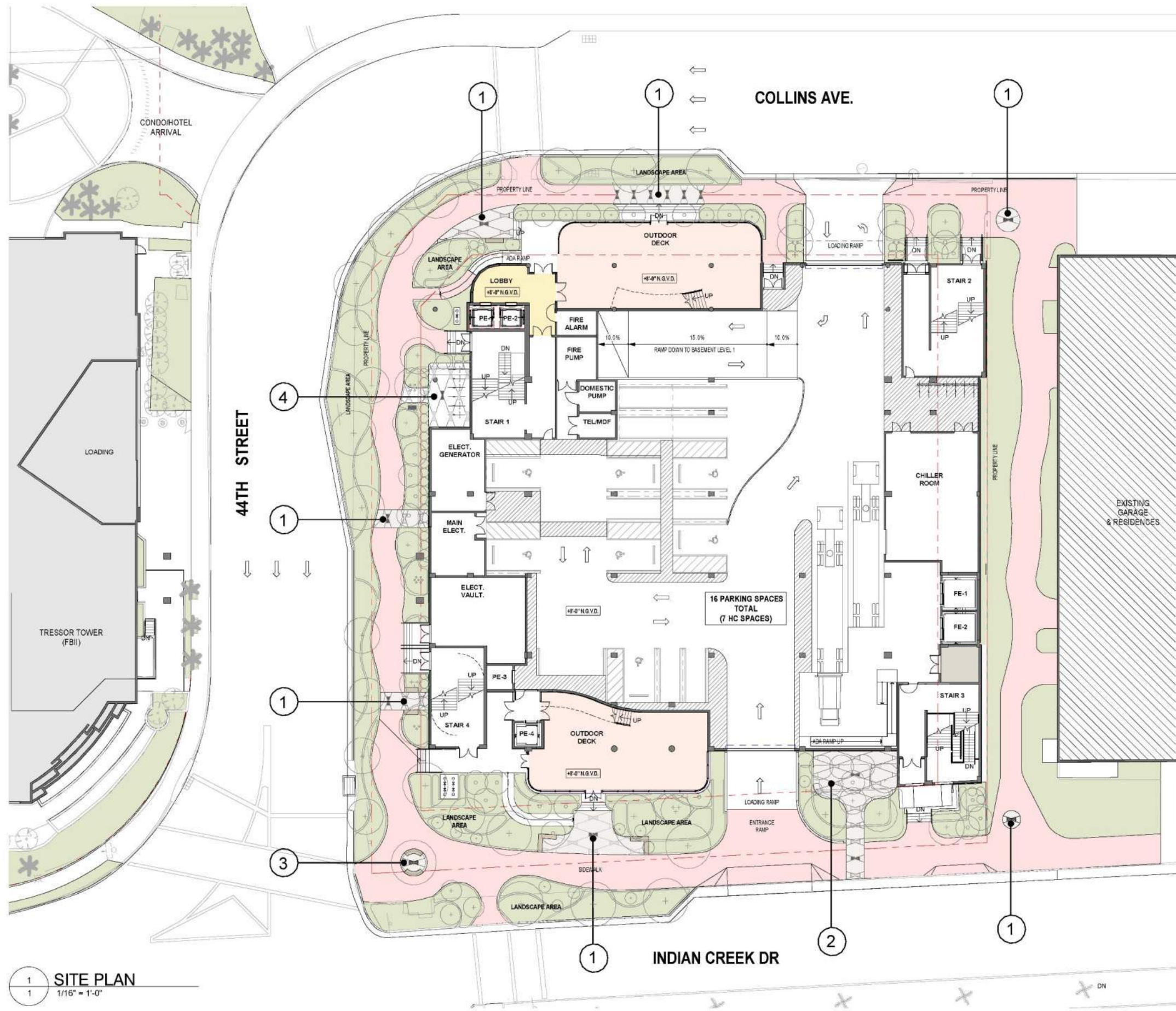


2
A08
ROOF TOP DECK - FLOOR PLAN
1/16" = 1'-0"



1 GROUND LEVEL - FLOOR PLAN
 A09 1/16" = 1'-0"

2 2ND LEVEL - FLOOR PLAN
 A09 1/16" = 1'-0"



1 BOWTIE PAVEMENT TRIGGERING AUGMENTED REALITY HISTORICAL VIDEO OF MID CENTURY MODERN MOVEMENT IN THE DISTRICT.



2 "MORRIS LAPIDUS TERRACE". BOWTIE PAVEMENT TRIGGERING AUGMENTED REALITY HISTORICAL NARRATION OF MORRIS LAPIDUS & THE FONTAINEBLEAU HOTEL.

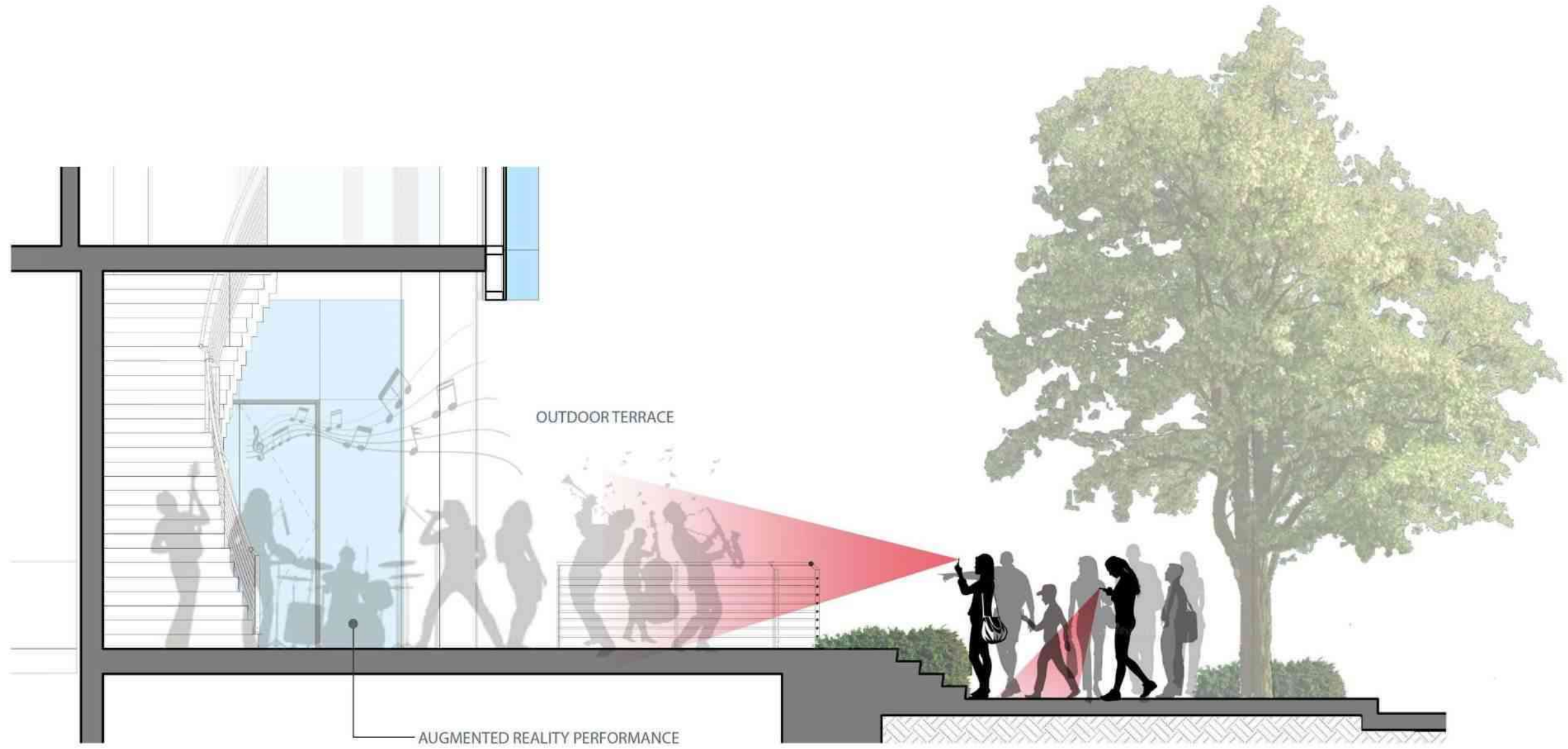
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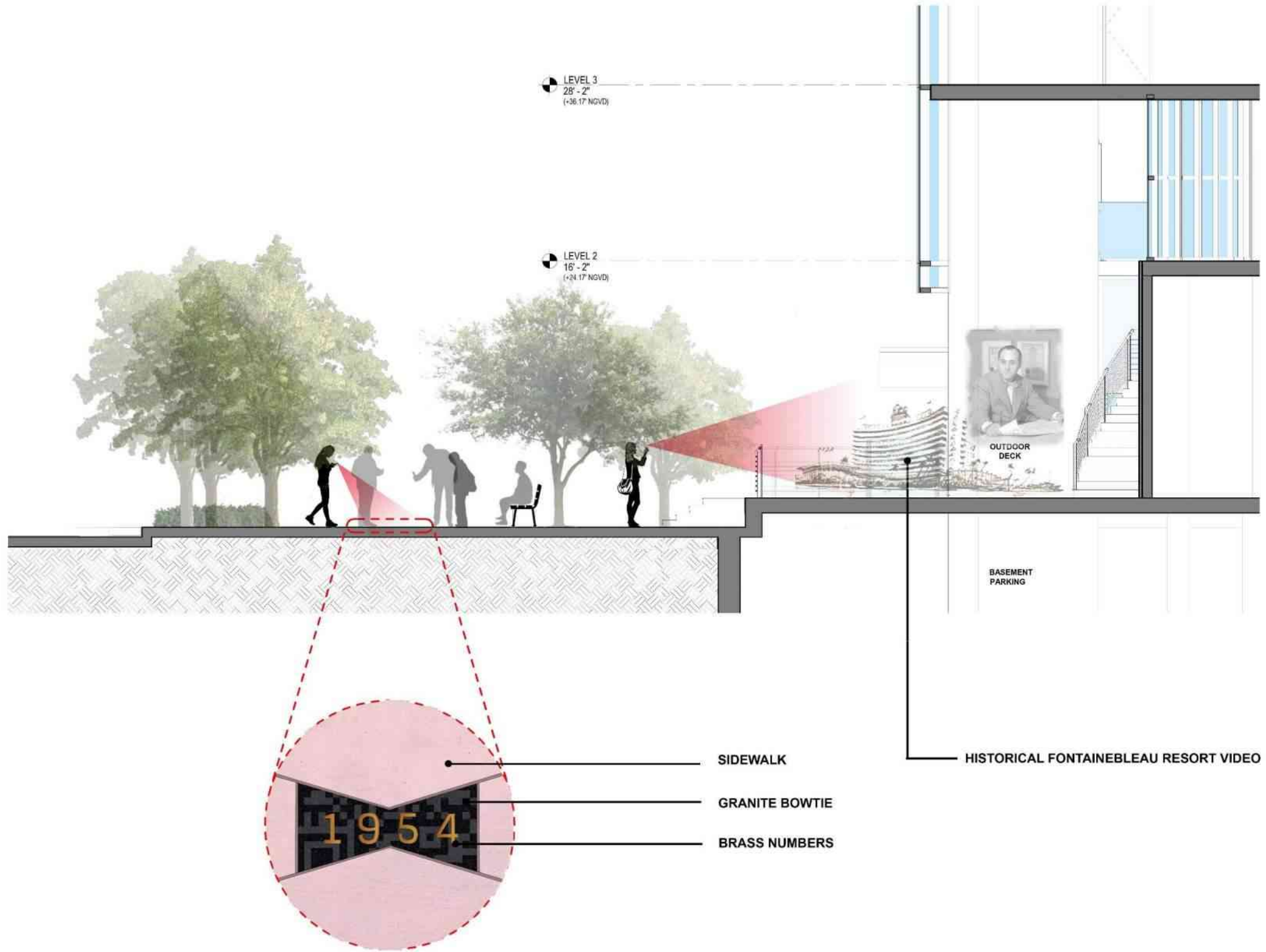
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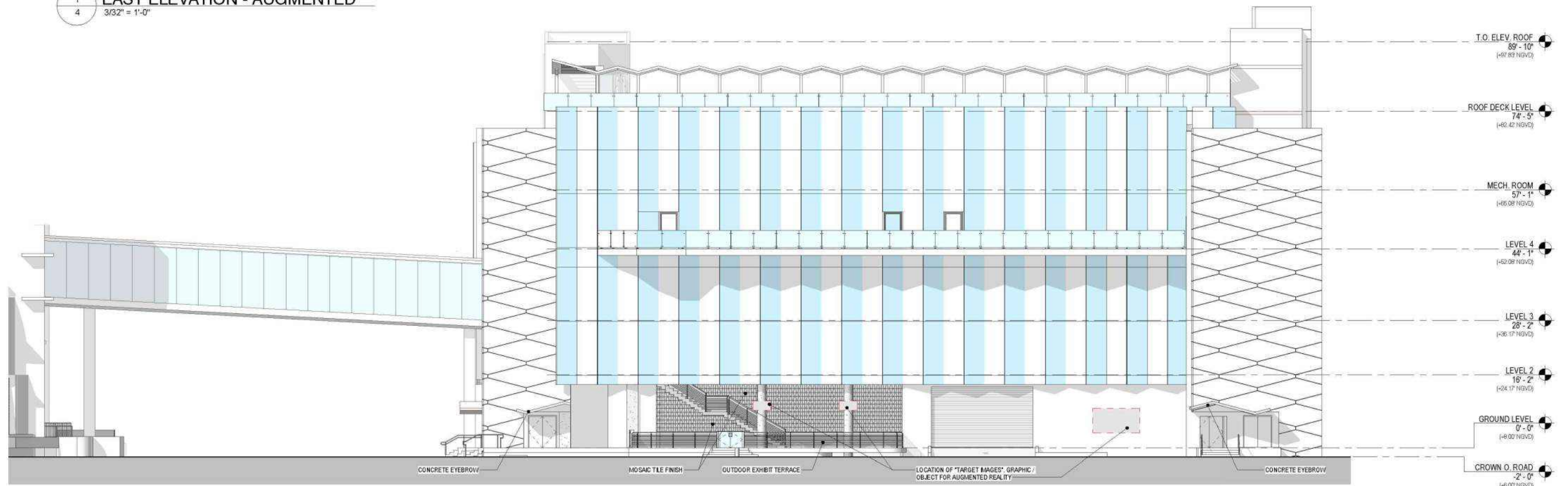
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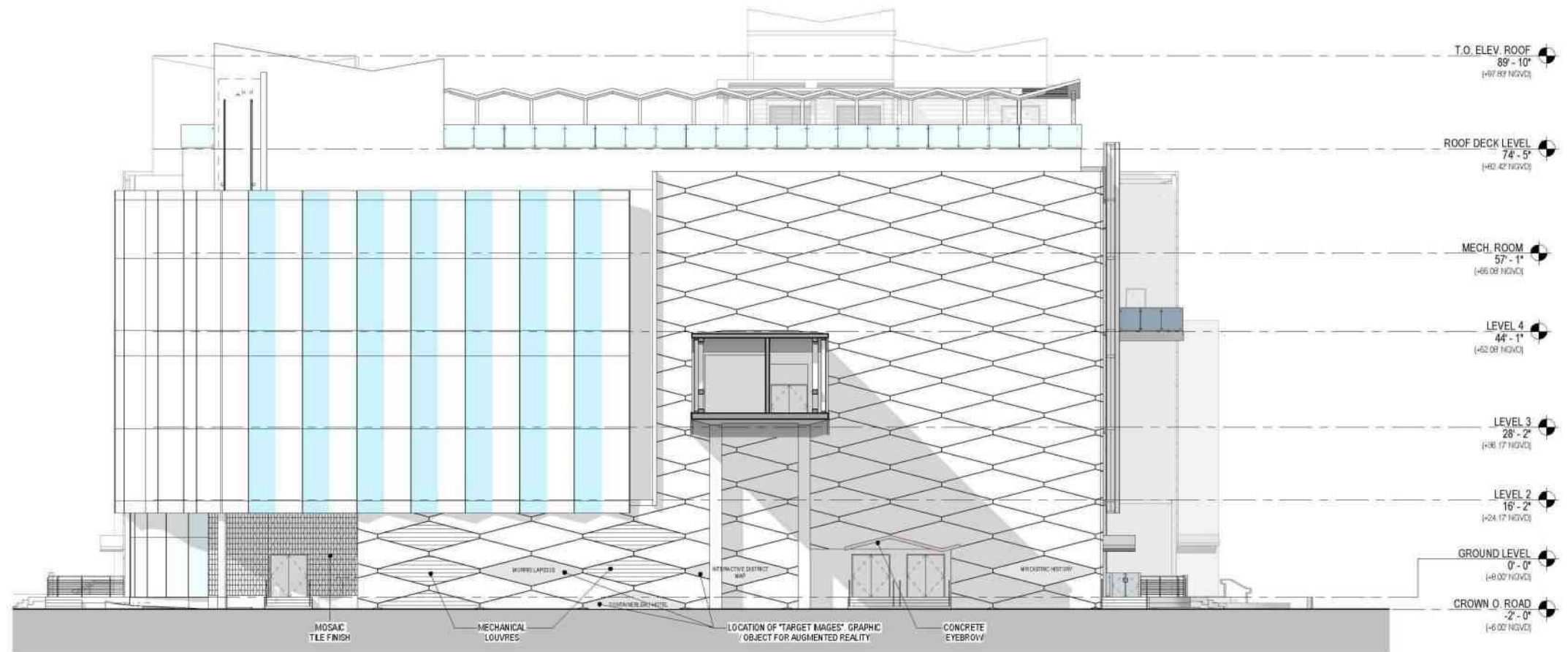
WEST TERRACE SECTION



1 EAST ELEVATION - AUGMENTED
 4 3/32" = 1'-0"



2 WEST ELEVATION - AUGMENTED
 4 3/32" = 1'-0"



1 NORTH ELEVATION - AUGMENTED
 5 3/32" = 1'-0"

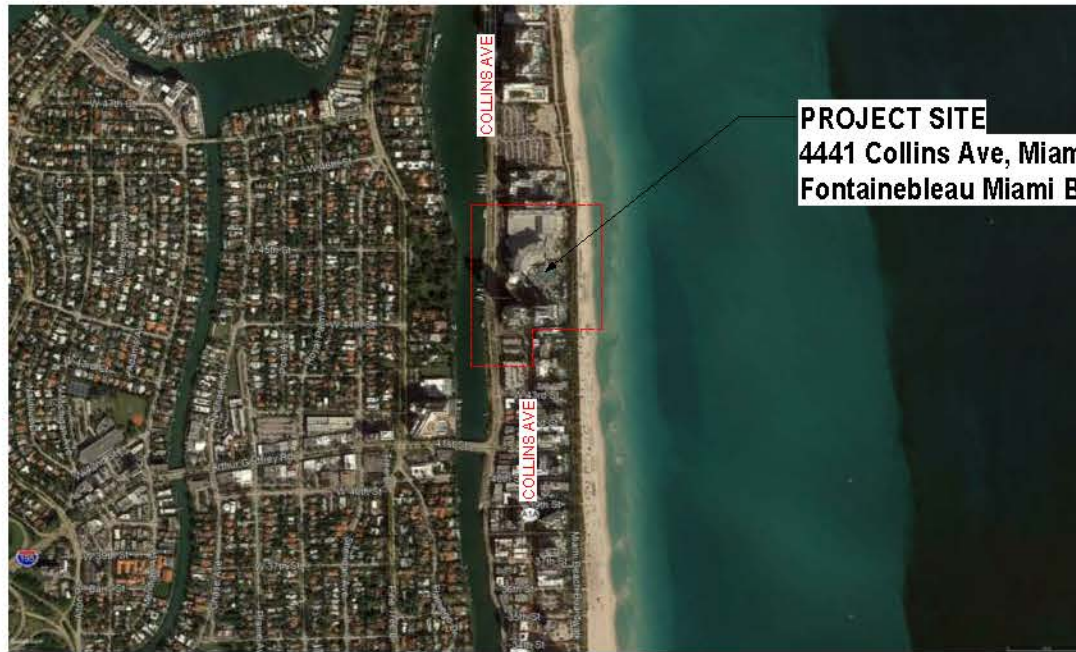


EAST TERRACE RENDERING



WEST TERRACE RENDERING

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10/13/2020 (FOR REFERENCE ONLY)



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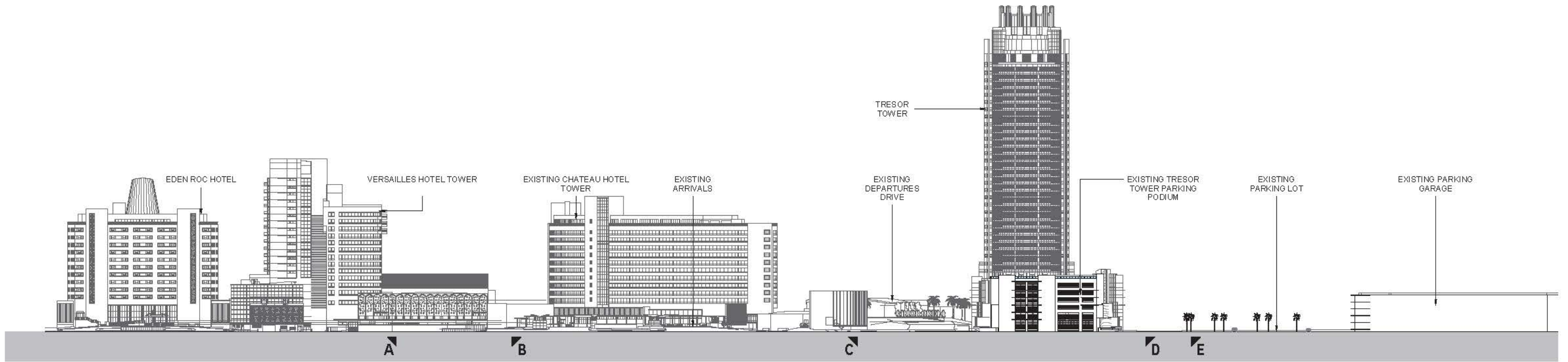
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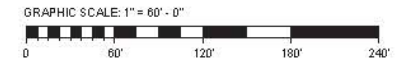
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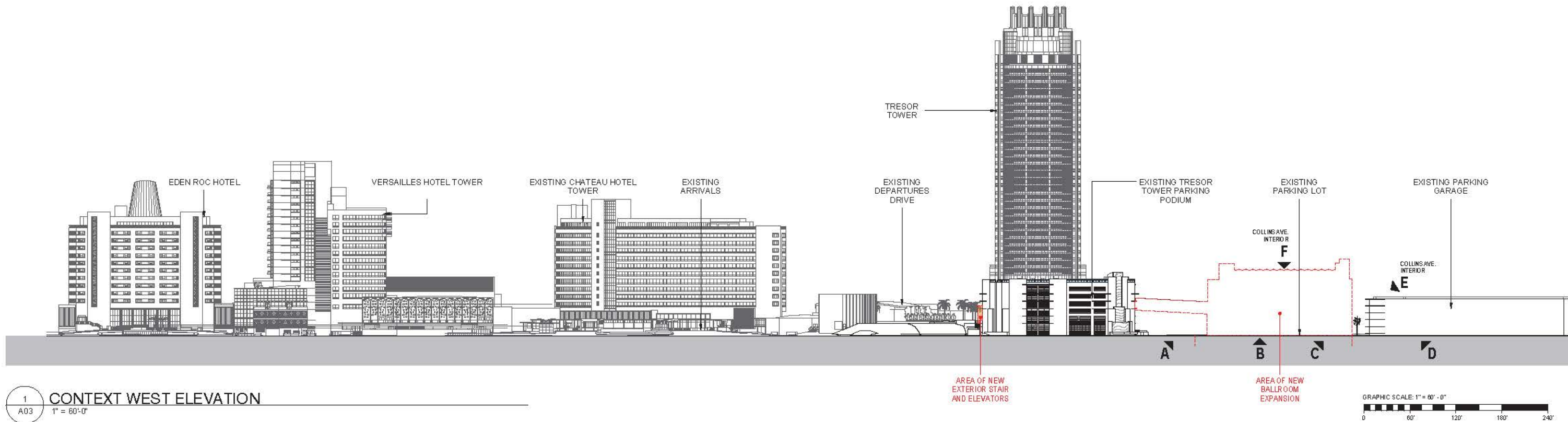
**NEW BALLROOM
 EXPANSION PROJECT**

 CONTEXT LOCATION PLAN



1
A02
CONTEXT WEST ELEVATION
1" = 60'-0"





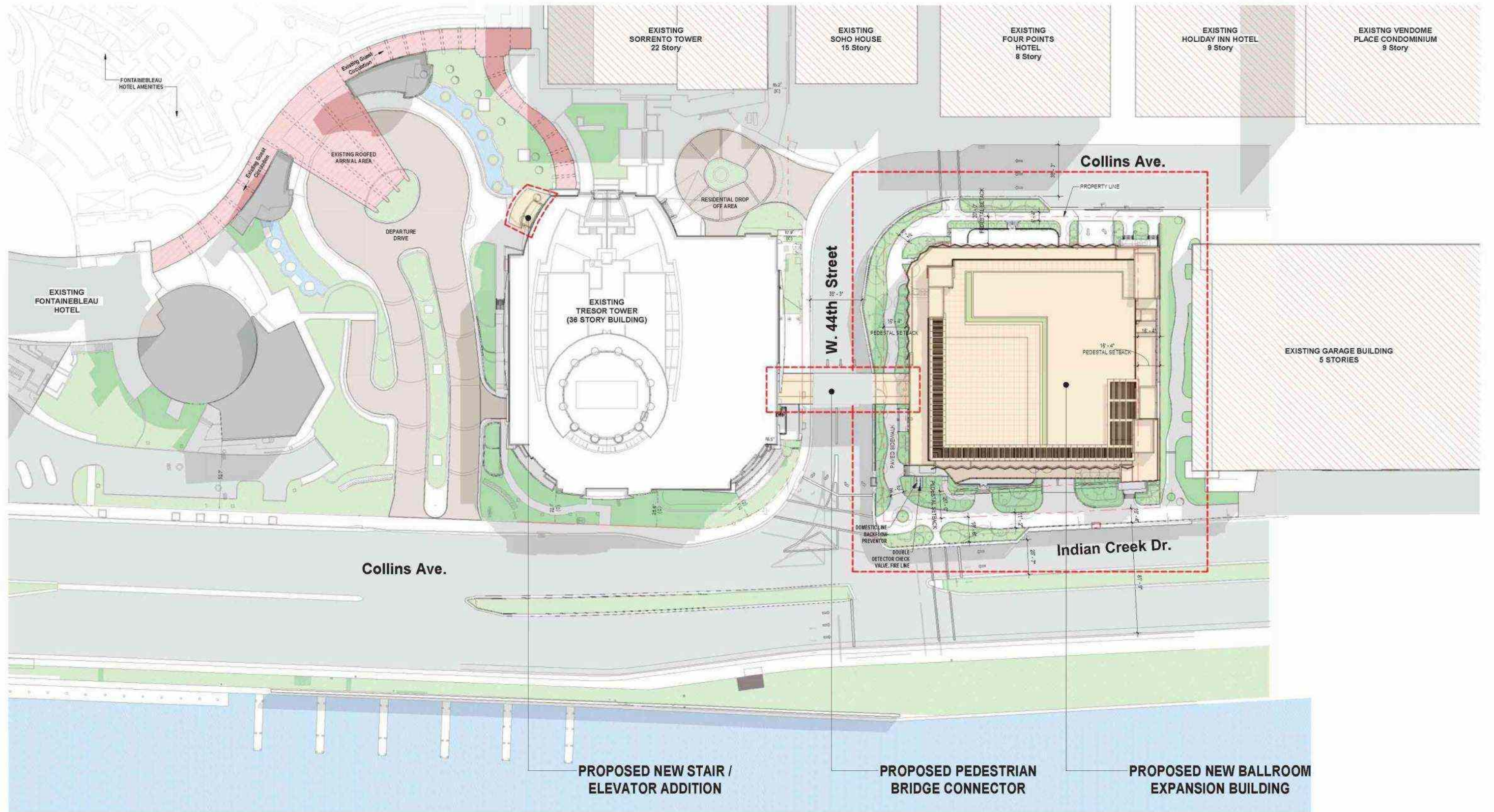
1
A03
CONTEXT WEST ELEVATION
1" = 60'-0"



INTERIOR IMAGE ALONG 44TH STREET



INTERIOR IMAGE ALONG 44TH STREET



1 SITE PLAN_COLORED
 A04 1/32" = 1'-0"



1 ARRIVAL LEVEL- OVERALL - FLOOR PLAN
A05 1" = 20'-0"



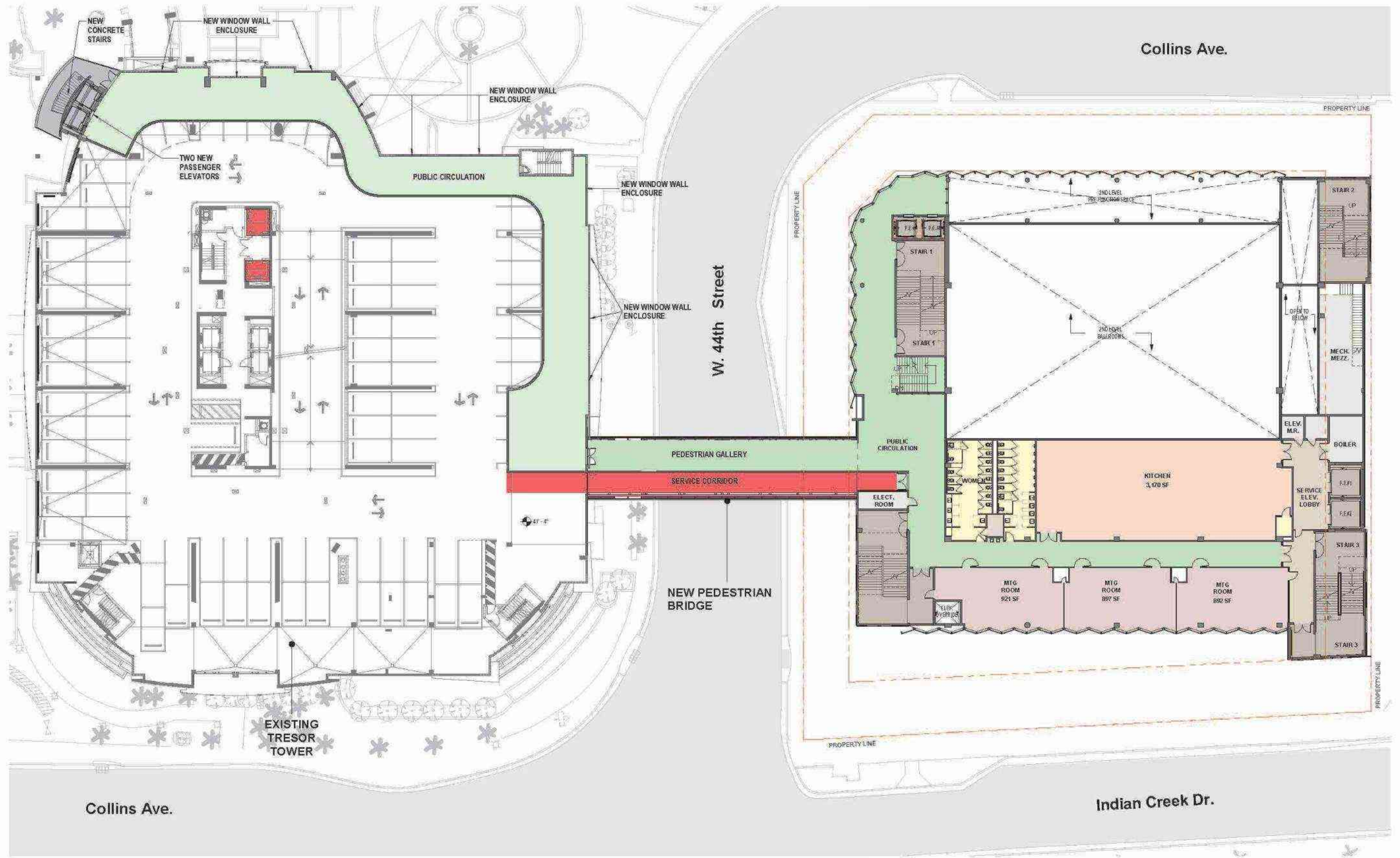
2 EXISTING ARRIVAL IMAGES
A05



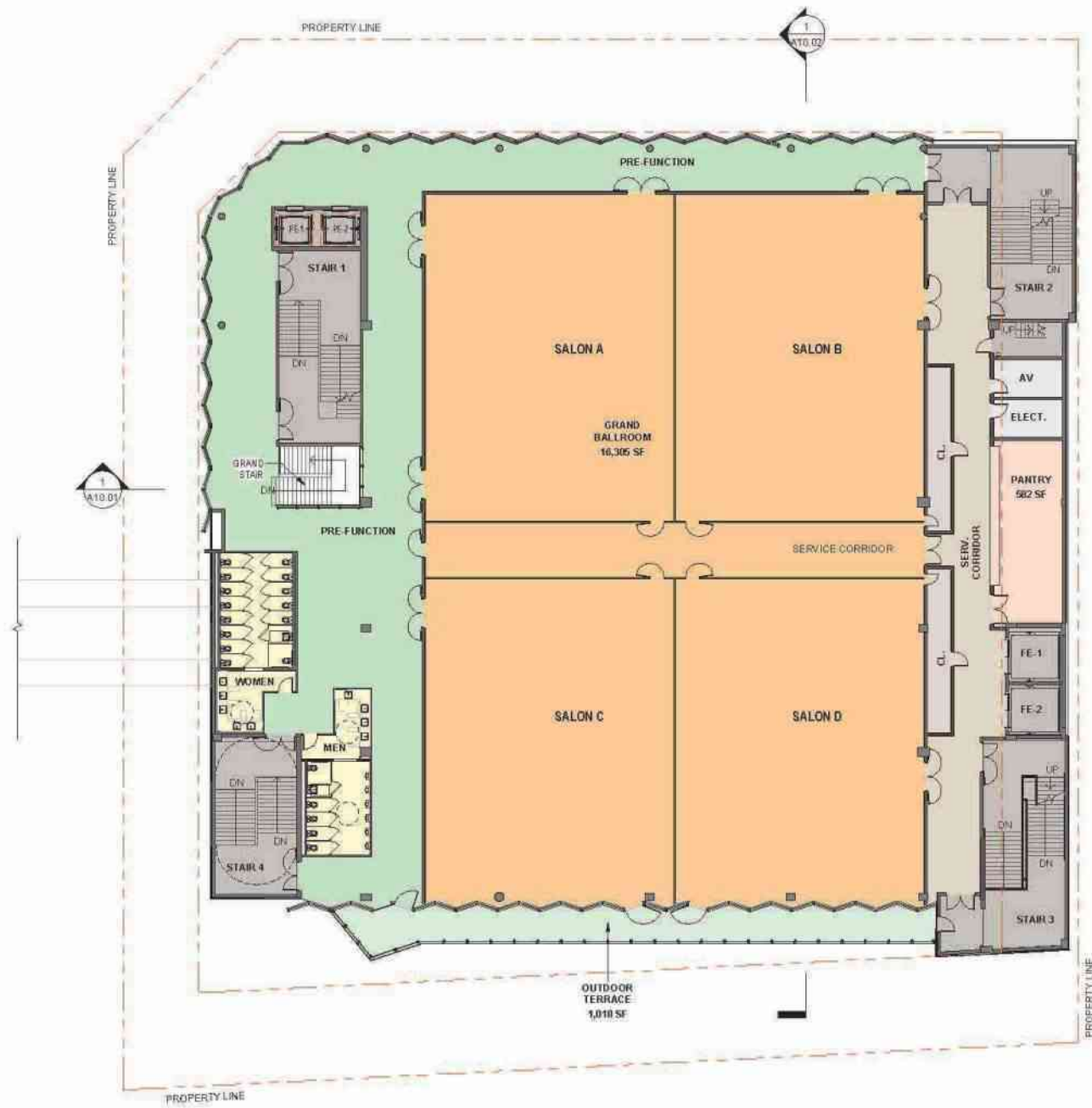
1
A06
EXISTING TRESOR TOWER
8" = 1'-0"



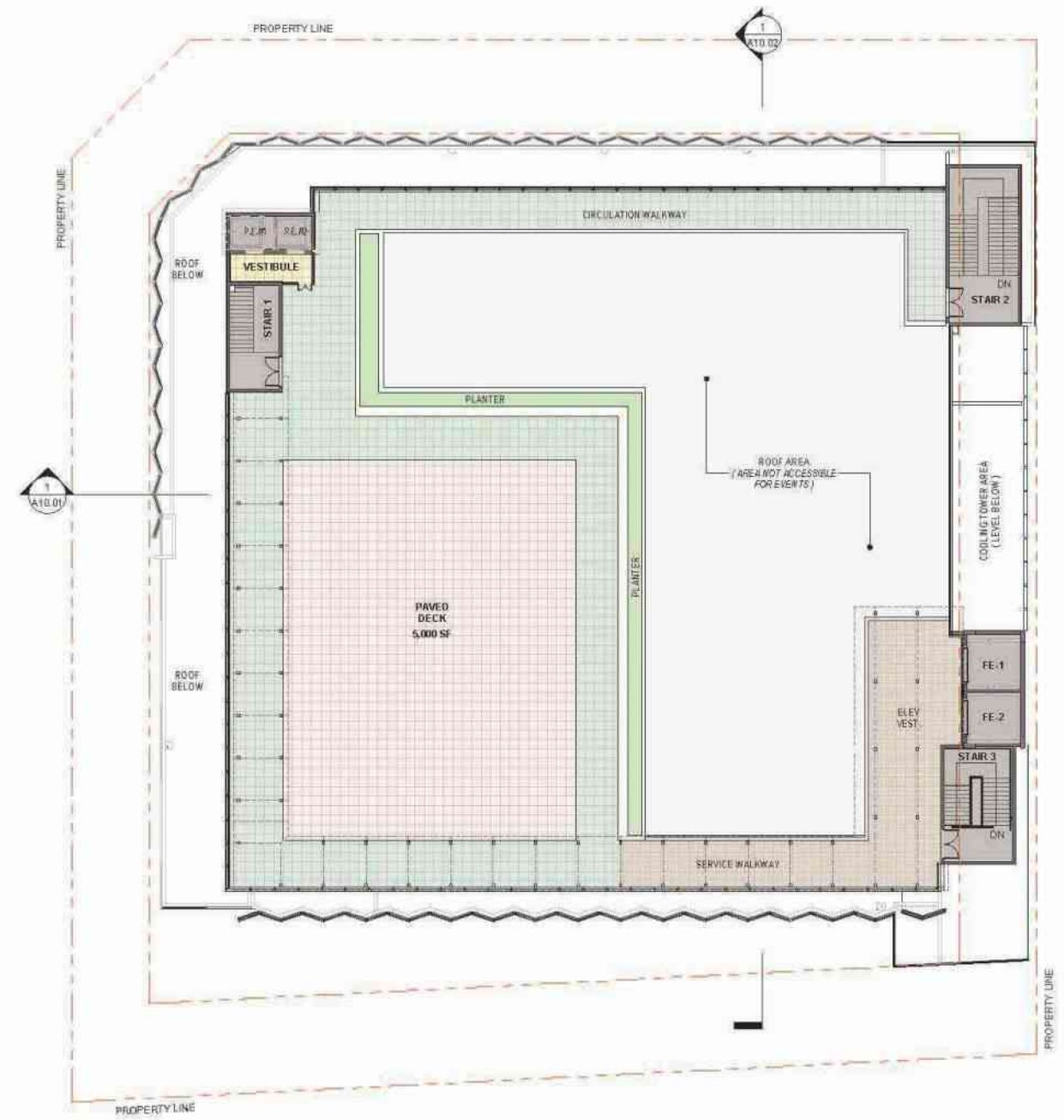
2
A06
STAIR - ELEVATOR ADDITION
8" = 1'-0"



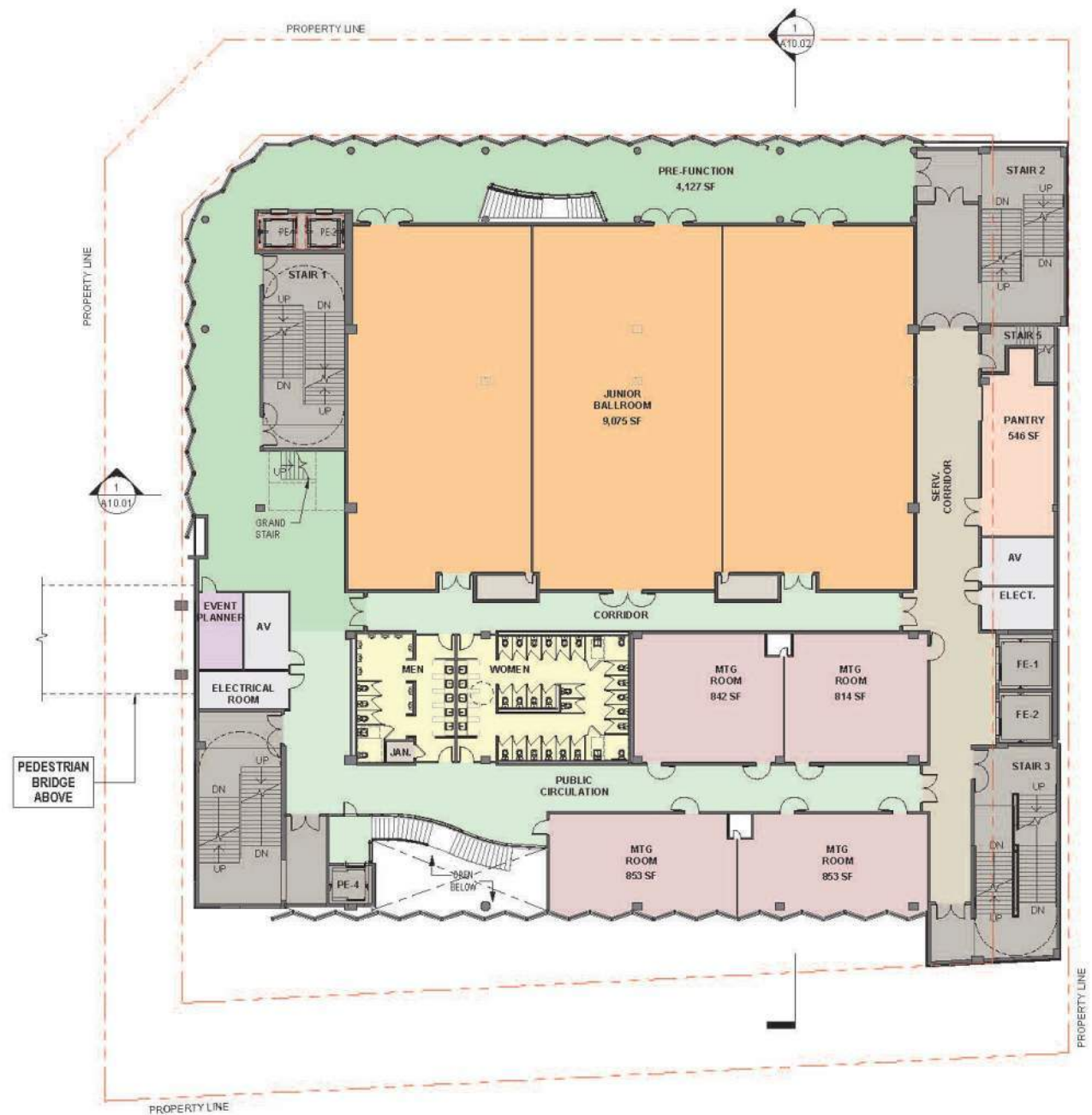
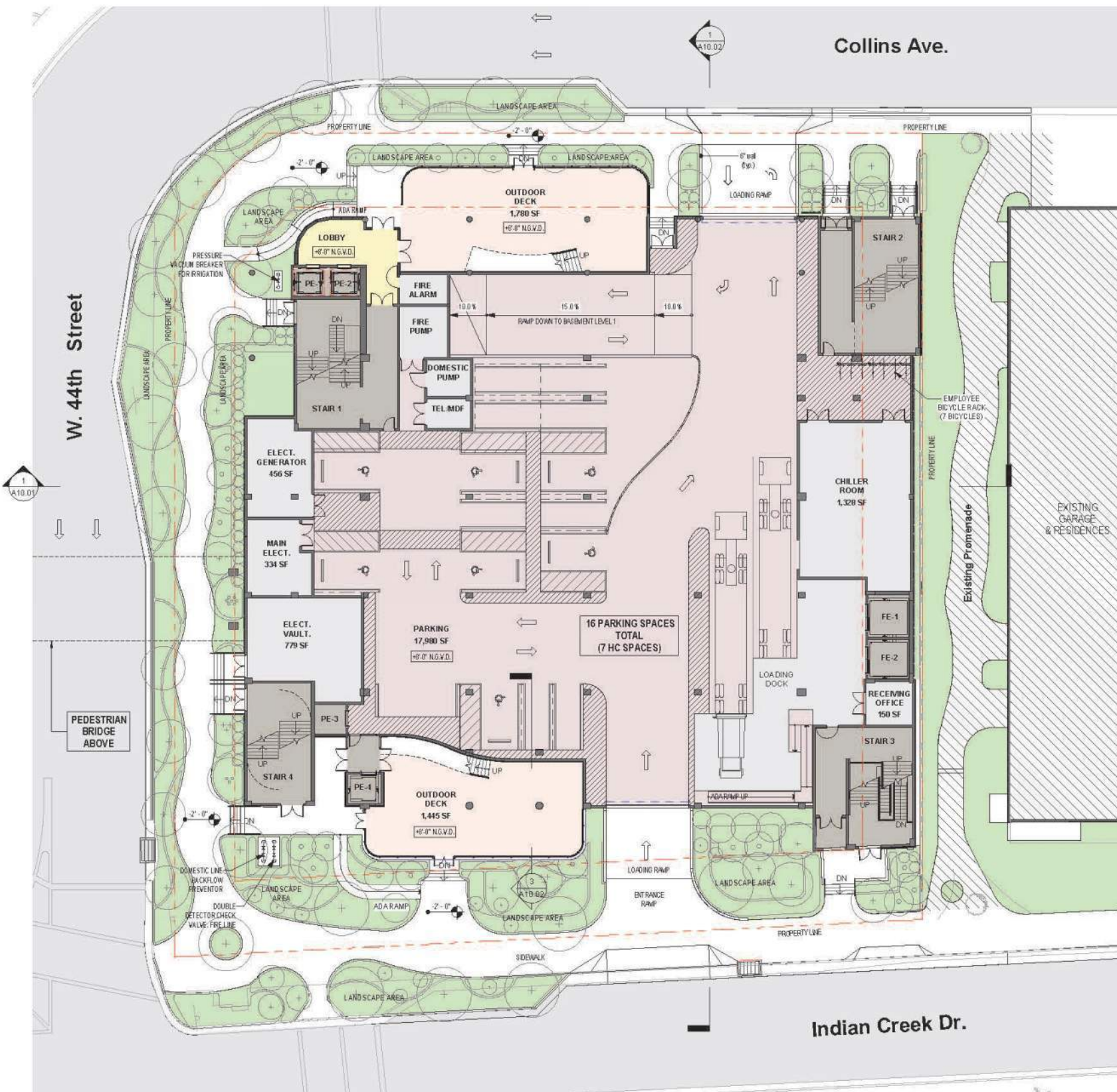
1
A07
3RD LEVEL - OVERALL - FLOOR PLAN
1/16" = 1'-0"



1
A08
4TH LEVEL - FLOOR PLAN
1/16" = 1'-0"

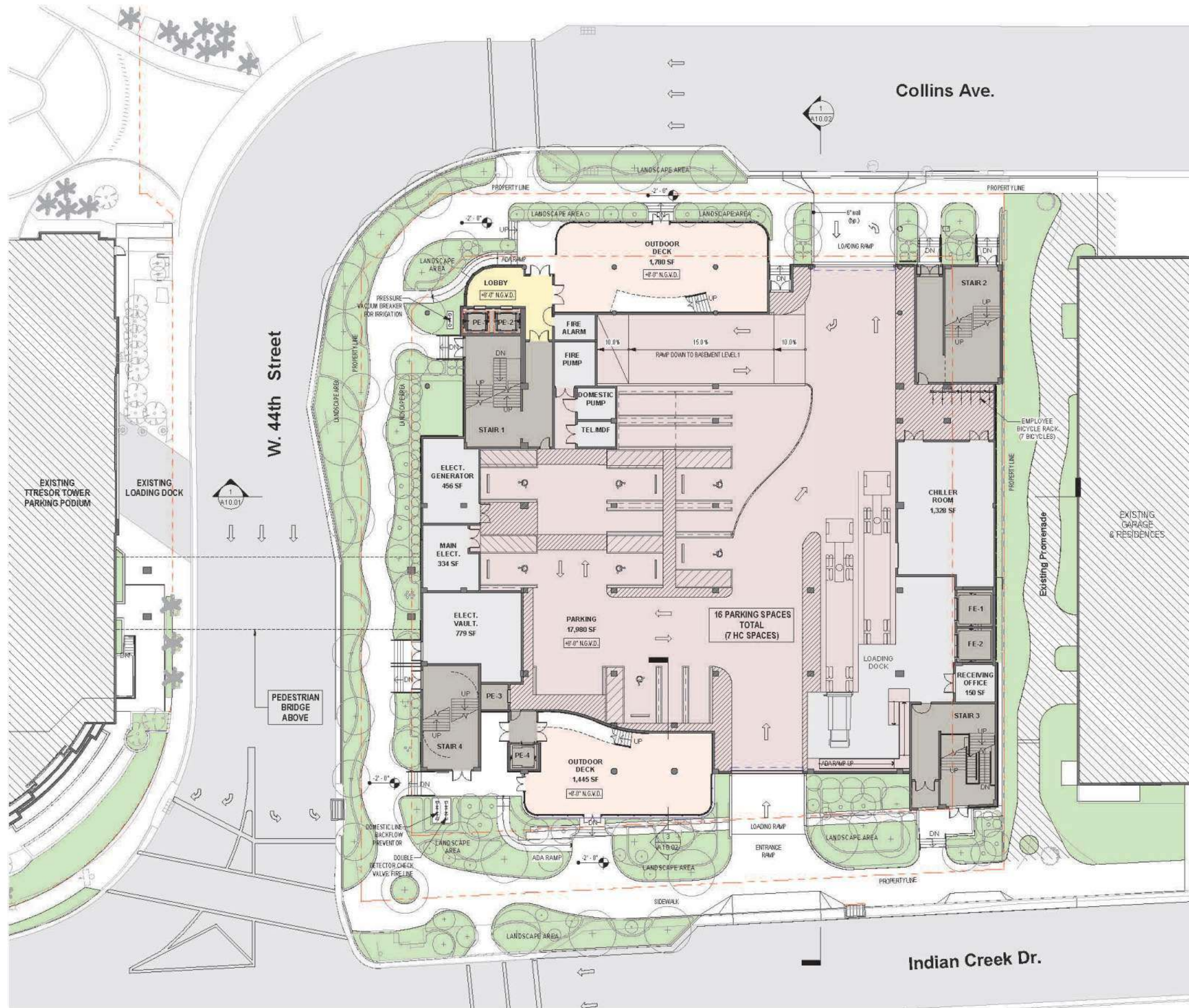


2
A08
ROOF TOP DECK - FLOOR PLAN
1/16" = 1'-0"

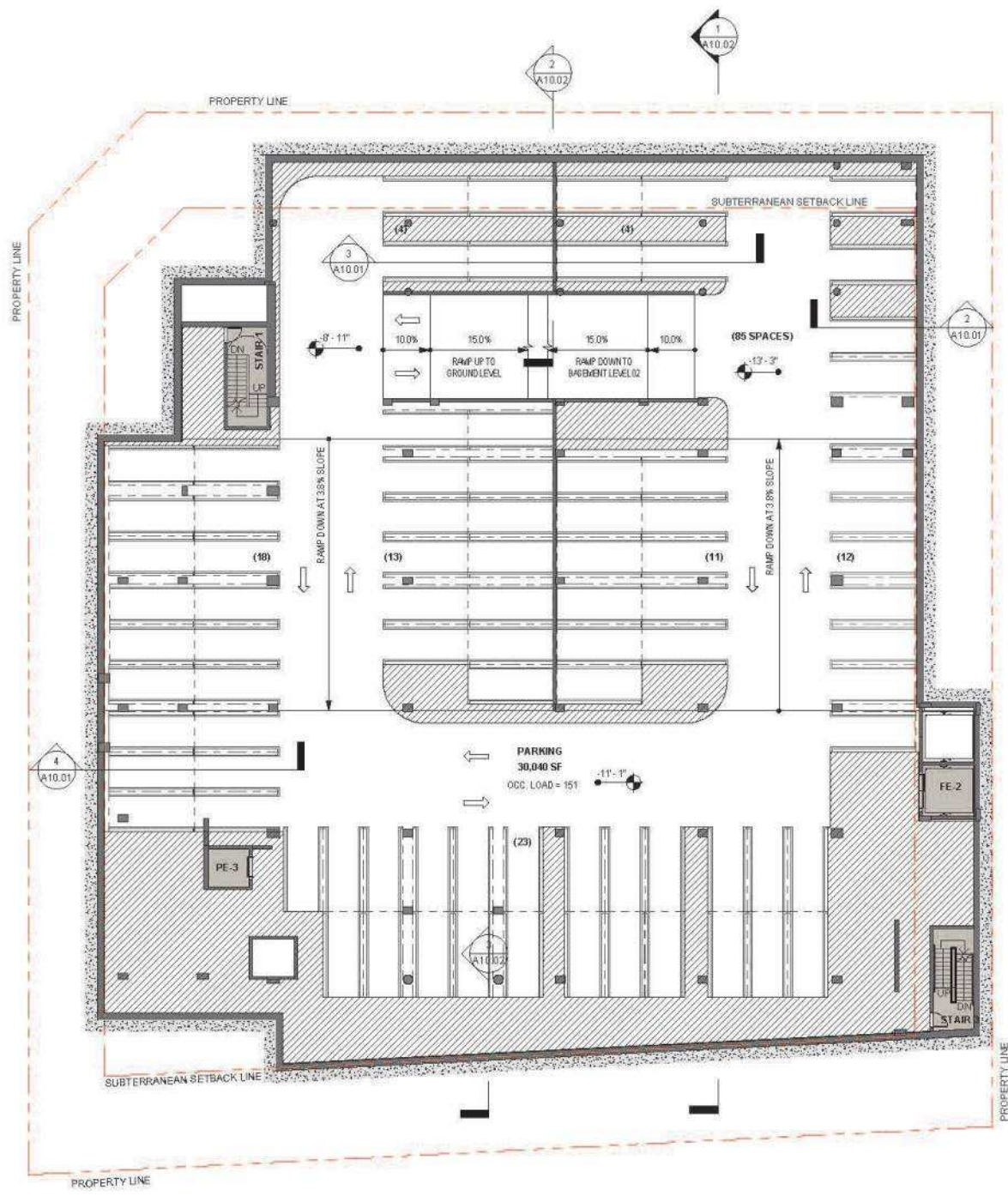


1 GROUND LEVEL - FLOOR PLAN
A09 1/16" = 1'-0"

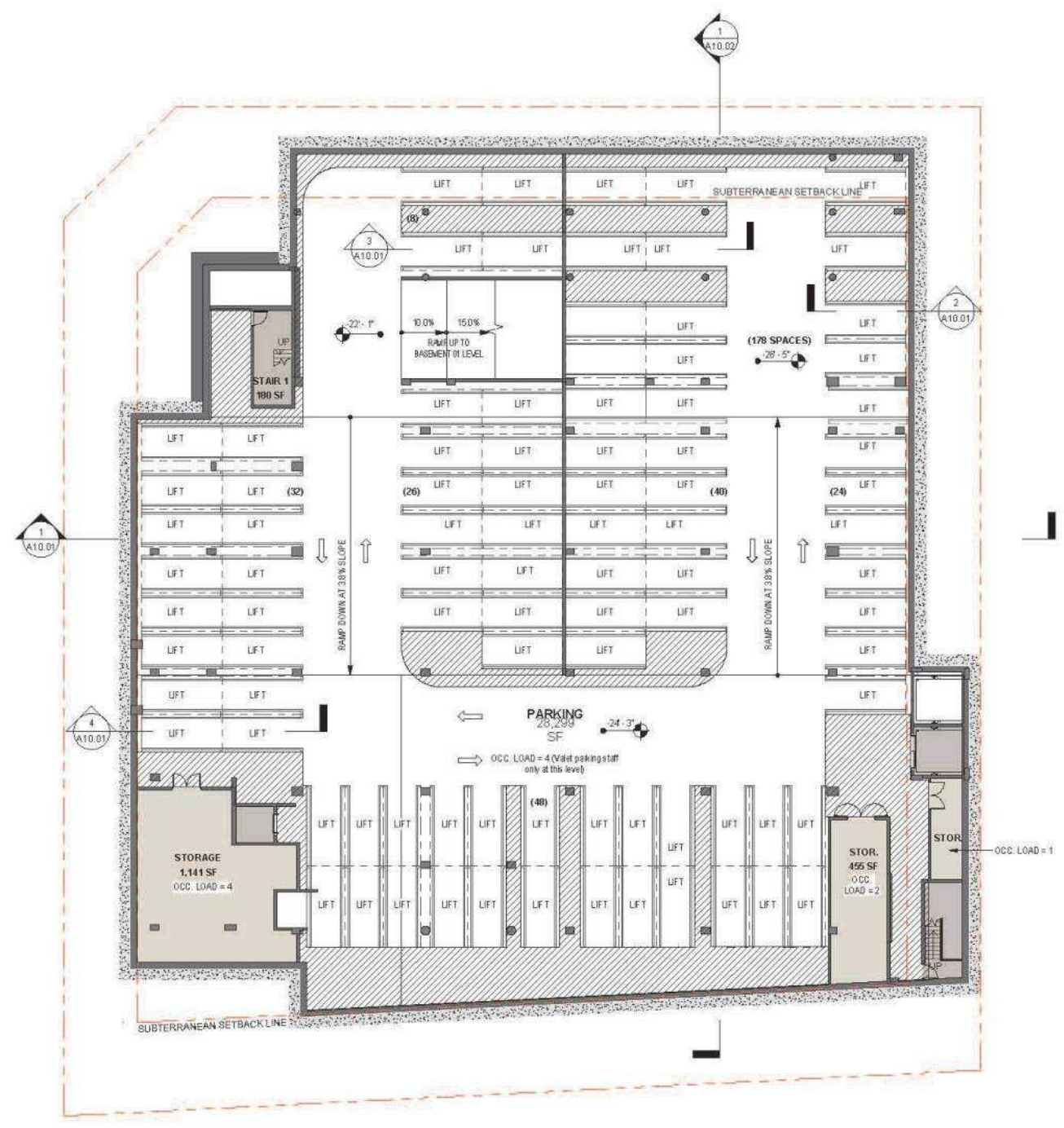
2 2ND LEVEL - FLOOR PLAN
A09 1/16" = 1'-0"



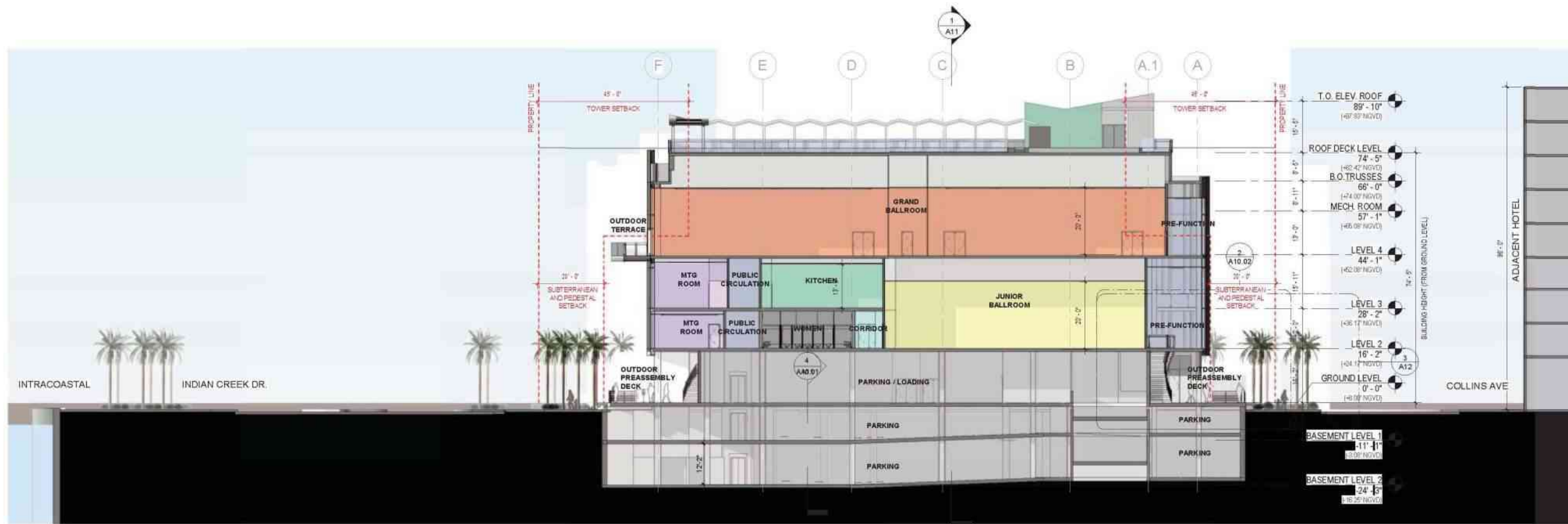
1
A10
GROUND LEVEL - FLOOR PLAN
1/16" = 1'-0"



1 BASEMENT LEVEL 1 - FLOOR PLAN
A10.1 1/16" = 1'-0"



2 BASEMENT LEVEL 2 - FLOOR PLAN
A10.1 1/16" = 1'-0"



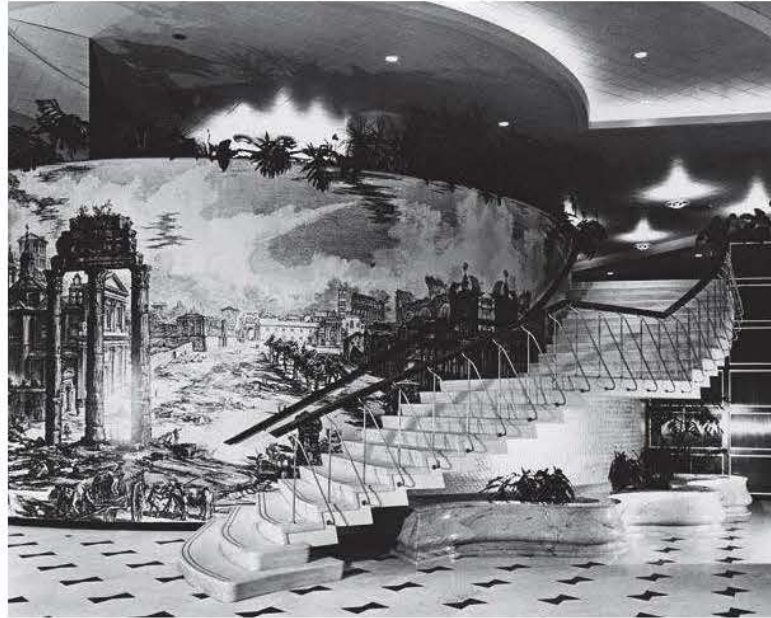
1 BUILDING SECTION 2
A12 1/16" = 1'-0"



2 ENLARGED SECTION 1
A12 1/8" = 1'-0"



3 ENLARGED SECTION 2
A12 1/8" = 1'-0"



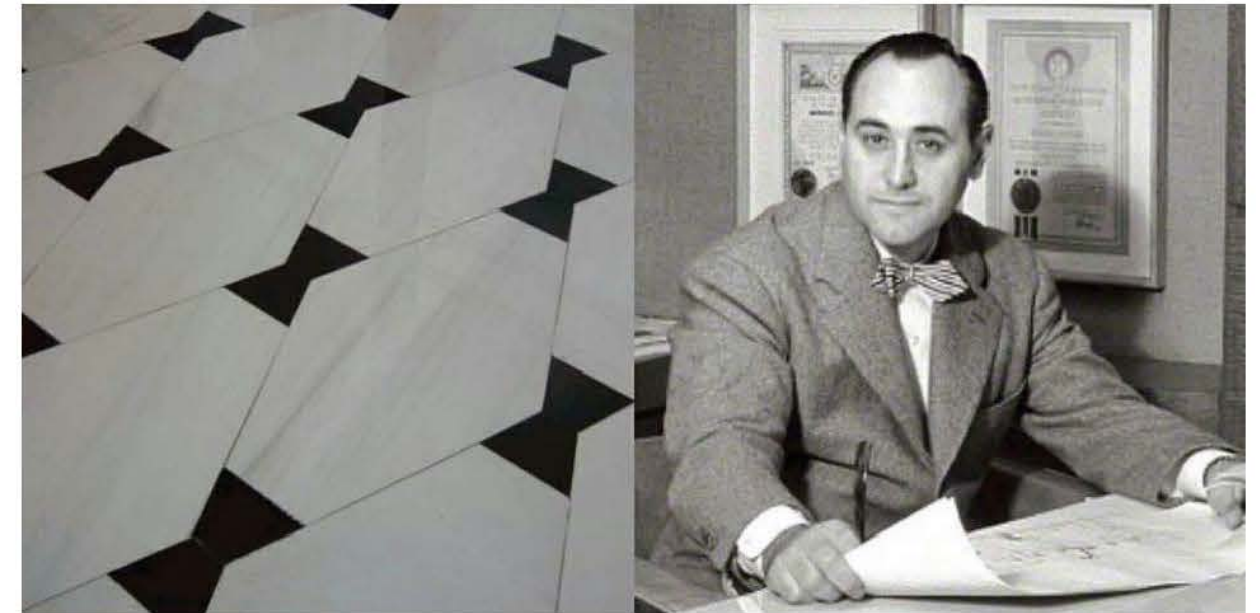
:: STAIR TO NOWHERE 1950's



:: STAIR TO NOWHERE TODAY



:: Morris Lapidus signature BowTie reflected on the wall cladding pattern.









1 SE CORNER RENDER (44TH STREET)
A16



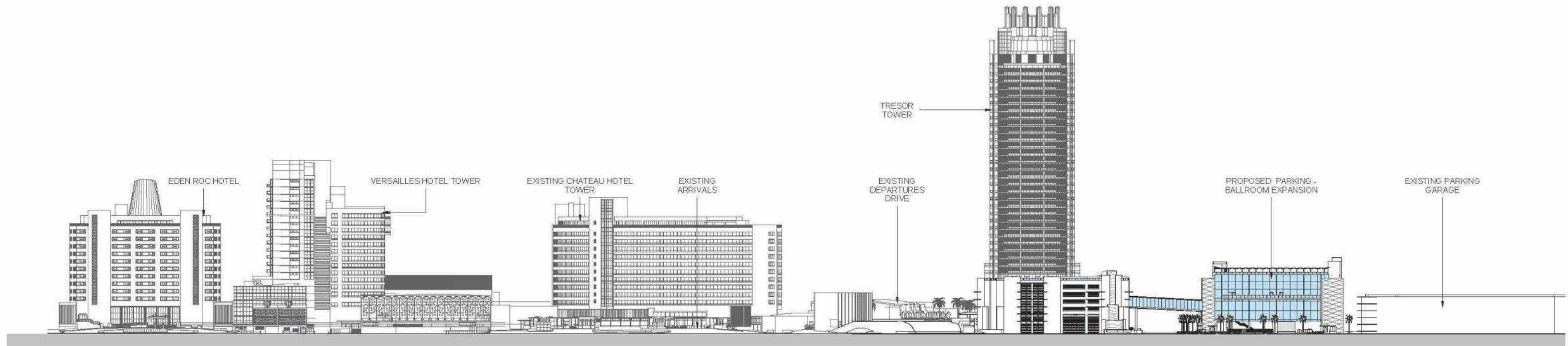
2 44TH STREET RENDERING LOOKING WEST
A16



1 NW CORNER RENDER
A17



2 SW CORNER RENDER
A17



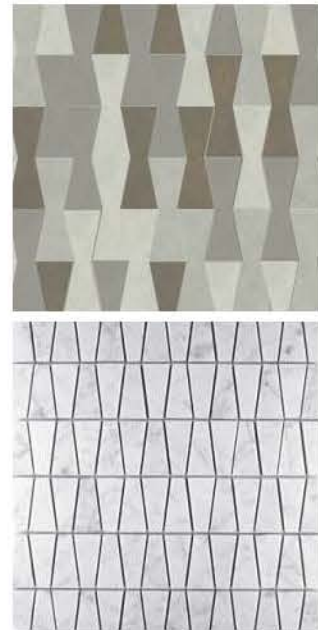
1
A18
CONTEXT WEST ELEVATION
1" = 60'-0"



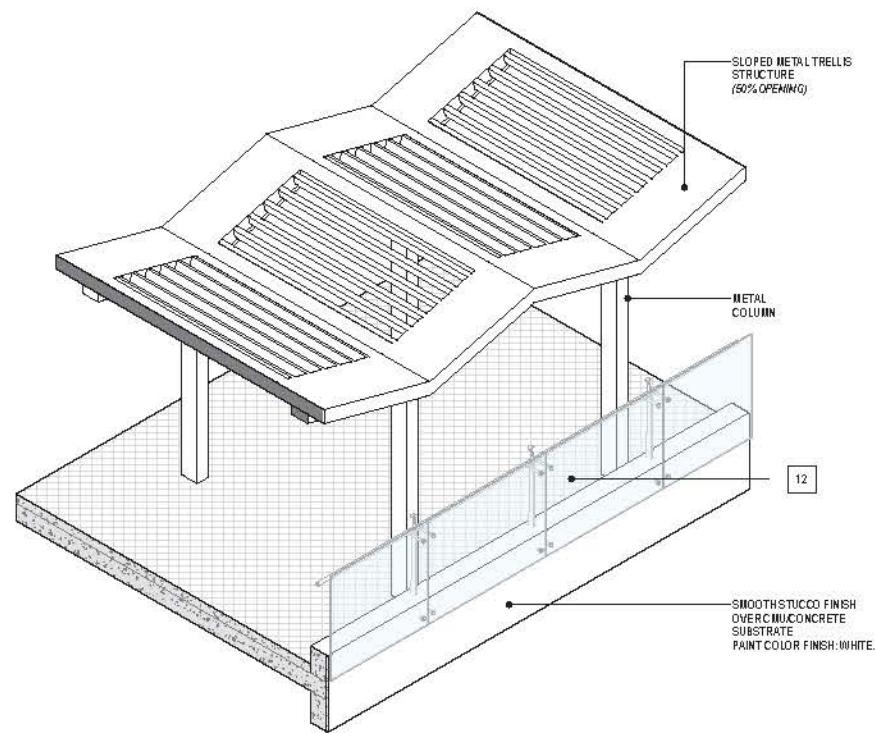
2
A18
CONTEXT WEST ELEVATION
1" = 30'-0"



7 MOSAIC WALL TILE AT GROUND LEVEL
A19 N.T.S.



SAMPLES OF MOSAIC TILE FINISH APPLIED TO GROUND LEVEL WALLS SURFACE. (IMAGES FOR VISUAL REFERENCE ONLY)



1 ENLARGED TRELLIS ROOF DETAIL
A19



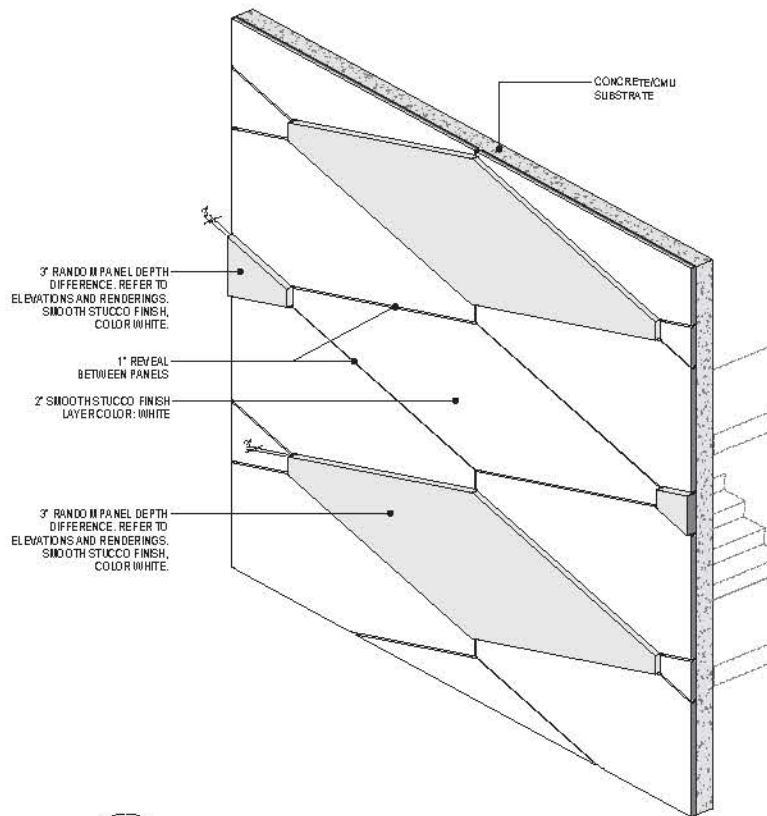
12 9/16" LAMINATED IMPACT GLASS GUARDRAIL SYSTEM (IMAGE FOR VISUAL REFERENCE ONLY)

3 A19 GLASS GUARDRAIL REFERENCE

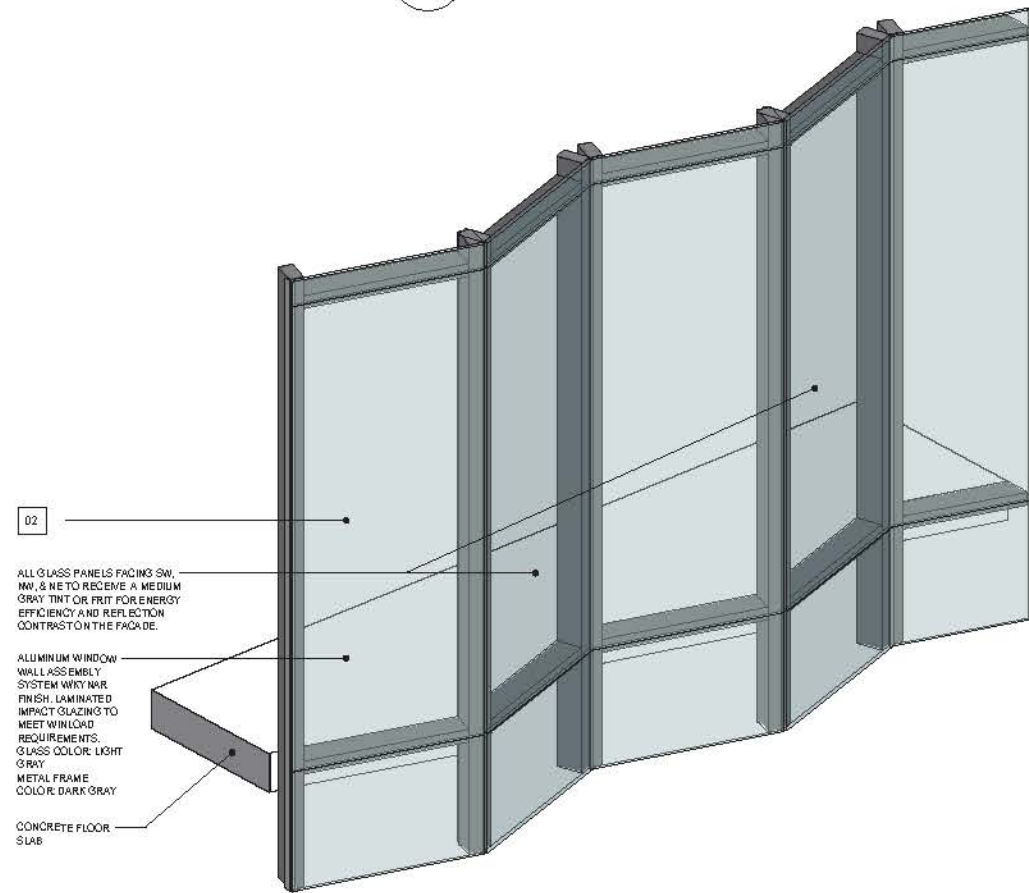


24 METAL GUARDRAIL SYSTEM W/KYNAR FINISH COMPLYING W/ AAMA 2605 (IMAGE FOR VISUAL REFERENCE ONLY)

6 A19 METAL GUARDRAIL REFERENCE



4 EXTERIOR CLADDING DETAIL
A19



5 EXTERIOR WINDOW WALL DETAIL
A19



02 ALUMINUM WINDOW WALL ASSEMBLY W/KYNAR FINISH COMPLYING W/ AAMA 2605, W/ TINT LAMINATED IMPACT GLASS (IMAGES FOR VISUAL REFERENCE ONLY)



RENDERINGS WITH REVISED GLASS COLOR AS
REQUESTED (BLUE TINT)





