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DENNISTON

FORMAL SUBMITTAL 12-14-2020
 APPLICATION HPB No.20-0389

REVISION TO:
 HPB ORDER No. 7490
 HPB ORDER No. 20-0376

- PROPOSED SCOPE:**
- RECONSTRUCTION OF**
HISTORIC PORTE COCHERE ON COLLINS AVENUE
- PROPOSED DESIGN**
NEW HOTEL EAST FACADE AND BALCONY RAILINGS
- PROPOSED DESIGN**
OF GROUND LEVEL LOBBY LOUNGE EXTENSION
- FINAL DESIGN OF ROOF TOP ADDITION**
RELOCATED TOWARDS THE BACK NON VISIBLE FROM COLLINS AVENUE
- PROPOSED DESIGN**
OF RESTAURANT DROP OFF AND ENTRANCE AT 35TH STREET
- REDUCTION OF**
APPROVED HISTORIC BUILDING SLAB EXTENSION FROM 8'-0" TO 6'-0"

AMAN

AMAN HOTEL & RESIDENCES

3425 COLLINS AVE.
 MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
 JANUARY 12, 2020

NOT FOR CONSTRUCTION

LIST OF DRAWINGS

INDEX OF DRAWINGS

ID	NAME
	COVER
	INDEX
	MEMORY OF MODIFICATIONS
A-000	SURVEY
A-001	SCOPE OF WORK
A-002	HISTORICAL DISTRICT MAP
A-003	PROPOSED ZONING DATA
A-004	GRADE AND DUNE CALCULATION
A-005	F.A.R. DIAGRAMS - PROPOSED
A-006	F.A.R. DIAGRAMS - PROPOSED
A-007	F.A.R. DIAGRAMS - PROPOSED
A-008	GROSS DIAGRAMS - PROPOSED
A-009	CURRENT CONDITION PHOTOGRAPHS
A-010	CURRENT CONDITION PHOTOGRAPHS
A-011	CURRENT CONDITION PHOTOGRAPHS
A-012	CURRENT CONDITION PHOTOGRAPHS
A-013	CONTEXT SITE PLAN
AH-100.P	PROPOSED - GROUND LEVEL SITE PLAN
AH-101.P	PROPOSED - GROUND FLOOR PLAN
AH-1.1	HISTORIC PORTE COCHERE AND SIGNAGE
AH-1.101	PROPOSED - ENLARGED PORTE COCHERE
AH-1.102	HISTORIC ENTRANCE AND CANOPY ELEVATION
AH-1.103	HISTORIC ENTRANCE AND CANOPY SECTION
AH-1.104	HISTORIC RESTORATION ELEVATION WEST
AH-1.105	PROPOSED - RENDER SOUTH WEST VIEW
AH-1.106	PROPOSED - RENDER NORTH - WEST VIEW - HISTORIC CANOPY
AH-1.2	PROPOSED EAST ELEVATION FINAL DESIGN
AH-1.201	EAST ELEVATION - COMPARISON
AH-1.202	EAST ELEVATION - VERTICALITY STUDY
AH-1.203	PROPOSED - EAST ELEVATION
AH-1.204	TYPICAL LEVEL BALCONY DETAIL
AH-1.205	TYPICAL LEVEL RAILING DETAIL
AH-1.206	PROPOSED - RENDER NORTH EAST VIEW
AH-1.207	PROPOSED - VIGNETTE EAST VIEW - BALCONY DESIGN
AH-1.3	LOBBY LOUNGE EAST EXTENSION
AH-1.301	GROUND LEVEL ADDITION PLAN DETAIL
AH-1.302	GROUND LEVEL ADDITION DETAIL
AH-1.303	GROUND LEVEL ADDITION DETAIL
AH-1.4	FINAL DESIGN OF ROOF TOP ADDITION
AH-1.401	PROPOSED ROOF ADDITION
AH-1.402	PROPOSED LINE OF SIGHT

INDEX OF DRAWINGS

ID	NAME
AH-1.403	ROOF TOP DESIGN - PARTIAL FLOOR PLAN
AH-1.404	ROOF TOP DESIGN - PARTIAL ELEV. & SECTION
AH-1.404.1	ROOF TOP DESIGN - SECTION DETAIL
AH-1.405	ROOF TOP DESIGN - SECTION DETAIL
AH-1.406	PROPOSED - LEVEL 14 - RESTAURANT FLOOR PLAN
AH-1.407	PROPOSED - INTERMEDIATE MECHANICAL ROOF
AH-1.408	PROPOSED - ROOF PLAN
AH-1.5	RESTAURANT DROP OFF ENTRANCE DESIGN
AH-1.501	HISTORIC ENTRANCE DEMOLITION
AH-1.502	HISTORIC ENTRANCE AND CANOPY ELEVATION
AH-1.503	35th. STREET ENTRANCE
AH-1.6	REDUCTION OF APPROVED SLAB EXTENSION
AH-1.601	PROPOSED - LEVEL 3 FLOOR PLAN
AH-1.602a	PROPOSED - LEVEL 4
AH-1.602b	PROPOSED - LEVELS 5 TO 11 TYPICAL
AH-1.603	PROPOSED - LEVEL 12 - PRESIDENTIAL SUITES FLOOR PLAN
AH-1.604	PROPOSED - LEVEL 14 - RESTAURANT FLOOR PLAN
AH-1.605.H	HISTORIC - NORTH ELEVATION
AH-1.605	PROPOSED - NORTH ELEVATION
AH-1.606.H	HISTORIC - SOUTH ELEVATION
AH-1.606	PROPOSED - SOUTH ELEVATION
AH-1.607.H	HISTORIC - EAST & WEST ELEVATIONS
AH-1.607	PROPOSED - EAST & WEST ELEVATIONS
AH-1.608	PROPOSED - SECTION TO NORTH

INDEX

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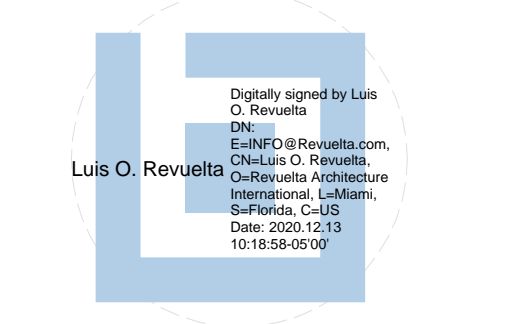


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Revisions



Luis O. Revuelta
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HPB - January 12, 2021
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FAR

THE REVISED FAR INCLUDES OVERALL ADJUSTMENTS TO THE HISTORIC BUILDING BASED ON NEW SURVEY INFORMARION. IT INCLUDES THE OVERALL SITE COMPRISING THE NEWLY PROPOSED ACCESSORY BUILDINGS AND RESIDENTIAL TOWER UNDER SEPARATE APPLICATIONS.

EAST ELEVATION

IN RESPONSE TO THE COMMENTS RECEIVED BY THE BOARD THE EAST ELEVATION WAS REVISITED AND SUBSTANTIALLY MODIFIED.

THE NEW BALCONIES DESIGN INTRODUCES A BALANCE OF VERTICAL AND HORIZONTAL LINES TO THE FACADE SIMILAR TO THE HISTORIC DESIGN BY ROY FRANCE.

THE PROPOSED DESIGN'S PLANES VARIATION CREATES A VERTICAL EMPHASIS WHICH IN COMBINATION WITH THE CONTINUOUS ENHANCED HORIZONTAL BANDING OF THE BALCONIES RESPECTFULLY COMPLEMENTS THE RETAINED AND RESTORE THE HISTORIC FACADE.

THE RAILING DESIGN WAS MODIFIED TO PROVIDE A MORE SOLID EFFECT SIMILAR TO THE ORIGINAL PARAPET WALLS.

THE EDGE OF SLAB PREVIOUSLY COVERED WITH THE GLASS RAILING HAS BEEN EXPOSED AND, IN ORDER TO PROVIDE ADDITIONAL THICKNESS TO THE HORIZONTAL BANDING, A 12 INCHES ALUMINUM BANDING HAS BEEN INTRODUCED AT THE BOTTOM OF THE RAILING.

TO FURTHER REINFORCE THE VERTICALITY AT THE CENTER OF THE BUILDING, (2) 6 INCHES DIAMETER COLUMNS HAVE BEEN INCORPORATED AT THE EDGE OF THE BALCONY.

FOLLOWING THE RECOMMENDATION BY THE BOARD, THE PREVIOUSLY PROPOSED ROUND CORNERS AT THE NORTH AND SOUTH JUNCTIONS OF THE PROPOSED WALL ADDITION HAVE BEEN SQUARED PER THE HISTORIC DESIGN.

THE WINDOW-SILL OF THESE (2) CORNERS WERE RAISED TO MATCH THE HEIGHT OF THE ADJACENT HISTORIC ELEVATIONS TO THE NORTH AND THE SOUTH.

ROOF TOP

IN RESPONSE TO THE CONCERNS OF THE BOARD OF A GLASS BOX EFFECT AT THE PROPOSED ROOF TOP RESTAURANT, THE TRANSOMS OF THE PROPOSED STORE FRONT HAVE BEEN ELIMINATED AND SUBSTITUTED BY A SOLID WALL.

NORTH ELEVATION - RESTAURANTS ENTRY

AT THE GROUND LEVEL, THE NEW RESTAURANT ENTRY HAS BEEN SHIFTED A FEW FEET TO THE EAST FARTHER AWAY FROM THE COLLINS FACADE.

THE PROPOSED DESIGN INCORPORATES ELEMENTS OF THE ART DECO STYLE IN A MORE CONTEMPORARY FASHION. THE NEW PROPOSED PORTAL WILL BE CLADDED WITH ALUMINUM TO DIFFERENCIATE IT FROM THE HISTORIC FACADE.

MEMORY OF MODIFICATIONS

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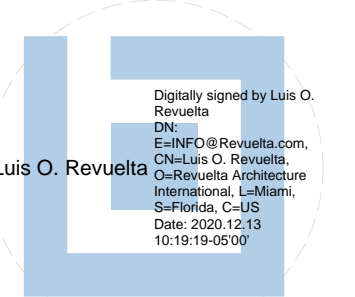
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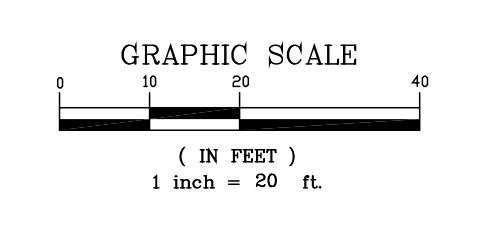
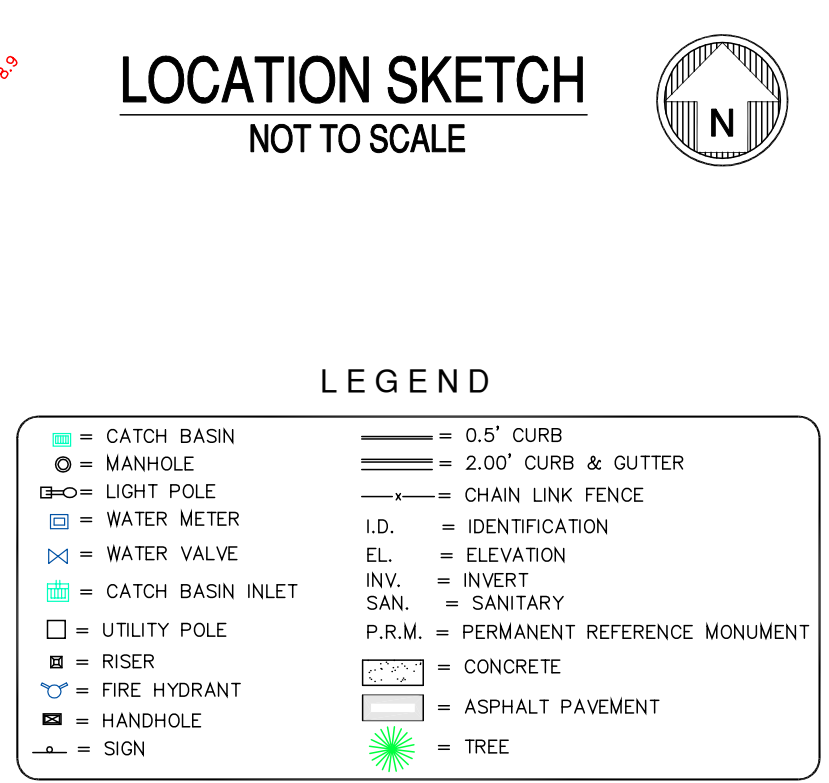
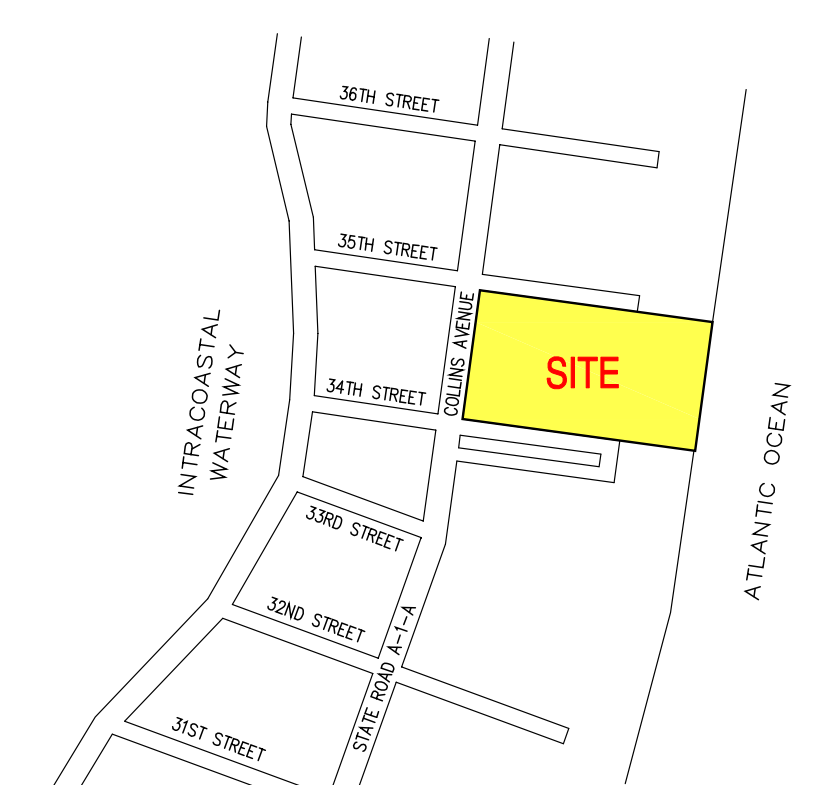
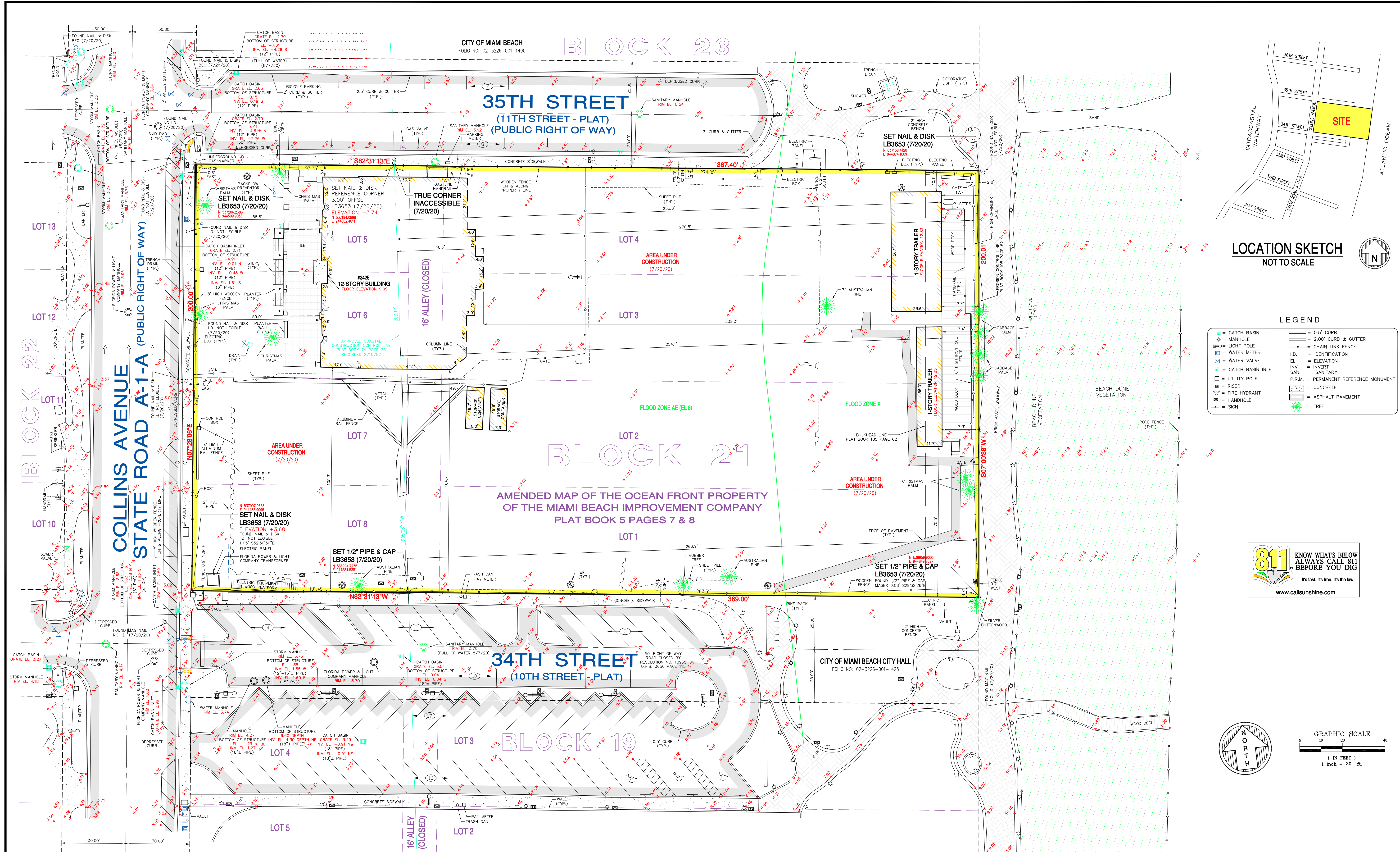
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Sheet No.

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CITY OF MIAMI BEACH
FOLIO NO. 02-3226-001-1490

35TH STREET
(11TH STREET - PLAT)
(PUBLIC RIGHT OF WAY)

34TH STREET
(10TH STREET - PLAT)

AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY
PLAT BOOK 5 PAGES 7 & 8

LEGAL DESCRIPTION:

Lots 1 through 8 and the 16 foot alley, Block 21, AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, according to the plat thereof, as recorded in Plat Book 5 at Pages 7 and 8, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 07°28'06" E for the East right of way line of Collins Avenue, and evidenced by (2) set nail & disk.

SURVEYOR'S NOTES: (continued)

- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. B-313, Elevation +4.33 and located by US C&G brass disk on top of concrete ramp directly over a catch basin at 36th Street (81.7' South of South curb) and Collins Avenue (57.8' East of East curb).
- Lands shown hereon are located within an area having a Zone Designation X and AE (L 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0336L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 73,640 square feet, or 1.691 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.

SURVEYOR'S NOTES: (continued)

- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry, a certified Arborist or a professional in that field.
- The State Plane Coordinates shown hereon are relative to the North American Datum of 1983 (NAD83), using Real Time Kinematic (RTK) Equipment and real-time adjustment software connected through Florida Department of Transportation (FDOT) to the Florida Permanent reference Network (FPRN).
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.
- Pursuant to Florida State Statutes in Chapter 161.141, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Tax Folio No. 02-3226-001-1440

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on July 20, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on July 20, 2020.

Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below

FORTIN, LEAVY, SKILES, INC., LB3653
Digitally signed by Daniel C Fortin
DN: c=US, o=Unaffiliated, ou=AD14100000017402A28F4200042958, cn=Daniel C Fortin
Date: 2020.11.08 12:19:31 -0500

By: Daniel C. Fortin, Jr., For The Firm
Surveyor and Mapper, LSE435
State of Florida.

PROPERTY OWNER: 3425 COLLINS LLC

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No.	Revision Description
2	200837 SHOW DUNE LOCATION
1	200862 TREE SURVEY (10/2/20)-SH
	O.N.

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00006653
180 Northeast 168th Street / North Miami Beach, Florida 33162
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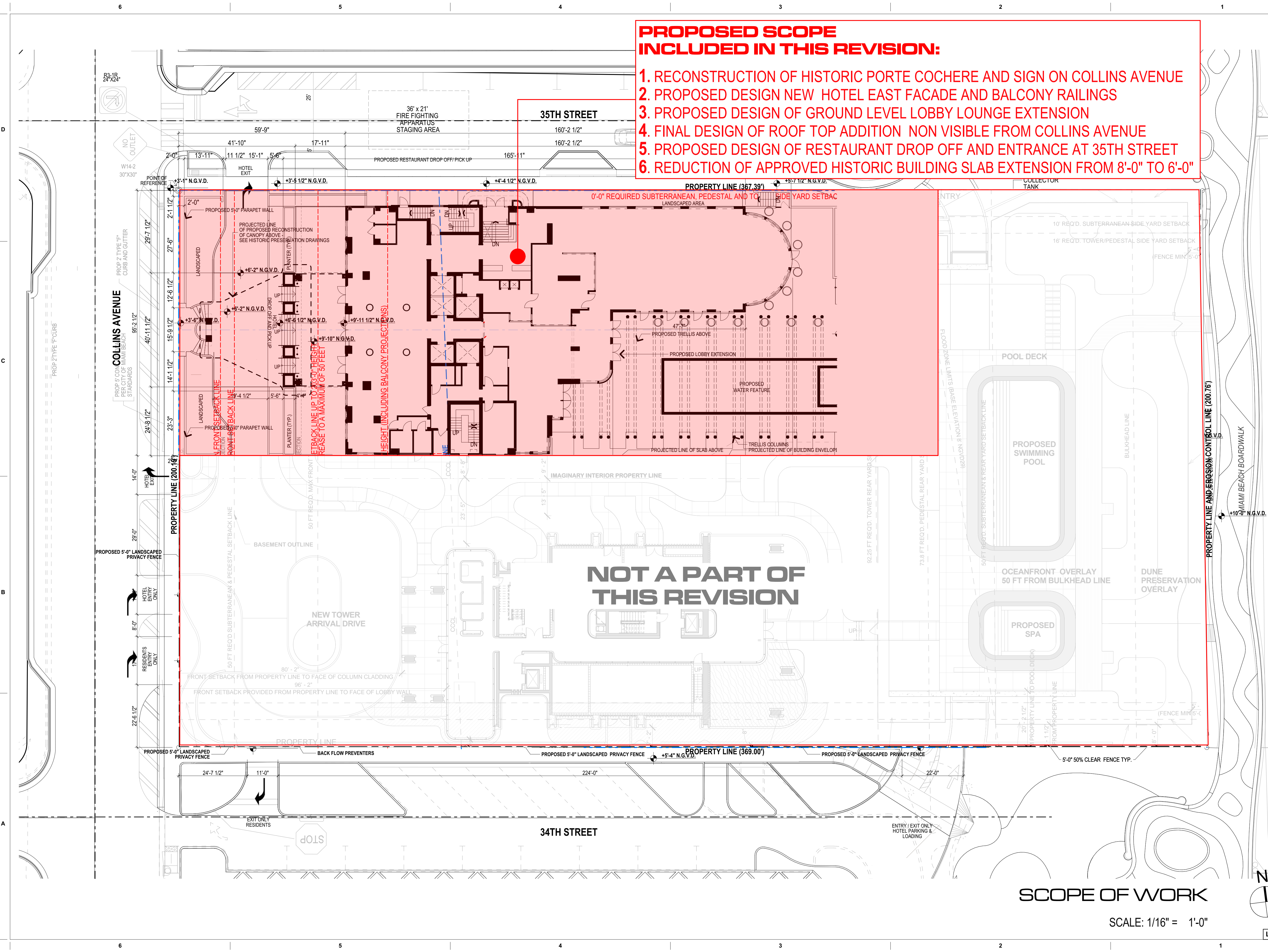
BOUNDARY & TOPOGRAPHIC SURVEY
AMAN - 3425 COLLINS AVENUE
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	7/20/20
Scale	1"=20'
Drawn By	MAP
CAD No.	200450
Plotted	11/6/20 12:07a
Ref. Dwg.	
Field Book	566/49-51 RLL
Job No.	200450
Dwg. No.	2020-071-NGVD
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- PROPOSED SCOPE INCLUDED IN THIS REVISION:**
1. RECONSTRUCTION OF HISTORIC PORTE COCHERE AND SIGN ON COLLINS AVENUE
 2. PROPOSED DESIGN NEW HOTEL EAST FACADE AND BALCONY RAILINGS
 3. PROPOSED DESIGN OF GROUND LEVEL LOBBY LOUNGE EXTENSION
 4. FINAL DESIGN OF ROOF TOP ADDITION NON VISIBLE FROM COLLINS AVENUE
 5. PROPOSED DESIGN OF RESTAURANT DROP OFF AND ENTRANCE AT 35TH STREET
 6. REDUCTION OF APPROVED HISTORIC BUILDING SLAB EXTENSION FROM 8'-0" TO 6'-0"



SCOPE OF WORK

SCALE: 1/16" = 1'-0"

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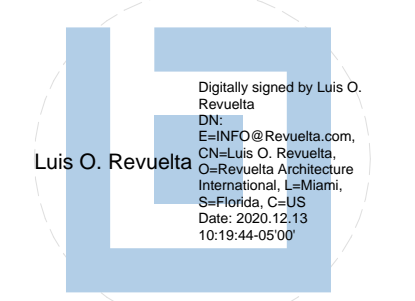
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Revisions



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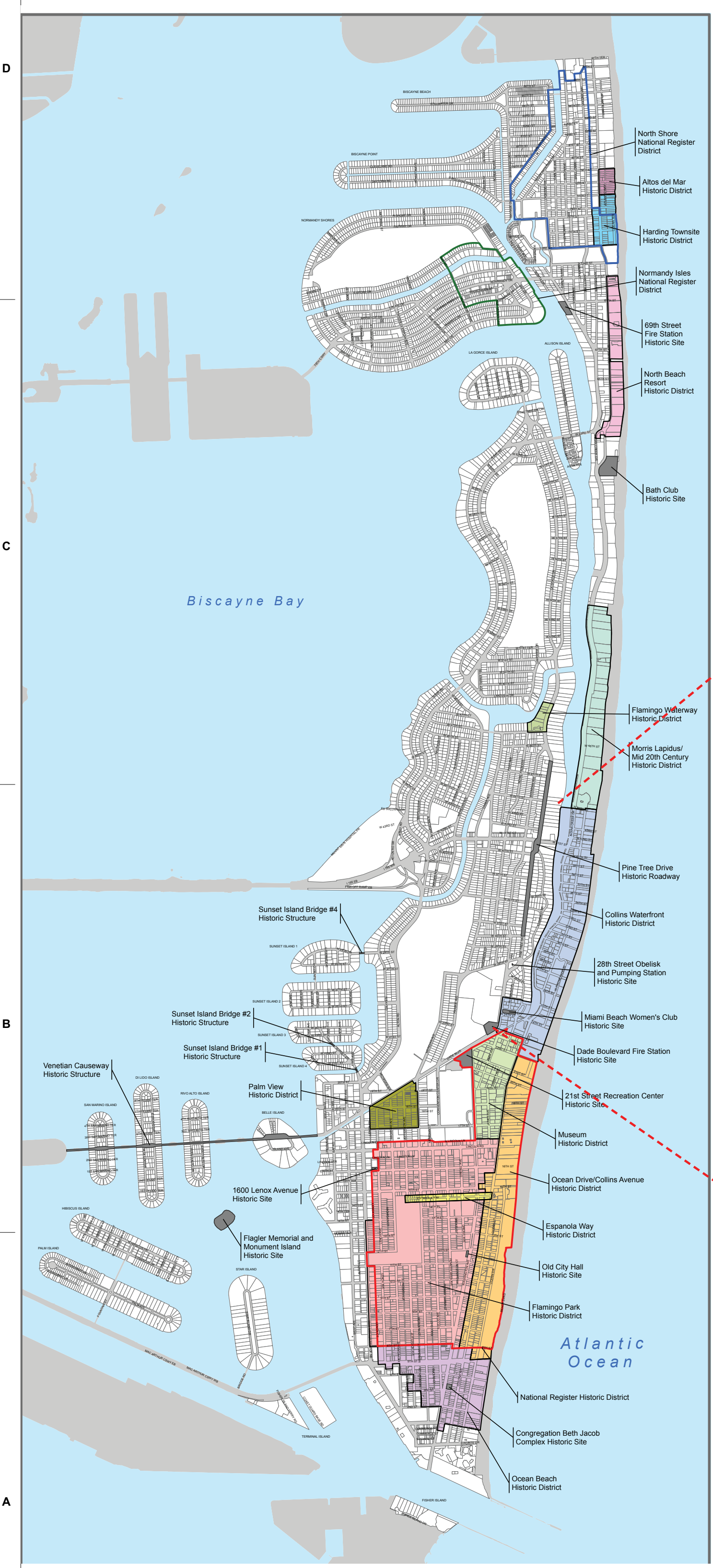
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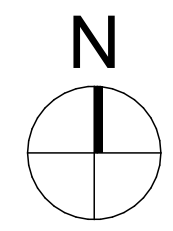
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HISTORICAL DISTRICT MAP



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Sheet Name
HISTORICAL DISTRICT MAP
Sheet No.
A-002

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ZONING DATA

SITE ADDRESS

3425 COLLINS AVENUE, MIAMI BEACH, FL. 33140

SITE DATA

ZONING DESIGNATION: RM-3 (RESIDENTIAL MULTIFAMILY, HIGH INTENSITY)
 FLOOD ZONE: "AE" (ELEV. 8 NGVD29)
 "X" (FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0336 L COMMUNITY NUMBER 120635, MIAMI-DADE COUNTY UNINCORPORATED AREAS. EFFECTIVE DATE SEPTEMBER 11, 2009
 BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA

BUILDING HEIGHT: 250'-0" ABOVE BFE + 5'-0" FREEBOARD 13'-0" N.G.V.D.
 ESTABLISHED BFE: 8'-0"
 PROPOSED: 220'-3" NEW BUILDING (233'-3" N.G.V.D.)
 EXISTING TOWER: 161'-0" T.O. ROOF SLAB N.G.V.D.
 EXISTING TOWER: 200'-0" T.O. CUPOLA N.G.V.D.

PROPOSED NEW TOWER: 23 RESIDENTIAL UNITS
 EXISTING TOWER: 56 HOTEL GUESTROOMS

OVERLAY AREAS

DUNE PRESERVATION OVERLAY: RECREATIONAL AND OPEN SPACE
 WEST OF THE EROSION CONTROL LINE (ECL)
 EAST OF THE BULKHEAD LINE

REQUIRED: 80%
 TOTAL AREA: 5,073 SF
 IMPERVIOUS AREA: 6.18%
 MAX.PER CODE: 20%
 PERVIOUS AREA: 93.82%

MINIMUM YARDS
 BULKHEAD LINE 0 FT
 SIDE PROPERTY LINE 15 FT
 MUNICIPAL PARK 15 FT
 STREET END 15 FT
 ROW 15 FT
 EROSION CONTROL LINE 10-15 FT STRUCTURES W/ FIN. FLR. ELEV. 3 FT OR LESS ABOVE T.O. DUNE
 ADD 1 FT FOR EVERY FOOT INCREASE IN FIN. FLR. ELEV.
 MAX 2.5 FT ABOVE DUNE

FINISHED FLOOR ELEVATION ONE STORY OR 12 FT
 MAX. BUILDING HEIGHT ZERO
 MAX. DENSITY NO PARKING REQUIREMENT

OCEANFRONT OVERLAY: WEST OF BULKHEAD LINE

SETBACKS
 REAR 50 FT FRONT BULKHEAD LINE - DWELLING CONSTRUCTION AT GRADE AND SUBTERRANEAN LEVELS
 SIDE LOT LINE 15 FT
 BULKHEAD LINE 10 FT

MAX HEIGHT 30 FT ABOVE GRADE
 FINISHED FLOOR ELEVATION 2.5 FT ABOVE T.O. DUNE
 FAR 0.5 OF SETBACK AREA
 LOT COVERAGE 50 % OF REQUIRED REAR YARD SETBACK OPEN TO SKY
 VIEW CORRIDOR 50 % OF REQUIRED REAR YARD SETBACK OPEN APART FROM LANDSCAPE FROM E.C.L. TO REAR SETBACK LINE

RM-3 OVERLAY ZONE: TOTAL AREA: 58,680 SF

REQUIRED: 50%
 TOTAL AREA: 10,000 SF
 IMPERVIOUS AREA: 50%
 MAX PER CODE: 50%
 PERVIOUS AREA: 50%
 REQUIRED BY CODE: 50%

LOT AREA

AREA PARCEL 1 : 68,736 S.F. (1.5780 ACRES)
 AREA PARCEL 2 : 5,076 S.F. (0.1165 ACRES)
 73,812 S.F (1.6945 ACRES)

MAX F.A.R.

3.0 X 73,812 S.F. = 221,436 S.F.

MAX LOT WIDTH

REQUIRED 50 FT
 EXCEEDS CRITERIA AT 200 FT

MIN. LOT AREA

REQUIRED 7000 S.F. - EXCEEDS CRITERIA AT 73,812 SF

MINIMUM UNIT SIZE

NEW CONSTRUCTION 800 SF - MEETS CRITERIA
 HISTORIC TOWER AVERAGE UNIT SIZE=1897 SF
 NEW TOWER AVERAGE UNIT SIZE= 2450 SF

MAXBUILDING HEIGHT

OCEANFRONT LOTS 200 FT
 HISTORIC TOWER = 200 FT TO T.O. ROOF SLAB + MECHANICAL ROOF
 NEW TOWER= 233'-3" FT (NGVD) TO TOP OF OUTDOOR KITCHEN COUNTER

MAX NUMBER OF STORIES

OCEANFRONT LOTS 22 STORIES - MEETS CRITERIA
 HISTORIC TOWER - 10 GUESTROOM LEVELS + ROOF TOP REST.+LOBBY+ MEZZ+ BASEMENT
 NEW TOWER - 13 RESIDENTIAL LEVELS + LOBBY + MEZZANINE + 3 LEVELS OF BASEMENT

NEW CONSTRUCTION ADDITIONAL REGULATIONS

ALL FLOORS OF A BUILDING CONTAINING PARKING SPACES SHALL INCORPORATE RESIDENTIAL OR COMMERCIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY.

SETBACK REQUIREMENTS

	FRONT (WEST-COLLINS AVE.)			NORTH - SIDE FACING A STREET SOUTH - SIDE INTERIOR			REAR (EAST- BEACH)		
	REQUIRED	PROVIDED	PROVIDED	REQUIRED	PROVIDED (N)	PROVIDED (S)	REQUIRED	PROVIDED	PROVIDED
SUB TERRANEAN	15'-0"	HIST. TOWER 41'-9"	NEW TOWER 20'-0"	0'-0"	0'-0"	0'-0"	46'-0" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE
PEDESTAL	20'-0" up to 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	41'-9"	106'-8"	0'-0"	0'-0" AT NORTH SIDE	8" AT SOUTH SIDE	50'-0" FROM BULKHEAD LINE	122'-4" FROM BULKHEAD LINE	95'-4" FROM BULKHEAD LINE
TOWER	20'-0" + 1 ft per 1ft increase in height above 50 ft to a max of 50 ft 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	59'-6"	96'-10"	0'-0"	5'-8" AT NORTH SIDE	8" AT SOUTH SIDE	75'-0" FROM BULKHEAD LINE	198'-4" FROM BULKHEAD LINE	99'-10" FROM BULKHEAD LINE

PARKING DATA

SEE REVISED PARKING AND LOADING CALCULATIONS PAGE A-005

DESIGNATED HISTORIC BUILDING
 NO OFF-STREET PARKING IS REQUIRED FOR MAIN OR ACCESSORY USES ASSOCIATED WITH AN INDIVIDUALLY DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING:
 DEVELOPMENTS WITH MORE THAN 20 UNITS 10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS
 8.5' X 18' MULTI- FAMILY RESIDENTIAL BUILDING 8.5 FT X 16 FT -100 % VALET ONLY GOVERNED BY A RESTRICTIVE COVENANT TANDEM MAXIMUM STACKING OF 2 PARKING AISLE MIN. 22 FT

TANDEM PARKING
 MAY BE UTILIZED FOR SELF- PARKING IN MULTI FAMILY RESIDENTIAL BUILDINGS WITH RESTRICTIVE COVENANT LIMITING USE OF EACH TANDEM PARKING SPACE TO THE SAME UNIT OWNER.

AISLE DRIVES
 TWO WAY TRAFFIC 22 FT WIDE
 ONE WAY TRAFFIC 11 FT WIDE
 DRIVEWAY ENTRANCE AND ENTRY CURB CUT-MIN. 12 FT
 DRIVE COLUMNS FOR 90 DEGREES LAYOUT SET BACK 1'-6" MEASURED FROM EDGE OF THE REQUIRED INTERIOR DRIVE TO THE FACE OF THE COLUMN

OFF-STREET LOADING
 RESIDENTIAL BUILDING OVER 36 UNITS BUT LESS THAN 50 UNITS: 1 SPACE
 OVER 50 UNITS BUT NOT MORE THAN 100 UNITS: 2 SPACES
 DESIGN STANDARD-WITHIN THE SAME LOT LOGICALLY AND CONVENIENTLY LOCATED FOR BULK PICK UPS AND DELIVERIES SCALED FOR EXPECTED DELIVERIES 10 X 20 FT

F.A.R. HISTORIC HOTEL	
LEVEL	Area (sf)
GRADE LEVEL	266
GROUND LEVEL	10,675
LEVEL 2	1,398
LEVEL 3	6,522
LEVEL 4	4,009
LEVEL 5	6,522
LEVEL 6	6,519
LEVEL 7	6,518
LEVEL 8	6,518
LEVEL 9	6,518
LEVEL 10	6,518
LEVEL 11	6,518
LEVEL 12	6,522
LEVEL 14	5,047
TOTAL	80,070 sq ft

F.A.R. RESIDENTIAL BUILDING	
LEVEL	Area (sf)
GRADE LEVEL	205
GROUND LEVEL	4,523
LEVEL 2	2,466
LEVEL 3	10,693
LEVEL 4	10,693
LEVEL 5	10,693
LEVEL 6	10,693
LEVEL 7	10,693
LEVEL 8	10,693
LEVEL 9	10,693
LEVEL 10	10,693
LEVEL 11	10,693
LEVEL 12	10,693
LEVEL 14	8,585
LEVEL 15	8,585
LEVEL 16	8,585
ROOF LEVEL	677
TOTAL	140,556 sq ft

TOTAL F.A.R. PROPOSED = 220,707 S.F.

MAX. F.A.R. ALLOWED: 3 X 73,812 S.F. = 221,436 S.F.

EXCLUDED AREAS PER PROPOSED MODIFICATIONS TO FAR EXCEPTIONS UNDER PROCESS OF APPROVAL AND ADOPTION

PROPOSED MODIFICATIONS SHOWN IN RED

revuelta
 architecture international

Miami
 Santiago, Chile
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 MIAMI, FL 33133
 T. 305.560.5000
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Project
AMAN HOTEL AND RESIDENCES
 3425 COLLINS AVE.
 MIAMI, FL 33140

Owner Information
OKO GROUP
 4100 N.E. 2ND AVENUE
 MIAMI, FL 33137
 (305) 573-1158

Revisions

Digitally signed by Luis O. Revuelta
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 Date: 2023.12.13 10:20:31 -0500

Luis O. Revuelta
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HPB - January 12, 2021

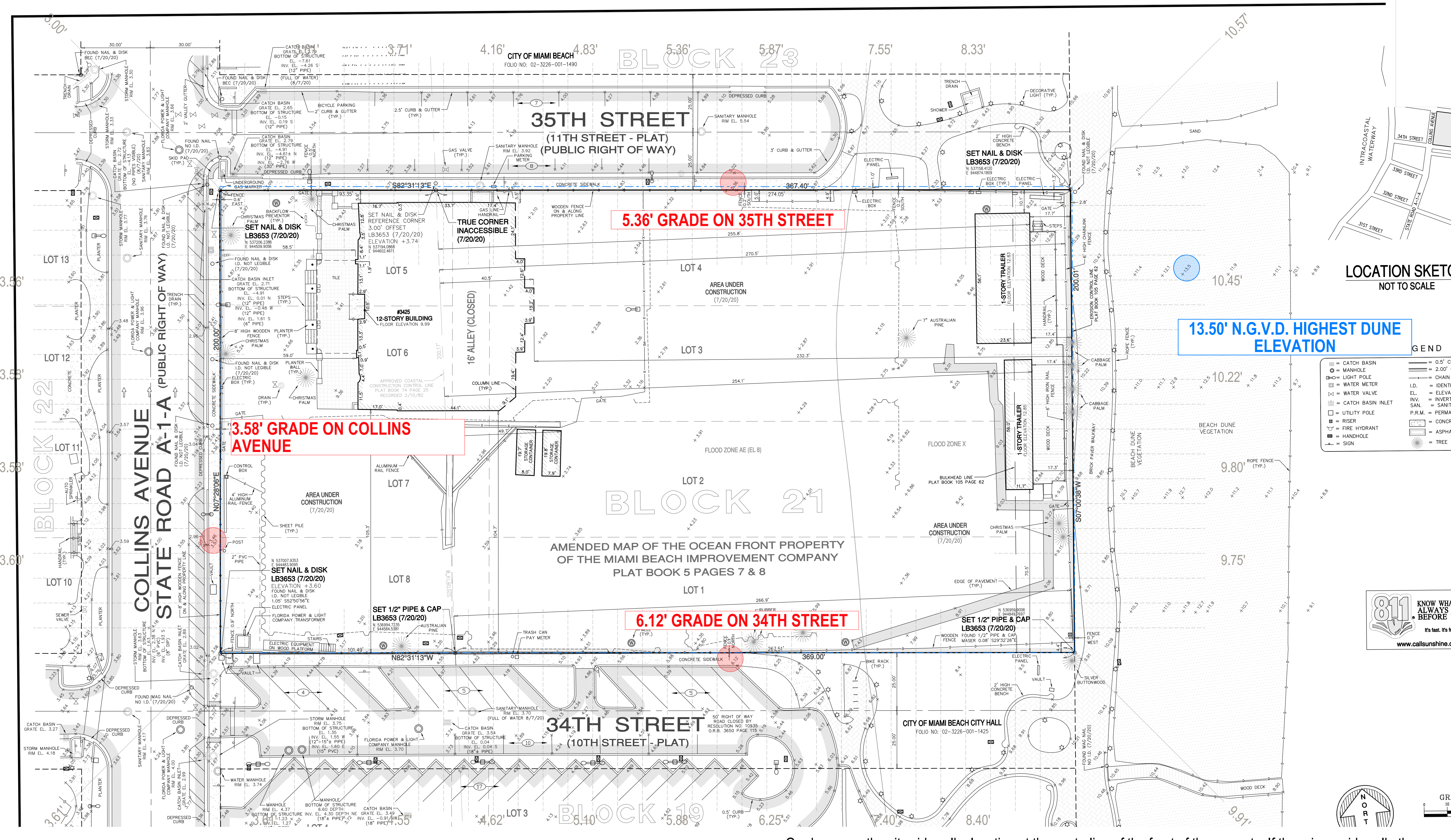
Date
 12-14-2020
 Scale
 AS SHOWN
 Project No.
 1933

Sheet Name
 PROPOSED ZONING DATA
 Sheet No.

A-003

LEVEL 13 OMITTED

NOT FOR CONSTRUCTION



GEND

○	CATCH BASIN	—	0.5' CURB
○	MANHOLE	—	2.00' CURB
○	LIGHT POLE	—	CHAIN LIN
○	WATER METER	—	I.D. IDENTIFIC
○	WATER VALVE	—	E.L. = ELEVATION
○	CATCH BASIN INLET	—	INCL. = INVERT
○	UTILITY POLE	—	SAN. = SANITARY
○	RISER	—	P.R.M. = PERMANENT
○	FIRE HYDRANT	—	CONCRETE
○	HANDHOLE	—	ASPHALT
○	SIGN	—	TREE



Grade means the city sidewalk elevation at the centerline of the front of the property. If there is no sidewalk, the elevation of the crown of the road at the centerline of the front of the property shall be used.
3.58' ON COLLINS AVENUE; 5.36' ON 35TH STREET; 6.12' ON 34TH STREET

Highest Dune Elevation
13.5'

GRADE AND DUNE CALCULATION

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 AR-0007972

HPB - January 12, 2021

Date
 12-14-2020
 Scale
 AS SHOWN
 Project No.
 1933
 Sheet Name
 GRADE AND DUNE CALCULATION
 Sheet No.

A-004

LEVEL 13 OMITTED