STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION PERMIT FOR LANDSCAPING ON STATE ROAD RIGHT OF WAY (TURNPIKE AND NON-LIMITED ACCESS ROADWAY ONLY)

8/24/2020

			THIS SEC	CTION TO BE	COMPLETED	BY PER	MITTEE	
							Date	7/16/2020
	Permittee:	Name	CITY OF MIA	MI BEACH CITY	Y OF MIAMI BE	ACH	Telephone No.	(305) 673-7000 ext. 26108_
		Address	1700 Conv	ention Center	Drive			
		City Mi	ami Beach		State	Florida	2	Zip Code <u>33139</u>
1.	Location of p	ronosed no	rtion of right o	f way to be lan	dscaped.			
	State Road N		907	County	Miami-Dade		Street Name	EB MACARTHUR CSWY TO NB ALTON RI
						3139	Offeet Marine	
	-	37		Sub-Section	200		Milepost	0.000 - 0.027
	<u></u>				200			0.000 0.021
2.	Is proposed s	site to be la	ndscaped with	nin corporate lir	nits of municip	ality?		
	□ ^{Yes}		ィ No					
	lf yes, name t	he municip	ality					
3.	Permittee declares that prior to filing this application for permit, he/she has ascertained the location of all existing utilities, both aerial and underground, and the accurate locations are shown on the landscape plans. A letter of notification was mailed on <u>4/15/2020</u> to the following utilities/municipalities: AT&T, ABB, COMCAST, CROWN CASTLE, FLORIDA GAS, MIAMI BEACH, FP&L, HOTWIRE, MCI, TECO GAS							
4.	Landscaped areas will not be permitted on state road limited access facilities except on Florida's Turnpike as allowed in Rule 14-40.003(3)(f), Florida Administrative Code.							
5.	It is expressly stipulated that this permit is a license for permissive use only and that the construction within and/or upon public property pursuant to this permit shall not operate to create or vest any property right in said holder. This permit does not relieve the permittee of local or other jurisdictional requirements.							
6.	The project shall meet the requirements of Rule 14-40.003, Florida Administrative Code. The Permittee shall construct and maintain according to the attached landscape plans, maintenance plans and maintenance of traffic plans.							
7.	The Permittee shall be responsible for all maintenance of the landscaped area, as described in this permit, for the duration of time the landscaped area exists on Department right of way. The maintenance shall be performed in accordance with Department procedures under the direction of the Area Maintenance Engineer or designee.							
8.	Whenever it is determined by the Department that it is necessary for the construction, repair, improvement, maintenance, safe and/or efficient operation, alteration or relocation of any portion or all of said highway and/or public transportation facility; any and all landscaping installed by the Permittee shall be immediately removed from said highway or reset or relocated thereon as required by the Department, all at the expense of the Permittee.							
9.	All material ar representative		ent shall be su	bject to inspect	tion by the Ma	intenance	e Engineer or his	/her authorized
10.	must take me	asures, inc	luding placing gh the project	and displaying	of safety dev	ices, that	may be necessans as required ir	served and the holder ary in order to safely Rule 14-40.003(3)(9)7, 020-L-691-000

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PERMITTEE	CONT'D
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11.	The Permittee shall notify the appropriate Area Maintenance Engineer or designee 48 hours prior to starting work and again immediately upon completion of work.					
12.	In case of non-compliance with the Department's requirements in effect as of the approved date of this permit, this permit is void and the work will have to be brought into compliance or removed from the right of way at no cost to the Department. Any false information supplied on this form renders this permit null and void.					
13.	The Permittee, shall indemnify, defend, and hold harmless the Department and all of its officers, agents, and employees from any claim, loss, damage, cost, charge, or expense arising out of any acts, actions, neglect, or omission by the Permittee, its agents, employees, or subcontractors during the performance of the landscape project as approved by this permit, whether direct or indirect, and whether to any person or property to which the Department or said parties may be subject, except that neither the Permittee nor any of its subcontractors will be liable under this Article for damages arising out of the injury or damage to persons or property directly caused or resulting from the negligence of the Department or any of its officers, agents or employees.					
14.	I, the undersigned, do hereby agree to comply with all requirements established by this permit and Rule 14-40.003, Florida Administrative Code.					
	Submitted By:	CITY OF MI	AMI BEACH C			
					,	
			MI BEACH CIT	NAME TYPED OR PRINTED		
		THIS SECTION 1	TO BE COMPLETED	BY DEPARTMENT	PERSONNEL	-
The above landscape project is: Approved Not Approved If not approved, the reason is:						
	The Permittee shall commence work within days of permit approval date and shall be completed by					
Special conditions/instructions by the Department: _SEE ATTACHMENTS _WORK WITHIN THE F.D.O.T. RIGHT OF WAY SHALL CONFORM TO CURRENT F.D.O.T. STANDARDS AND SPECIFICATIONS _Permit APPROVAL IN NO WAY CONSTITUTES THAT THE PERMITTED HAS AN APPROVED LANE CLOSURE. _PLEASE COORDINATE A PRE-CONSTRUCTION MEETING WITH FDOT FIELD INSPECTOR.						
A copy of Rule 14-40.003, Florida Administrative Code, is attached hereto and made a part of this permit.						
Ali Al-Said Date Issued: 8/24/2020 (SIGNATURE OF AUTHORIZED DEPARTMENT OFFICIAL) 0 0 0						
Ali Al-Said Permit No.: 2020-L-691-00011 (TYPED OR PRINTED NAME) (TYPED OR PRINTED NAME) (TYPED OR PRINTED NAME)					2020-L-691-00011	
	DISTRICT PERMIT ENGINEER Approved					
					2	:020-L-691-0001 Ali Al-Said 8/24/2020

- 1. THERE IS A FDOT LIGHTING PROJECT UNDER CONSTRUCTION WITHIN THE PROPOSED WORK AREA FIN: 440178-1. PLEASE COORDINATE WITH THE PROJECT MANAGER COLIN JOHNSON COLIN.JOHNSON@DOT.STATE.FL.US 305-401-1615 AND/OR THE PROJECT ADMINISTRATOR CAROLINE ZAMORA CAROLINA.ZAMORA@DOT.STATE.FL.US 305-640-7185 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2. PLEASE COORDINATE A PRE-CONSTRUCTION MEETING WITH <u>MR. ALBERT ESTEVEZ</u> at (305) 640-7144 / (954) 699-8873, Email: <u>Albert.Estevez@dot.state.fl.us</u> AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF WORK.
- 3. SUBMIT A DETAILED LANE CLOSURE FORM, NOTING WORK AND TIME PHASES THRU THE LANE CLOSURE INFORMATION SYSTEM (LCIS) AT https://www.fdotlcis.com/closures.aspx. The lane closure request shall be approved by the Department at least 2 weeks prior to beginning work within the FDOT Right of Way. There shall be no lane closures (Unless approved by the District Maintenance Engineer /or the District Maintenance of Traffic Specialist) from Thanksgiving Day to New Year's Day, due to Moratorium.
- **4.** Working days and hours within the F.D.O.T. Right-of-way shall be between 9:30 a.m. and 3:30 p.m., daytime, offpeak hours, or as directed by the Department Representative prior to commencement of work. Safe access to adjacent properties/driveways shall be maintained at all times.
- 5. APPLICANT SHALL TAKE RESPONSIBILITY FOR THE PROPER MAINTENANCE, SURVIVAL AND CONDITION OF ALL LANDSCAPING AT NO ADDITIONAL COST TO THE DEPARTMENT.
- 6. SEVERAL CONTAMINATED SITES LOCATED WITHIN A 500-FOOT RADIUS OF THE PROJECT HAVE BEEN IDENTIFIED. THE PERMITTEE SHALL ASSURE THAT ANY ACTIONS CARRIED OUT ARE IN ACCORDANCE WITH ALL ENVIRONMENTAL REGULATORY REQUIREMENTS. WHEN THE PERMITTEE'S OPERATIONS ENCOUNTER OR EXPOSE ANY ABNORMAL CONDITION WHICH MAY INDICATE THE PRESENCE OF A HAZARDOUS WASTE, TOXIC WASTE, OR CONTAMINANTS, SUCH OPERATIONS SHALL CEASE IMMEDIATELY IN THE VICINITY OF THE ABNORMAL CONDITION AND PERMITTEE SHALL NOTIFY THE DEPARTMENT'S INSPECTOR AND MR. MAURICIO GOMEZ OF THE DISTRICT VI ENVIRONMENTAL MANAGEMENT OFFICE AT 1000 N.W. 111 AVE., MIAMI, FLORIDA 33172 (TELEPHONE NUMBER 305-470-5228). EVERY EFFORT SHALL BE MADE BY THE PERMITTEE TO MINIMIZE THE SPREAD OF ANY CONTAMINATION INTO UNCONTAMINATED AREAS. UNDER NO CIRCUMSTANCES WILL THE PERMITTEE RESUME OPERATIONS IN THE AFFECTED AREA UNTIL SO DIRECTED BY THE DEPARTMENT'S INSPECTOR. THE PERMITTEE SHALL ASSURE THAT ANY ACTIONS CARRIED OUT DURING PERMIT ACTIVITIES ARE IN ACCORDANCE WITH ALL ENVIRONMENTAL AGENCY REQUIREMENTS AND PROVIDE THE DEPARTMENT COPIES OF DELIVERABLES SUBMITTED TO ENVIRONMENTAL REGULATORY AGENCIES. THE REPORTS ARE TO BE SUBMITTED TO THE DISTRICT CONTAMINATION IMPACT COORDINATOR AT 1000 N.W. 111 AVE. (ROOM # 6109), MIAMI, FL. 33172-5800
- 7. TREES BEING PLANTED IN DEPARTMENT'S RIGHT-OF-WAY (FDOT R/W) MUST ADHERE TO DESIGN STANDARD INDEX 544, 546, AND STANDARD SPECIFICATION SECTION 580. PERMITTEE SHALL PROVIDE MINIMUM A ONE YEAR ESTABLISHMENT PERIOD FOR ALL LANDSCAPING. ALL TREES AND LANDSCAPING BEING ACCIDENTLY DESTROYED ON FDOT R/W BY THE PERMITTEE SHALL BE REPLACED TO MATCHING THE SIZE AND SPECIES OF THOSE BEING DESTROYED.
- **8.** IF DEWATERING WILL BE PERFORMED, THE PERMITTEE SHALL BE REQUIRED TO OBTAIN A DEWATERING PERMIT FROM APPROPRIATE ENVIRONMENTAL AGENCIES TO AVOID POTENTIAL CONTAMINATION PLUME EXACERBATION AND DETERMINE PROPER GROUNDWATER MANAGEMENT ASSOCIATED WITH SUCH SITE. IN THE EVENT GROUNDWATER CONTAMINATION EXACERBATION OCCURS AS RESULT OF THE DEWATERING ACTIVITIES, THE PERMITTEE SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REMEDIATION ACTIVITIES AS REQUIRED BY ALL APPLICABLE ENVIRONMENTAL REGULATORY AGENCIES.
- 9. When the Permittee's operations encounter or expose any abnormal condition which may indicate the presence of a hazardous waste, toxic waste, or contaminants, such operations shall cease immediately in the vicinity of the abnormal condition and the Department's inspector and Ms. Maria Salgado of the Environmental Management office at 1000 NW 111 Ave Miami Florida 33172 (telephone number (305) 470-5308) shall be informed of the field assessment results. Every effort shall be made by the Permittee to minimize the spread of any contamination into uncontaminated areas. Notification of personnel and selection of course action shall be in accordance with procedure 650-030-010-b, resolution of right-of-way contamination issues. Under no circumstances will the

Section: 87037, State Road 907

LANDSCAPE PERMIT FOR 600-700 ALTON PARK.

PERMITTEE RESUME OPERATIONS IN THE AFFECTED AREA UNTIL SO DIRECTED BY THE DEPARTMENT'S INSPECTOR.

- **10.** PERMITTEE WILL ENSURE CLEAR ZONE/LATERAL OFFSET OF 4' FROM FACE OF CURBS IS ADHERED TO FOR LANDSCAPE INSTALLATION.
- **11.** A COPY OF THIS PERMIT AND PLANS WILL BE ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION OF THIS FACILITY.
- **12.** PERMITTEE IS CAUTIONED THAT UTILITIES MAY BE LOCATED WITHIN THE CONSTRUCTION AREA.
- **13.** VALIDITY OF THIS PERMIT IS CONTINGENT UPON PERMITTEE OBTAINING NECESSARY PERMITS FROM ALL OTHER AGENCIES INVOLVED.
- 14. APPLICANT SHALL TAKE RESPONSIBILITY FOR PROPER MAINTENANCE, SURVIVAL AND CONDITION OF ALL LANDSCAPING AT NO ADDITIONAL COST TO THE DEPARTMENT. REFER TO FLORIDA ADMINISTRATIVE CODE CHAPTER 14-4
- 15. IN THE EVENT THAT THE SIDEWALK IS DAMAGED, IT SHALL BE RESTORED WITH FULL 4 INCHES THICK FLAGS WITH EXPANSION MATERIAL AND DETECTABLE DOMES FOR HANDICAP RAMPS ACCORDING TO THE F.D.O.T. STANDARD PLANS – INDICES 520-001, 522-001, AND 522-002 (CURRENT EDITION) AND CONSTRUCTED ACCORDING TO THE F.D.O.T. STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION – SECTION 522.
- 16. IN THE EVENT THAT THE ROADWAY PAVEMENT IS DAMAGED, <u>the damaged pavement shall be restored 50' AT EITHER SIDE</u> OF DAMAGED AREA, AT FULL LANE WIDTH AND FULL INTERSECTION to match or exceed existent conditions and in accordance with the Department's design standards and specifications. Pavement restoration scope and method will be as directed in the field by the Department Representative. Damaged pavement will be restored at the expense of the Permittee.
- 17. <u>Damaged driveways shall be restored to current Design standards, with full flags 6" thick and using expansion</u> material. (UAM 310, and 515
- **18.** IN THE EVENT THAT SOD IS DAMAGED DURING CONSTRUCTION, IT MUST BE REPLACED AND MAINTAINED UNTIL THE SOD IS ESTABLISHED.
- **19.** Ensure appropriate erosion control devices are in place before any construction begins and are used throughout the duration of construction.
- **20.** All portions of the state right-of-way disturbed in the construction of the proposed work shall be restored to **F.D.O.T. Specifications**.
- 21. FINAL RESTORATION SHALL BE COORDINATED WITH THE DEPARTMENT REPRESENTATIVE. ALL PORTIONS OF THE STATE RIGHT-OF-WAY DISTURBED IN THE CONSTRUCTION OF THE PROPOSED WORK SHALL BE RESTORED TO F.D.O.T. SPECIFICATIONS WITHIN THIRTY (30) DAYS UPON COMPLETION OF THE PERMITTED INSTALLATION.
- **22.** IF F.D.O.T. ROADWAY IMPROVEMENTS HAVE COMMENCED OR RECENTLY BEEN COMPLETED PRIOR TO THE INSTALLATION OF THE WORK APPROVED UNDER THIS PERMIT, THIS PERMIT SHALL BECOME VOID.
- 23. BEGINNING ANY WORK WITHIN THE F.D.O.T. RIGHT-OF-WAY ASSOCIATED WITH THIS PERMIT CONSTITUTES ACCEPTANCE OF THESE CONDITIONS.

Approved 2020-L-691-00011

WORK WITHIN THE F.D.O.T. RIGHT OF WAY SHALL CONFORM TO CURRENT F.D.O.T. STANDARDS AND SPECIFICATIONS

> Approved 2020-L-691-00011 Ali Al-Said 8/24/2020

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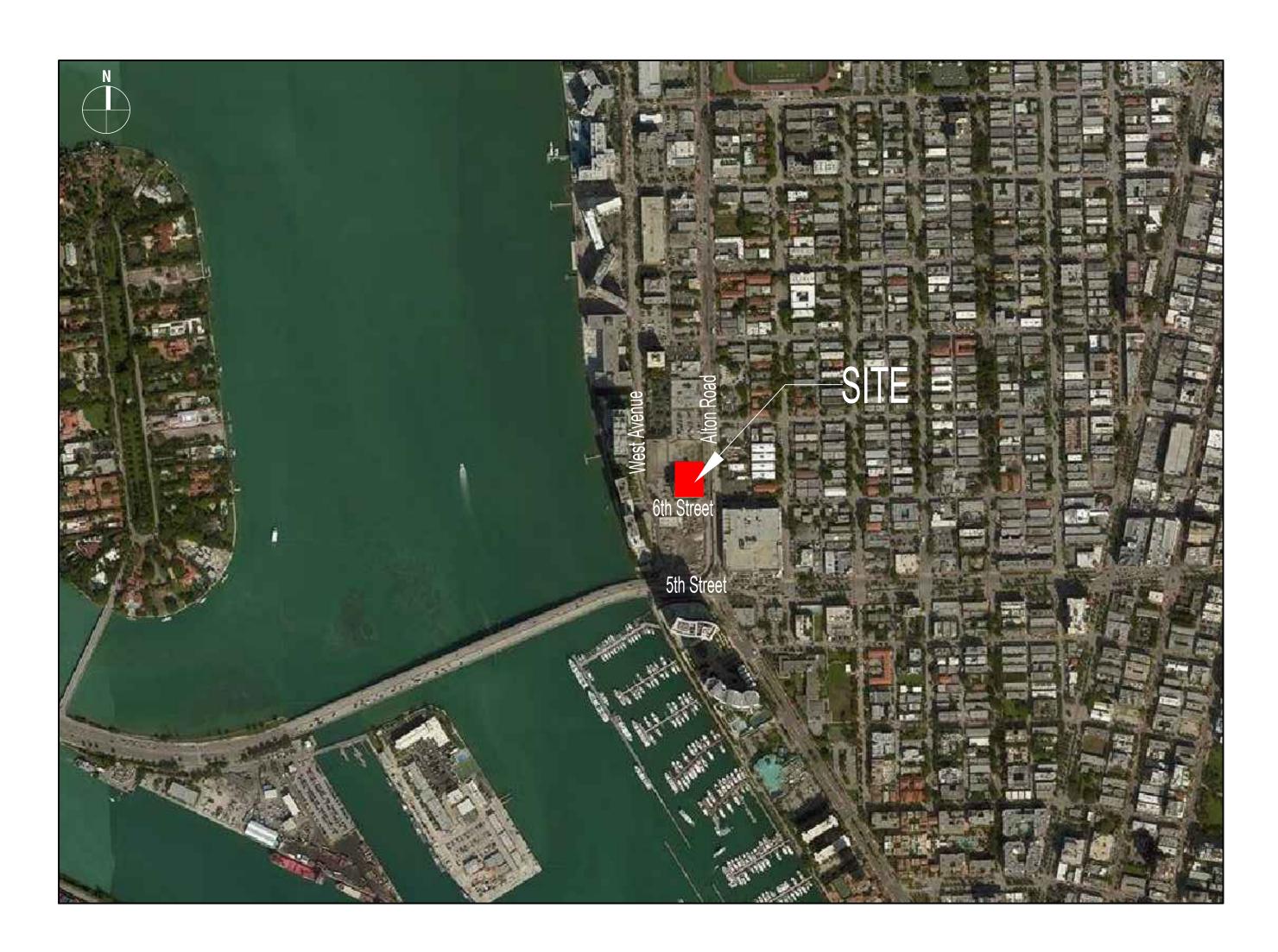
TCH 600 - ALTON ROAD

500 ALTON ROAD MIAMI BEACH, FLORIDA 33139

PERMIT SET SUBMITTAL - RETAIL - PERMIT 02 - FDOT SUBMITTAL

ARQUITECTONICA GEO

LANDSCAPE ARCHITECTS 2900 OAK AVE MIAMI, FLORIDA 33133 Phone (305)372 1812 Fax (305)372 1175 Website: www.arquitectonicageo.com



600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139			
2200 BISC	CH 500 ALTON RD, LLC AYNE BOULEVARD, MIAMI, FL 33137 05.374.5700 FAX. 305.573.8489		
Architect:	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812 FAX. 305.372.1175		
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC 3240 CORPORATE WAY MIRAMAR, FL 33025 TEL. 305.652.7010 FAX. 305.652.8284		
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC. 1301 FIFTH AVENUE, SUITE 3200 SEATTLE, WA 98101 TEL. 206.292.1200 FAX. 206.292.1201		
M/E/P Engineers:	HNGS ASSOCIATES, INC. 4800 S.W. 74 COURT MIAMI, FL 33155 TEL. 305.270.9935		
Fire/Life Safety:	SLS CONSULTING, INC. 1825 PONCE DE LEON BLVD., #565 CORAL GABLES, FL 33134 TEL. 786.536.7611		
Landscape Architect	ARQUITECTONICA GEO 2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812		
Interior Designer:	GABELLINI SHEPPARD 665 BROADWAY, SUITE 706 NEW YORK, NY 10012 TEL. 212.388.1700 X201		
LEED Consultant:	THE SPINNAKER GROUP 1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401		
Vertical Transportation:	LERCH BATES 3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624		

Seal / Signature:
PHASE 2 PERMIT SET RETAIL
BUILDING SHELL AND CORE
03/13/2020
00/10/2020
Project No.: 10-0001
RevNo. Date Description
Full Size Print: 30" x 42"
Full Size Pfillt. 30" X 42"
Sheet Title:
LANDSCAPE
INDEX
Scale: 1/8" = 1'-0"
, -
ZLU-UUU
2020-L-691-0001
ARQUITECTONICA © 2018
8/24/2020

GENERAL NOTES

- 1. These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, please refer to the appropriate consultant documents.
- 2. The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of fixed amenities.
- 3. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect or owner's representative.
- 4. Construction shall comply with all local building codes.
- 5. All dimensions shall be verified in the field prior to construction. Written dimensions shall take precedence over scaled drawings.
- 6. If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.

GENERAL GRADING NOTES

- 1. All grading information provided is intended for aesthetic purposes and to show relationships only. For detailed grading information see Civil Engineers drawings.
- 2. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
- 3. Roadway grading and transition areas to be reviewed and approved by Civil / Traffic Engineer.
- 4. Grading and calculations for retention areas to be provided by Civil Engineers.
- 5. Contractor shall not substantially modify grading plan without the approval of designer. All site aesthetic grading is subject to review and approval of the landscape architect or owner's representative.
- 6. All graded areas shall be dragged with a drag mat or hand racked to blend in small imperfections and round off any sharp lines that may have been constructed by equipment. All areas to be planted shall have no water holding pockets.
- 7. Clear site triangles shown in plan shall comply with FDOT design manual (FDM) section 212.11
- 8. No cypress mulch shall be used as part of this project.

GENERAL SITE LIGHTING NOTES

- 1. All electrical wiring and circuiting by Electrical Engineer in future permit set.
- 2. Shop drawings shall be required by manufacturers and/or contractors for all connections, footers, electrical requirements and color samples for review and approval by the landscape architect or owner's representative.
- 3. Photometrics to be provided by the Engineer and coordinated with Landscape Architect/or owner representative.
- 4. Transformers and other exterior ballasts shall be hidden from general view with landscaping and /or appropriate enclosures. This should be coordinated with Landscape architect.

GENERAL LANDSCAPE NOTES

- available at the time of preparing documents.
- materials during the one year warranty period.
- the Owner's Representative immediately.
- held in landscape holding areas.

- Landscape Architect.
- of Miami Beach.

GENERAL LANDSCAPE NOTES CONT'D

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information

2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant

3. Contractor is to report any discrepancies between the construction drawings and field conditions to

4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.

5. The location of the landscape holding area will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being

6. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.

7. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. Note: No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.

8. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/ or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the

9. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by the City

10. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.

11. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.

12. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.

13. Landscape Contractor shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.

14. Site distance concerns must be maintained for clear site visibility from thirty (30) inches to seventy-two (72) inches, tree trunks are excluded as specified in appropriate municipal codes.

- 15. Guying / staking practices shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
- 16. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
- 17. Trees grown in grow bags or grow bag type material are not allowed.
- 18. All planting materials shall meet or exceed local requirements as specified by local plant standards.
- 19. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
- 20. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
- 21. Plant size specifications take precedence over container size.
- 22. Contractor to verify quantities and report any discrepancies to Owners representative and/or Landscape Architect.
- 23. All plant material shall be graded Florida #1 or better.

Trimmer.

- 24. All proposed planting beds will be planted out correctly with proper spacing.
- 25. All tree work will require permitting by a registered Miami-Dade County Tree
- 26. Burlap, wire cages, etc., be removed half way down root balls.

SOIL PREPARATION AND SOIL MIX

1. All plants noted for removal shall be relocated as shown on plans or removed and properly disposed of offsite at contractors expense unless otherwise noted.

2. Before finishing top soil grading, scarify & rake subsoil clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material to a depth of 6".

3. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scarification is necessary if sides of the hole are compacted.

4. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.

5. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.

The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.

6. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.

7. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.

8. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.

9. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

PLANTING SPECIFICATIONS

1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.

2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to Florida # 1 as described in Florida grades & standards, the lastest issue.

3. All trees must be guyed or staked as shown in details.

4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.

5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.

6. There shall be no chains or cables used directly on trees or palms, handle with 2" minimum width nylon straps or equal.

7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.

8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.

9. Substantial completion constitutes the beginning of guarantee period.

10. Contractor to replace rejected plant within two (2) weeks of notice.

11. Crown pruning of any trees or palms is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.

12. Xeriscaping principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance.

DRAWING ORGANIZATION

1. DRAWING NUMBERING SYSTEM

THE DRAWING NUMBER FOR EACH SHEET CONSISTS OF THE FOLLOWING:

LEVEL (FOR PLANS) DRAWING GROUP DISCIPLINE PERMIT NUMBER

2. DRAWING GROUP

1L1-11

LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:

L0 = GENERAL

- L1 = PLANS
- L2 = ELEVATIONS L3 = SECTIONS
- L4 = ENLARGEMENTS
- L5 = DETAILS L6 = SCHEDULES

3. SHEET NUMBER EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 00 TO 99.

4. DRAWING NUMBER EXAMPLES: L1-11 HARDSCAPE PLAN

600 ALTON				
630 ALTU	630 ALTON RD, MIAMI BEACH, FL 33139			
Owner: TC	CH 500 ALTON RD, LLC			
	AYNE BOULEVARD, MIAMI, FL 33137)5.374.5700 FAX. 305.573.8489			
Architect:	الا معرفيا ما المارين من المركز ال			
	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812 FAX. 305.372.1175			
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC			
	3240 CORPORATE WAY MIRAMAR, FL 33025 TEL. 305.652.7010 FAX. 305.652.8284			
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC.			
	1301 FIFTH AVENUE, SUITE 3200 SEATTLE, WA 98101 TEL. 206.292.1200 FAX. 206.292.1201			
M/E/P Engineers:	HNGS ASSOCIATES, INC.			
	4800 S.W. 74 COURT MIAMI, FL 33155 TEL. 305.270.9935			
Fire/Life Safety:	SLS CONSULTING, INC.			
	1825 PONCE DE LEON BLVD., #565 CORAL GABLES, FL 33134 TEL. 786.536.7611			
Landscape Architect	ARQUITECTONICA GEO			
	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812			
Interior Designer:	GABELLINI SHEPPARD			
	665 BROADWAY, SUITE 706 NEW YORK, NY 10012 TEL. 212.388.1700 X201			
LEED Consultant:	THE SPINNAKER GROUP			
	1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401			
Vertical Transportation:	LERCH BATES			
	3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624			

KEY PLAN

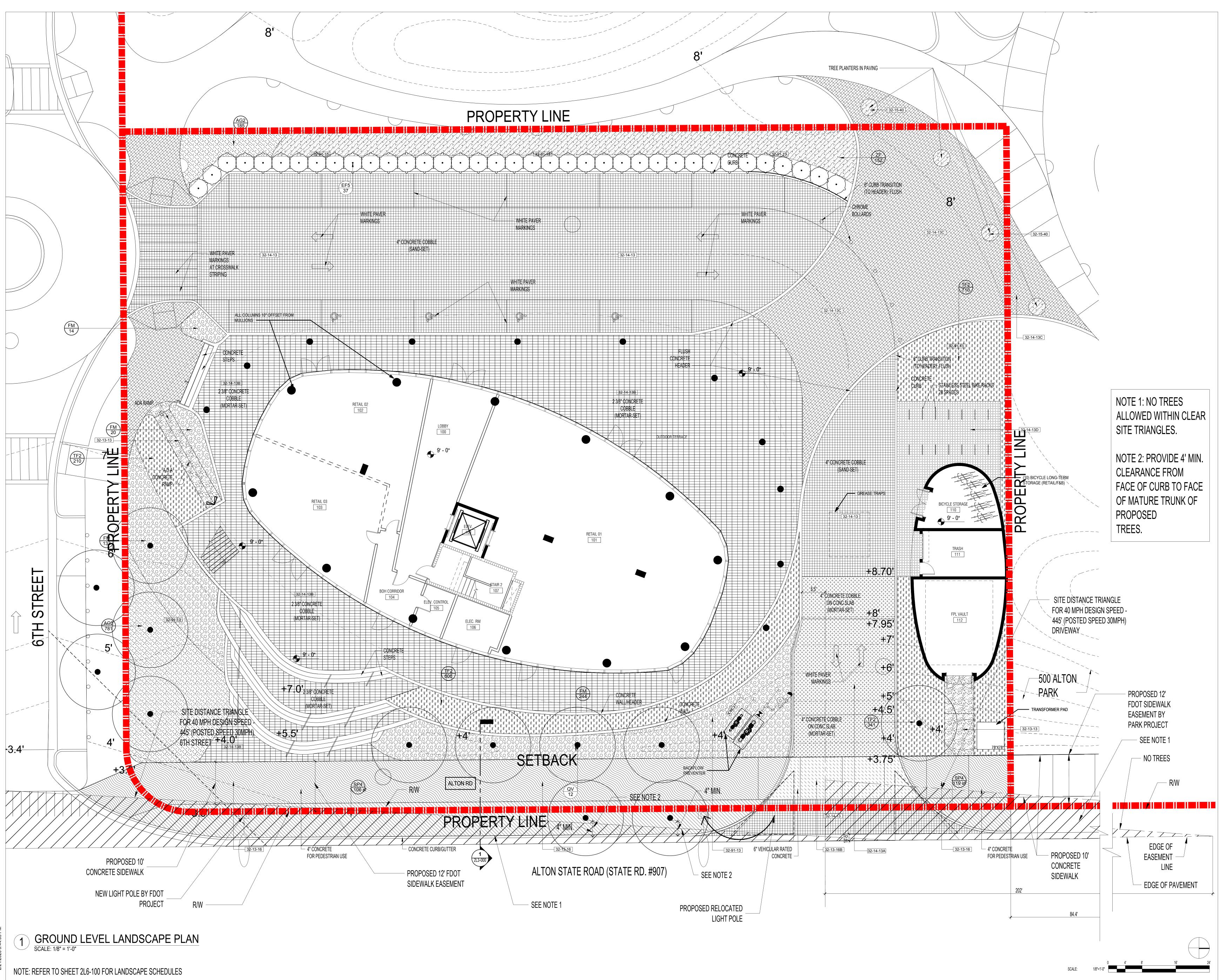
Seal / Signature:
PHASE 2 PERMIT SET RETAIL BUILDING SHELL AND CORE 03/13/2020
Project No.: 10-0001
RevNo. Date Description
Full Size Print: 30" x 42" Sheet Title:
LANDSCAPE
NOTES
Scale: 1/8" = 1'-0"
2L0-001
2020-L-691-000

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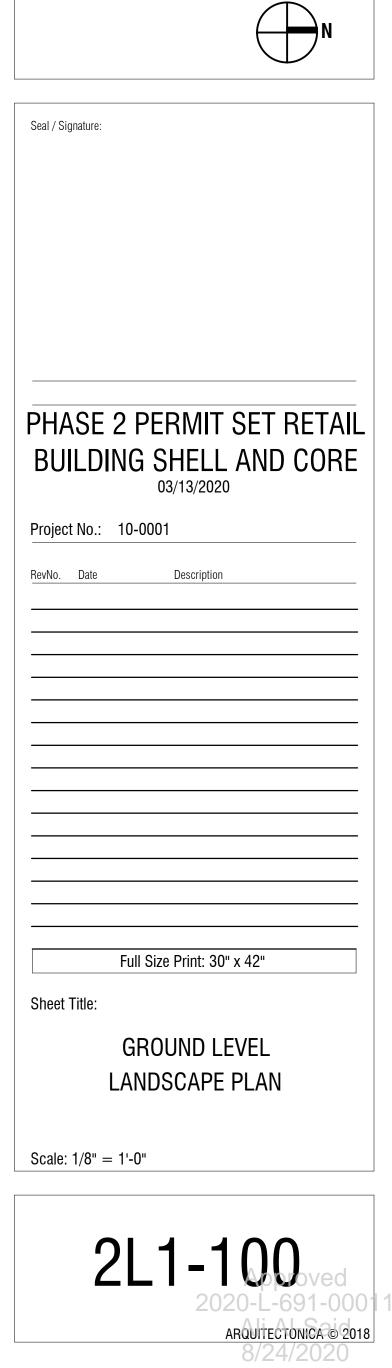
LANDSCAPE LEGEND - PARK SITE		
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS		
Zoning District ARGA Lot Area 130680 Acres	3.00	
	REQUIRED/ ALLOWED	PROVIDED
OPEN SPACE		
A. Square feet of required Open Space as indicated on site plan:		
Lot Area= <u>130680</u> s.f. x <u>40</u> %= <u>52272</u> s.f.	52272	13102
B. Square feet of parking lot open space required as indicated on site plan:		
Number of parking spaces 76 x 10 s.f. parking space=	760	165
C. Total square feet of landscaped open space required: A+B=	53032	132683
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required	26527	2000
B. Maximum lawn area (sod) permitted = 20 % x 132683 s.f.	26537	3980
*All lawn area provided is for public recreational purposes only.		
TREES		
A. Number of trees required per lot or net lot acre, less existing number of	66	7(
trees meeting minimum requirements=		
B. % Natives required: Number of trees provided x 30%=	21	4
C. % Low maintenance/drought and salt tolerant required:		
Number of trees provided x 50%=	35	7(
D. Street Trees (maximum average spacing of 20' o.c)		
1001 linear feet along street divided by 20'=	50	5
E. Street tree species allowed directly beneath power lines:		
	0	
(maximum average spacing of 20' o.c.)=		
(maximum average spacing of 20' o.c.)=		
(maximum average spacing of 20' o.c.)= <u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12=	1393	140
<u>SHRUBS</u>	<u> </u>	1400
<u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12=		
<u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12=		
<u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12= B. % Native shrubs required: Number of shrubs provided x 50%=		
<u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12= B. % Native shrubs required: Number of shrubs provided x 50%= <u>LARGE SHRUBS OR SMALL TREES</u>		100
<u>SHRUBS</u> A. Number of shrubs required: Sum of lot and street trees required x 12= B. % Native shrubs required: Number of shrubs provided x 50%= <u>LARGE SHRUBS OR SMALL TREES</u> A. Number of large shrubs or small trees required: Number of required shrubs	700	

600 ALTON				
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Owner: TC	CH 500 ALTON RD, LLC			
	AYNE BOULEVARD, MIAMI, FL 33137			
	05.374.5700 FAX. 305.573.8489			
Architect:				
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	2900 OAK AVENUE MIAMI, FL 33133			
	TEL. 305.372.1812 FAX. 305.372.1175			
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC			
	3240 CORPORATE WAY			
	MIRAMAR, FL 33025 TEL. 305.652.7010			
	FAX. 305.652.8284			
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC.			
	1301 FIFTH AVENUE, SUITE 3200			
	SEATTLE, WA 98101 TEL. 206.292.1200			
	FAX. 206.292.1201			
M/E/P Engineers:	HNGS ASSOCIATES, INC.			
	4800 S.W. 74 COURT MIAMI, FL 33155			
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Fire/Life Safety:	SLS CONSULTING, INC.			
	1825 PONCE DE LEON BLVD., #565			
	CORAL GABLES, FL 33134 TEL. 786.536.7611			
Landscape Architect	ARQUITECTONICA GEO			
	2900 OAK AVENUE MIAMI, FL 33133			
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Interior Designer:	GABELLINI SHEPPARD			
	665 BROADWAY, SUITE 706			
	NEW YORK, NY 10012 TEL. 212.388.1700 X201			
LEED Consultant:	THE SPINNAKER GROUP			
	1409 GEORGIA AVENUE			
	WEST PALM BEACH, FL 33401			
Vertical Transportation:	LERCH BATES			
	3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624			

Seal / Signature: PHASE 2 PERMIT SET RETAIL BUILDING SHELL AND CORE Project No.: 10-0001 RevNo. Date Description _____ Full Size Print: 30" x 42" Sheet Title: LANDSCAPE CALCULATIONS Scale: 1/8" = 1'-0" 2LO-002 2020-L-691-000 ARQUITECTONICA © 2018 8/24/2020



600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139				
Owner: TCH 500 ALTON RD, LLC 2200 BISCAYNE BOULEVARD, MIAMI, FL 33137 TEL. 305.374.5700 FAX. 305.573.8489				
Architect:				
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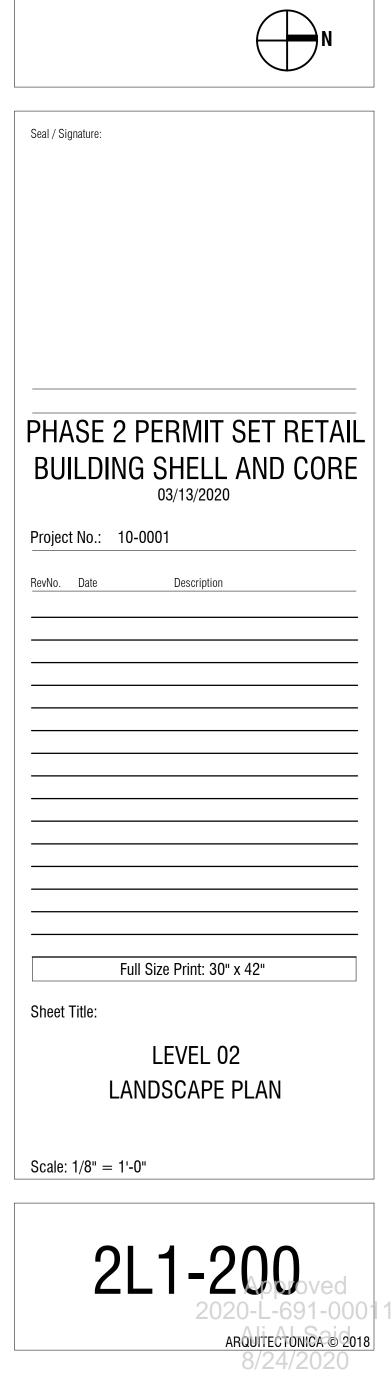


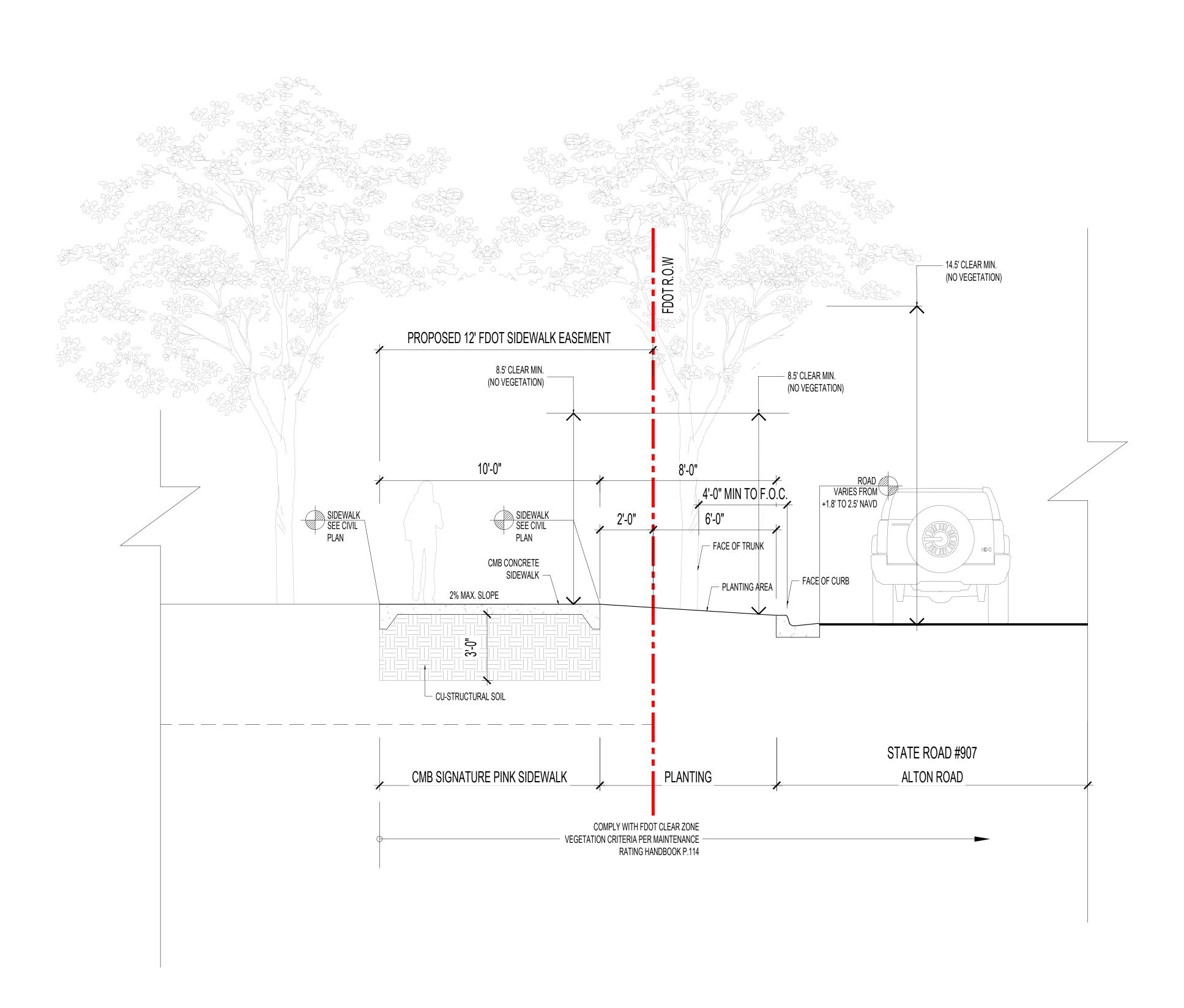


NOTE: REFER TO SHEET 2L6-100 FOR LANDSCAPE SCHEDULES

SCALE:

600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139				
Owner: TCH 500 ALTON RD, LLC 2200 BISCAYNE BOULEVARD, MIAMI, FL 33137 TEL. 305.374.5700 FAX. 305.573.8489				
Architect:	وفي الكامر من ماريان من المراجع عن المراجع المراجع المراجع المراجع المراجع المراجع المراجع المراجع المراجع الم			
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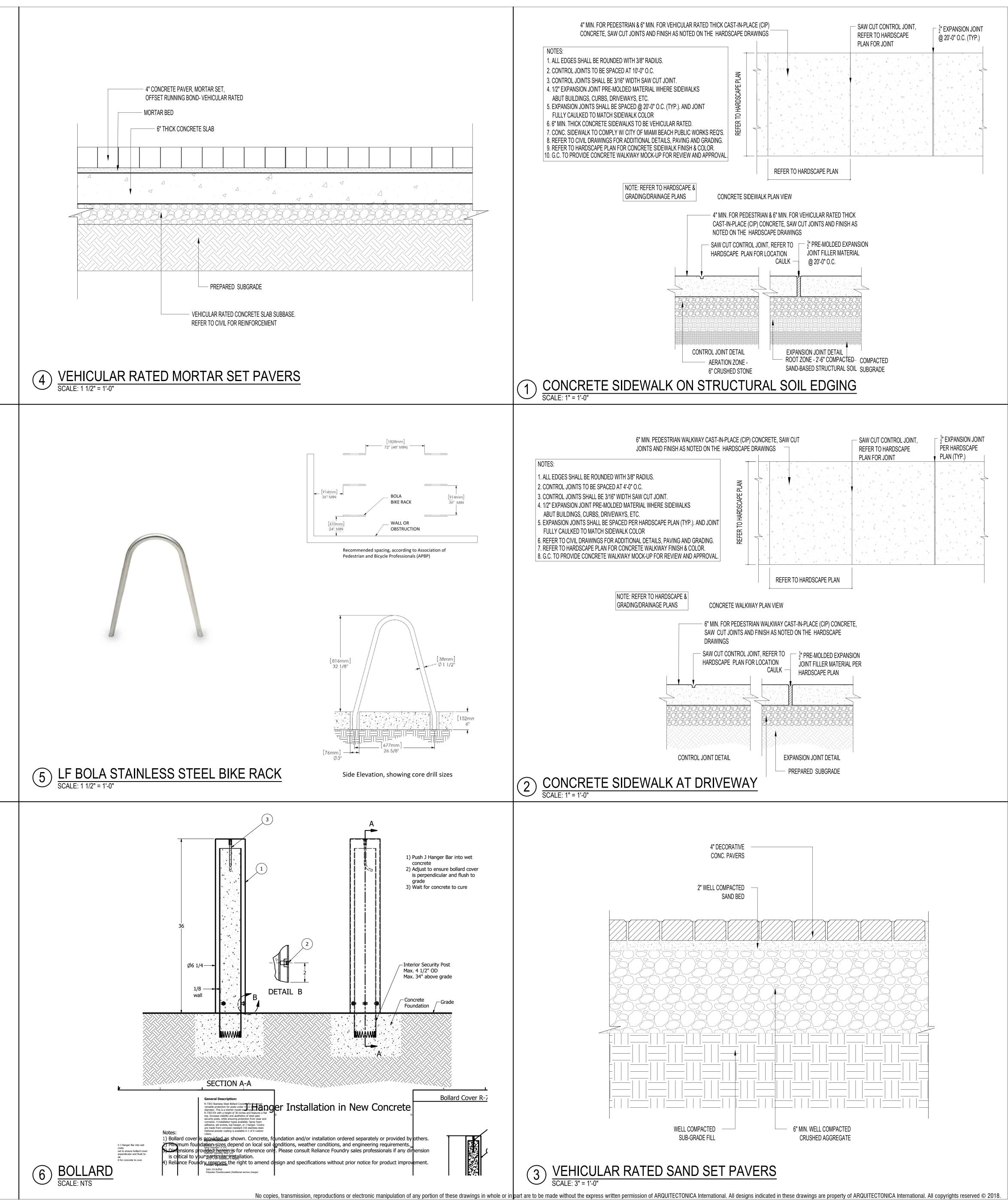




1 ALTON ROAD SIDEWALK SECTION SCALE: 3/8"=1'-0"

600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139				
2200 BISC	CH 500 ALTON RD, LLC CAYNE BOULEVARD, MIAMI, FL 33137 05.374.5700 FAX. 305.573.8489			
Architect:	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812 FAX. 305.372.1175			
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC 3240 CORPORATE WAY MIRAMAR, FL 33025 TEL. 305.652.7010 FAX. 305.652.8284			
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC. 1301 FIFTH AVENUE, SUITE 3200 SEATTLE, WA 98101 TEL. 206.292.1200 FAX. 206.292.1201			
M/E/P Engineers:	HNGS ASSOCIATES, INC. 4800 S.W. 74 COURT MIAMI, FL 33155 TEL. 305.270.9935			
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Landscape Architect	ARQUITECTONICA GEO 2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812			
Interior Designer:	GABELLINI SHEPPARD 665 BROADWAY, SUITE 706 NEW YORK, NY 10012 TEL. 212.388.1700 X201			
LEED Consultant:	THE SPINNAKER GROUP 1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401			
Vertical Transportation:	LERCH BATES 3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624			

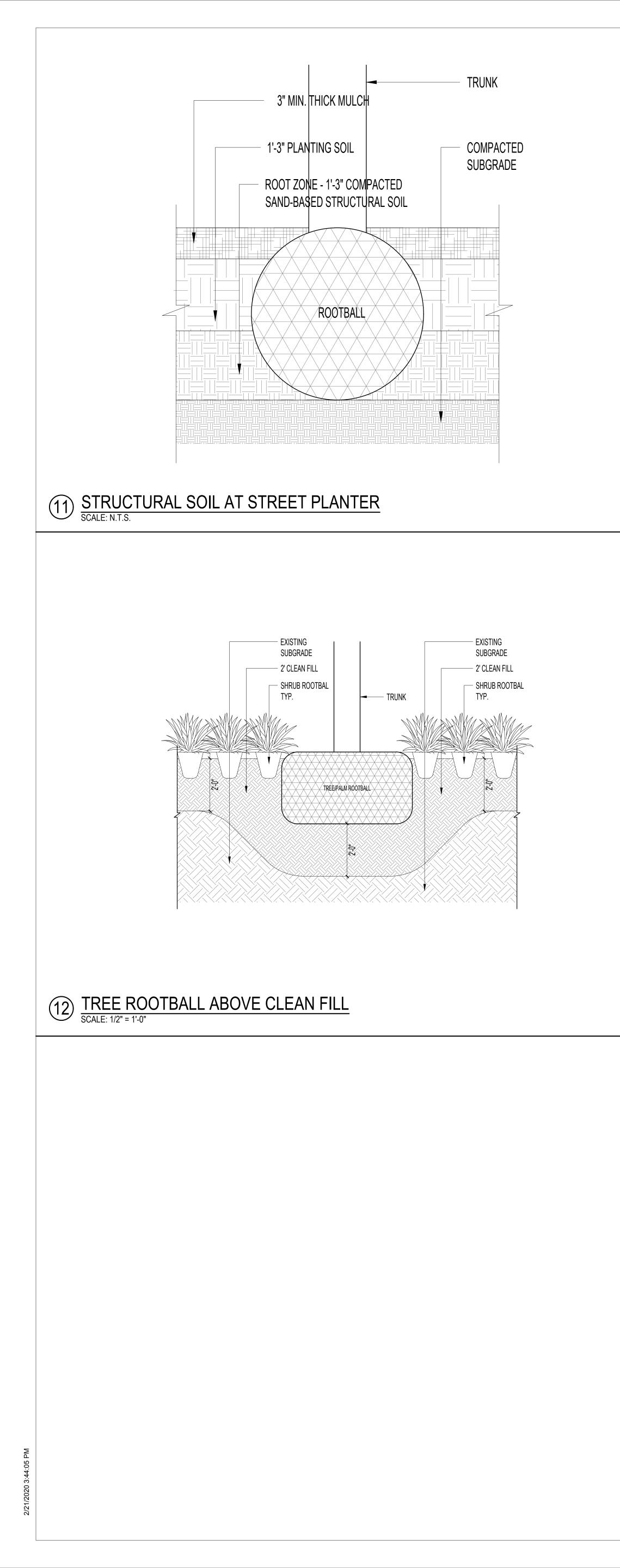
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PHASE 2 PERM BUILDING SHE	LL AND CORE
Project No.: 10-0001	
RevNo. Date Descri	iption
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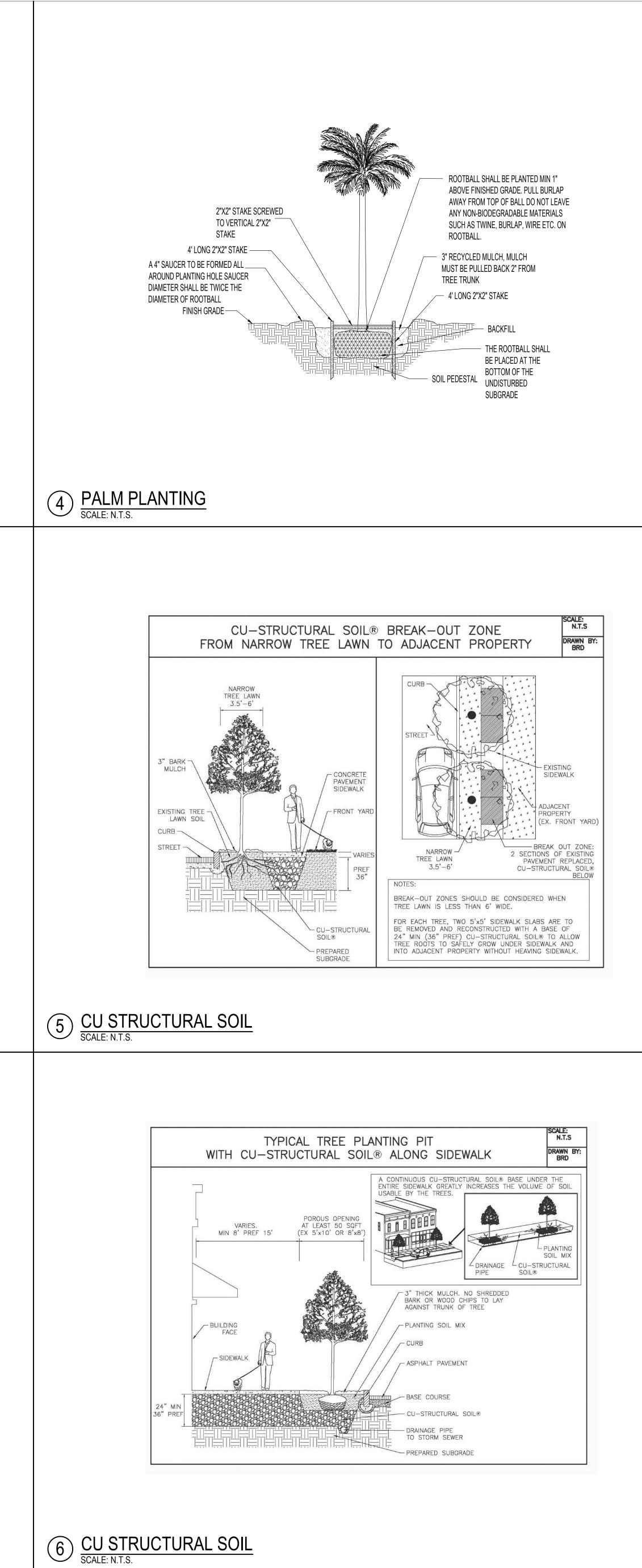


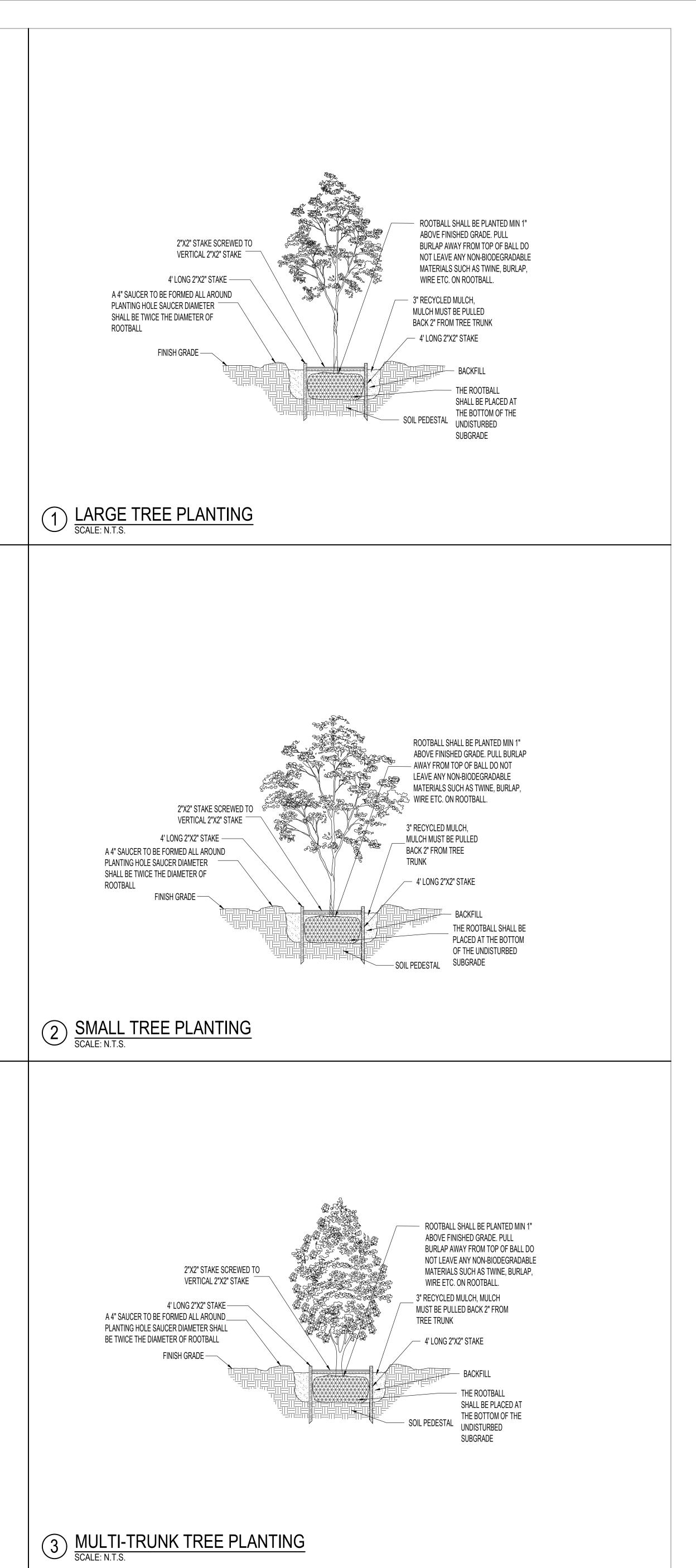
	600 ALTON				
630 ALTON RD, MIAMI BEACH, FL 33139					
Owner: TC	H 500 ALTON RD, LLC				
	AYNE BOULEVARD, MIAMI, FL 33137				
	5.374.5700 FAX. 305.573.8489				
Architect:					
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	2900 OAK AVENUE MIAMI, FL 33133				
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	4800 S.W. 74 COURT				
	MIAMI, FL 33155 TEL. 305.270.9935				
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Interior Designer:	GABELLINI SHEPPARD				
	665 BROADWAY, SUITE 706 NEW YORK, NY 10012				
	TEL. 212.388.1700 X201				
LEED Consultant:	THE SPINNAKER GROUP				
	1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401				
Vertical Transportation:	LERCH BATES				
	3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624				

Seal / Signature:
PHASE 2 PERMIT SET RETAIL BUILDING SHELL AND CORE
03/13/2020
Project No.: 10-0001
RevNo. Date Description
Full Size Print: 30" x 42"
Sheet Title: GROUND LEVEL
HARDSCAPE DETAILS
Scale: 1/8" = 1'-0"
215-100
2020-L-691-000

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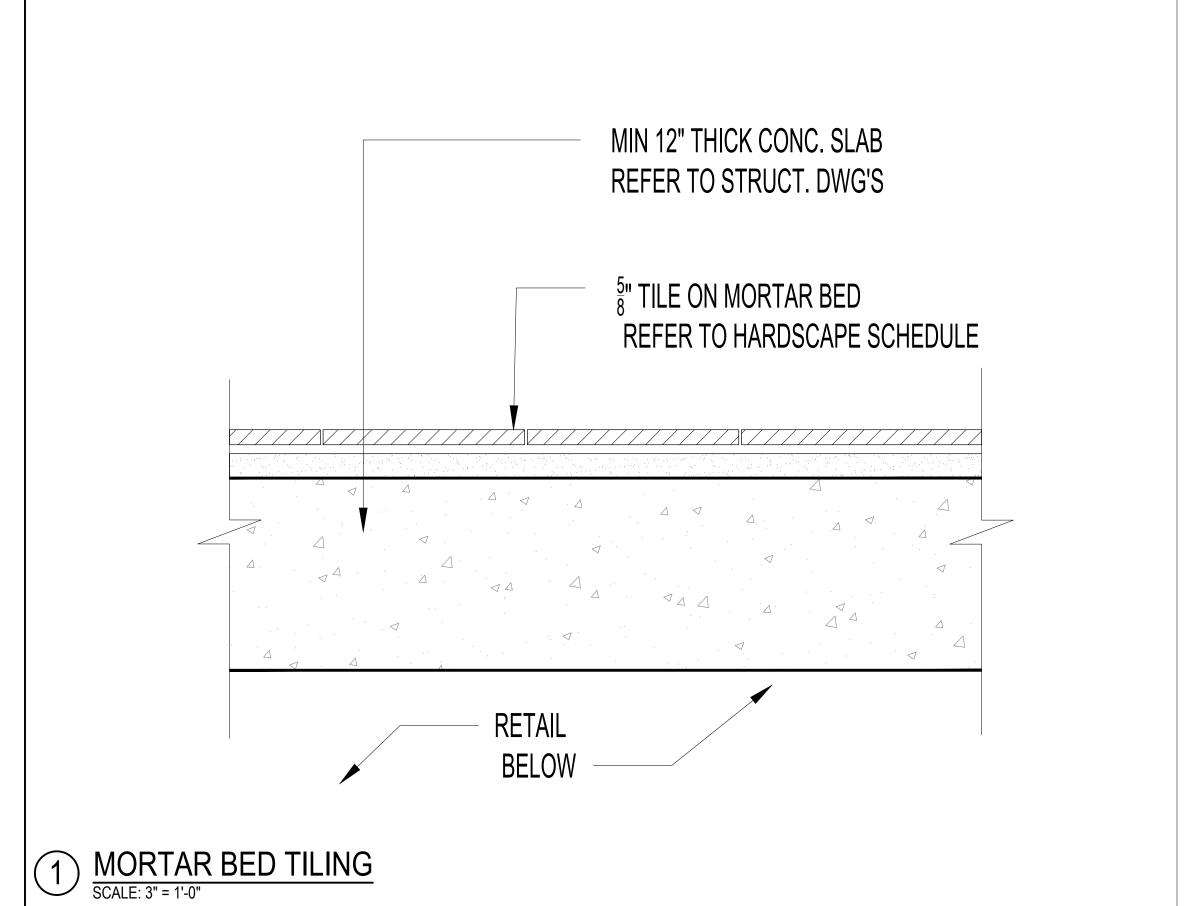
600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139				
2200 BISC	CH 500 ALTON RD, LLC CAYNE BOULEVARD, MIAMI, FL 33137			
TEL. 30	05.374.5700 FAX. 305.573.8489			
Architect:	وليحف في مراجع من من علي المراجع من المنافعة المراجع المنافعة المراجع المراجع المراجع المراجع المراجع المراجع ا			
	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812 FAX. 305.372.1175			
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	1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401			
Vertical Transportation:	LERCH BATES			
	3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624			

KEY PLAN

Seal / Signature: PHASE 2 PERMIT SET RETAIL BUILDING SHELL AND CORE 03/13/2020 Project No.: 10-0001 RevNo. Date Description Full Size Print: 30" x 42" Sheet Title: GROUND LEVEL PLANTING DETAILS Scale: 1/8" = 1'-0" 2L5-110 ARQUITECTONICA © 2018

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2 MOVABLE PLANTERS SCALE: 1" = 1'-0"

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	600 ALTON				
630 ALTON RD, MIAMI BEACH, FL 33139					
Owner: TC	CH 500 ALTON RD, LLC				
	CAYNE BOULEVARD, MIAMI, FL 33137				
	05.374.5700 FAX. 305.573.8489				
Architect:					
	Plant (nambala / 1979) (2019) (plant (1979) (1979) (1970) (1970) (1970) (1970) (1970) (1970) (1970)				
	2900 OAK AVENUE MIAMI, FL 33133				
	TEL. 305.372.1812 FAX. 305.372.1175				
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC				
	3240 CORPORATE WAY				
	MIRAMAR, FL 33025 TEL. 305.652.7010				
	FAX. 305.652.8284				
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC.				
	1301 FIFTH AVENUE, SUITE 3200 SEATTLE, WA 98101				
	TEL. 206.292.1200 FAX. 206.292.1201				
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	4800 S.W. 74 COURT				
	MIAMI, FL 33155 TEL. 305.270.9935				
	122.000.270.0000				
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	1825 PONCE DE LEON BLVD., #565 CORAL GABLES, FL 33134				
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Vertical Transportation:	LERCH BATES				
יסומסמי דומווסטטונמנוטוו.					
	3802 EHRLICH ROAD, SUITE 110				
	TAMPA, FL 33624				

Seal / Signature:
PHASE 2 PERMIT SET RETAIL
BUILDING SHELL AND CORE
03/13/2020
Project No.: 10-0001
RevNo. Date Description
Full Size Print: 30" x 42"
Sheet Title:
LEVEL 02
LANDSCAPE DETAILS
Scale: 1/8" = 1'-0"
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LEVE	L 02 HARDSCAPE SCHEDULI	Ε
	32 EXTERIOR IMPROVEMENTS	
SYMBOL	DESCRIPTION	QT
32-14-40	ITEM: Tile APPLICATION: Retail Level 02	10,6

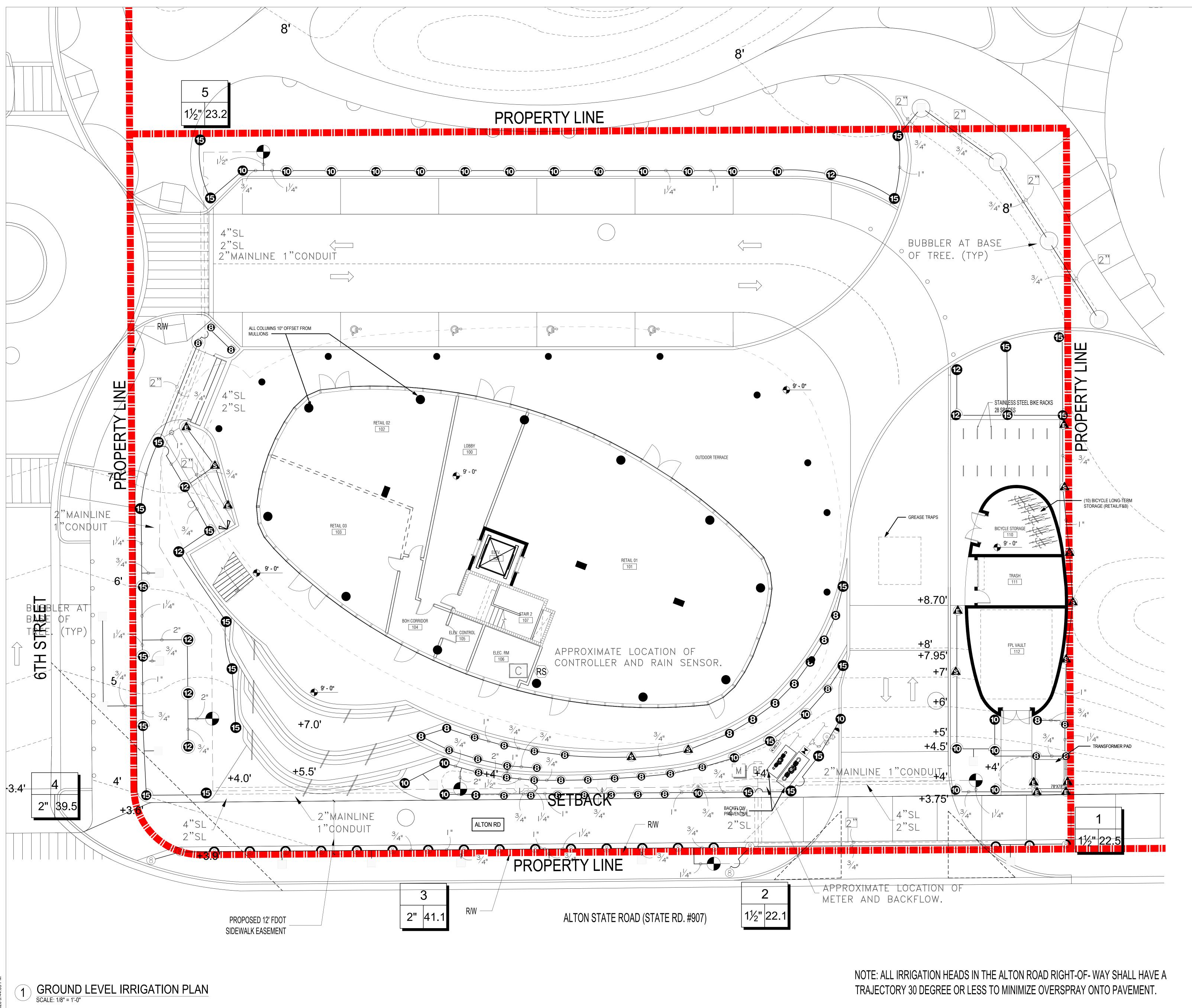
		32 EXTERIOR IMPROVEMENTS	
	SYMBOL	DESCRIPTION	QTY
	32-13-13	ITEM; Concrete Paving APPLICATION: FPL Vault Entrance Path, Retail ADA Ramp TYPE: Concrete	243 sf
	32-13-16	ITEM: 4" Concrete Paving APPLICATION: Sidewalk COLOR:Miami Beach Signature Pink TYPE: Concrete Paving	1,878 sf
	[32- <u>13-</u> 16B]	ITEM: Vehicular Rated 6" Concrete Paving APPLICATION: Sidewalk COLOR: Miami Beach Signature Pink TYPE: Concrete Paving	300 sf
	32-14-13	ITEM: Precast Concrete Paving TYPE: 4"x4" Granite Cobbles Tuscany Pavers APPLICATION: Driveway MANUFACTURER: Tremron COLOR: Granite PURPOSE: Delineator Between Pedestrian Zone And Vehicular Zone FINISH: Antiqued TEXTURE: Hard Split INSTALLATION: Sand-Set	7,017 sf
	++ ++ ++ ++ ++ ++ ++ ++ ++ ++ ++ ++ ++	TEM: Precast Concrete Paving TYPE: 4"x4" Granite Cobbles Tuscany Pavers APPLICATION: Driveway MANUFACTURER: Tremron COLOR: Granite FINISH: Antiqued TEXTURE: Hard Split INSTALLATION: Mortar Set	1,003 sf
	32-14-13B	ITEM; Precast Concrete Unit Paving APPLICATION: Flex Space, Parking TYPE: Concrete Pavers On Mortar Bed COLOR: Natural With Black Beauty PRODUCT: Aristone Special Order Item MANUFACTURER: Tremron SIZE: 4"x12" THICKNESS: 2 3/8" Thick	11,941 sf
	32-14-13C	ITEM; Precast Concrete Unit Paving APPLICATION: Flex Space, Parking TYPE: Concrete Pavers On Sand Bed COLOR: Natural With Black Beauty PRODUCT: Aristone Special Order Item MANUFACTURER: Tremron SIZE: 4"x12" And 4"x 16" Staggered THICKNESS: 4" Thick	3,260 sf
	32-14-13D	ITEM: Precast Concrete Paving TYPE: 4"x4" Granite Cobbles Tuscany Pavers APPLICATION: Bike Rack Area MANUFACTURER: Tremron COLOR: Granite FINISH: Antiqued TEXTURE: Smooth Side Up INSTALLATION: Sand-Set THICKNESS: 2"	560 sf
	32-15-40	ITEM: Gravel APPLICATION: Walkways	50 sf
<i>∀. 19 9 16 1 11 5</i>	, <u>3</u> 2-91-13	ITEM: Mulching APPLICATION: Planting beds TYPE: Florimulch COLOR: Natural	7,030 sf

		EVE	L TREE S		E HEIGHT	SPREAD	CALIPER	CLEAR TRUNK
	EF5	37	Eugenia foetida Bush, Full, Low-Branched	Spanish Stopper	6` - 8`	3`		
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	CLEAR TRUNK
•	QV	12	Quercus virginiana	Southern Live Oak	18`	12`	6" min.	6`

SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	SPACING
	FM	411	Ficus microcarpa	Green Island Ficus	18"	18"	3G	No	24" o.c.
2 / a / f 2 / a / f 4 / a a / a / 9 / a / a / 9 / a / / 4 / a / a / a / a / a / y 2 / a / a / 9 / a / a / a / y 3 / a / a / 9 / a / a / 3 /	ZF	152	Zamia floridana Random distribution in groups of 10-20.	Coontie Palm	12"		yes	36"	30" o.c.
ROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	SPACING
	AG2	966	Arachis glabrata	Perennial Peanut	10"	12"	1G	No	12" o.c.
	TF2	1,865	Tripsacum dactyloides	Fakahatchee Grass	25 gal	36"	30"	30" O.C.	12" o.c.
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	SPACING	SPACING
	SP4	1,225 sf	Stenotaphrum secundatum `Seville`	Seville St. Augustine Grass	sod	Sod		NA	

600 ALTON 630 ALTON RD, MIAMI BEACH, FL 33139			
Owner: TCH 500 ALTON RD, LLC 2200 BISCAYNE BOULEVARD, MIAMI, FL 33137 TEL. 305.374.5700 FAX. 305.573.8489			
Architect:	والمراجع والمحاولة المراجع والمحاول والمحاولة المحاولة المحاولة المحاولة المحاولة المحاولة المحاورة المحاورة		
	2900 OAK AVENUE MIAMI, FL 33133 TEL. 305.372.1812 FAX. 305.372.1175		
Civil Engineer:	SCHWEBKE-SHISKIN & ASSOCIATES, INC		
	3240 CORPORATE WAY MIRAMAR, FL 33025 TEL. 305.652.7010 FAX. 305.652.8284		
Structural Engineer:	MAGNUSSON KLEMENCIC ASSOC.		
	1301 FIFTH AVENUE, SUITE 3200 SEATTLE, WA 98101 TEL. 206.292.1200 FAX. 206.292.1201		
M/E/P Engineers:	HNGS ASSOCIATES, INC.		
	4800 S.W. 74 COURT MIAMI, FL 33155 TEL. 305.270.9935		
Fire/Life Safety:	SLS CONSULTING, INC.		
	1825 PONCE DE LEON BLVD., #565 CORAL GABLES, FL 33134 TEL. 786.536.7611		
Landscape Architect	ARQUITECTONICA GEO		
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Interior Designer:	GABELLINI SHEPPARD		
	665 BROADWAY, SUITE 706 NEW YORK, NY 10012 TEL. 212.388.1700 X201		
LEED Consultant:	THE SPINNAKER GROUP		
	1409 GEORGIA AVENUE WEST PALM BEACH, FL 33401		
Vertical Transportation:	LERCH BATES		
	3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624		

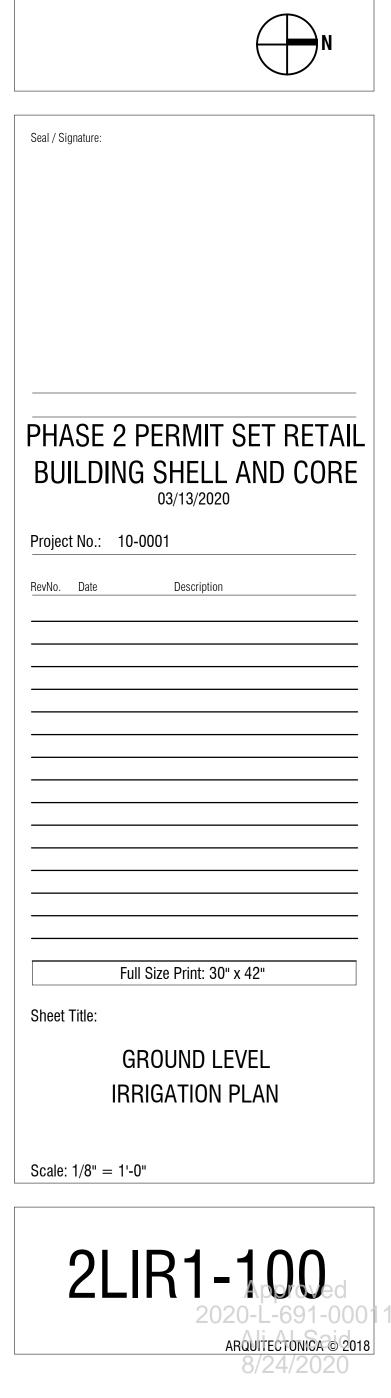
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BUILDIN	G SHELL AND CORE
Project No.: 10	U-UUU I
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SCALE

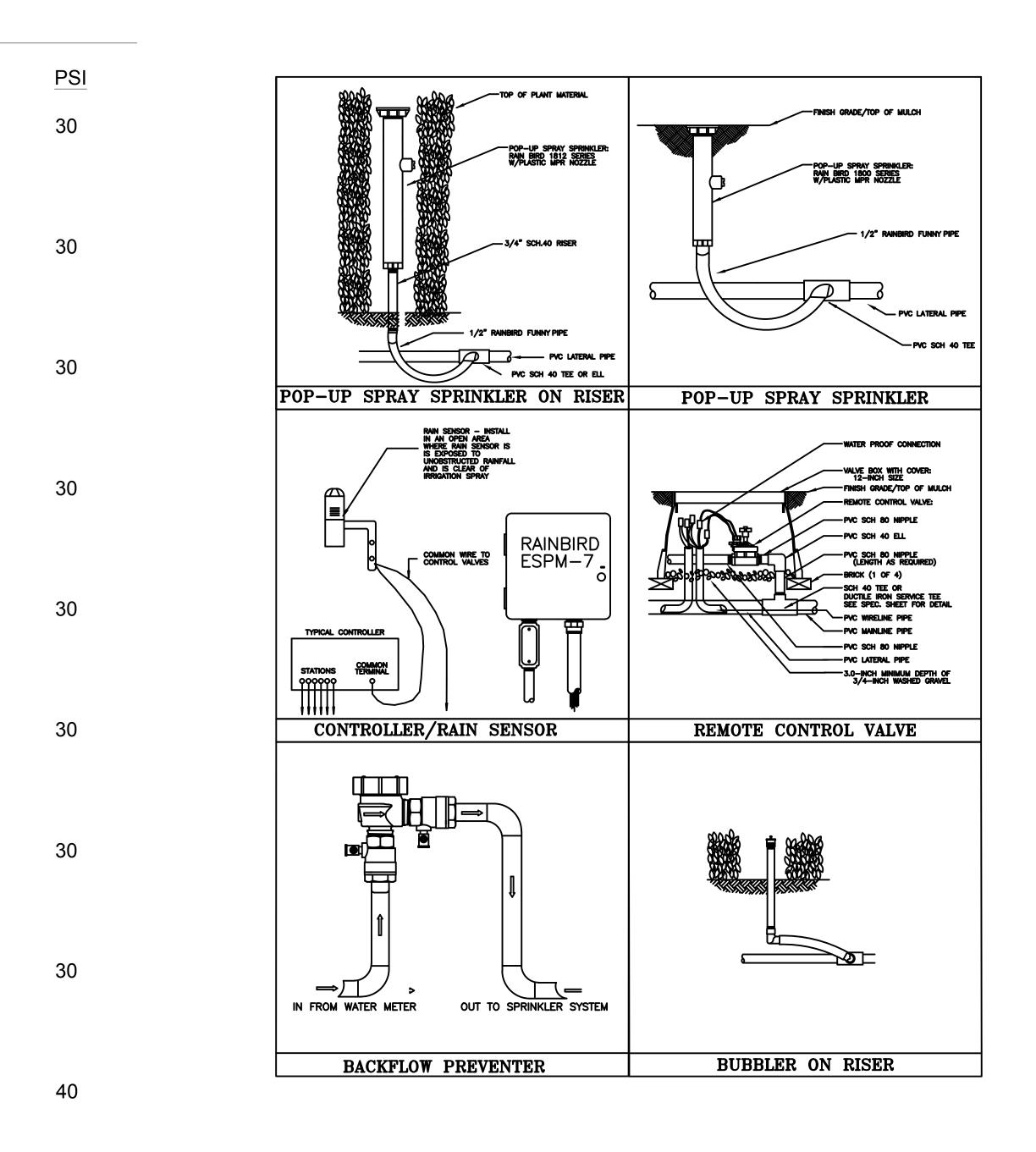
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Vertical Transportation:	LERCH BATES 3802 EHRLICH ROAD, SUITE 110 TAMPA, FL 33624			

KEY PLAN



SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
8 8 8 8 Q T H F	Rain Bird 1806-U U8 Series Turf Spray 6.0" Pop-Up Sprinkler with Co-M Wiper Seal. Side and Bottom Inlet. 1/2" NP Female Threaded Inlet.
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Rain Bird 1806-U ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Me Wiper Seal. Side and Bottom Inlet. 1/2" NP Female Threaded Inlet.
EST LCS RCS CST SST	Rain Bird 1800-PA-80-U 15 Strip Series Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
3 3 3 3 3 3 3 3 3 3	Rain Bird 1800-PA-80-U U8 Series Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
Q T H F	Rain Bird 1800-PA-80-U U10 Series Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
	Rain Bird 1800-PA-80-U U12 Series Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
Q T H TT TQ F	Rain Bird 1800-PA-80-U U15 Series Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
8 08HE-VAN 12HE-VAN 10HE-VAN 15HE-VAN	Rain Bird 1800-PA-80-U ADJ Shrub Spray on fixed riser with the PA-8S P Shrub Adapter. Use with 1/2" FPT bubbler of spray nozzle. U series nozzles.
360	Rain Bird 1800-1300AF Flood Adjustable Flow (1.0-2.3GPM), Full circle bu 1/2" FIPT inlet.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Operating Capability, Globe Configuration.
BF	Febco 765 2" Pressure Vacuum Breaker, brass with ball v SOV. Install 12" (305MM) above highest downstream outlet and the highest point in t downstream piping.
С	Rain Bird ESP4ME with (1) ESP-SM3 7 Station, Hybrid Modular Outdoor Controlle For Residential or Light Commercial Applica
RS	Rain Bird RSD-CEx Rain Sensing Device, conduit mount. With threaded adapter, extension wire.
M	Water Meter 2" 2"METER
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: PVC Schedule 40
	Valve Callout
#	Valve Number
# " # ●	

1 GROUND LEVEL IRRIGATION DETAILS



GENERAL NOTES

- 1. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- 3. Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- 4. Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
- 5. 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
- 6. All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- 7. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- 8. This design is diagramatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
- ⁹. It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- 10. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- 11. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- 12. The irrigation contractor shall install check values on all heads in areas where finish grade exceeds 4:1, where post value shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- 13. The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- 14. All control wires shall be installed in PVC conduit.
- 15. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.
- 16. The installation devices are to be guaranteed for the period of (1) year from the date of final acceptance.

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KEY PLAN

Seal / Signature:

PHASE 2 PERMIT SET RETAIL
BUILDING SHELL AND CORE
03/13/2020

Project No:: 10-0001

RevVio. Date Description

RevVio. Date Description

Full Size Print: 30" x 42"

Sheet Title:

GROUND LEVEL
IRRIGATION DETAILS

Scale: 1/8" = 1'-0"

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MAINTENANCE PLAN Landscape Improvements

Project State Road No(s): Alton Road (State Road No. 907)

Permit/FM No(s):	600 Alton
Maintaining Agency:	Miami Beach, Miami-Dade County
RLA of Record:	Alejandro Javier Perez
Date:	June 10 th , 2020

I. GENERAL MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

The purpose of a plan for the landscape improvements maintenance practices is to allow the plant material on your project to thrive in a safe and vigorous manner while fulfilling their intended purpose and conserving our natural resources. Plantings and all other landscape improvements shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: FDOT Standard plans for Road and Bridge Construction, FDOT Design Manual and FDOT Standard Specifications for Road and Bridge Construction, as amended by contract documents, and all other requirements set forth by the District 4 Operations Maintenance Engineer. The initial portion of the Maintenance Plan describes general maintenance requirements and recommendations. The concluding section provides recommendations prepared by the Registered Landscape Architect of Record specific to the attached approved plans.

WATERING REQUIREMENTS

Watering is a critical concern for not only the maintenance of healthy plant material but also for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

IRRIGATION SYSTEM

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods, while adhering to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

INTEGRATED PLANT MANAGEMENT

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

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Palms, shrubs, trees and turf areas shall be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Please be alert to changes in fertilization types per University of Florida, Institute of Food and Agricultural Services (I.F.A.S.) recommendations. Establishment of an integrated pest management program is encouraged to ensure healthy plants, which are free of disease and pests.

MULCHING

Mulch planting beds in such a manner as to prevent weed growth, retain moisture to the plants, protect against soil erosion and nutrient loss, maintain a more uniform soil temperature, and improve the appearance of the planting beds. Avoid mulch mounded up on the trunks of trees, palms, and the base of shrubs to encourage air movement in this area which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

PRUNING

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute (ANSI) A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, to specific pruning heights maintaining clear visibility for motorists, and provide vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions, and all trees and palms must be maintained to prevent potential roadway and pedestrian hazards, all palms are to be kept fruit free. The specific pruning heights are determined by understanding the designer's intent when selecting and placing the plants. The intended mature maintained height and spread of plants are noted on the plans (See Exhibit B.) and see Part II. Specific Requirements and Recommendations for guidelines. The understory plant materials selected for use within the restricted planting areas (Limits of Clear Sight) are to be maintained at a height in compliance with FDOT Design Manual Figure 212.11.2, Window Detail. Vertical tree heights must meet FDOT Maintenance Rating Program (MRP) standards.

STAKING AND GUYING

All staking materials, except for replacements, are to be removed by the completion of FDOT warranty period or at one year (whichever comes first). Any subsequent staking and guying activities by the Agency must adhere to FDOT Standard Plans for Road and Bridge Construction guidelines (See Index 580-001). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

TURF MOWING:

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape. All turf efforts, mowing, curb/sidewalk edging and turf condition, must at a minimum, meet FDOT Maintenance Rating Program (MRP).

LITTER CONTROL:

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse. Litter removal efforts must meet FDOT Maintenance Rating Program (MRP) standards.

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WEEDING/HERBICIDE

All planting areas shall be maintained as weed free as practicable by enlisting integrated pest management practices in areas specified on the plans and maintaining proper mulch levels. Extreme care is recommended when using a chemical herbicide to avoid overspray onto plant materials. It is the applicator's responsibility to restore any damage, resulting from overspray to the plantings, per the approved plans.

PLANT REPLACEMENT

Plant replacement shall be the same species and specification as the approved plan. Move and replace all plant materials that may conflict with utility relocations and service. Only plants graded Florida #1 or better, per the *Florida Department of Agriculture and Consumer Services, Grades and Standards for Nursery Plants* are permitted on FDOT roadways. Should it become necessary to change the species, a permit is required from FDOT for approval by the FDOT District Landscape Architect.

HARDSCAPE (SPECIALTY SURFACING)

All specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the surfacing and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current FDOT Maintenance Rating Program Handbook Pages 43-47; ADA accessible sidewalk; and FDOT Standard Plans for Road and Bridge Construction, Maintenance and Utility Operations on The State Highway System. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

Or Use When Concrete Pavers

All specialty surfacing shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current *Interlocking Concrete Pavement Institute (ICPI)*, *Guide Specifications for Pavers on an Aggregate Base, Section 23 14 13 Interlocking Concrete Pavers*, Part 3.05. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

HARDSCAPE (NON-STANDARD) TRAVELWAY SURFACING

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement (if applicable), caused or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right of way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the most current edition of the *FDOT Standard Specifications for Road and Bridge Construction*, and the *FDOT Standard Plans and for Road and Bridge Construction*.

It shall be the responsibility of the AGENCY to maintain all signs located within a nonstandard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replacement of the sign panel, post, and base.

HARDSCAPE (LANDSCAPE ACCENT LIGHTING) (IF APPLICABLE)

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan. Landscape lighting shall meet requirements for the sea turtle nesting and hatching.

MAINTENANCE OF TRAFFIC CONTROL

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

VEGETATION MANAGEMENT AT OUTDOOR ADVERTISING (ODA) (IF APPLICABLE)

To avoid conflicts with permitted outdoor advertising, please reference the State of Florida website regarding the vegetation management of outdoor advertising. This website provides a portal to search the FDOT Outdoor Advertising Inventory Management System Database. The database contains an inventory of outdoor advertising structures, permits and other related information maintained by the Department.

Also, reference the *Florida Highway Beautification Program* website link for "*Vegetation Management at ODA signs*" "Florida Statutes" and "Florida Administrative Code" related to vegetation management at outdoor advertising sign, permit applications for vegetation management and determining mitigation value of roadside vegetation.

REFERENCES

(Revised 1-11-17)

This reference list is provided as a courtesy. The list may not contain the most current websites. The most current references must be accessed for up to date information.

Accessible Sidewalk (ADA) http://www.access-board.gov/guidelines-and-standards/streets-sidewalks

Americans with Disabilities Act (ADA) (ADAAG) http://www.ada.gov/2010ADAstandards index.htm

American National Standard Institute, ANSI A300, (Part 1) for Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning), available for purchase <u>http://webstore.ansi.org</u>

Florida Department of Agriculture and Consumer Services, Division of Plant Industry, *Florida Grades and Standards for Nursery Plants 2015* <u>http://www.freshfromflorida.com/Divisions-Offices/Plant-Industry/Bureaus-and-Services/Bureau-of-Plant-and-Apiary-Inspection</u>

Florida Department of Community Affairs (DCA), *Florida Board of Building Codes & Standards, 2010 Florida Building Code, Chapter 11 Florida Accessibility Code for Building Construction Part A*

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http://www2.iccsafe.org/states/florida_codes/

Florida Department of Transportation, FDOT Standard Plans for Road and Bridge Construction, Index 580-001 Landscape Installation http://www.fdot.gov/standardplans/current.pdf

Florida Department of Transportation, FDOT Manual. Section 212. http://www.fdot.gov/standardplans/current.pdf

Florida Department of Transportation, FDOT Standard Plans for Road and Bridge Construction, Index 102-600 Traffic Control through Work Zones http://www.fdot.gov/standardplans/current.pdf

Florida Department of Transportation. FDOT Design Manual Lateral Offset – 215-2.4 Clear Zone Width Requirements – 215.2.3 Lateral Offset Criteria (for Trees) Table 215.2.2 http://www.fdot.gov/roadway/FDM

Florida Department of Transportation, Program Management, Maintenance Specifications Workbook Supplemental Specifications, Section 580 Landscape Installation

http://www.fdot.gov/programmanagement/Maintenance/2017Jan/Files/SS5800000.doc

Department of Transportation, Landscape Architecture Website www.MyFloridaBeautiful.com

Florida Department of Transportation, Maintenance Rating Program Handbook http://www.dot.state.fl.us/statemaintenanceoffice/MaintRatingProgram.shtm

Florida Department of Transportation Outdoor Advertising Database http://www2.dot.state.fl.us/rightofwav/

Florida Exotic Pest Plant Council Invasive Plant Lists http://www.fleppc.org/list/list.htm

Florida Irrigation Society http://www.fisstate.org

Florida Power and Light (FPL), Plant the Right Tree in the Right Place http://www.fpl.com/residential/trees/right_tree_right_place.shtml

Approved

8/24/2020