

PROJECT

826 MERIDIAN AVENUE
MIAMI BEACH

REMODELING AND ADDITION

VARIANCE AND RECLASSIFICATION
REQUEST









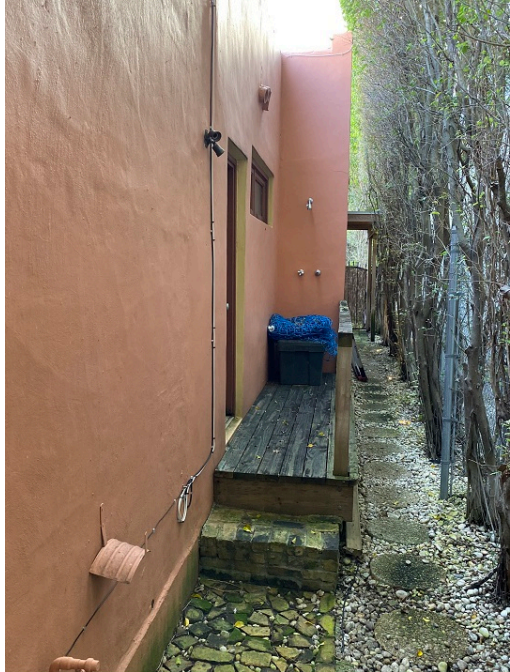














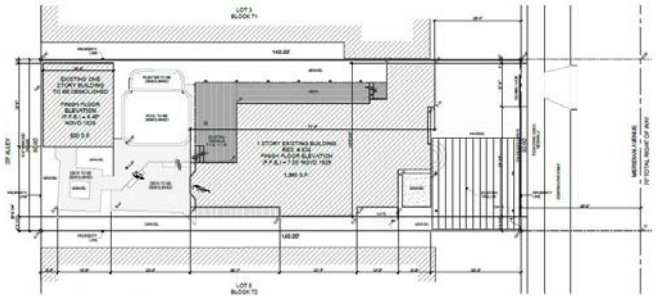
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Code	Description	Minimum Area	Maximum Area	Minimum F.A.R.	Maximum F.A.R.
1	Single-Family Residential	1,000	10,000	0.5	1.0
2	Two-Family Residential	1,000	10,000	0.5	1.0
3	Three-Family Residential	1,000	10,000	0.5	1.0
4	Four-Family Residential	1,000	10,000	0.5	1.0
5	Five-Family Residential	1,000	10,000	0.5	1.0
6	Six-Family Residential	1,000	10,000	0.5	1.0
7	Seven-Family Residential	1,000	10,000	0.5	1.0
8	Eight-Family Residential	1,000	10,000	0.5	1.0
9	Nine-Family Residential	1,000	10,000	0.5	1.0
10	Ten-Family Residential	1,000	10,000	0.5	1.0
11	Commercial	1,000	10,000	0.5	1.0
12	Industrial	1,000	10,000	0.5	1.0
13	Public Use	1,000	10,000	0.5	1.0
14	Community Center	1,000	10,000	0.5	1.0
15	Day Care	1,000	10,000	0.5	1.0
16	Elementary School	1,000	10,000	0.5	1.0
17	High School	1,000	10,000	0.5	1.0
18	College	1,000	10,000	0.5	1.0
19	University	1,000	10,000	0.5	1.0
20	Religious	1,000	10,000	0.5	1.0
21	Health Care	1,000	10,000	0.5	1.0
22	Medical Office	1,000	10,000	0.5	1.0
23	Professional Office	1,000	10,000	0.5	1.0
24	Government Office	1,000	10,000	0.5	1.0
25	Public Office	1,000	10,000	0.5	1.0
26	Public Building	1,000	10,000	0.5	1.0
27	Public Use	1,000	10,000	0.5	1.0
28	Public Use	1,000	10,000	0.5	1.0
29	Public Use	1,000	10,000	0.5	1.0
30	Public Use	1,000	10,000	0.5	1.0
31	Public Use	1,000	10,000	0.5	1.0
32	Public Use	1,000	10,000	0.5	1.0
33	Public Use	1,000	10,000	0.5	1.0
34	Public Use	1,000	10,000	0.5	1.0
35	Public Use	1,000	10,000	0.5	1.0
36	Public Use	1,000	10,000	0.5	1.0
37	Public Use	1,000	10,000	0.5	1.0
38	Public Use	1,000	10,000	0.5	1.0
39	Public Use	1,000	10,000	0.5	1.0
40	Public Use	1,000	10,000	0.5	1.0
41	Public Use	1,000	10,000	0.5	1.0
42	Public Use	1,000	10,000	0.5	1.0
43	Public Use	1,000	10,000	0.5	1.0
44	Public Use	1,000	10,000	0.5	1.0
45	Public Use	1,000	10,000	0.5	1.0
46	Public Use	1,000	10,000	0.5	1.0
47	Public Use	1,000	10,000	0.5	1.0
48	Public Use	1,000	10,000	0.5	1.0
49	Public Use	1,000	10,000	0.5	1.0
50	Public Use	1,000	10,000	0.5	1.0

GENERAL NOTES:
 1. ALL DIMENSIONS ARE PER LANDSCAPE DESIGN AND SITE PLAN.
 2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE DRIVEWAY OR SIDEWALK.

LOT 12 BLOCK 11
 LOT 11 BLOCK 11
 LOT 10 BLOCK 11
 LOT 9 BLOCK 11

EXISTING SITE PLAN
 SCALE 1:100

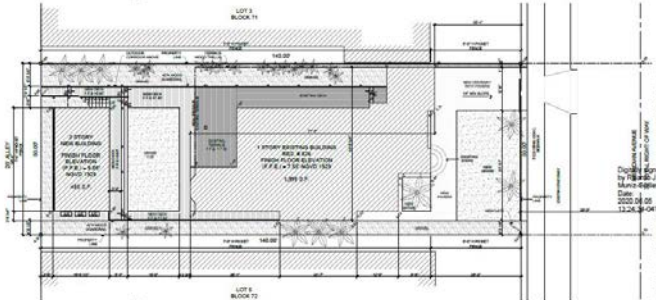


LEGAL DESCRIPTION

LEGAL DESCRIPTION: ALL PER LANDSCAPE DESIGN AND SITE PLAN.
 ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE DRIVEWAY OR SIDEWALK.

LOT 12 BLOCK 11
 LOT 11 BLOCK 11
 LOT 10 BLOCK 11
 LOT 9 BLOCK 11

PROPOSED SITE PLAN
 SCALE 1:100



SECOND FLOOR
 485 SQ. FT.



FIRST FLOOR
 1,895 SQ. FT.

F.A.R. = 0.42 (2,905 SQ. FT.)

F.A.R. DIAGRAM
 N.T.S.



SINGLE FAMILY HOME RENOVATION
 520 MERIDIAN AVE
 MIAMI BEACH, FL 33139



Digitally signed by **Muvs-Design**
 Date: 2020.04.05 13:26:39 -0400

DATE	2020.04.05
TIME	13:26:39 -0400
USER	MUVE
EMAIL	MUVE@MUVE.COM
PHONE	305.444.4444
ADDRESS	520 MERIDIAN AVE, MIAMI BEACH, FL 33139

FINAL SUBMITTAL

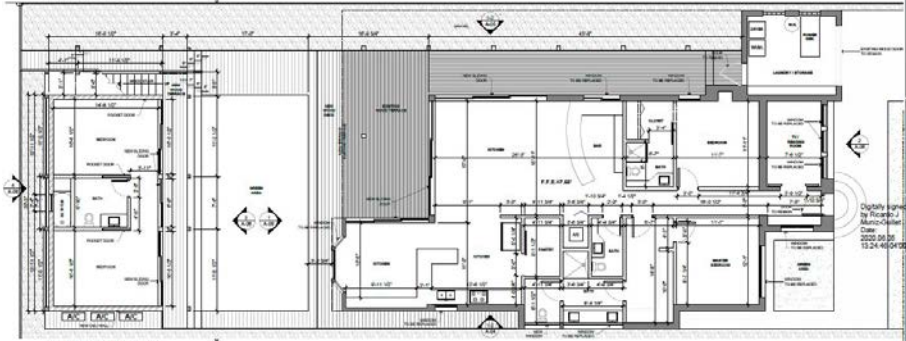


- EXISTING AND STRUCTURES**
1. EXISTING WALLS TO BE REMOVED OR TO REMAIN SHALL BE SHOWN WITH DASHED OR SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 2. NEW PARTITION WALLS SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 3. NEW DRY WALL SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 4. NEW WATER CLOSET SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 5. NEW VANITY SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 6. NEW COUNTER DEPTH SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 7. NEW WINDOW SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 8. NEW WINDOW SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 9. NEW TOILET SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 10. NEW BATHTUB SIZE SHALL BE SHOWN WITH SOLID LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.

- NOTES**
1. NEW LIFT-OUT BATHING WITH SHOWER AND BATHTUB.
 2. EXISTING STRUCTURE OF THE ROOM SHALL BE SHOWN WITH DASHED LINES AND DIMENSIONS TO BE SHOWN WITH DIMENSION LINES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE AND ALL APPLICABLE CODES AND REGULATIONS.
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SINGLE FAMILY HOME RENOVATION
820 MERIDIAN AVE
MIAMI BEACH, FL 33139



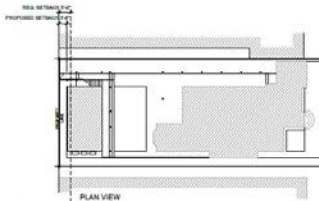
Digitally signed
by Ricardo J. Munoz-Oller
Date: 2020.08.05
13:24:40 -0400

MUVE
REGISTERED ARCHITECT
1000 N. W. 10th Ave., Suite 1000
Miami, FL 33136
Tel: 305.375.1234
www.muve.com



DATE	2020.08.05
BY	RICARDO J. MUNOZ-OLLER
CHECKED	RICARDO J. MUNOZ-OLLER
SCALE	1/4" = 1'-0"
PROJECT	SINGLE FAMILY HOME RENOVATION
CLIENT	820 MERIDIAN AVE, MIAMI BEACH, FL 33139

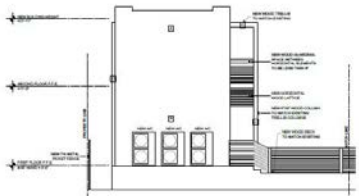
FINAL SUBMITTAL



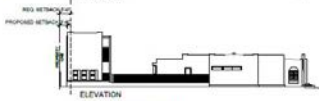
PLAN VIEW

ELEVATION LEGEND	
WALL	FINISH
	BRICK (FACED) FINISH (SEE SECTION FOR FINISH)
	STONE (FACED) FINISH (SEE SECTION FOR FINISH)
	CONCRETE (FACED) FINISH (SEE SECTION FOR FINISH)
	METAL (FACED) FINISH (SEE SECTION FOR FINISH)
	GLASS (FACED) FINISH (SEE SECTION FOR FINISH)

OTHER FINISHES:
 SEE SECTION FOR FINISH (SEE SECTION)
 UNPAVED SURFACES:
 SEE SECTION FOR FINISH (SEE SECTION)
 PAVED DRIVE:
 SEE SECTION FOR FINISH (SEE SECTION)
 NEW ASPHALT AND ALUMINUM DRIVE:
 SEE SECTION FOR FINISH (SEE SECTION)
 EXISTING EXTERIOR WALLS:
 SEE SECTION FOR FINISH (SEE SECTION)
 EXISTING EXTERIOR WALLS:
 SEE SECTION FOR FINISH (SEE SECTION)

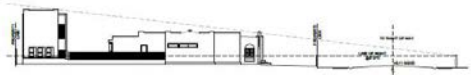


ELEVATION A(2)
SCALE 1/4" = 1'-0"

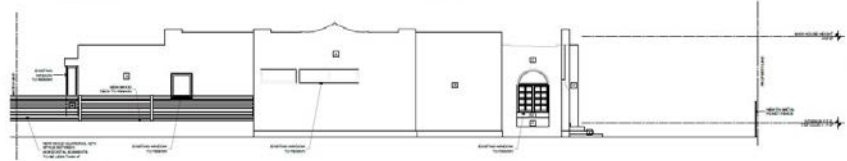


ELEVATION

VARIANCE DIAGRAM
N.T.S.



LINE OF SIGHT DIAGRAM
N.T.S.



ELEVATION A(1)
SCALE 1/4" = 1'-0"



SINGLE FAMILY HOME RENOVATION
 528 MERIDIAN AVE.
 MIAMI BEACH, FL 33139



Digitally signed by Ricardo J. Muris-Ouellet
 Date: 2020.06.05 13:24:52 -0400



























