

PERMIT FOR LANDSCAPING ON STATE ROAD RIGHT OF WAY (TURNPIKE AND NON-LIMITED ACCESS ROADWAY ONLY)

THIS SECTION TO BE COMPLETED BY PERMITTEE

Date 7/16/2020

Permittee: Name CITY OF MIAMI BEACH CITY OF MIAMI BEACH Telephone No. (305) 673-7000 ext. 26108 Address 1700 Convention Center Drive City Miami Beach State Florida Zip Code 33139

1. Location of proposed portion of right of way to be landscaped: State Road No. SR 907 County Miami-Dade Street Name EB MACARTHUR CSWY TO NB ALTON RD Address 600 ALTON ROAD, MIAMI BEACH, Florida 33139 Section 037 Sub-Section 200 Milepost 0.000 - 0.027

2. Is proposed site to be landscaped within corporate limits of municipality? [] Yes [x] No If yes, name the municipality

3. Permittee declares that prior to filing this application for permit, he/she has ascertained the location of all existing utilities, both aerial and underground, and the accurate locations are shown on the landscape plans. A letter of notification was mailed on 4/15/2020 to the following utilities/municipalities: AT&T, ABB, COMCAST, CROWN CASTLE, FLORIDA GAS, MIAMI BEACH, FP&L, HOTWIRE, MCI, TECO GAS

4. Landscaped areas will not be permitted on state road limited access facilities except on Florida's Turnpike as allowed in Rule 14-40.003(3)(f), Florida Administrative Code.

5. It is expressly stipulated that this permit is a license for permissive use only and that the construction within and/or upon public property pursuant to this permit shall not operate to create or vest any property right in said holder. This permit does not relieve the permittee of local or other jurisdictional requirements.

6. The project shall meet the requirements of Rule 14-40.003, Florida Administrative Code. The Permittee shall construct and maintain according to the attached landscape plans, maintenance plans and maintenance of traffic plans.

7. The Permittee shall be responsible for all maintenance of the landscaped area, as described in this permit, for the duration of time the landscaped area exists on Department right of way. The maintenance shall be performed in accordance with Department procedures under the direction of the Area Maintenance Engineer or designee.

8. Whenever it is determined by the Department that it is necessary for the construction, repair, improvement, maintenance, safe and/or efficient operation, alteration or relocation of any portion or all of said highway and/or public transportation facility; any and all landscaping installed by the Permittee shall be immediately removed from said highway or reset or relocated thereon as required by the Department, all at the expense of the Permittee.

9. All material and equipment shall be subject to inspection by the Maintenance Engineer or his/her authorized representative.

10. During construction of landscape project, all safety regulations of the Department shall be observed and the holder must take measures, including placing and displaying of safety devices, that may be necessary in order to safely conduct the public through the project area in accordance with approved plans as required in Rule 14-40.003(3)(9), Florida Administrative Code.

Applied 2020-L-691-00011 Ali Al-Said 8/24/2020

PERMITTEE CONT'D

- 11. The Permittee shall notify the appropriate Area Maintenance Engineer or designee 48 hours prior to starting work and again immediately upon completion of work.
- 12. In case of non-compliance with the Department's requirements in effect as of the approved date of this permit, this permit is void and the work will have to be brought into compliance or removed from the right of way at no cost to the Department. Any false information supplied on this form renders this permit null and void.
- 13. The Permittee, shall indemnify, defend, and hold harmless the Department and all of its officers, agents, and employees from any claim, loss, damage, cost, charge, or expense arising out of any acts, actions, neglect, or omission by the Permittee, its agents, employees, or subcontractors during the performance of the landscape project as approved by this permit, whether direct or indirect, and whether to any person or property to which the Department or said parties may be subject, except that neither the Permittee nor any of its subcontractors will be liable under this Article for damages arising out of the injury or damage to persons or property directly caused or resulting from the negligence of the Department or any of its officers, agents or employees.
- 14. I, the undersigned, do hereby agree to comply with all requirements established by this permit and Rule 14-40.003, Florida Administrative Code.

Submitted By: CITY OF MIAMI BEACH CITY OF MIAMI BEACH
(SIGNATURE OF PERMITTEE)

CITY OF MIAMI BEACH CITY OF MIAMI BEACH
(NAME TYPED OR PRINTED)

THIS SECTION TO BE COMPLETED BY DEPARTMENT PERSONNEL

The above landscape project is: Approved Not Approved

If not approved, the reason is:

The Permittee shall commence work within 30 days of permit approval date and shall be completed by 8/24/2021.

Special conditions/instructions by the Department:

- SEE ATTACHMENTS
- WORK WITHIN THE F.D.O.T. RIGHT OF WAY SHALL CONFORM TO CURRENT F.D.O.T. STANDARDS AND SPECIFICATIONS
- Permit APPROVAL IN NO WAY CONSTITUTES THAT THE PERMITTED HAS AN APPROVED LANE CLOSURE.
- PLEASE COORDINATE A PRE-CONSTRUCTION MEETING WITH FDOT FIELD INSPECTOR.

A copy of Rule 14-40.003, Florida Administrative Code, is attached hereto and made a part of this permit.

Ali Al-Said
(SIGNATURE OF AUTHORIZED DEPARTMENT OFFICIAL)

Date Issued: 8/24/2020

Ali Al-Said
(TYPED OR PRINTED NAME)

Permit No.: 2020-L-691-00011

DISTRICT PERMIT ENGINEER
(TYPED OR PRINTED TITLE)

Approved
2020-L-691-00011
Ali Al-Said
8/24/2020

SPECIAL PROVISIONS FOR LANDSCAPE PERMIT # 2020-L-691-00011

Section: 87037, State Road 907

LANDSCAPE PERMIT FOR 600-700 ALTON PARK.

1. **THERE IS A FDOT LIGHTING PROJECT UNDER CONSTRUCTION WITHIN THE PROPOSED WORK AREA FIN: 440178-1. PLEASE COORDINATE WITH THE PROJECT MANAGER COLIN JOHNSON COLIN.JOHNSON@DOT.STATE.FL.US 305-401-1615 AND/OR THE PROJECT ADMINISTRATOR CAROLINE ZAMORA CAROLINA.ZAMORA@DOT.STATE.FL.US 305-640-7185 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK.**
2. PLEASE **COORDINATE A PRE-CONSTRUCTION MEETING WITH MR. ALBERT ESTEVEZ at (305) 640-7144 / (954) 699-8873, Email: Albert.Estevez@dot.state.fl.us AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK.**
3. SUBMIT A DETAILED LANE CLOSURE FORM, NOTING WORK AND TIME PHASES THRU THE LANE CLOSURE INFORMATION SYSTEM (LCIS) AT <https://www.fdotlcls.com/closures.aspx> . THE LANE CLOSURE REQUEST SHALL BE APPROVED BY THE DEPARTMENT AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK WITHIN THE FDOT RIGHT OF WAY. **THERE SHALL BE NO LANE CLOSURES (UNLESS APPROVED BY THE DISTRICT MAINTENANCE ENGINEER /OR THE DISTRICT MAINTENANCE OF TRAFFIC SPECIALIST) FROM THANKSGIVING DAY TO NEW YEAR'S DAY, DUE TO MORATORIUM.**
4. WORKING DAYS AND HOURS WITHIN THE F.D.O.T. RIGHT-OF-WAY SHALL BE BETWEEN 9:30 A.M. AND 3:30 P.M., DAYTIME, OFF-PEAK HOURS, OR AS DIRECTED BY THE DEPARTMENT REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. SAFE ACCESS TO ADJACENT PROPERTIES/DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES.
5. APPLICANT SHALL TAKE RESPONSIBILITY FOR THE PROPER **MAINTENANCE, SURVIVAL AND CONDITION OF ALL LANDSCAPING AT NO ADDITIONAL COST** TO THE DEPARTMENT.
6. SEVERAL CONTAMINATED SITES LOCATED WITHIN A 500-FOOT RADIUS OF THE PROJECT HAVE BEEN IDENTIFIED. THE PERMITTEE SHALL ASSURE THAT ANY ACTIONS CARRIED OUT ARE IN ACCORDANCE WITH ALL ENVIRONMENTAL REGULATORY REQUIREMENTS. WHEN THE PERMITTEE'S OPERATIONS ENCOUNTER OR EXPOSE ANY ABNORMAL CONDITION WHICH MAY INDICATE THE PRESENCE OF A HAZARDOUS WASTE, TOXIC WASTE, OR CONTAMINANTS, SUCH OPERATIONS SHALL CEASE IMMEDIATELY IN THE VICINITY OF THE ABNORMAL CONDITION AND PERMITTEE SHALL NOTIFY THE DEPARTMENT'S INSPECTOR AND MR. MAURICIO GOMEZ OF THE DISTRICT VI ENVIRONMENTAL MANAGEMENT OFFICE AT 1000 N.W. 111 AVE., MIAMI, FLORIDA 33172 (TELEPHONE NUMBER 305-470-5228). EVERY EFFORT SHALL BE MADE BY THE PERMITTEE TO MINIMIZE THE SPREAD OF ANY CONTAMINATION INTO UNCONTAMINATED AREAS. UNDER NO CIRCUMSTANCES WILL THE PERMITTEE RESUME OPERATIONS IN THE AFFECTED AREA UNTIL SO DIRECTED BY THE DEPARTMENT'S INSPECTOR. THE PERMITTEE SHALL ASSURE THAT ANY ACTIONS CARRIED OUT DURING PERMIT ACTIVITIES ARE IN ACCORDANCE WITH ALL ENVIRONMENTAL AGENCY REQUIREMENTS AND PROVIDE THE DEPARTMENT COPIES OF DELIVERABLES SUBMITTED TO ENVIRONMENTAL REGULATORY AGENCIES. THE REPORTS ARE TO BE SUBMITTED TO THE DISTRICT CONTAMINATION IMPACT COORDINATOR AT 1000 N.W. 111 AVE. (ROOM # 6109), MIAMI, FL. 33172-5800
7. TREES BEING PLANTED IN DEPARTMENT'S RIGHT-OF-WAY (FDOT R/W) MUST ADHERE TO DESIGN STANDARD INDEX 544, 546, AND STANDARD SPECIFICATION SECTION 580. **PERMITTEE SHALL PROVIDE MINIMUM A ONE YEAR ESTABLISHMENT PERIOD FOR ALL LANDSCAPING.** ALL TREES AND LANDSCAPING BEING ACCIDENTLY DESTROYED ON FDOT R/W BY THE PERMITTEE SHALL BE REPLACED TO MATCHING THE SIZE AND SPECIES OF THOSE BEING DESTROYED.
8. IF DEWATERING WILL BE PERFORMED, THE PERMITTEE SHALL BE REQUIRED TO OBTAIN A DEWATERING PERMIT FROM APPROPRIATE ENVIRONMENTAL AGENCIES TO AVOID POTENTIAL CONTAMINATION PLUME EXACERBATION AND DETERMINE PROPER GROUNDWATER MANAGEMENT ASSOCIATED WITH SUCH SITE. IN THE EVENT GROUNDWATER CONTAMINATION EXACERBATION OCCURS AS RESULT OF THE DEWATERING ACTIVITIES, THE PERMITTEE SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REMEDIATION ACTIVITIES AS REQUIRED BY ALL APPLICABLE ENVIRONMENTAL REGULATORY AGENCIES.
9. WHEN THE PERMITTEE'S OPERATIONS ENCOUNTER OR EXPOSE ANY ABNORMAL CONDITION WHICH MAY INDICATE THE PRESENCE OF A HAZARDOUS WASTE, TOXIC WASTE, OR CONTAMINANTS, SUCH OPERATIONS SHALL CEASE IMMEDIATELY IN THE VICINITY OF THE ABNORMAL CONDITION AND THE **DEPARTMENT'S INSPECTOR AND Ms. MARIA SALGADO OF THE ENVIRONMENTAL MANAGEMENT OFFICE AT 1000 NW 111 AVE MIAMI FLORIDA 33172 (TELEPHONE NUMBER (305) 470-5308)** SHALL BE INFORMED OF THE **FIELD ASSESSMENT RESULTS. EVERY EFFORT SHALL BE MADE BY THE PERMITTEE TO MINIMIZE THE SPREAD OF ANY CONTAMINATION INTO UNCONTAMINATED AREAS.** NOTIFICATION OF PERSONNEL AND SELECTION OF COURSE ACTION SHALL BE IN ACCORDANCE WITH PROCEDURE 650-030-010-B, RESOLUTION OF RIGHT-OF-WAY CONTAMINATION ISSUES. UNDER NO CIRCUMSTANCES WILL THE

SPECIAL PROVISIONS FOR LANDSCAPE PERMIT # 2020-L-691-00011

Section: 87037, State Road 907

LANDSCAPE PERMIT FOR 600-700 ALTON PARK.

PERMITTEE RESUME OPERATIONS IN THE AFFECTED AREA UNTIL SO DIRECTED BY THE DEPARTMENT'S INSPECTOR.

10. PERMITTEE WILL ENSURE CLEAR ZONE/LATERAL OFFSET OF 4' FROM FACE OF CURBS IS ADHERED TO FOR LANDSCAPE INSTALLATION.
11. **A COPY OF THIS PERMIT AND PLANS WILL BE ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION OF THIS FACILITY.**
12. PERMITTEE IS CAUTIONED THAT UTILITIES MAY BE LOCATED WITHIN THE CONSTRUCTION AREA.
13. **VALIDITY OF THIS PERMIT IS CONTINGENT UPON PERMITTEE OBTAINING NECESSARY PERMITS FROM ALL OTHER AGENCIES INVOLVED.**
14. **APPLICANT SHALL TAKE RESPONSIBILITY FOR PROPER MAINTENANCE, SURVIVAL AND CONDITION OF ALL LANDSCAPING AT NO ADDITIONAL COST TO THE DEPARTMENT. REFER TO FLORIDA ADMINISTRATIVE CODE CHAPTER 14-4**
15. IN THE EVENT THAT THE SIDEWALK IS DAMAGED, IT SHALL BE RESTORED WITH FULL 4 INCHES THICK FLAGS WITH EXPANSION MATERIAL AND DETECTABLE DOMES FOR HANDICAP RAMPS ACCORDING TO THE F.D.O.T. STANDARD PLANS – INDICES 520-001, 522-001, AND 522-002 (CURRENT EDITION) AND CONSTRUCTED ACCORDING TO THE F.D.O.T. STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION – SECTION 522.
16. IN THE EVENT THAT THE ROADWAY PAVEMENT IS DAMAGED, **the damaged pavement shall be restored 50' AT EITHER SIDE OF DAMAGED AREA, AT FULL LANE WIDTH AND FULL INTERSECTION to match or exceed existent conditions and in accordance with the Department's design standards and specifications. Pavement restoration scope and method will be as directed in the field by the Department Representative. Damaged pavement will be restored at the expense of the Permittee.**
17. **Damaged driveways shall be restored to current Design standards, with full flags 6" thick and using expansion material. (UAM 310, and 515**
18. IN THE EVENT THAT SOD IS DAMAGED DURING CONSTRUCTION, IT MUST BE REPLACED AND MAINTAINED UNTIL THE SOD IS ESTABLISHED.
19. ENSURE APPROPRIATE EROSION CONTROL DEVICES ARE IN PLACE BEFORE ANY CONSTRUCTION BEGINS AND ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION.
20. ALL PORTIONS OF THE STATE RIGHT-OF-WAY DISTURBED IN THE CONSTRUCTION OF THE PROPOSED WORK SHALL BE RESTORED TO **F.D.O.T. SPECIFICATIONS.**
21. FINAL RESTORATION SHALL BE COORDINATED WITH THE DEPARTMENT REPRESENTATIVE. ALL PORTIONS OF THE STATE RIGHT-OF-WAY DISTURBED IN THE CONSTRUCTION OF THE PROPOSED WORK SHALL BE RESTORED TO F.D.O.T. SPECIFICATIONS WITHIN THIRTY (30) DAYS UPON COMPLETION OF THE PERMITTED INSTALLATION.
22. IF F.D.O.T. ROADWAY IMPROVEMENTS HAVE COMMENCED OR RECENTLY BEEN COMPLETED PRIOR TO THE INSTALLATION OF THE WORK APPROVED UNDER THIS PERMIT, THIS PERMIT SHALL BECOME VOID.
23. **BEGINNING ANY WORK WITHIN THE F.D.O.T. RIGHT-OF-WAY ASSOCIATED WITH THIS PERMIT CONSTITUTES ACCEPTANCE OF THESE CONDITIONS.**

Approved
2020-L-691-00011
Ali Al-Said
8/24/2020

**WORK WITHIN THE
F.D.O.T.
RIGHT OF WAY SHALL
CONFORM TO CURRENT
F.D.O.T. STANDARDS
AND SPECIFICATIONS**

Approved
2020-L-691-00011
Ali Al-Said
8/24/2020

MAINTENANCE PLAN

Landscape Improvements

Project State Road No(s): Alton Road (State Road No. 907)

Permit/FM No(s): 600 Alton
Maintaining Agency: Miami Beach, Miami-Dade County
RLA of Record: Alejandro Javier Perez
Date: June 10th, 2020

I. GENERAL MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

The purpose of a plan for the landscape improvements maintenance practices is to allow the plant material on your project to thrive in a safe and vigorous manner while fulfilling their intended purpose and conserving our natural resources. Plantings and all other landscape improvements shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: *FDOT Standard plans for Road and Bridge Construction, FDOT Design Manual and FDOT Standard Specifications for Road and Bridge Construction*, as amended by contract documents, and all other requirements set forth by the District 4 Operations Maintenance Engineer. The initial portion of the Maintenance Plan describes general maintenance requirements and recommendations. **The concluding section provides recommendations prepared by the Registered Landscape Architect of Record specific to the attached approved plans.**

WATERING REQUIREMENTS

Watering is a critical concern for not only the maintenance of healthy plant material but also for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

IRRIGATION SYSTEM

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods, while adhering to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

INTEGRATED PLANT MANAGEMENT

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

Palms, shrubs, trees and turf areas shall be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Please be alert to changes in fertilization types per University of Florida, Institute of Food and Agricultural Services (I.F.A.S.) recommendations. Establishment of an integrated pest management program is encouraged to ensure healthy plants, which are free of disease and pests.

MULCHING

Mulch planting beds in such a manner as to prevent weed growth, retain moisture to the plants, protect against soil erosion and nutrient loss, maintain a more uniform soil temperature, and improve the appearance of the planting beds. Avoid mulch mounded up on the trunks of trees, palms, and the base of shrubs to encourage air movement in this area which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

PRUNING

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute (ANSI) A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, to specific pruning heights maintaining clear visibility for motorists, and provide vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions, and all trees and palms must be maintained to prevent potential roadway and pedestrian hazards, all palms are to be kept fruit free. The specific pruning heights are determined by understanding the designer's intent when selecting and placing the plants. The intended mature maintained height and spread of plants are noted on the plans (See Exhibit B.) and see Part II. Specific Requirements and Recommendations for guidelines. The understory plant materials selected for use within the restricted planting areas (Limits of Clear Sight) are to be maintained at a height in compliance with *FDOT Design Manual Figure 212.11.2, Window Detail*. Vertical tree heights must meet *FDOT Maintenance Rating Program (MRP)* standards.

STAKING AND GUYING

All staking materials, except for replacements, are to be removed by the completion of FDOT warranty period or at one year (whichever comes first). Any subsequent staking and guying activities by the Agency must adhere to *FDOT Standard Plans for Road and Bridge Construction* guidelines (See Index 580-001). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

TURF MOWING:

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape. All turf efforts, mowing, curb/sidewalk edging and turf condition, must at a minimum, meet *FDOT Maintenance Rating Program (MRP)*.

LITTER CONTROL:

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse. Litter removal efforts must meet *FDOT Maintenance Rating Program (MRP)* standards.

WEEDING/HERBICIDE

All planting areas shall be maintained as weed free as practicable by enlisting integrated pest management practices in areas specified on the plans and maintaining proper mulch levels. Extreme care is recommended when using a chemical herbicide to avoid overspray onto plant materials. It is the applicator's responsibility to restore any damage, resulting from overspray to the plantings, per the approved plans.

PLANT REPLACEMENT

Plant replacement shall be the same species and specification as the approved plan. Move and replace all plant materials that may conflict with utility relocations and service. Only plants graded Florida #1 or better, per the *Florida Department of Agriculture and Consumer Services, Grades and Standards for Nursery Plants* are permitted on FDOT roadways. Should it become necessary to change the species, a permit is required from FDOT for approval by the FDOT District Landscape Architect.

HARDSCAPE (SPECIALTY SURFACING)

All specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the surfacing and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current FDOT Maintenance Rating Program Handbook Pages 43-47; ADA accessible sidewalk; and FDOT Standard Plans for Road and Bridge Construction, Maintenance and Utility Operations on The State Highway System. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

Or Use When Concrete Pavers

All specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current *Interlocking Concrete Pavement Institute (ICPI), Guide Specifications for Pavers on an Aggregate Base, Section 23 14 13 Interlocking Concrete Pavers*, Part 3.05. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

HARDSCAPE (NON-STANDARD) TRAVELWAY SURFACING

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement (if applicable), caused or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right of way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the most current edition of the *FDOT Standard Specifications for Road and Bridge Construction*, and the *FDOT Standard Plans and for Road and Bridge Construction*.

It shall be the responsibility of the AGENCY to maintain all signs located within a non-standard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replacement of the sign panel, post, and base.

**HARDSCAPE (LANDSCAPE ACCENT LIGHTING)
(IF APPLICABLE)**

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan. Landscape lighting shall meet requirements for the sea turtle nesting and hatching.

MAINTENANCE OF TRAFFIC CONTROL

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

**VEGETATION MANAGEMENT AT OUTDOOR ADVERTISING (ODA)
(IF APPLICABLE)**

To avoid conflicts with permitted outdoor advertising, please reference the State of Florida website regarding the vegetation management of outdoor advertising. This website provides a portal to search the FDOT Outdoor Advertising Inventory Management System Database. The database contains an inventory of outdoor advertising structures, permits and other related information maintained by the Department.

Also, reference the *Florida Highway Beautification Program* website link for “*Vegetation Management at ODA signs*” “Florida Statutes” and “Florida Administrative Code” related to vegetation management at outdoor advertising sign, permit applications for vegetation management and determining mitigation value of roadside vegetation.

**REFERENCES
(Revised 1-11-17)**

This reference list is provided as a courtesy. The list may not contain the most current websites. The most current references must be accessed for up to date information.

Accessible Sidewalk (ADA)

<http://www.access-board.gov/guidelines-and-standards/streets-sidewalks>

Americans with Disabilities Act (ADA) (ADAAG)

http://www.ada.gov/2010ADAstandards_index.htm

American National Standard Institute, *ANSI A300, (Part 1) for Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning)*, available for purchase

<http://webstore.ansi.org>

Florida Department of Agriculture and Consumer Services, Division of Plant Industry, *Florida Grades and Standards for Nursery Plants 2015*

<http://www.freshfromflorida.com/Divisions-Offices/Plant-Industry/Bureaus-and-Services/Bureau-of-Plant-and-Apiary-Inspection>

Florida Department of Community Affairs (DCA), *Florida Board of Building Codes & Standards, 2010 Florida Building Code, Chapter 11 Florida Accessibility Code for Building Construction Part A*

http://www2.iccsafe.org/states/florida_codes/

Florida Department of Transportation, *FDOT Standard Plans for Road and Bridge Construction, Index 580-001 Landscape Installation*

<http://www.fdot.gov/standardplans/current.pdf>

Florida Department of Transportation, *FDOT Manual. Section 212.*

<http://www.fdot.gov/standardplans/current.pdf>

Florida Department of Transportation, *FDOT Standard Plans for Road and Bridge Construction, Index 102-600 Traffic Control through Work Zones*

<http://www.fdot.gov/standardplans/current.pdf>

Florida Department of Transportation, *FDOT Design Manual*

Lateral Offset – 215-2.4

Clear Zone Width Requirements – 215.2.3

Lateral Offset Criteria (for Trees) Table 215.2.2

<http://www.fdot.gov/roadway/FDM>

Florida Department of Transportation, *Program Management, Maintenance Specifications Workbook Supplemental Specifications, Section 580 Landscape Installation*

<http://www.fdot.gov/programmanagement/Maintenance/2017Jan/Files/SS5800000.doc>

Department of Transportation, Landscape Architecture Website

www.MyFloridaBeautiful.com

Florida Department of Transportation, *Maintenance Rating Program Handbook*

<http://www.dot.state.fl.us/statemaintenanceoffice/MaintRatingProgram.shtm>

Florida Department of Transportation Outdoor Advertising Database

<http://www2.dot.state.fl.us/rightofway/>

Florida Exotic Pest Plant Council Invasive Plant Lists

<http://www.fleppc.org/list/list.htm>

Florida Irrigation Society

<http://www.fisstate.org>

Florida Power and Light (FPL), *Plant the Right Tree in the Right Place*

http://www.fpl.com/residential/trees/right_tree_right_place.shtml