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Santiago, Chile

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DENNISTON

FINAL CAP SUBMITTAL 09/08/2020
APPLICATION HPB No.20-0389
REVISION TO:
HPB ORDER No. 7490
HPB ORDER No. 20-0376

PROPOSED SCOPE:

RECONSTRUCTION OF
HISTORIC PORTE COCHERE ON COLLINS AVENUE

PROPOSED DESIGN
NEW HOTEL EAST FACADE AND BALCONY RAILINGS

PROPOSED DESIGN
OF GROUND LEVEL LOBBY LOUNGE EXTENSION

FINAL DESIGN OF ROOF TOP ADDITION
RELOCATED TOWARDS THE BACK NON VISIBLE FROM COLLINS AVENUE

PROPOSED DESIGN
OF RESTAURANT DROP OFF AND ENTRANCE AT 35TH STREET

REDUCTION OF
APPROVED HISTORIC BUILDING SLAB EXTENSION FROM 8'-0" TO 6'-0"

—
AMAN
AMAN HOTEL & RESIDENCES

3425 COLLINS AVE.
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
NOVEMBER 10TH, 2020

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LEVEL 13 OMITTED

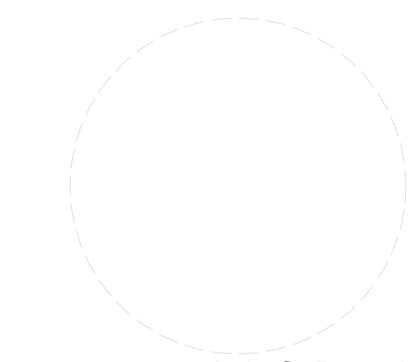


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MIAMI, FL 33137
(305) 573-1158



Luis O. Revuelta
AR-0007972

HPB - October 13, 2020

Date
9/3/2020

Scale
AS SHOWN

Project No.
1933

Sheet Name
INDEX

Sheet No.

Vertical Datum: Mean Sea Level. R/L: NO ELEVATIONS. SHEET: 18027

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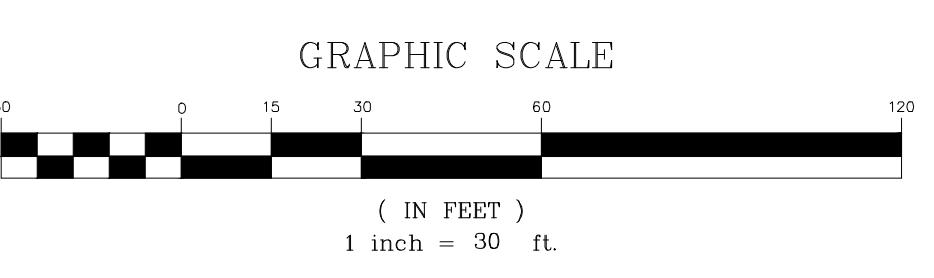
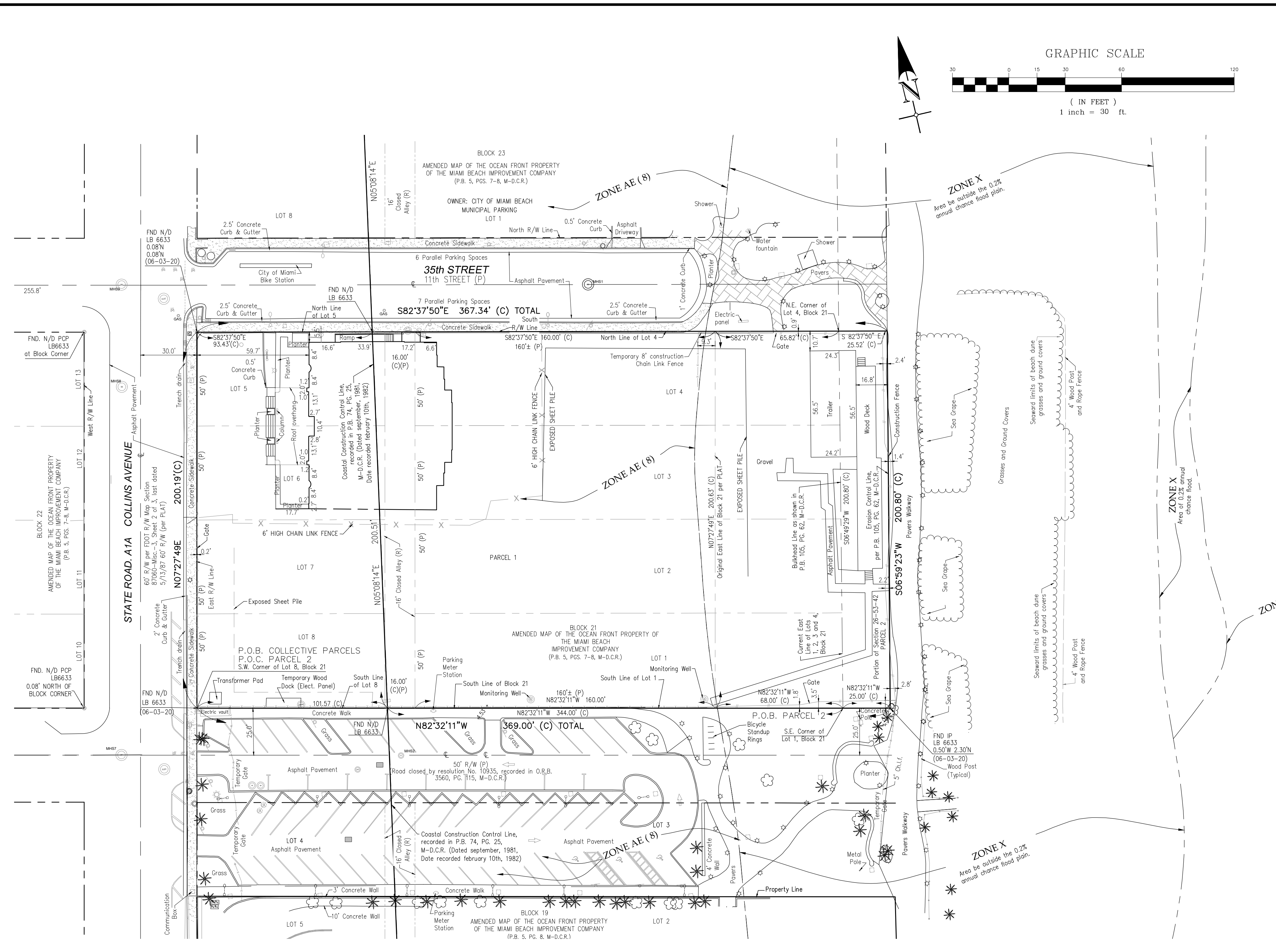
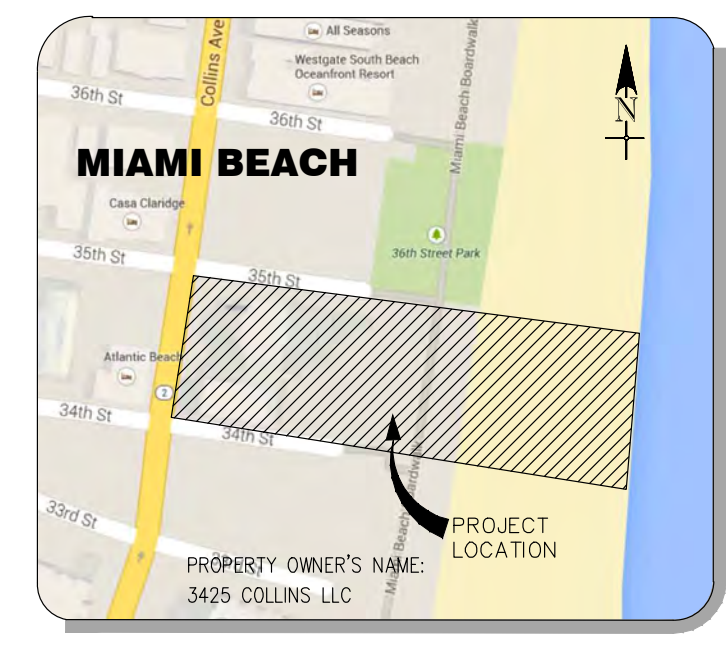
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- LEGEND**
- CATCH BASIN
 - CATCH BASIN TYPE F
 - CURB INLET
 - CLEANOUT
 - VALVE ASSEMBLY
 - LIGHT POLES
 - FIRE DEPARTMENT CONNECTION
 - MASTER PARKING TICKET BOX
 - MAIL DROP BOX
 - GAS METER
 - STORM DRAINAGE MANHOLE
 - ELECTRIC MANHOLE
 - SANITARY SEWER MANHOLE
 - GREASE TRAP MANHOLE
 - METAL LIGHT POLE
 - STREET METAL LIGHT POLE
 - BOLLARD WITH PEDESTRIAN LIGHT
 - SION
 - UTILITY MARKER
 - UNKNOWN VALVE BOX
 - WATER VALVE BOX
 - WATER VALVE
 - WIRE PULL BOX
 - HANDICAP PARKING
 - SPOT ELEVATION

- BOUNDARY SURVEY ABBREVIATIONS**
- M-D.C.R. MIAMI-DADE COUNTY RECORDS
 - O.R. OFFICIAL RECORDS
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - P.G. PAGE
 - LB LICENSED BUSINESS
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - C.C.C.L. COASTAL CONSTRUCTION CONTROL LINE
 - FND FOUND
 - ID IDENTIFICATION
 - IP IRON PIPE
 - IRC IRON ROD AND CAP
 - N/D N/A AND DISC
 - P.C.P. PERMANENT CONTROL POINT
 - NAV088 NORTH AMERICAN VERTICAL DATUM OF 1988
 - NGV029 NATIONAL GEODETIC VERTICAL DATUM OF 1929
 - SR STATE ROAD
 - R/W RIGHT OF WAY
 - ELEV. ELEVATION
 - C CENTERLINE
 - FDOT FLORIDA DEPARTMENT OF TRANSPORTATION
 - (MAP) PER FDOT R/W MAP SECTION #7060-MSC-3
 - (P) DATA SHOWN ON PLAT
 - (C) CALCULATED BASED ON FIELD SURVEY AND PLAT DATA
 - DEPT. DEPARTMENT

- SURVEYOR'S NOTES**
- THE LOTS SHOWN HEREON ARE BASED UPON THE PLAT OF MIAMI BEACH IMPROVEMENT COMPANY'S SUBDIVISION AS RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 - THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30'.
 - AREA PARCEL 1 = 1.5780 ACRES (68,736 SQUARE FEET) MORE OR LESS; AREA PARCEL 2 = 0.1165 ACRES (5,076 SQUARE FEET) MORE OR LESS; TOTAL AREA (PARCELS 1 AND 2) = 1.6945 ACRES (73,812 SQUARE FEET) MORE OR LESS.
 - THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION OR EXCAVATION, CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (1-800-432-4770) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
 - THE LOCATION OF THE COASTAL CONSTRUCTION CONTROL LINE (C.C.C.L.) SHOWN HEREON ARE BASED ON INFORMATION OBTAINED FROM THE MIAMI-DADE COUNTY DEPARTMENT OF NATURAL PROTECTION AND RECORDED IN MISCELLANEOUS PLAT BOOK 74, PAGE 25, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DATED SEPTEMBER 1981, RECORDED FEBRUARY 10TH, 1982. SEE SHEET 6 OF 10. POINT OF ORIGIN OF LINE IS P.R.M. 07-78-4-1.
 - THE LOCATION OF THE EROSION CONTROL LINE AND BULKHEAD LINE WERE CALCULATED BASED ON DATA SHOWN IN PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE", RECORDED IN PLAT BOOK 105, PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 - BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF NORTH 07° 27' 49" EAST, ALONG THE WEST LINE OF BLOCK 21, OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. BEARINGS ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATES SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983/90, BASED ON REAL TIME KINEMATICS GPS OBSERVATIONS.

- CONTINUATION SURVEYOR'S NOTES**
- DISTANCES DENOTED AS (P) PLAT, REPRESENT MEASUREMENTS DERIVED FROM THE FOLLOWING PLAT OF RECORD: MIAMI BEACH IMPROVEMENT COMPANY'S SUBDIVISION, PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 - HORIZONTAL CONTROL WAS VERIFIED BY TRAVERSE CLOSURES EXCEEDING 1 FOOT IN 10,000 FEET.
 - BUILDING DIMENSIONS WERE MEASURED AT GROUND LEVEL AND ARE OVERALL. BUILDING LINES ARE TO THE EXTERIOR WALLS. ARCHITECTURAL DETAILS MAY NOT BE SHOWN.
 - THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OF THE FEATURE IT REPRESENTS.
 - THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF THE SURVEY ON THE DATES INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THE TIME OF SURVEY.
 - PORTIONS OF THE PROPERTY SHOWN HEREON ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONES: ZONE AE (ELEV. 8' NGVD29) AND ZONE X AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C038 L 1 COMMUNITY NUMBER 120835, MIAMI-DADE COUNTY UNINCORPORATED AREAS, EFFECTIVE DATE SEPTEMBER 11, 2009.
 - PROPERTY ADDRESS: 3425 COLLINS AVENUE, MIAMI BEACH, FL 33140, MIAMI-DADE COUNTY PROPERTY APPRAISER FOLIO NUMBER: 02-3226-001-1440
 - THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD29). ELEVATIONS ARE BASED ON A NATIONAL GEODETIC SURVEY VERTICAL CONTROL POINT DESIGNATION S-313 AND P10 AC2265, THE SAME BEING A BRASS DISK STAMPED "B 313 1970" SET TOP OF CONCRETE RAMP DIRECTLY OVER A CATCH BASIN LOCATED AT THE SOUTHEAST CORNER OF COLLINS AVENUE AND 35TH STREET, 81.7 FEET SOUTH OF THE CURB OF 36TH STREET AND 57.8 FEET EAST OF THE EAST CURB OF COLLINS AVENUE, ELEVATION 4.33 FEET (NGVD29).
 - PROPERTY CORNERS WERE NOT RECOVERED AT THE TIME OF THE UPDATE (REV. 2) BECAUSE THE SITE IS IN ACTIVE CONSTRUCTION.

CERTIFIED TO:

- BANK OZK, AND ITS SUCCESSORS AND ASSIGNS
- 3425 COLLINS, LLC, A DELAWARE LIMITED LIABILITY COMPANY
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- KENSINGTON VANGUARD NATIONAL LAND SERVICES, LLC

LEGAL DESCRIPTION

FORMER VERSAILLES HOTEL CONDOMINIUM

PARCEL 1

PER GENERAL WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 28768, PAGE 1588, OF THE OFFICIAL RECORDS OF MIAMI-DADE COUNTY, FLORIDA:

LOTS 1 THROUGH 8, INCLUSIVE, AND THE 16.00 FOOT ALLEY, ALL IN BLOCK 21, OF AMENDED MAP OF THE OCEAN FRONT PROPERTY OF MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

TOGETHER WITH:

PARCEL 2

A PARCEL OF LAND BEING A PORTION OF SECTION 26, TOWNSHIP 53 SOUTH, RANGE 42 EAST, LYING WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 8, BLOCK 21 OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE NORTH 06° 49' 49" EAST, ALONG THE EXISTING EAST LINE OF LOTS 1, 2, 3 AND 4 OF SAID BLOCK 21 AND ALSO ALONG THE BULKHEAD LINE, AS SHOWN IN THE PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE", AS RECORDED IN PLAT BOOK 105, PAGE 62 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, A DISTANCE OF 200.72 FEET TO THE EXISTING NORTHEAST CORNER OF SAID LOT 4;

THENCE SOUTH 82° 37' 50" EAST, ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 4, BLOCK 21, A DISTANCE OF 25.57 FEET TO A POINT ON THE EROSION CONTROL LINE, AS SHOWN IN SAID PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE";

THENCE SOUTH 06° 59' 23" WEST, ALONG SAID EROSION CONTROL LINE, A DISTANCE OF 200.80 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1, BLOCK 21;

THENCE NORTH 82° 32' 11" WEST, ALONG SAID EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 1, BLOCK 21 A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

PARCELS 1 AND 2 COLLECTIVELY ALSO DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING A PORTION OF SECTION 26, TOWNSHIP 53 SOUTH, RANGE 42 EAST, LYING WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 8, BLOCK 21 OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE NORTH 07° 27' 49" EAST, ALONG THE WEST LINE OF LOTS 8, 7, 6 AND 5 OF SAID BLOCK 21, A DISTANCE OF 200.19 FEET TO THE NORTHWEST CORNER OF SAID LOT 5, BLOCK 21;

THENCE SOUTH 82° 37' 50" EAST, ALONG THE NORTH LINE OF LOTS 5 AND 4, OF SAID BLOCK 21 AND ALONG THE EASTERLY EXTENSION OF SAID LOT 4, A DISTANCE OF 367.34 FEET TO A POINT ON THE EROSION CONTROL LINE, AS SHOWN IN PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE", AS RECORDED IN PLAT BOOK 105, PAGE 62 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE SOUTH 06° 59' 23" WEST, ALONG SAID EROSION CONTROL LINE, A DISTANCE OF 200.80 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1, BLOCK 21;

THENCE NORTH 82° 32' 11" WEST, ALONG SAID EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 1 AND ALONG THE SOUTH LINE OF SAID LOTS 1 AND 8, BLOCK 21 A DISTANCE OF 369.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

REV.	DATE	DRAWN BY	DESCRIPTION
1	11/14/18	JP	UPDATE TO SHOW IMPROVEMENTS
2	06/24/19	JP	UPDATE TO SHOW IMPROVEMENTS
3	04/17/20	ALB	REVISED TO ADD CERTIFIED TO ONLY
4	08/20/20	JP	UPDATE SURVEY

Aimara Diaz Digitally signed by Aimara Diaz La Rosa
Date: 2020.09.02 15:42:41 -04'00'

La Rosa

AIMARA DIAZ LA ROSA
FLORIDA PROFESSIONAL SURVEYOR & PLANNER - LICENSE NUMBER: 156796

**3425 COLLINS AVENUE,
MIAMI BEACH, FL 33140**

FOR
VERSAILLES

**LOTS 1 THU 8
AND ALL OF
16 FOOT ALLEY
BLOCK 21
PLAT BOOK 5
PAGES 7 AND 8**

**MIAMI-DADE COUNTY
FLORIDA**

MIAMI OFFICE
8290 NW 64th Street
Miami, FL 33166
Phone: 305.597.9701
Fax: 305.597.9702

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/14/2018	JP	ADR

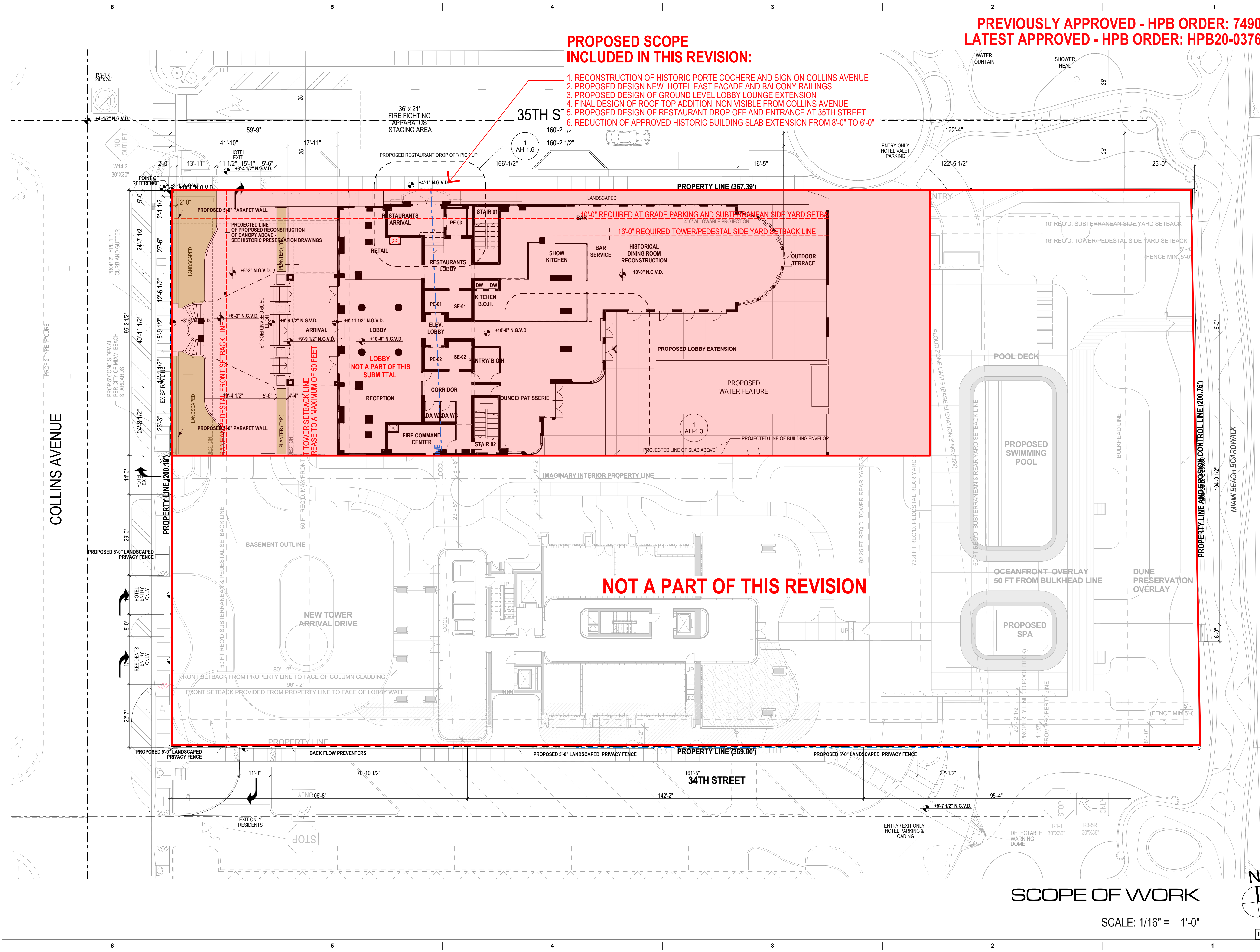
PROJECT NUMBER: 18001936A
DATE: 08/20/20
STATUS: UPDATED BOND.

SHEET TITLE: **BOUNDARY AND TOPOGRAPHIC SURVEY**

SHEET NUMBER: 1 of 1

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PROPOSED SCOPE INCLUDED IN THIS REVISION:

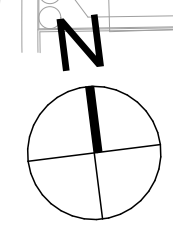
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4. FINAL DESIGN OF ROOF TOP ADDITION NON VISIBLE FROM COLLINS AVENUE
5. PROPOSED DESIGN OF RESTAURANT DROP OFF AND ENTRANCE AT 35TH STREET
6. REDUCTION OF APPROVED HISTORIC BUILDING SLAB EXTENSION FROM 8'-0" TO 6'-0"

PREVIOUSLY APPROVED - HPB ORDER: 7490
LATEST APPROVED - HPB ORDER: HPB20-0376

NOT A PART OF THIS REVISION

SCOPE OF WORK

SCALE: 1/16" = 1'-0"



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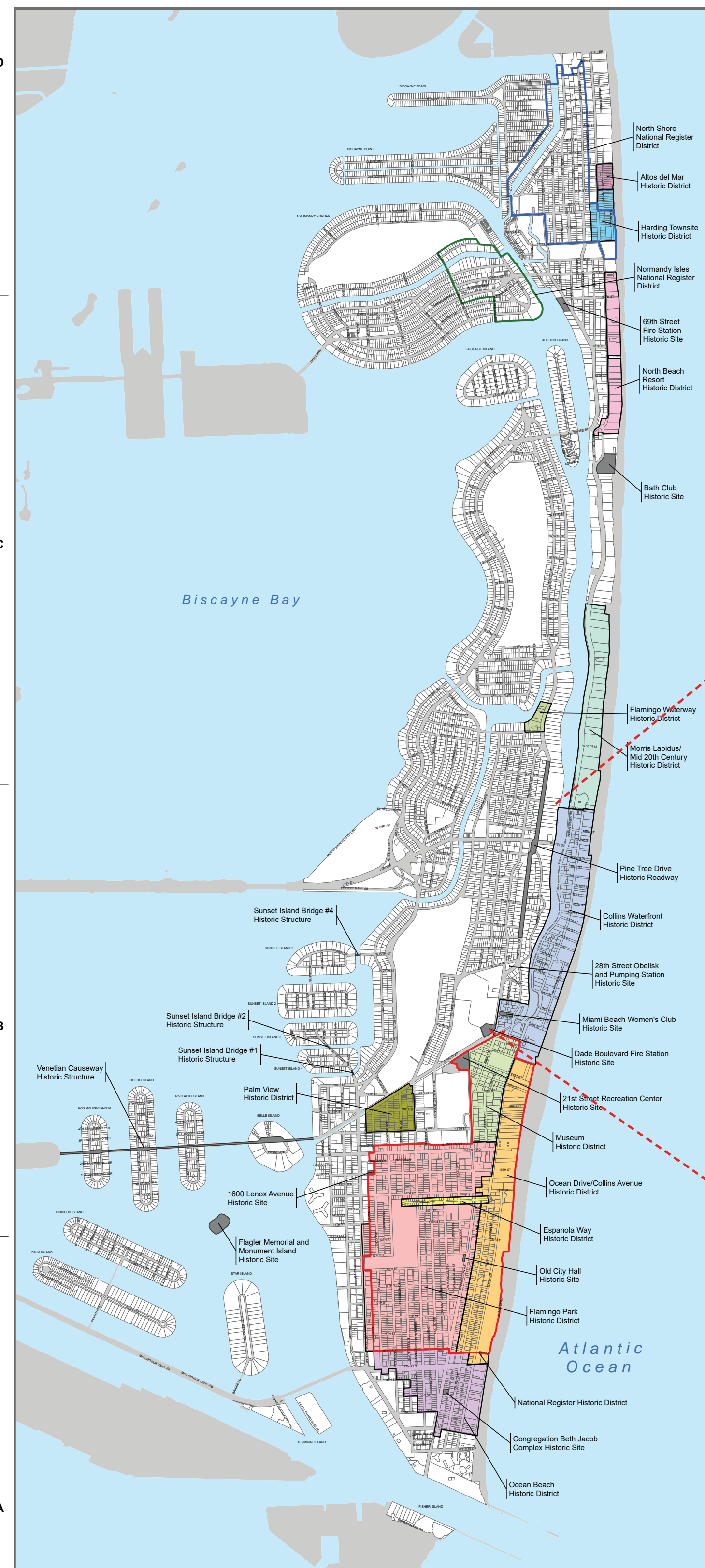
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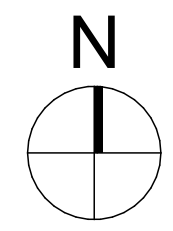
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 Sheet No.
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HISTORICAL DISTRICT MAP



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1933
Sheet Name
HISTORICAL DISTRICT MAP
Sheet No.

A-002

ZONING DATA

SITE ADDRESS

3425 COLLINS AVENUE, MIAMI BEACH, FL. 33140

SITE DATA

ZONING DESIGNATION: RM-3 (RESIDENTIAL MULTIFAMILY, HIGH INTENSITY)
 FLOOD ZONE: "AE" (ELEV. 8 NGVD29)
 "X" (FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0336 L COMMUNITY NUMBER 120635, MIAMI-DADE COUNTY UNINCORPORATED AREAS. EFFECTIVE DATE SEPTEMBER 11, 2009
 BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA

BUILDING HEIGHT: ALLOWED: 200'-0" ABOVE BASE FLOOD ELEVATION + 12".
 ESTABLISHED BFE: 8'-0"
 PROPOSED: 210'-6" N.G.V.D. (NEW TOWER)
 EXISTING TOWER: 161'-0" T.O. ROOF SLAB N.G.V.D.
 EXISTING TOWER: 200'-0" T.O. CUPOLA N.G.V.D.

PROPOSED RESIDENTIAL:
 NEW TOWER 41 UNITS
 EXISTING TOWER 22 UNITS

OVERLAY AREAS

DUNE PRESERVATION OVERLAY: RECREATIONAL AND OPEN SPACE WEST OF THE EROSION CONTROL LINE (ECL) EAST OF THE BULKHEAD LINE

REQUIRED: 80%
 TOTAL AREA: 5,073 SF
 IMPERVIOUS AREA: 6.18%
 MAX.PER CODE: 20%
 PERVIOUS AREA: 93.82%

MINIMUM YARDS

BULKHEAD LINE 0 FT
 SIDE PROPERTY LINE 15 FT
 MUNICIPAL PARK 15 FT
 STREET END 15 FT
 ROW 15 FT
 EROSION CONTROL LINE 10-15 FT STRUCTURES W/ FIN. FLR. ELEV. 3 FT OR LESS ABOVE T.O. DUNE

FINISHED FLOOR ELEVATION
 MAX. BUILDING HEIGHT
 MAX. DENSITY
 PARKING REGULATIONS

MAX 2.5 FT ABOVE DUNE
 ONE STORY OR 12 FT
 ZERO
 NO PARKING REQUIREMENT

OCEANFRONT OVERLAY:

SETBACKS

REAR 50 FT FRONT BULKHEAD LINE - DWELLING CONSTRUCTION AT GRADE AND SUBTERRANEAN LEVELS
 15 FT
 10 FT

MAX HEIGHT
 FINISHED FLOOR ELEVATION
 FAR
 LOT COVERAGE
 VIEW CORRIDOR

REQUIRED: 50%
 TOTAL AREA: 10,000 SF
 IMPERVIOUS AREA: 50%
 MAX PER CODE: 50%
 PERVIOUS AREA: 50%
 REQUIRED BY CODE: 50%

RM-3 OVERLAY ZONE: TOTAL AREA: 58,680 SF

LOT AREA

AREA PARCEL 1 : 68,736 S.F. (1.5780 ACRES)
 AREA PARCEL 2 : 5,076 S.F. (0.1165 ACRES)
 73,812 S.F (1.6945 ACRES)

MAX F.A.R.

3.0 X 73,812 S.F. = 221,436 S.F.

MAX LOT WIDTH

REQUIRED 50 FT
 EXCEEDS CRITERIA AT 200 FT

MIN. LOT AREA

REQUIRED 7000 S.F. - EXCEEDS CRITERIA AT 73,812 SF

MINIMUM UNIT SIZE

NEW CONSTRUCTION 800 SF - MEETS CRITERIA
 HISTORIC TOWER AVERAGE UNIT SIZE=1897 SF
 NEW TOWER AVERAGE UNIT SIZE= 2450 SF

MAXBUILDING HEIGHT

OCEANFRONT LOTS 200 FT
 HISTORIC TOWER = 200 FT **10 GUESTROOM LEVELS + ROOF TOP REST.+LOBBY+ MEZZ.**
 NEW TOWER= 211'-0" FT (NGVD) TO TOP OF OUTDOOR KITCHEN COUNTER

MAX NUMBER OF STORIES

OCEANFRONT LOTS 22 STORIES - MEETS CRITERIA
 HISTORIC TOWER - 11 RESIDENTIAL LEVELS + LOBBY + MEZZANINE + BASEMENT
 NEW TOWER - 15 RESIDENTIAL LEVELS + LOBBY+ MEZZANINE + BASEMENT

NEW CONSTRUCTION ADDITIONAL REGULATIONS

ALL FLOORS OF A BUILDING CONTAINING PARKING SPACES SHALL INCORPORATE RESIDENTIAL OR COMMERCIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY.

SETBACK REQUIREMENTS

	FRONT (WEST-COLLINS AVE.)			SIDE, FACING A STREET NORTH & SOUTH			REAR (EAST- BEACH)		
	REQUIRED	PROVIDED	PROVIDED	REQUIRED	PROVIDED (N)	PROVIDED (S)	REQUIRED	PROVIDED	PROVIDED
		HIST. TOWER	NEW TOWER		HIST. TOWER	NEW TOWER		HIST. TOWER	NEW TOWER
SUB TERRANEAN	20'-0"	41'-9"	41'-9"	5' OR 5% OF LOT WIDTH, WHICHEVER IS GREATER = 10 FT RED'Q	0'-0" AT EXTERIOR STAIR TO BSMNT.	1'-10" VARIANCE REQ'D.	50 FEET FROM BULKHEAD LINE	EXCEEDS DISTANCE	52'-5" FROM BULKHEAD 77'-5" FROM E.C.L.
PEDESTAL	20'-0"	41'-9"	EXCEEDS DIST.TO LOBBY WALL	SUM OF SIDE YARDS = 16% OF LOT WIDTH. MIN. 7'-6" OR 8% OF LOT WIDTH, WHICHEVER IS GREATER. REQ'D= 16/32 FT	0'-0" AT NORTH SIDE	8" AT SOUTH SIDE VARIANCE REQ'D	GREATER OF 20% OF LOT DEPTH OR 50' FROM BULKHEAD LINE REQ'D=73'-10"	EXCEEDS DIST. FROM E.C.L.	EXCEEDS DIST.FROM E.C.L.
TOWER	20 FEET+ 1 FT FOR EVERY 1 FT INCREASE IN HEIGHT ABOVE 50 FT TO A MAXIMUM OF 50 FT, THEN SHALL REMAIN CONSTANT 50 FT REQ'D	59'-6"	EXCEEDS DIST. FACE OF BALCONY	SUM OF SIDE YARDS = 16% OF LOT WIDTH. MIN. 7'-6" OR 8% OF LOT WIDTH, WHICHEVER IS GREATER. REQ'D=16/32 FT	5'-8" AT NORTH SIDE	8" AT SOUTH SIDE VARIANCE REQ'D	GREATER OF 25% OF LOT DEPTH OR 75' FROM BULKHEAD LINE, REQ'D=92.25 FT	EXCEEDS DIST.FROM E.C.L.	EXCEEDS DIST. FORM E.C.L.

PARKING DATA

NEW CONSTRUCTION PARKING DISTRICT NO. 1		
RESIDENTIAL TOWER		
DESCRIPTION	TOTAL UNITS	SPACES REQUIRED
550 SF - 999 SF 1.5 SPACES/UNIT	0	0
1000 SF - 1200 SF 1.75 SPACES/UNIT	4	7
> 1200 SF 2 SPACES/UNIT	37	74
SUB TOTAL	41	81
VISITORS PARKING	NA	90
TOTAL PARKING REQUIRED = 90 SPACES		
TOTAL PARKING PROVIDED = 91 SPACES		

DESIGNATED HISTORIC BUILDING NO OFF-STREET PARKING IS REQUIRED FOR MAIN OR ACCESSORY USES ASSOCIATED WITH AN INDIVIDUALLY DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING: DEVELOPMENTS WITH MORE THAN 20 UNITS 10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS 8.5' X 18' MULTI- FAMILY RESIDENTIAL BUILDING 8.5 FT X 16 FT - 100 % VALET ONLY GOVERNED BY A RESTRICTIVE COVENANT TANDEM MAXIMUM STACKING OF 2 PARKING AISLE MIN. 22 FT

TANDEM PARKING MAY BE UTILIZED FOR SELF- PARKING IN MULTI FAMILY RESIDENTIAL BUILDINGS WITH RESTRICTIVE COVENANT LIMITING USE OF EACH TANDEM PARKING SPACE TO THE SAME UNIT OWNER.

aisle drives TWO WAY TRAFFIC 22 FT WIDE ONE WAY TRAFFIC 11 FT WIDE DRIVEWAY ENTRANCE AND ENTRY CURB CUT-MIN. 12 FT DRIVE COLUMNS FOR 90 DEGREES LAYOUT SET BACK 1'-6" MEASURED FROM EDGE OF THE REQUIRED INTERIOR DRIVE TO THE FACE OF THE COLUMN

OFF-STREET LOADING RESIDENTIAL BUILDING OVER 36 UNITS BUT LESS THAN 50 UNITS: 1 SPACE OVER 50 UNITS BUT NOT MORE THAN 100 UNITS: 2 SPACES DESIGN STANDARD-WITHIN THE SAME LOT LOGICALLY AND CONVENIENTLY LOCATED FOR BULK PICK UPS AND DELIVERIES SCALED FOR EXPECTED DELIVERIES 10 X 20 FT

F.A.R. STUDY

HISTORIC TOWER

- L15 - 187 S.F.
- L14 - 4,802 S.F.
- L12 - 6,427 S.F.
- L11 - 6,427 S.F.
- L10 - 6,427 S.F.
- L09 - 6,427 S.F.
- L08 - 6,427 S.F.
- L07 - 6,427 S.F.
- L06 - 6,427 S.F.
- L05 - 6,427 S.F.
- L04 - 3,850 S.F.
- L03 - 6,427 S.F.
- L02 - 1,672 S.F.
- L01 - 10,257 S.F.
- LB1 - 2,092 S.F.

80,703 S.F.

TOTAL FAR=221,426 S.F.

* F.A.R.=(3) 221,426/73,812 S.F.=(2.99)

* MAX. F.A.R. ALLOWED: (3X73,812)=221,436 S.F.

TOTAL REMAINING FAR=10 S.F.

PROPOSED MODIFICATIONS SHOWN IN RED

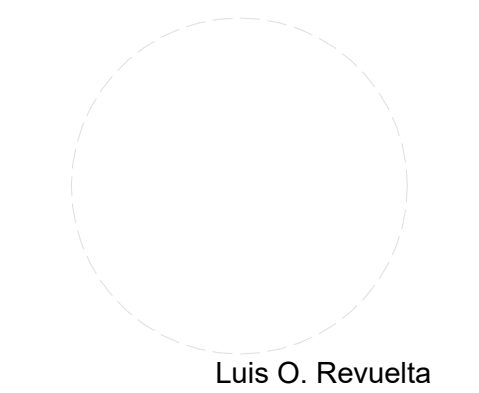
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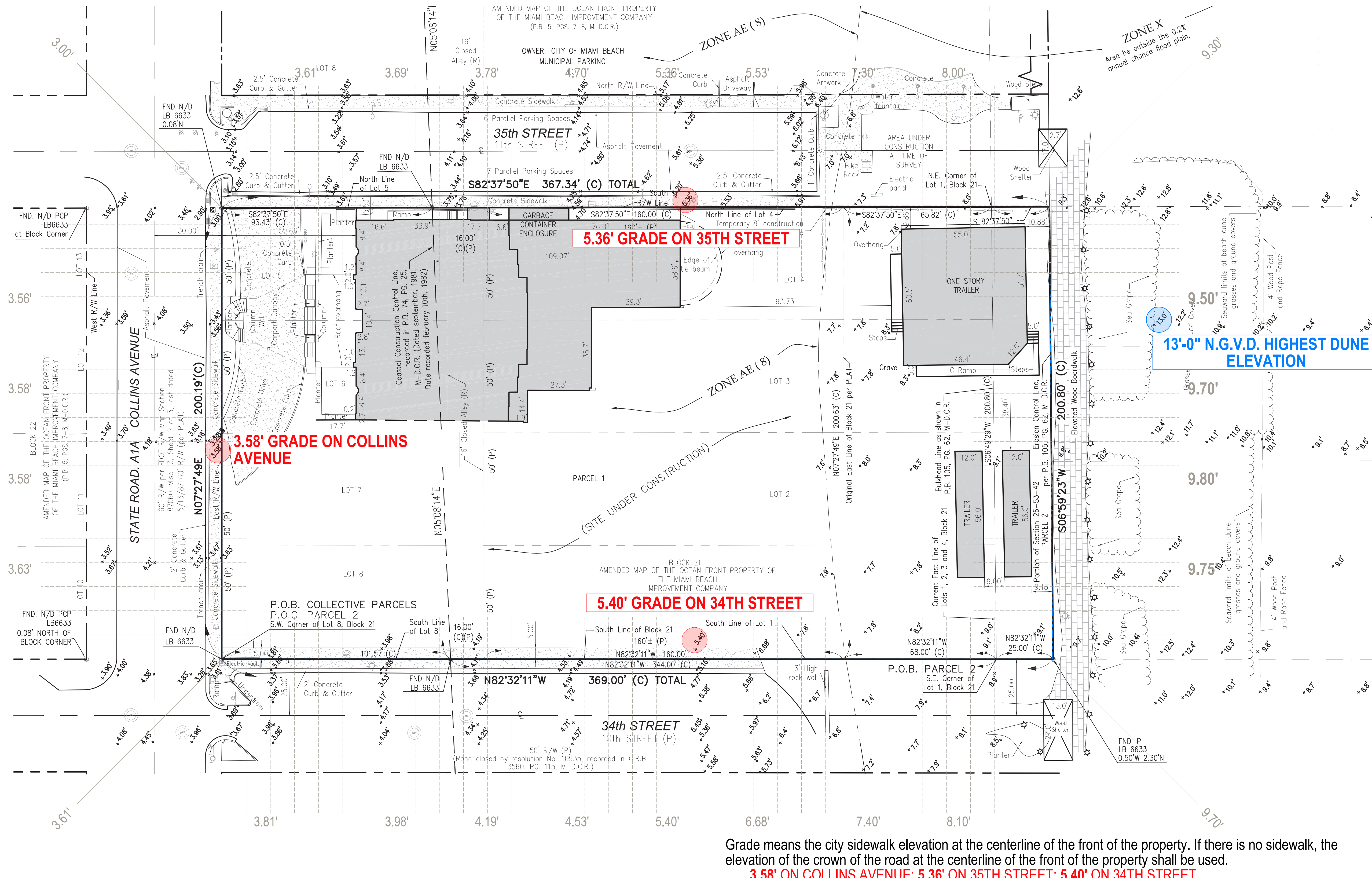


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 Sheet Name
 PROPOSED ZONING DATA
 Sheet No.

A-003

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Grade means the city sidewalk elevation at the centerline of the front of the property. If there is no sidewalk, the elevation of the crown of the road at the centerline of the front of the property shall be used.
3.58' ON COLLINS AVENUE; 5.36' ON 35TH STREET; 5.40' ON 34TH STREET

Highest Dune Elevation
13.00'

GRADE AND DUNE CALCULATION

LEVEL 13 OMITTED

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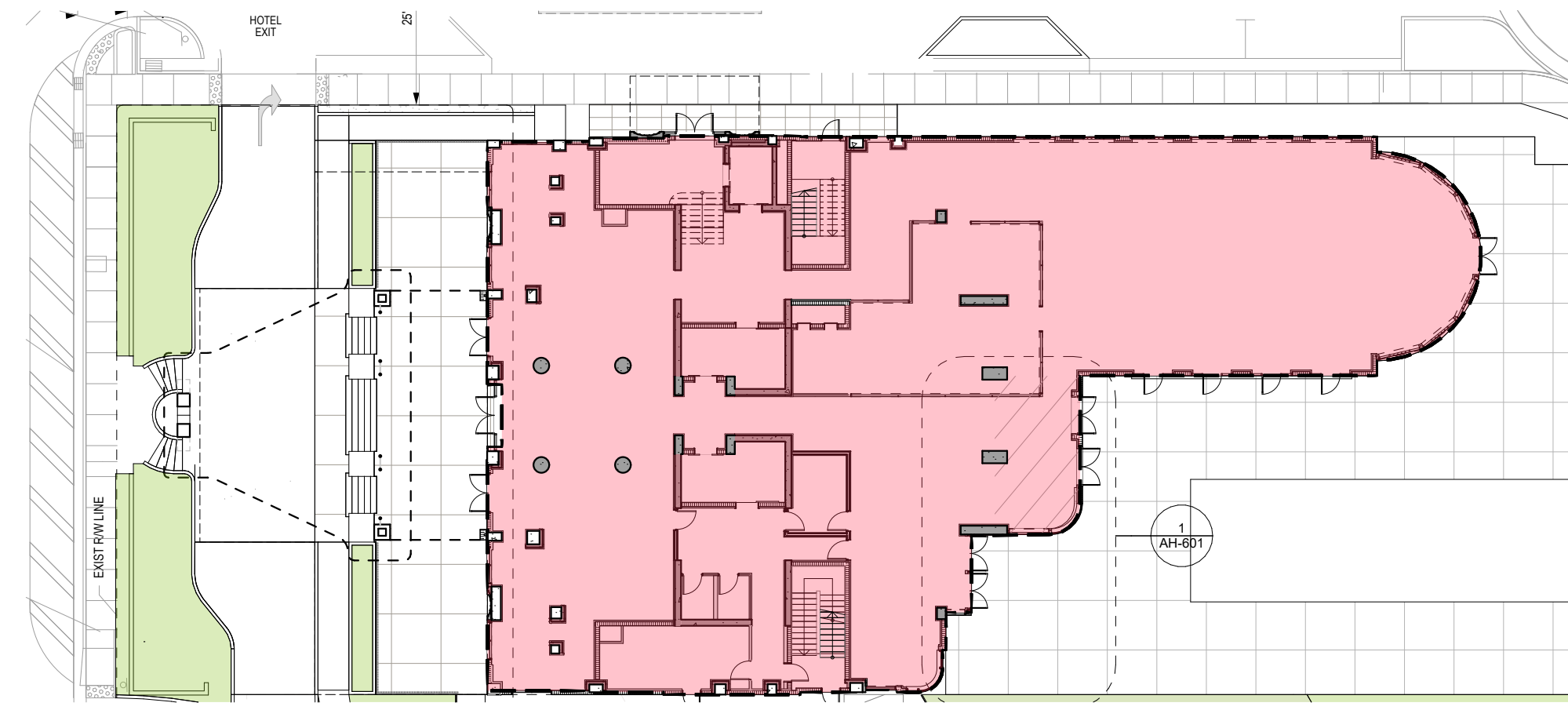
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GRADE AND DUNE
 CALCULATION

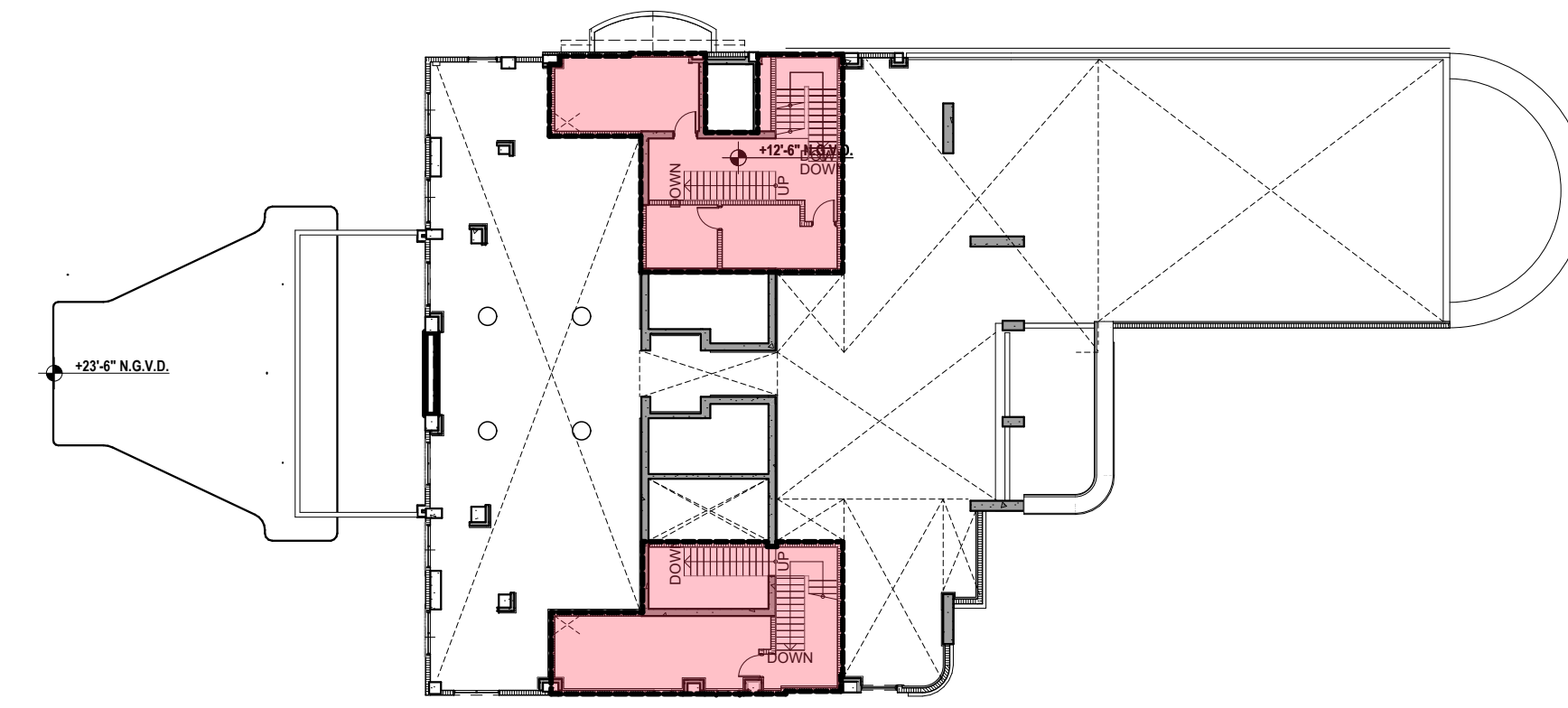
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A-004



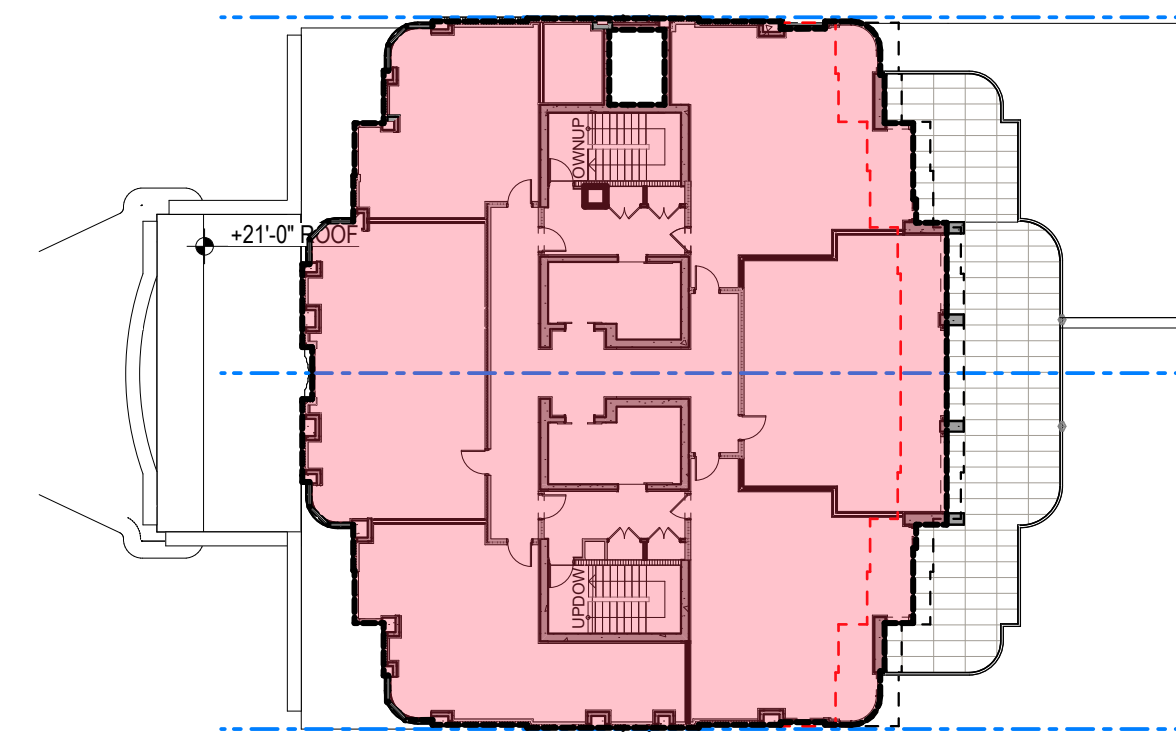
BASEMENT
FAR HOTEL = 2,092 SF



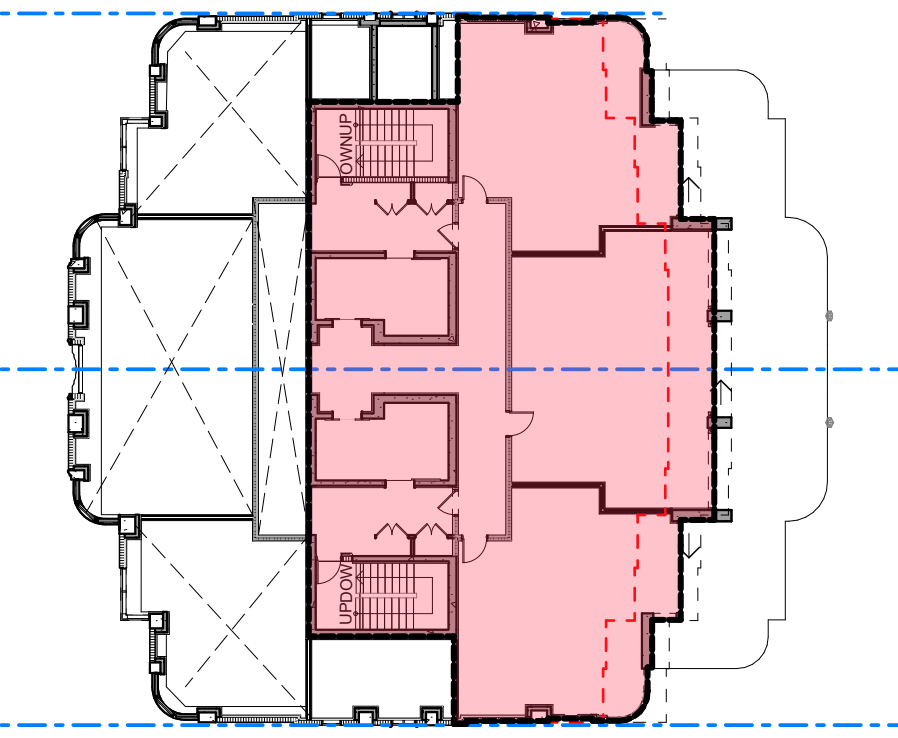
GROUND LEVEL
FAR HOTEL = 10,257 SF



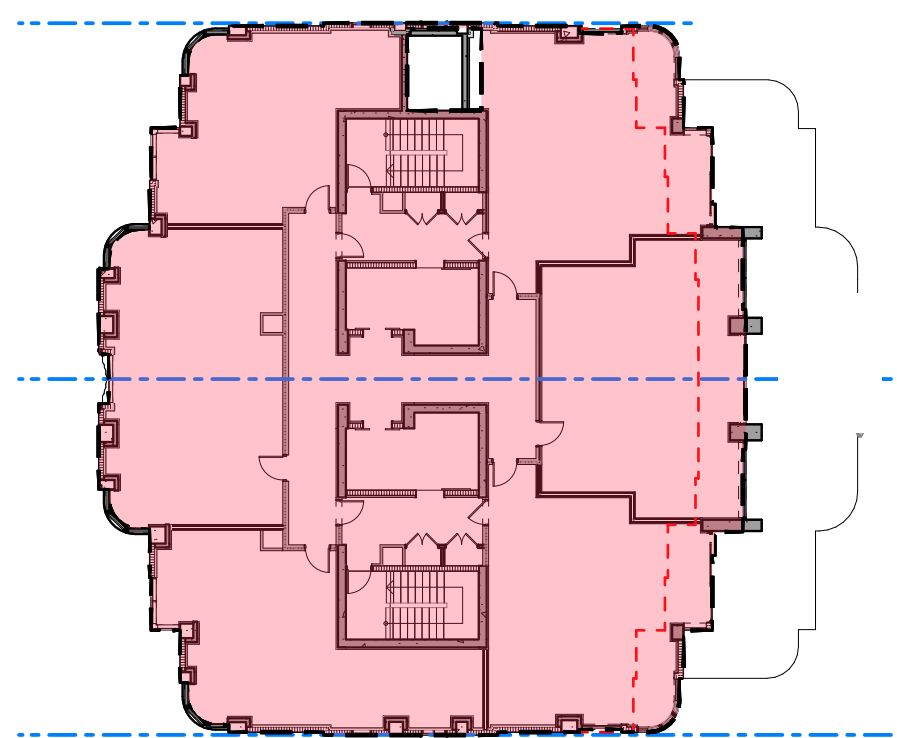
LEVEL 2
FAR HOTEL = 1,672 SF



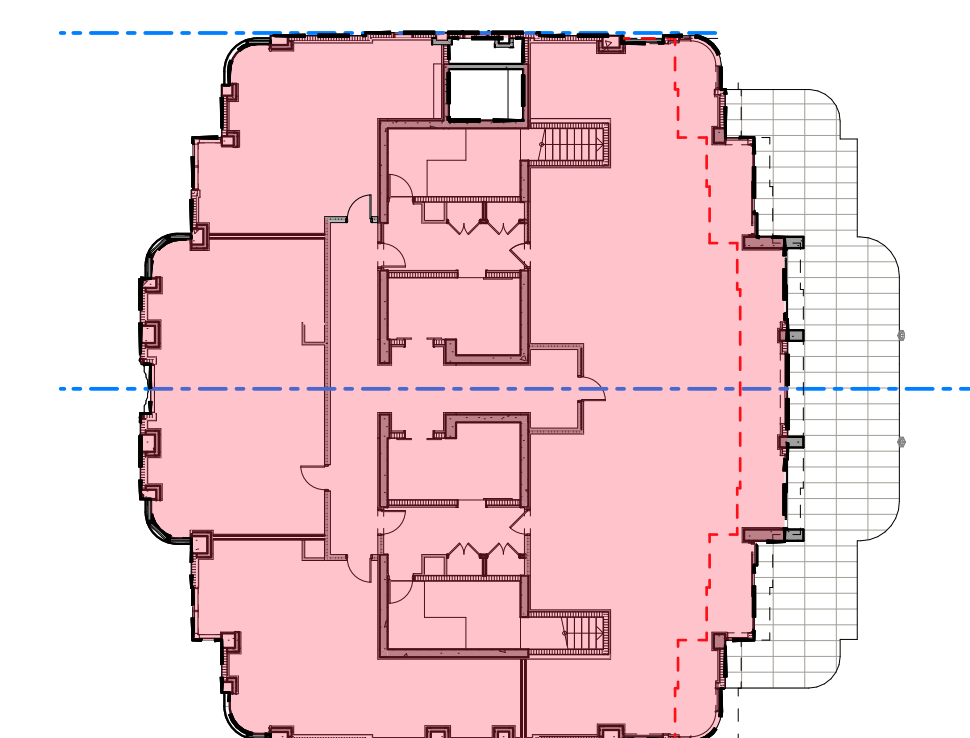
LEVEL 3
FAR HOTEL = 6,427 SF



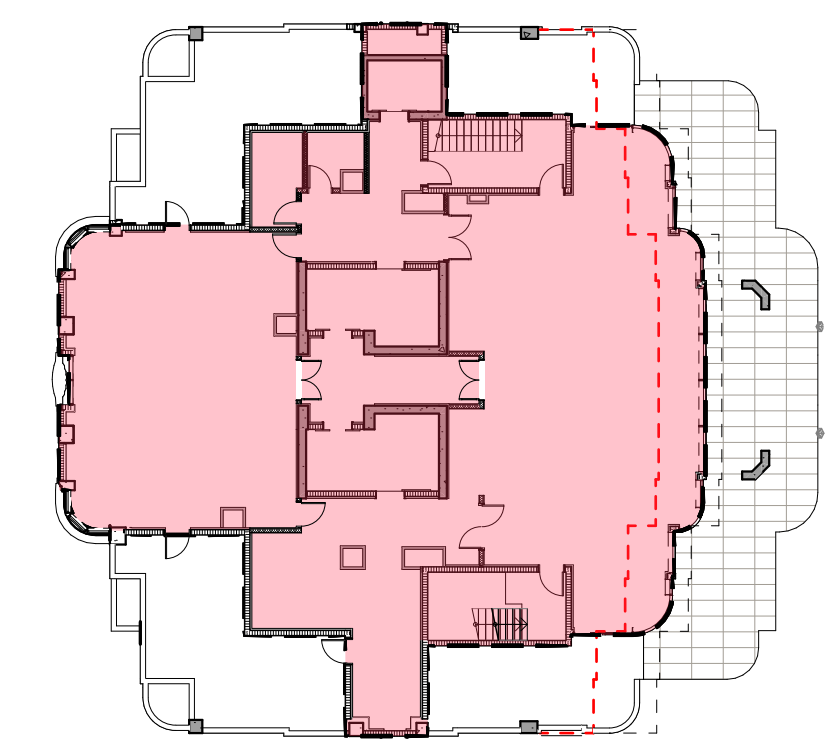
LEVEL 4
FAR HOTEL = 3,850 SF



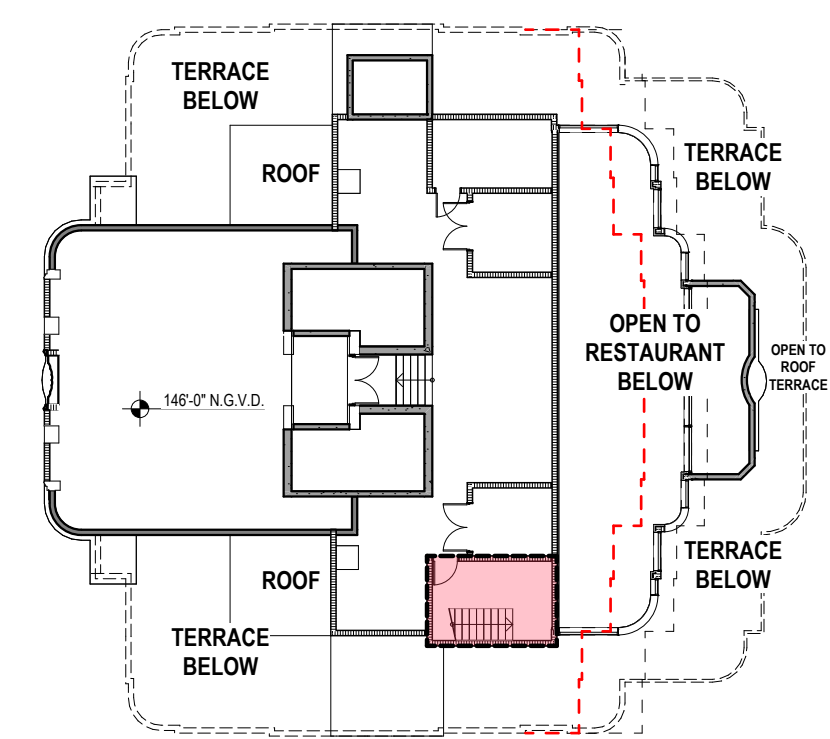
LEVEL 5 TO 11
FAR HOTEL = 6,427 SF X 7 = 44,989 SF



LEVEL 12
FAR HOTEL = 6,427 SF



LEVEL 14
FAR HOTEL = 4,802 SF



LEVEL 15
FAR HOTEL = 4,187 SF

PROPOSED F.A.R.

F.A.R. DIAGRAMS - PROPOSED

HISTORIC TOWER

L15 -	187 S.F.
L14 -	4,802 S.F.
L12 -	6,427 S.F.
L11 -	6,427 S.F.
L10 -	6,427 S.F.
L09 -	6,427 S.F.
L08 -	6,427 S.F.
L07 -	6,427 S.F.
L06 -	6,427 S.F.
L05 -	6,427 S.F.
L04 -	3,850 S.F.
L03 -	6,427 S.F.
L02 -	1,672 S.F.
L01 -	10,257 S.F.
LB1 -	2,092 S.F.

80,703 S.F.

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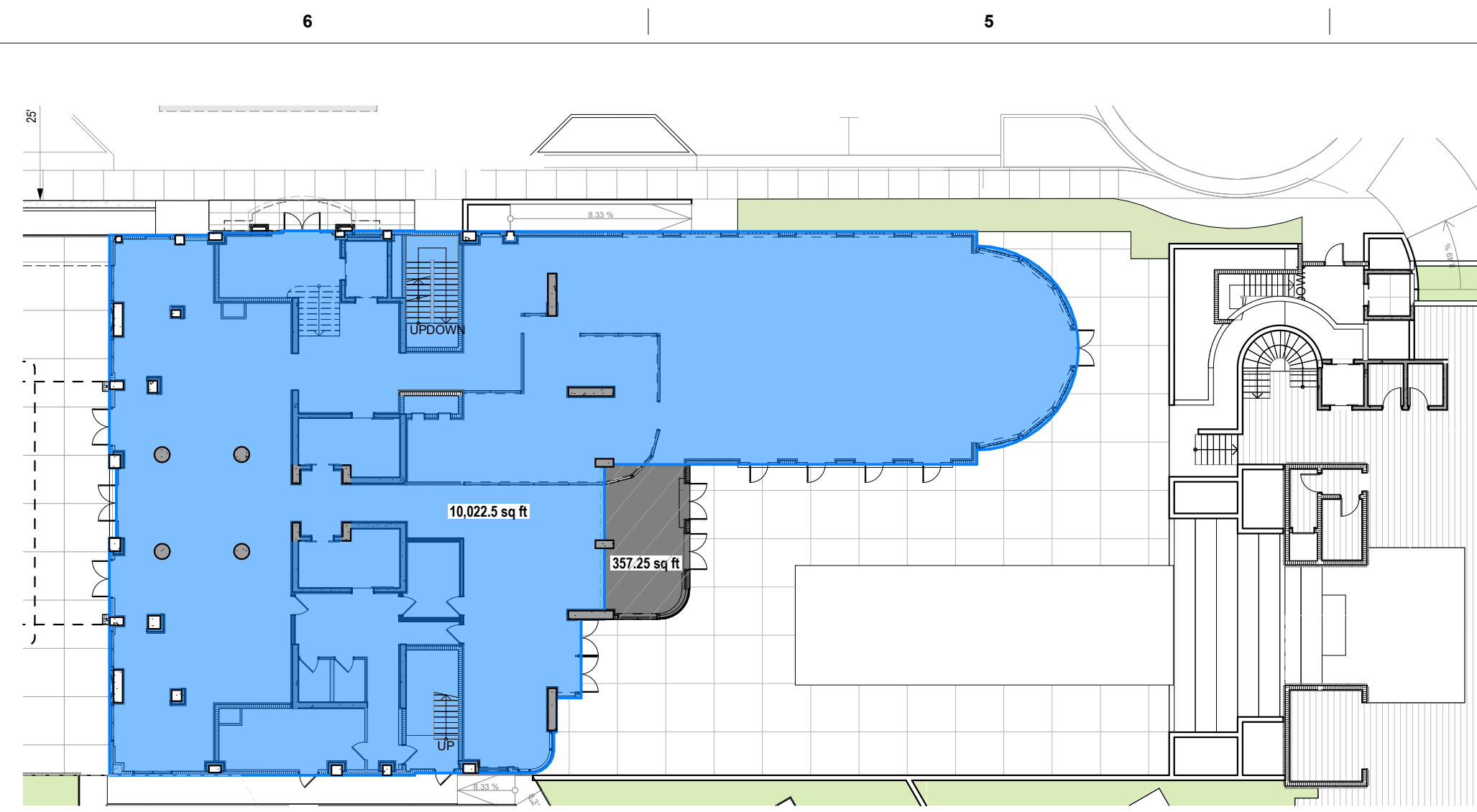
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F.A.R. DIAGRAMS - PROPOSED
Sheet No.

A-005

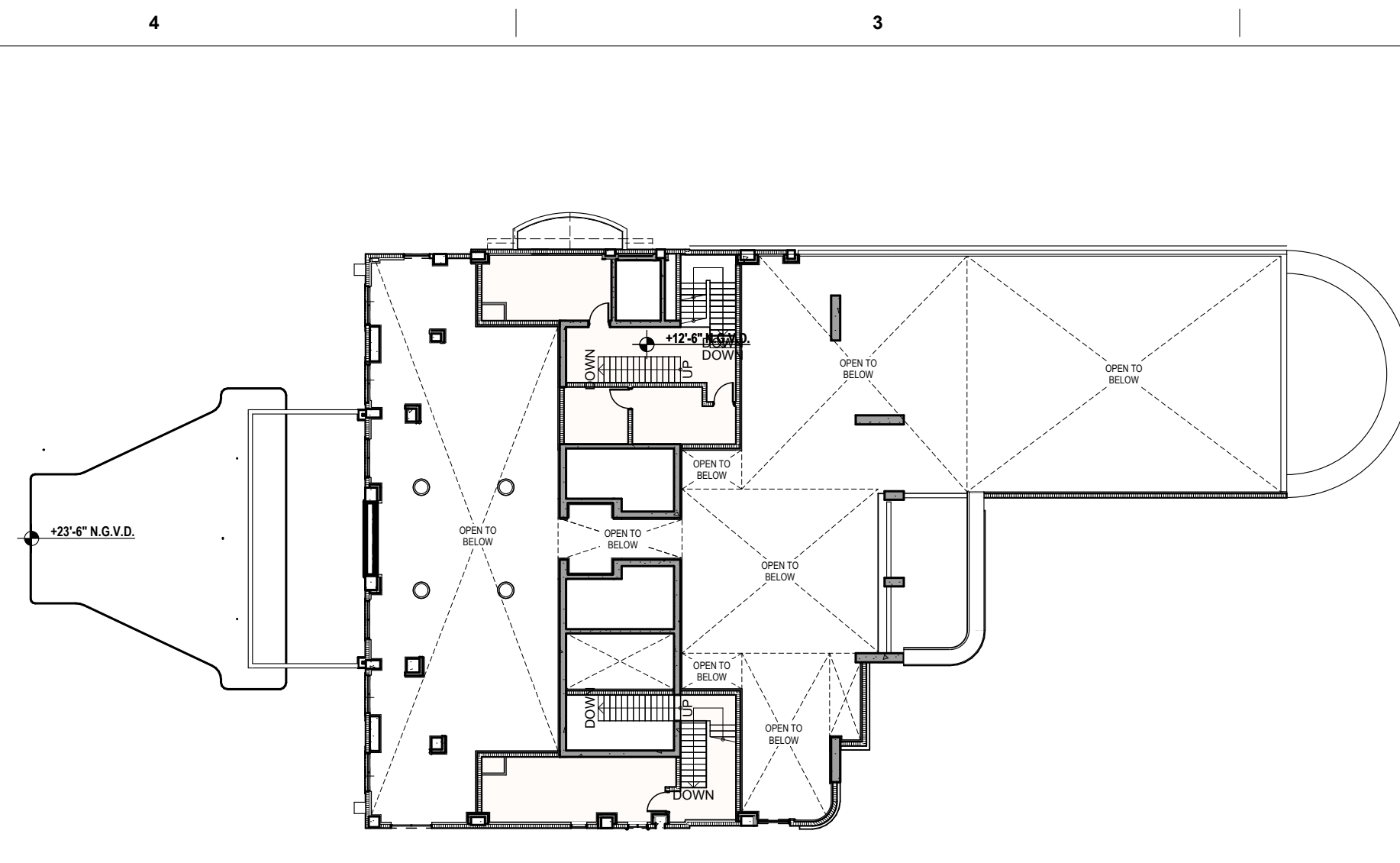
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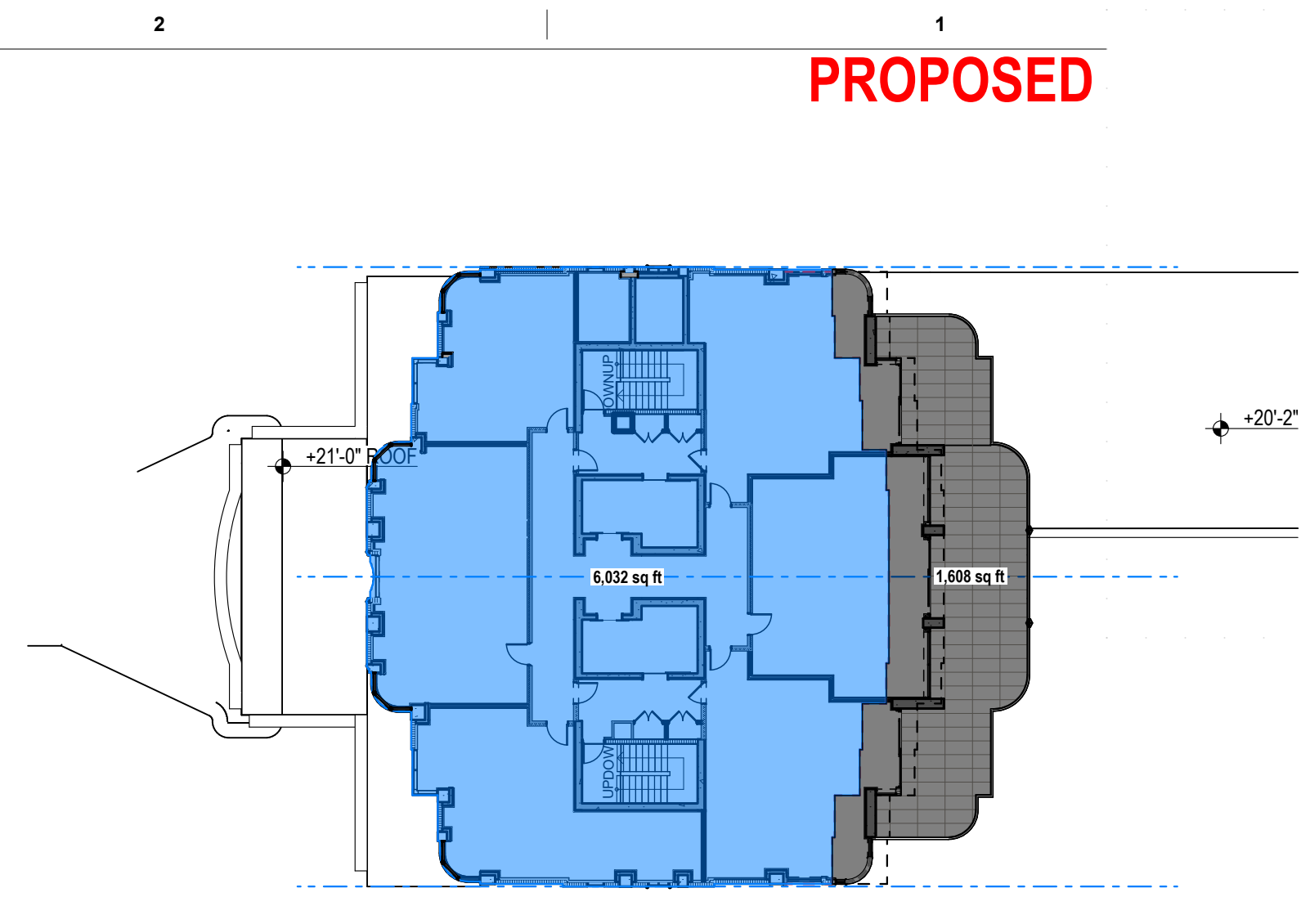
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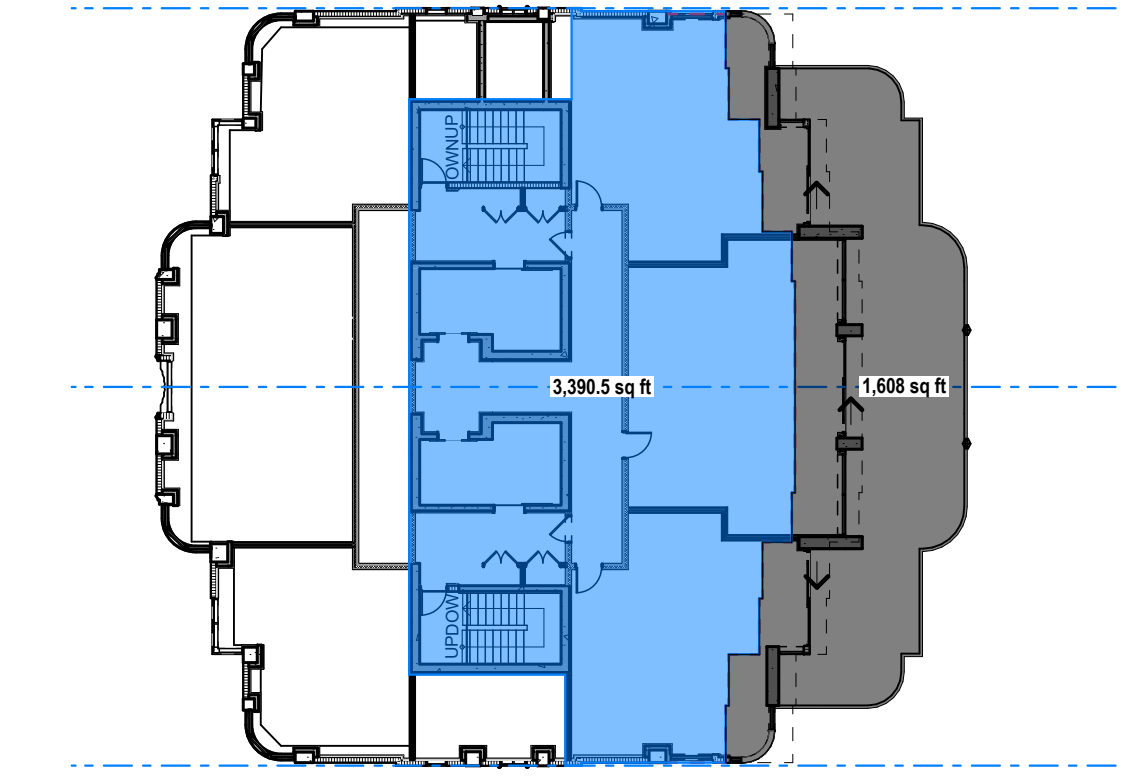
GROUND LEVEL HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 10,022.5 SF
GROSS HOTEL NEW = 357.25 SF



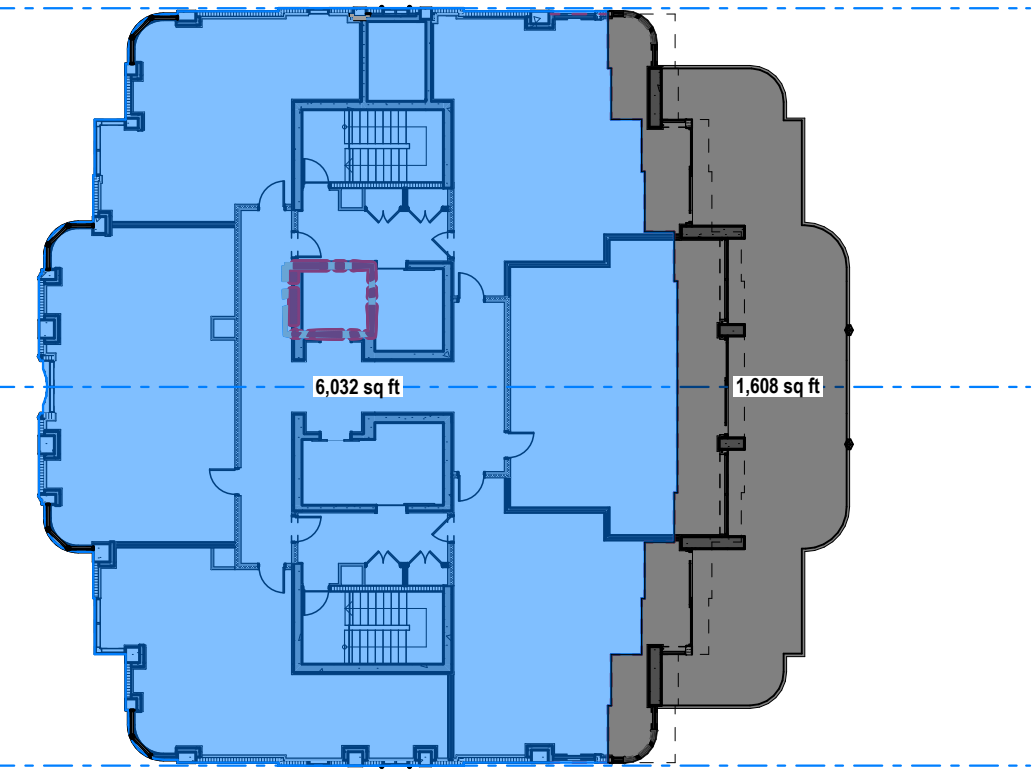
LEVEL 2 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 0 SF
GROSS HOTEL NEW = 0 SF



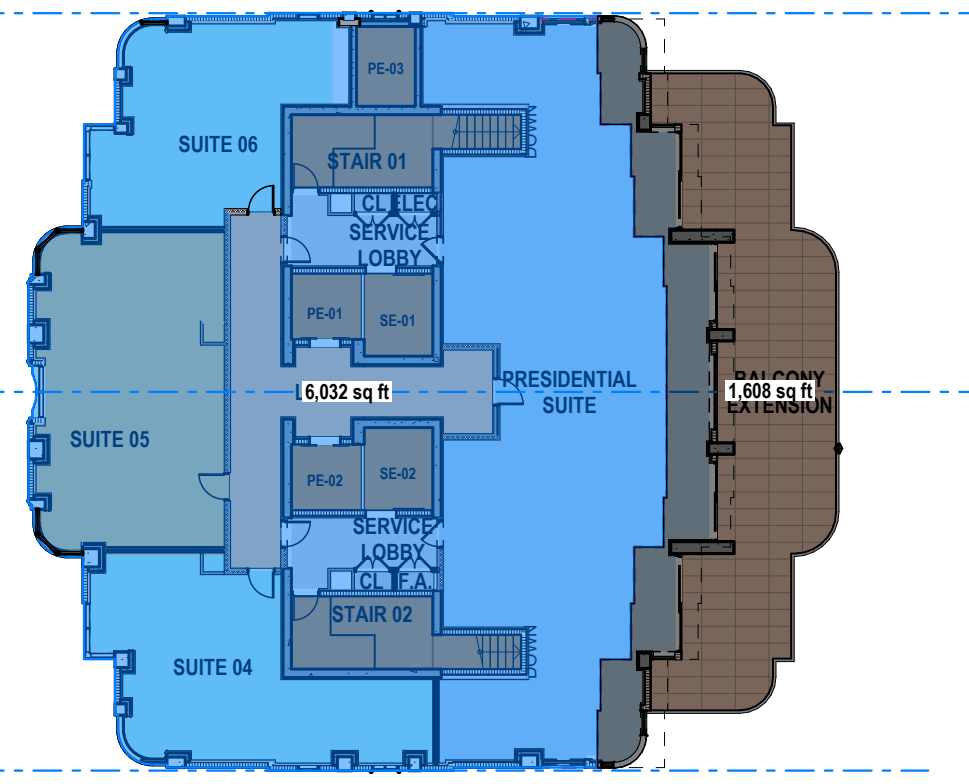
LEVEL 3 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 6,032 SF
GROSS HOTEL NEW = 1,608 SF



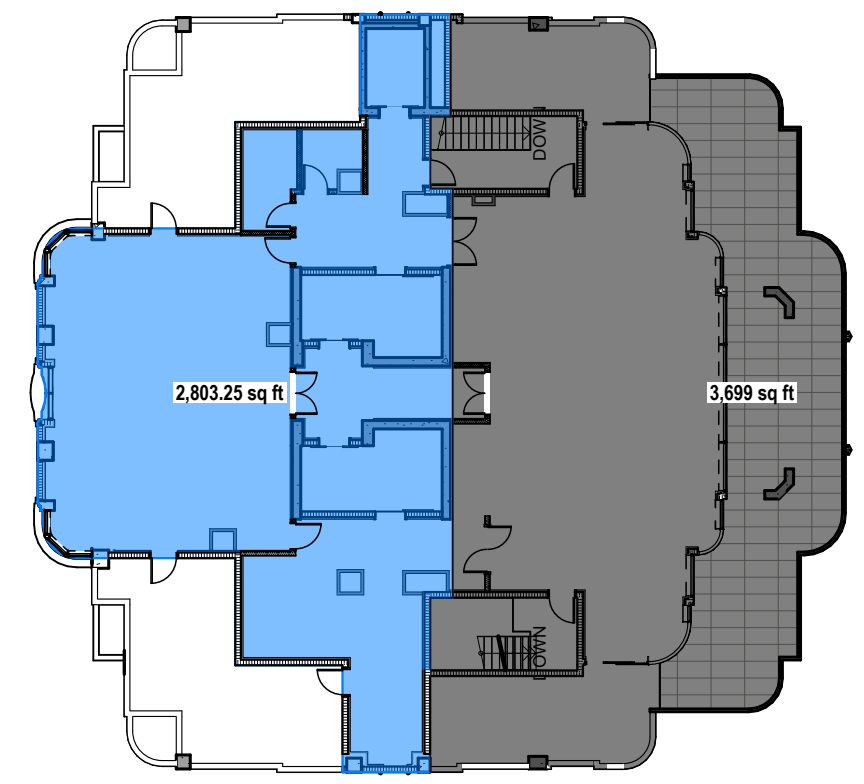
LEVEL 4 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 3,390.5 x 1 = 3,390.5 SF
GROSS HOTEL NEW = 1,608 x 1 = 1,608 SF



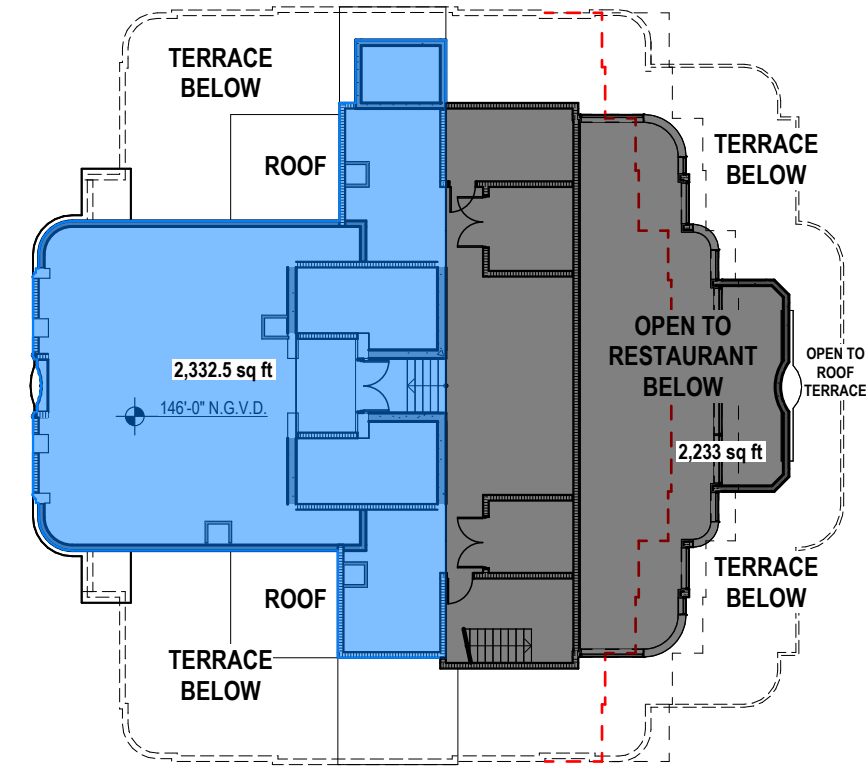
LEVEL 5 TO 11 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 6,032 x 8 = 48,256 SF
GROSS HOTEL NEW = 1,608 x 8 = 12,864 SF



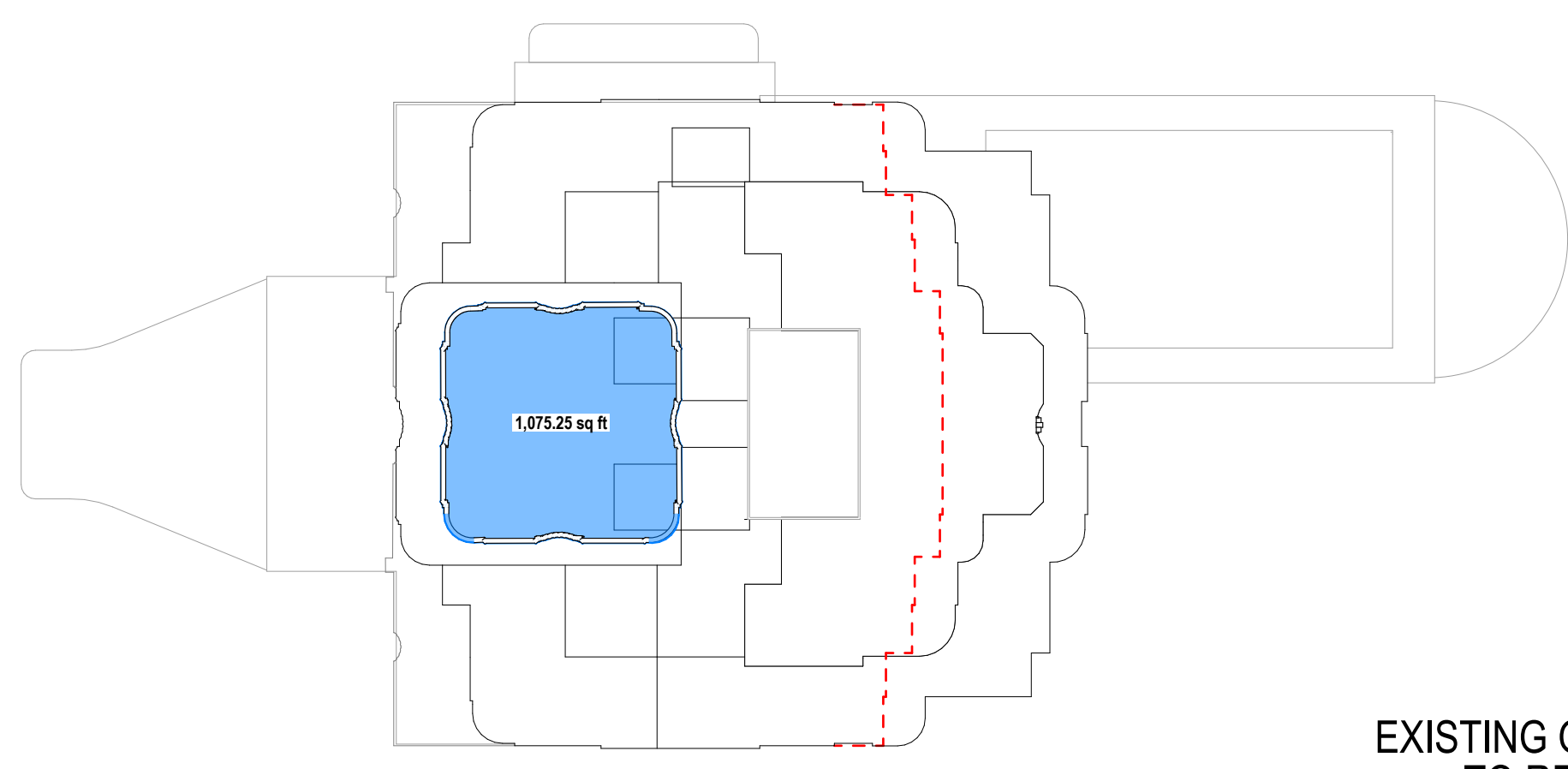
LEVEL 12 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 6,032 SF
GROSS HOTEL NEW = 1,608 SF



LEVEL 14 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 2,803.25 SF
GROSS HOTEL NEW = 3,699 SF



LEVEL 15 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 2,332.5 SF
GROSS HOTEL NEW = 2,233 SF



LEVEL 16 HOTEL
SCALE: 1:274.2857
GROSS HOTEL EXIST = 1,075.25 SF

GROSS-00 HOTEL EXISTING		GROSS-00 GROSS HOTEL NEW	
LEVEL	Area (sf)	LEVEL	Area (sf)
GROUND LEVEL	10,023	GROUND LEVEL	357
LEVEL 3	6,032	LEVEL 3	1,608
LEVEL 4	3,391	LEVEL 4	1,608
LEVEL 5	6,032	LEVEL 5	1,608
LEVEL 6	6,032	LEVEL 6	1,608
LEVEL 7	6,032	LEVEL 7	1,608
LEVEL 8	6,032	LEVEL 8	1,608
LEVEL 9	6,032	LEVEL 9	1,608
LEVEL 10	6,032	LEVEL 10	1,608
LEVEL 11	6,032	LEVEL 11	1,608
LEVEL 12	6,032	LEVEL 12	1,608
LEVEL 14	2,803	LEVEL 14	3,699
LEVEL 15	2,333	LEVEL 15	2,233
LEVEL 16	1,075	LEVEL 16	0
	73,913 sq ft		22,369 sq ft

EXISTING GROSS AREA TO REMAIN HOTEL
PROPOSED NEW GROSS AREA HOTEL

GROSS DIAGRAMS - PROPOSED

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GROSS DIAGRAMS PROPOSED
Sheet No.
A-006

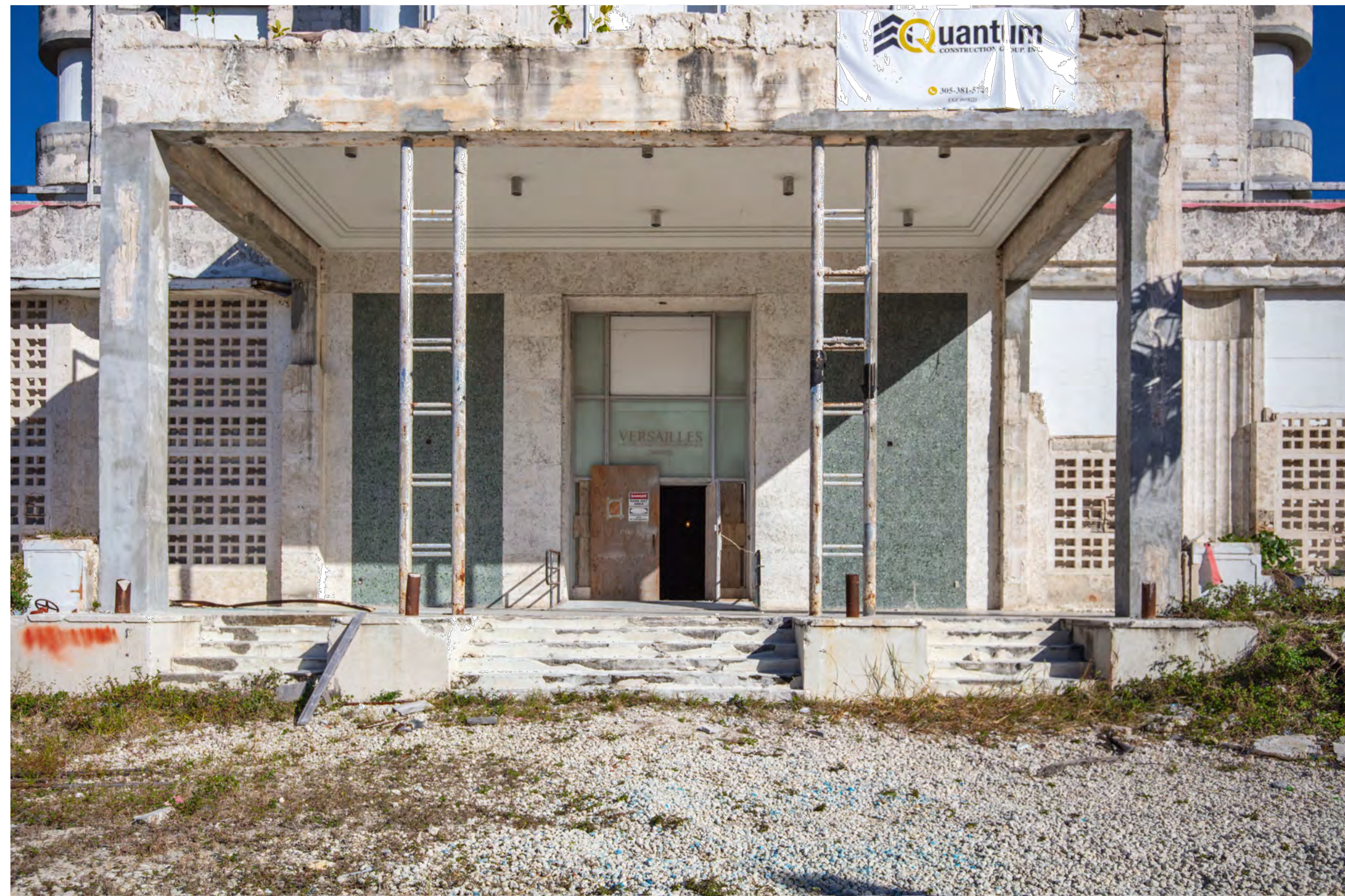
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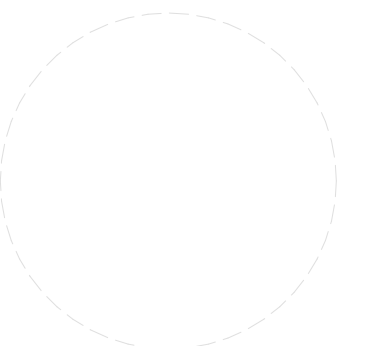
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PHOTOS - CURRENT CONDITION - EXTERIOR

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CURRENT CONDITION
PHOTOGRAPHS

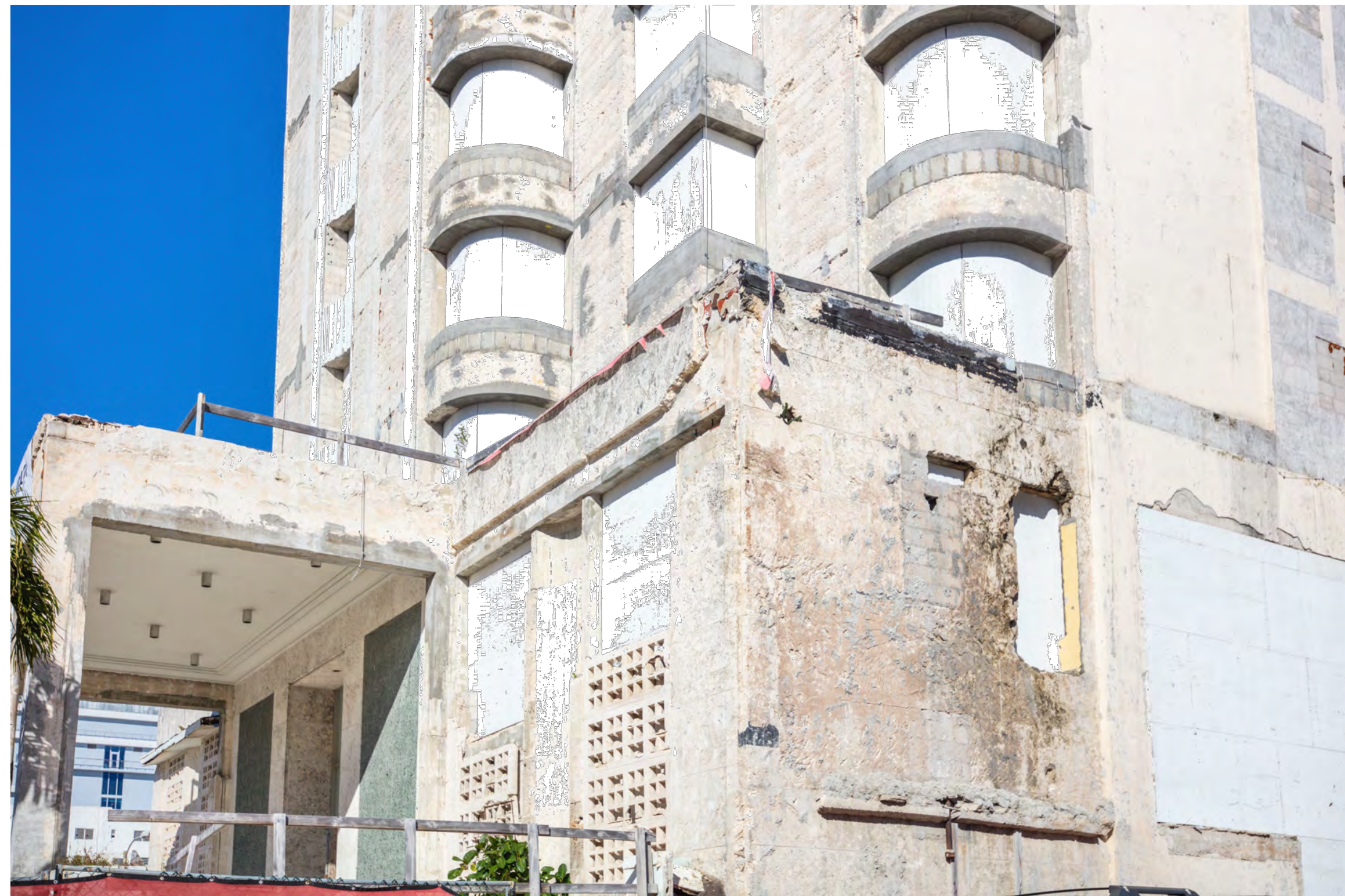
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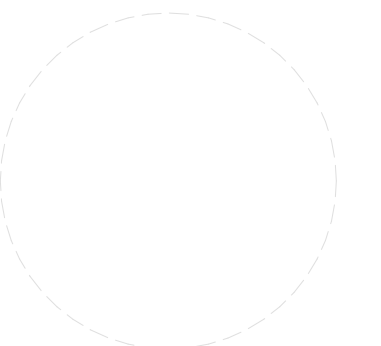
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CURRENT CONDITION
PHOTOGRAPHS

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A-009

LEVEL 13 OMITTED

D

C



B

A



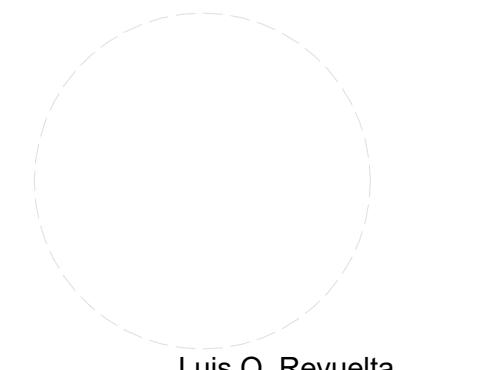
PHOTOS - CURRENT CONDITION - EXTERIOR

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**CURRENT CONDITION
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Sheet No.

A-010

LEVEL 13 OMITTED



INDIAN CREEK

MERL MANOR CONDO
+/- 49 FEET
5 STORIES

CASA FAENA
+/- 46 FEET
3 STORIES

FAENA PARK
+/- 44 FEET
5 STORIES

KING DAVID TOWERS
+/- 153 FEET
16 STORIES

FAENA BAZAAR
+/- 44 FEET
4 STORIES

FAENA ARTS CENTER
+/- 32 FEET
6 STORIES

PORTUGAL TOWER
+/- 128 FEET
15 STORIES

THE CARIBBEAN CONDO
+/- 187 FEET
18 STORIES

BEACH HOUSE 8 CONDO
+/- 72 FEET
10 STORIES

ALL SEASON HOTEL
+/- 89 FEET
6 STORIES

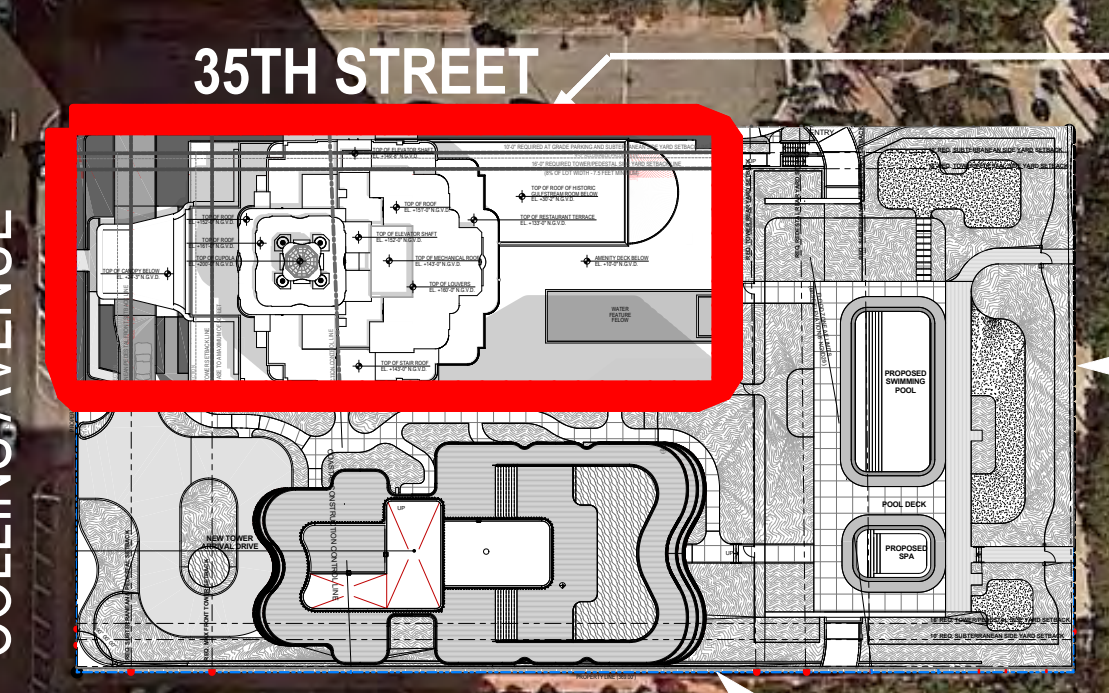
WESTGATE SOUTHBEACH
+/- 32 FEET
3 STORIES

AMAN HOTEL
EXISTING VERSAILLES
200 FEET
14 STORIES

AMAN RESIDENCES
18 STORIES

FAENA RESIDENCE
+/- 200 FEET
16 STORIES

FAENA HOUSE
+/- 167 FEET
14 STORIES



COLLINS AVENUE

35TH STREET

34TH STREET

BEACH

SITE

ATLANTIC OCEAN

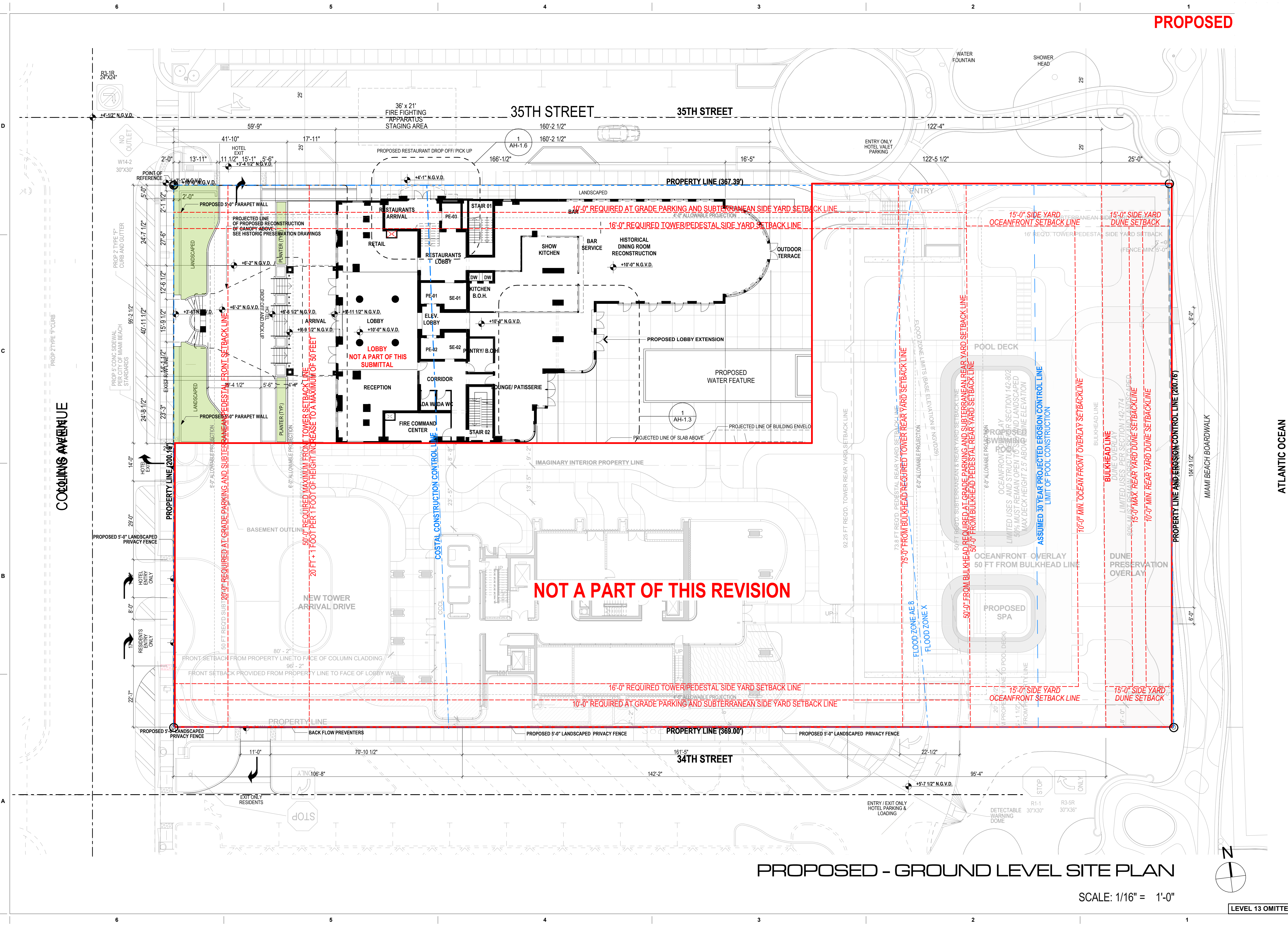
CONTEXT SITE PLAN

NOT FOR CONSTRUCTION

LEVEL 13 OMITTED

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RESIDENCE**

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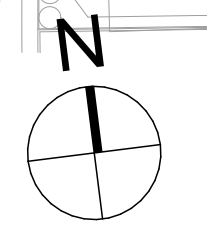
Luis O. Revuelta
AR-0007972

HPB - October 13, 2020

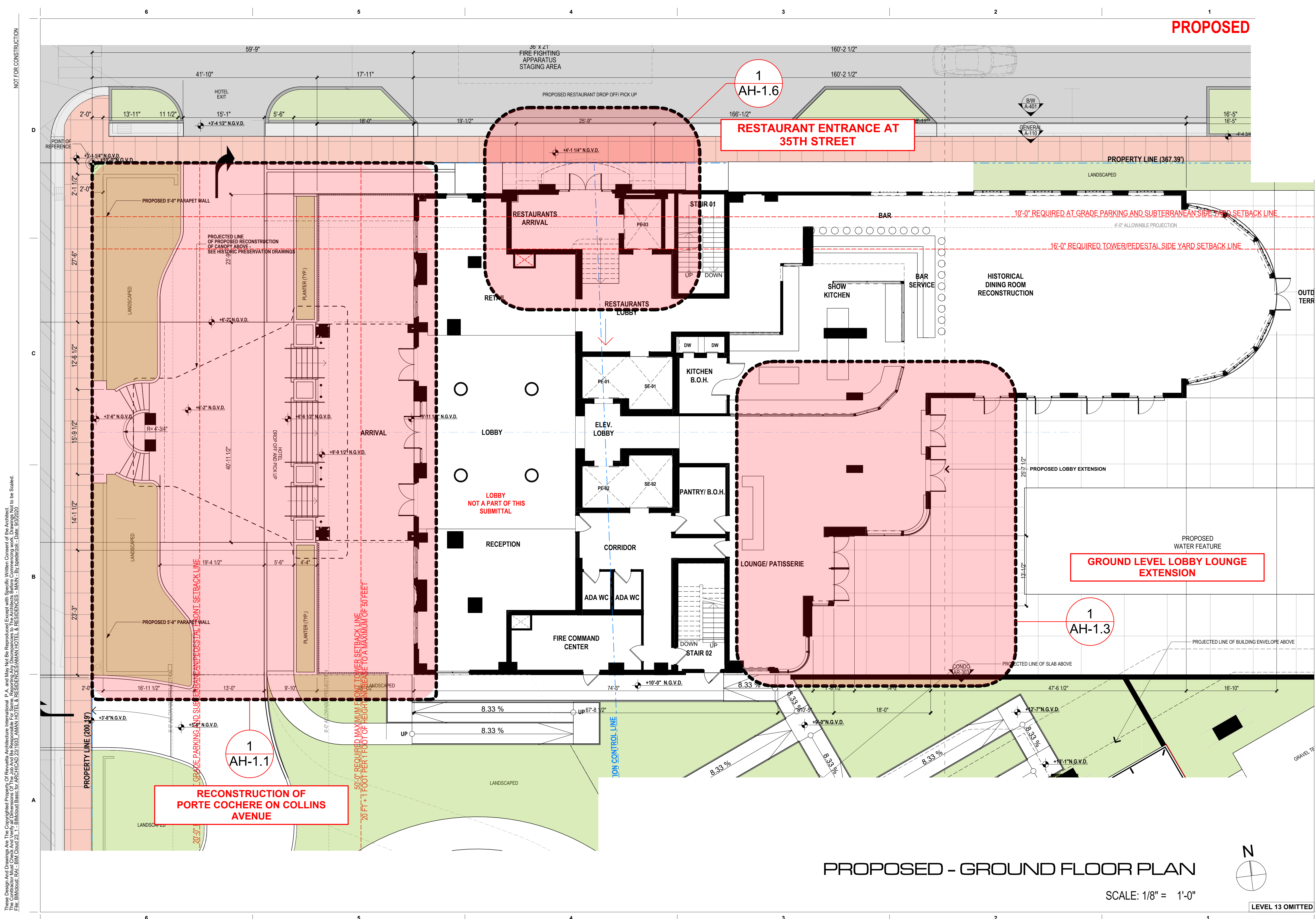
Date
8/17/2020
Scale
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Project No.
1933
PROPOSED - GROUNDS
SITE PLAN
Sheet No.
AH-100.P

PROPOSED - GROUND LEVEL SITE PLAN

SCALE: 1/16" = 1'-0"



LEVEL 13 OMITTED



PROPOSED

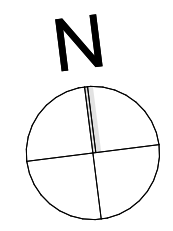
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AH-1.1
RECONSTRUCTION OF PORTE COCHERE ON COLLINS AVENUE

1
AH-1.6
RESTAURANT ENTRANCE AT 35TH STREET

1
AH-1.3
GROUND LEVEL LOBBY LOUNGE EXTENSION

PROPOSED - GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



LEVEL 13 OMITTED

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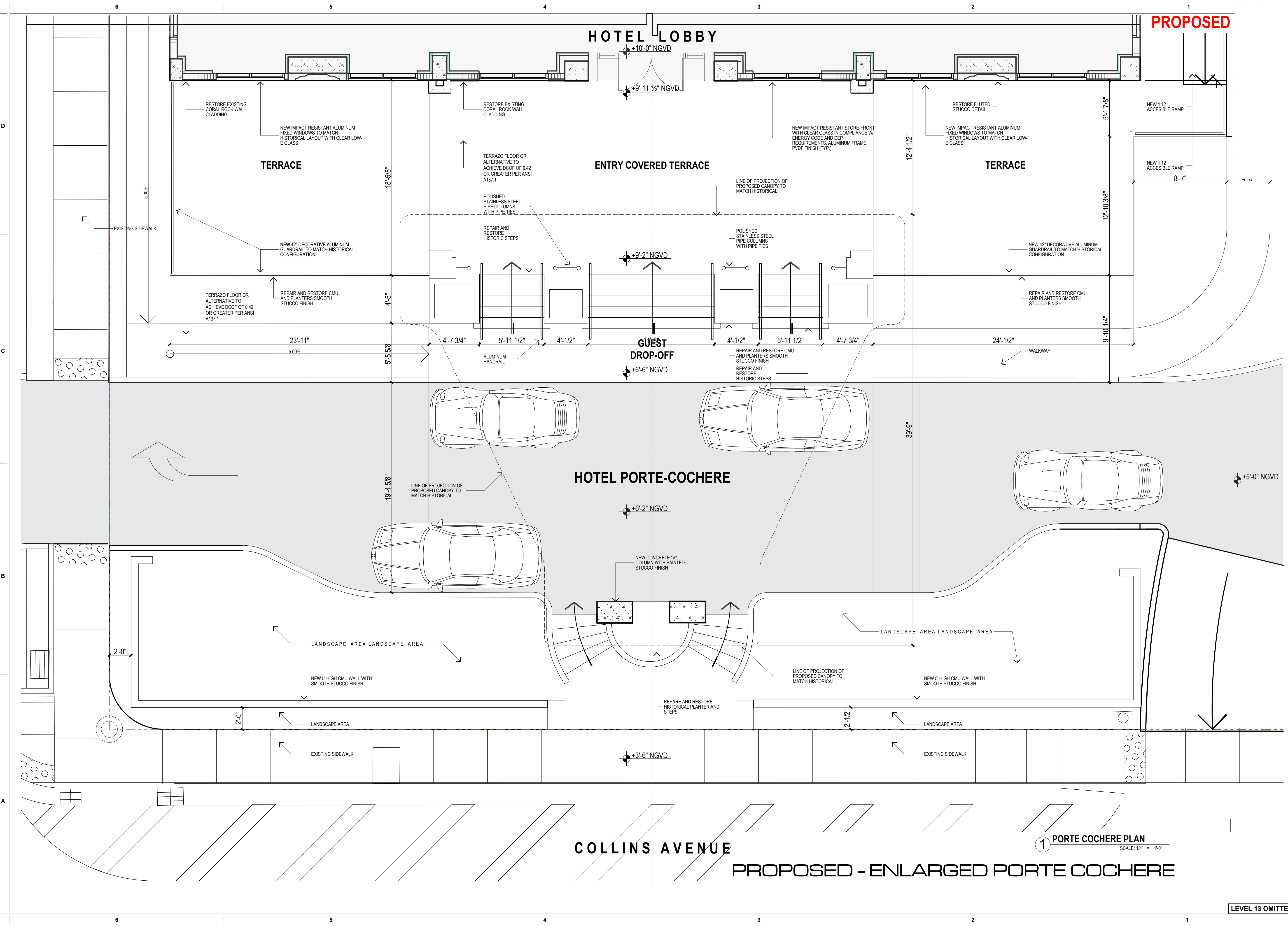
PROPOSED - GROUND FLOOR PLAN

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AH-101.P

HISTORIC PRESERVATION
HISTORIC VERSAILLES PORTE COCHERE

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PROPOSED - ENLARGED PORTE COCHERE

Sheet No.
AH-1.101

COLLINS AVENUE

1 PORTE COCHERE PLAN
 SCALE: 1/4" = 1'-0"

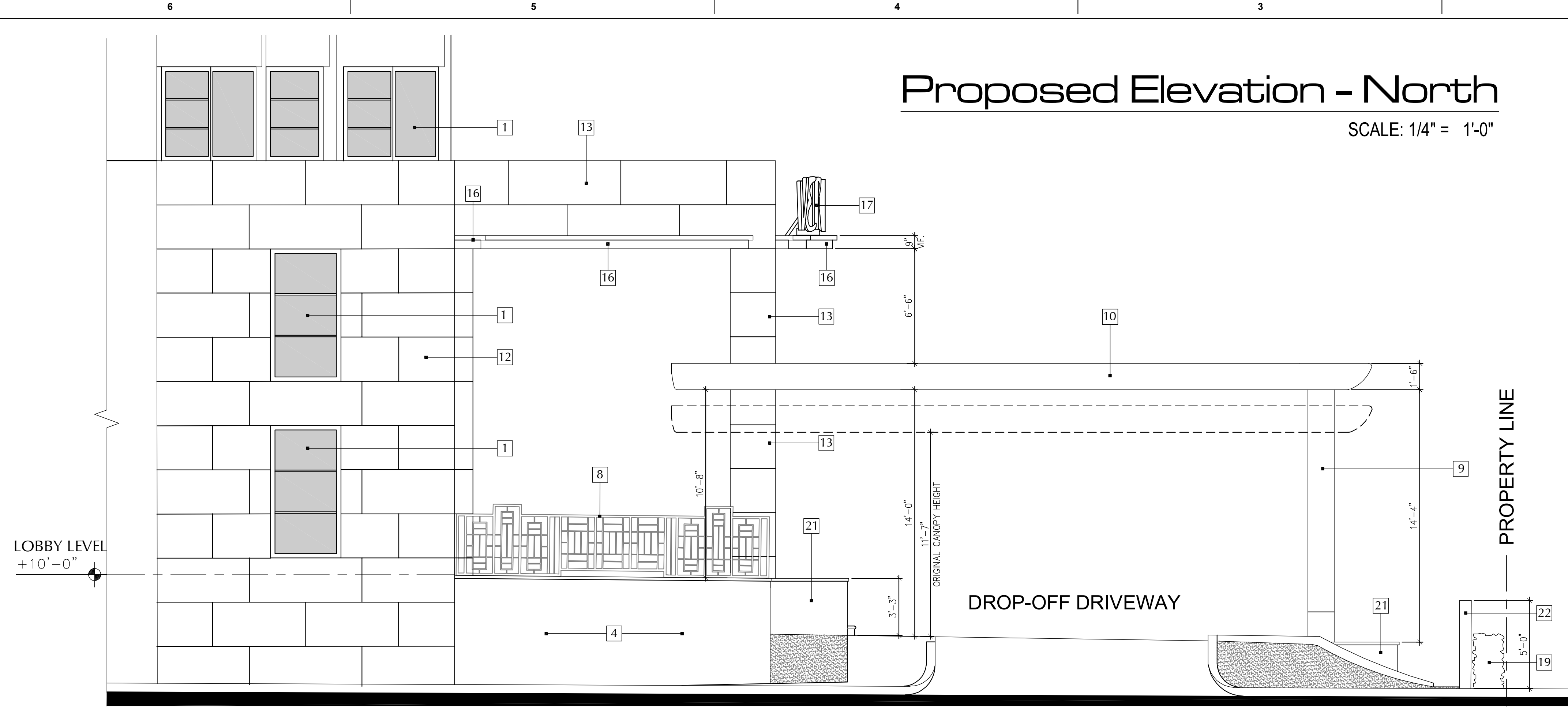
PROPOSED - ENLARGED PORTE COCHERE

LEVEL 13 OMITTED

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Proposed Elevation - North

SCALE: 1/4" = 1'-0"



PROPOSED CANOPY KEYNOTES

- 1 NEW IMPACT RESISTANT ALUMINUM FIXED WINDOWS TO MATCH HISTORICAL LAYOUT WITH CLEAR LOW-E GLASS
- 2 EXISTING BUILDING
- 3 NEW IMPACT RESISTANT STOREFRONT ALUMINUM AND GLASS DOORS
- 4 EXISTING CMU WALL TO BE PATCHED AND REPAIRED WITH NEW PAINTED STUCCO FINISH
- 5 NEW CMU WALL WITH PAINTED STUCCO FINISH
- 6 REPAIR AND RESTORE CONCRETE TRIM TO MATCH HISTORICAL PROFILE
- 7 REPAIR AND RESTORE EXISTING HISTORICAL MOLDINGS AND FINISHES
- 8 NEW 42" DECORATIVE ALUMINUM GUARDRAIL TO MATCH HISTORICAL CONFIGURATION
- 9 NEW CONCRETE "V" COLUMN WITH PAINTED STUCCO FINISH
- 10 NEW CONCRETE CANOPY WITH PAINTED STUCCO FINISH TO MATCH HISTORICAL
- 11 RESTORE FLUTED STUCCO DETAILING
- 12 RESTORE EXISTING CORAL ROCK WALL CLADDING
- 13 NEW CORAL ROCK CLADDING TO MATCH RESTORED HISTORICAL IN COLOR, TEXTURE AND PATTERN
- 14 RE-CONSTRUCT HISTORIC CIRCULAR CONCRETE STEPS
- 15 POLISHED STAINLESS STEEL PIPE COLUMNS WITH PIPE TIES
- 16 CONCRETE TRIM WITH POLISHED STAINLESS STEEL FINISH TO MATCH HISTORICAL
- 17 NEW SEMI-CIRCULAR SIGN WITH ALUMINUM CHANNEL LETTERS ON ALUMINUM STRUCTURE TO MATCH HISTORICAL SIGN
- 18 CANOPY PERIMETER WATER CHANNEL
- 19 2' PLANTING STRIP WITH 3' HIGH HEDGE
- 20 REPAIR AND RESTORE HISTORIC CONCRETE STEPS
- 21 RESTORE HISTORIC CMU AND STUCCO PLANTERS
- 22 NEW 5' HIGH CMU WALL WITH STUCCO FINISH

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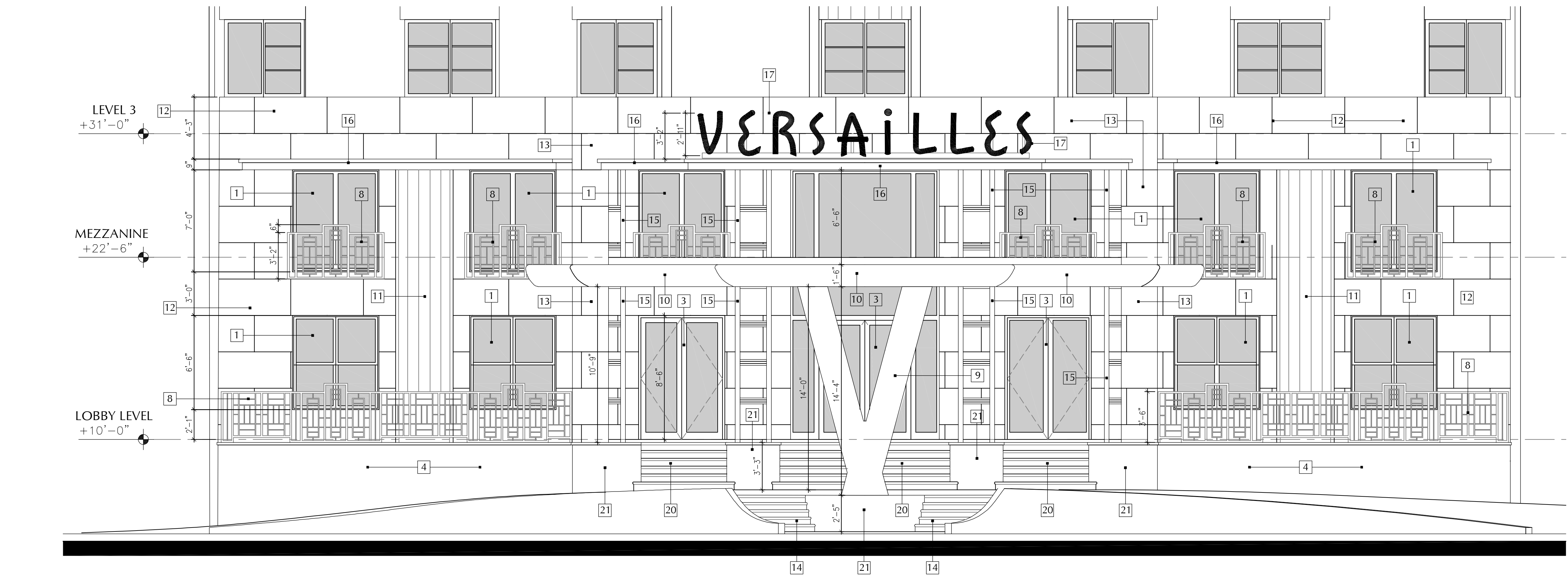
PROJECT PHASE
Date
9/8/2020
Scale
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Project No.
1933.1
Sheet Name
#Layout Name

Sheet No.
AH-1.102

Historic Entrance Canopy

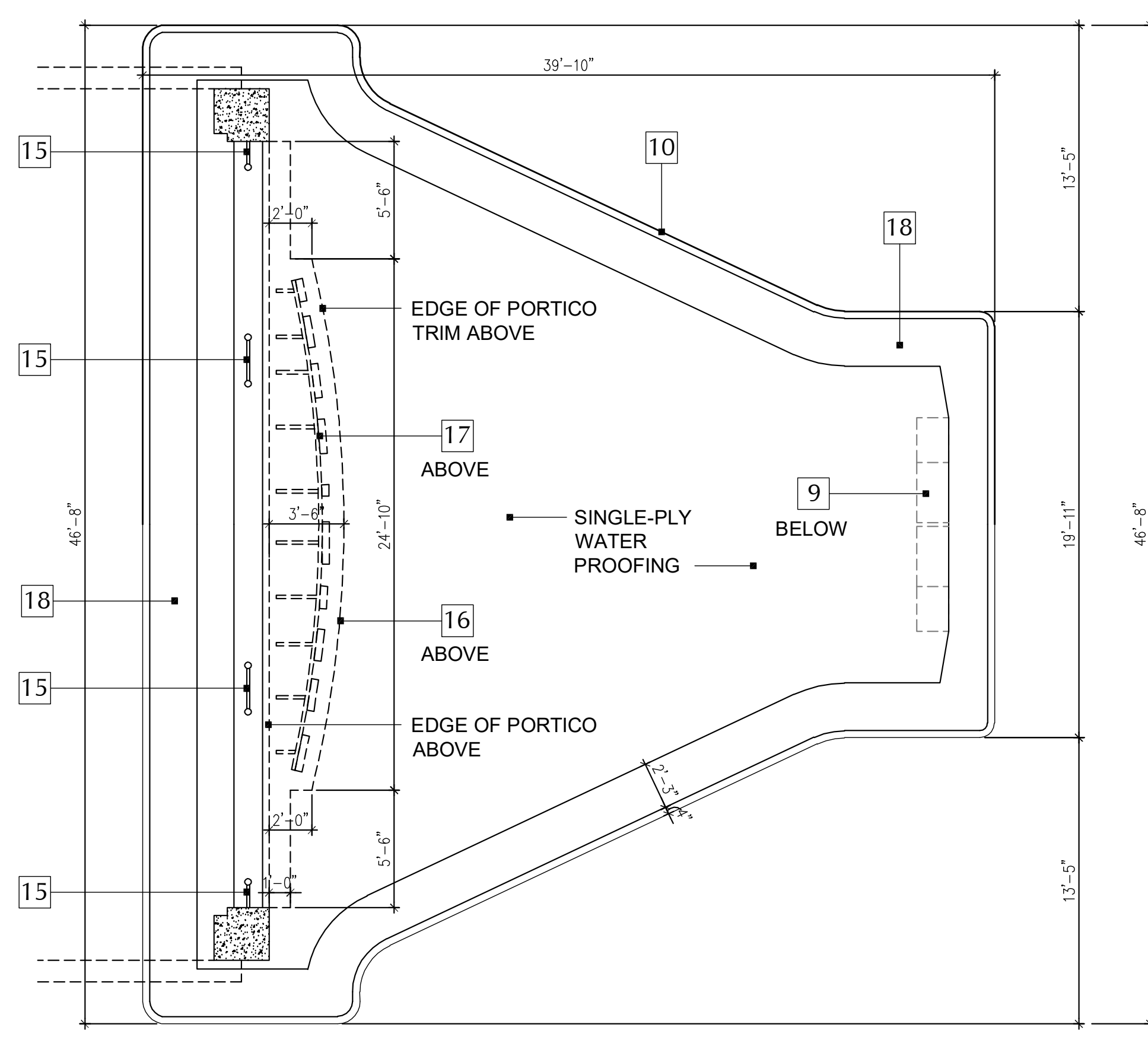
Proposed Elevation - West

SCALE: 1/4" = 1'-0"

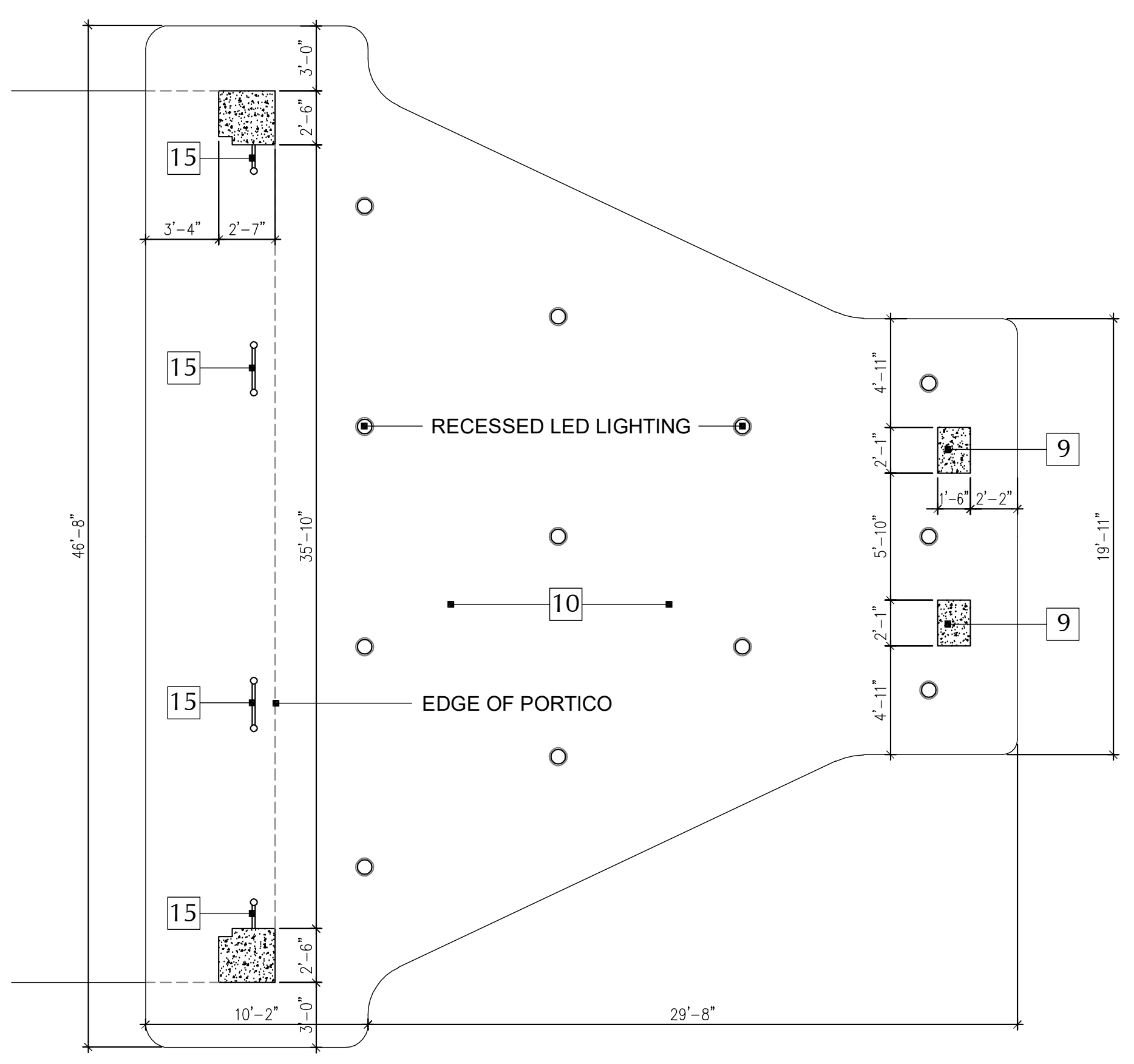


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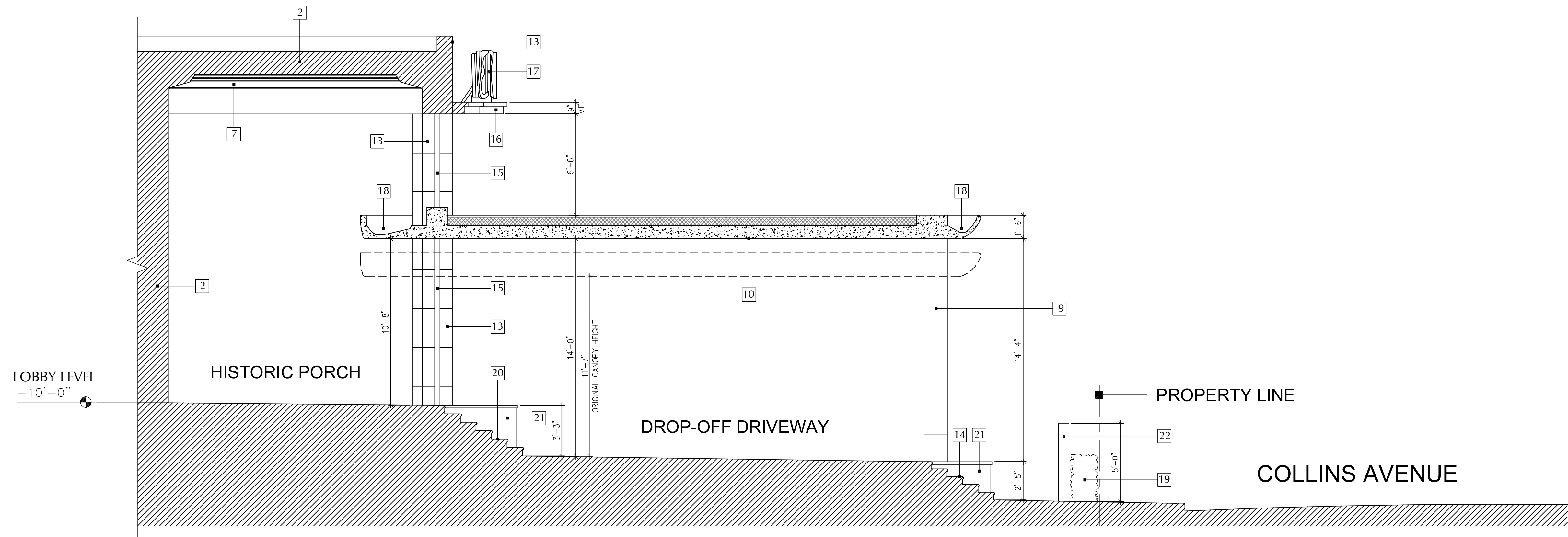


Canopy Plan
SCALE: 3/16" = 1'-0"



Reflected Ceiling Plan
SCALE: 3/16" = 1'-0"

- PROPOSED CANOPY KEYNOTES**
- 1 NEW IMPACT RESISTANT ALUMINUM FIXED WINDOWS TO MATCH HISTORICAL LAYOUT WITH CLEAR LOW-E GLASS
 - 2 EXISTING BUILDING
 - 3 NEW IMPACT RESISTANT STOREFRONT ALUMINUM AND GLASS DOORS
 - 4 EXISTING CMU WALL TO BE PATCHED AND REPAIRED WITH NEW PAINTED STUCCO FINISH
 - 5 NEW CMU WALL WITH PAINTED STUCCO FINISH
 - 6 REPAIR AND RESTORE CONCRETE TRIM TO MATCH HISTORICAL PROFILE
 - 7 REPAIR AND RESTORE EXISTING HISTORICAL MOLDINGS AND FINISHES
 - 8 NEW 42" DECORATIVE ALUMINUM GUARDRAIL TO MATCH HISTORICAL CONFIGURATION
 - 9 NEW CONCRETE "V" COLUMN WITH PAINTED STUCCO FINISH
 - 10 NEW CONCRETE CANOPY WITH PAINTED STUCCO FINISH TO MATCH HISTORICAL
 - 11 RESTORE FLUTED STUCCO DETAILING
 - 12 RESTORE EXISTING CORAL ROCK WALL CLADDING
 - 13 NEW CORAL ROCK CLADDING TO MATCH RESTORED HISTORICAL IN COLOR, TEXTURE AND PATTERN
 - 14 RE-CONSTRUCT HISTORIC CIRCULAR CONCRETE STEPS
 - 15 POLISHED STAINLESS STEEL PIPE COLUMNS WITH PIPE TIES
 - 16 CONCRETE TRIM WITH POLISHED STAINLESS STEEL FINISH TO MATCH HISTORICAL
 - 17 NEW SEMI-CIRCULAR SIGN WITH ALUMINUM CHANNEL LETTERS ON ALUMINUM STRUCTURE TO MATCH HISTORICAL SIGN
 - 18 CANOPY PERIMETER WATER CHANNEL
 - 19 2' PLANTING STRIP WITH 3' HIGH HEDGE
 - 20 REPAIR AND RESTORE HISTORIC CONCRETE STEPS
 - 21 RESTORE HISTORIC CMU AND STUCCO PLANTERS
 - 22 NEW 5' HIGH CMU WALL WITH STUCCO FINISH



Historic Entrance Canopy Proposed Section
SCALE: 1/4" = 1'-0"

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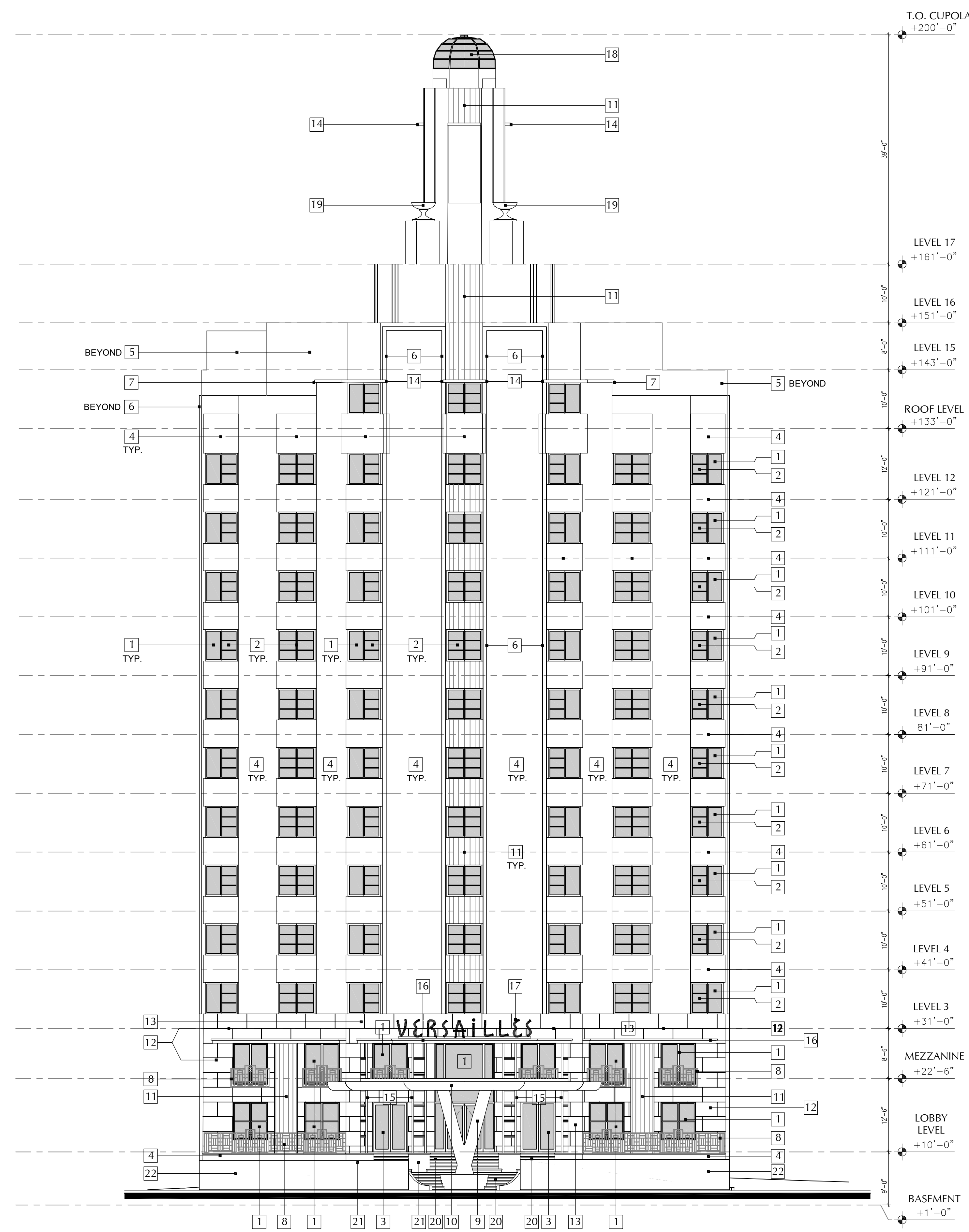
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PROJECT PHASE
 Date: 9/8/2020
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 Project No.: 1933.1
 Sheet Name: #Layout Name
 Sheet No.: **AH-1.103**

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- PROPOSED ELEVATION KEYNOTES
- 1 NEW IMPACT RESISTANT ALUMINUM FIXED WINDOWS TO MATCH HISTORICAL LAYOUT WITH CLEAR LOW-E GLASS
 - 2 NEW IMPACT RESISTANT ALUMINUM SINGLE-HUNG WINDOWS WITH MUTTONS TO MATCH HISTORICAL LAYOUT AND CLEAR LOW-E GLASS
 - 3 NEW IMPACT RESISTANT STOREFRONT ALUMINUM AND GLASS DOORS
 - 4 EXISTING CMU WALL TO BE PATCHED AND REPAIRED WITH NEW PAINTED STUCCO FINISH
 - 5 NEW CMU WALL WITH PAINTED STUCCO FINISH
 - 6 REPAIR AND RESTORE CONCRETE TRIM TO MATCH HISTORICAL PROFILE
 - 7 RESTORE OR REBUILD CONCRETE MOLDINGS TO MATCH HISTORICAL PROFILE
 - 8 NEW 42" DECORATIVE ALUMINUM GUARDRAIL TO MATCH HISTORICAL CONFIGURATION
 - 9 NEW CONCRETE "V" COLUMN WITH PAINTED STUCCO FINISH
 - 10 NEW CONCRETE CANOPY WITH PAINTED STUCCO FINISH TO MATCH HISTORICAL
 - 11 RESTORE FLUTED STUCCO DETAILING
 - 12 RESTORE EXISTING CORAL ROCK WALL CLADDING
 - 13 NEW CORAL ROCK CLADDING TO MATCH RESTORED HISTORICAL IN COLOR, TEXTURE AND PATTERN
 - 14 REPAIR AND RESTORE HISTORICAL CONCRETE OVERHANG
 - 15 POLISHED STAINLESS STEEL PIPE COLUMNS WITH PIPE TIES
 - 16 CONCRETE TRIM WITH POLISHED STAINLESS STEEL FINISH TO MATCH HISTORICAL
 - 17 NEW SEMI-CIRCULAR SIGN WITH ALUMINUM CHANNEL LETTERS ON ALUMINUM STRUCTURE TO MATCH HISTORICAL SIGN
 - 18 REPAIR AND RESTORE SEGMENTED GLASS DOME TO MATCH HISTORICAL LOOK
 - 19 REPAIR AND RESTORE DECORATIVE VASES TO MATCH HISTORICAL
 - 20 REPAIR AND RESTORE HISTORIC STEPS
 - 21 RESTORE HISTORIC CMU AND STUCCO PLANTERS
 - 22 NEW 5' HIGH CMU WALL WITH STUCCO FINISH

Proposed Elevation - West

SCALE: 3/32" = 1'-0"

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PROPOSED - RENDER SOUTH WEST VIEW

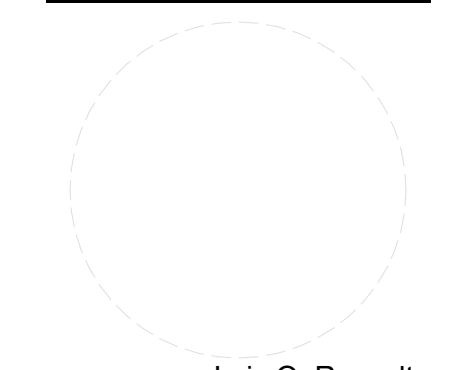
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PROPOSED - RENDER SOUTH
WEST VIEW

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PROPOSED - RENDER NORTH - WEST VIEW - HISTORIC CANOPY

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WEST VIEW - HISTORIC
CANOPY

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