

SINGLE FAMILY HOME RENOVATION
826 MERIDIAN AVE. RESIDENCE
 826 MERIDIAN AVE. MIAMI BEACH, FLORIDA. 33139



2030 HABERSHAM TRCE
 CUMMING, GA 30041
 PHONE: (954) 812-6650
 WWW.MUVEARCH.COM
 AA#26003161

PROJECT DESCRIPTION

SINGLE FAMILY HOME ADDITION AND RENOVATION

SCOPE OF WORK NOTES

1. NEW 2 STORY BUILDING WITH BEDROOM AND BATHROOM.
2. INTERIOR RENOVATION OF THE MAIN HOUSE.
3. THE STRUCTURE AND SHELL OF THE EXISTING MAIN HOUSE IS EXISTING TO REMAIN.
4. EVERY WINDOW TO BE REPLACED WITH IMPACT RATED WINDOWS.
5. NEW WOOD TERRACE TO MATCH EXISTING TERRACE.
6. NEW DRIVEWAY AS PER CODE OF ORDINANCE.
7. NEW PERIMETER FENCE AS PER CODE OF ORDINANCE.
8. NEW DECK TO MATCH THE EXISTING.

SITE INFORMATION

FOLIO	02-4203-009-4520
ADDRESS	826 MERIDIAN AVE. MIAMI BEACH, FL 33139
LEGAL DESC.	LOT 4, IN BLOCK 71, OF OCEAN BEACH ADDITION NO.3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
LOT SIZE	7,000 S.F.
ZONING	RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY
LAND USE	01-SINGLE FAMILY

BUILDING INFORMATION

FLOORS	2
LIVING UNITS	1
BLDG UNDER AIR	2,787 S.F.
BEDS / BATHS / HALF	6 / 4 / 1
COVERED AREA	3,117 S.F. (44.5%)

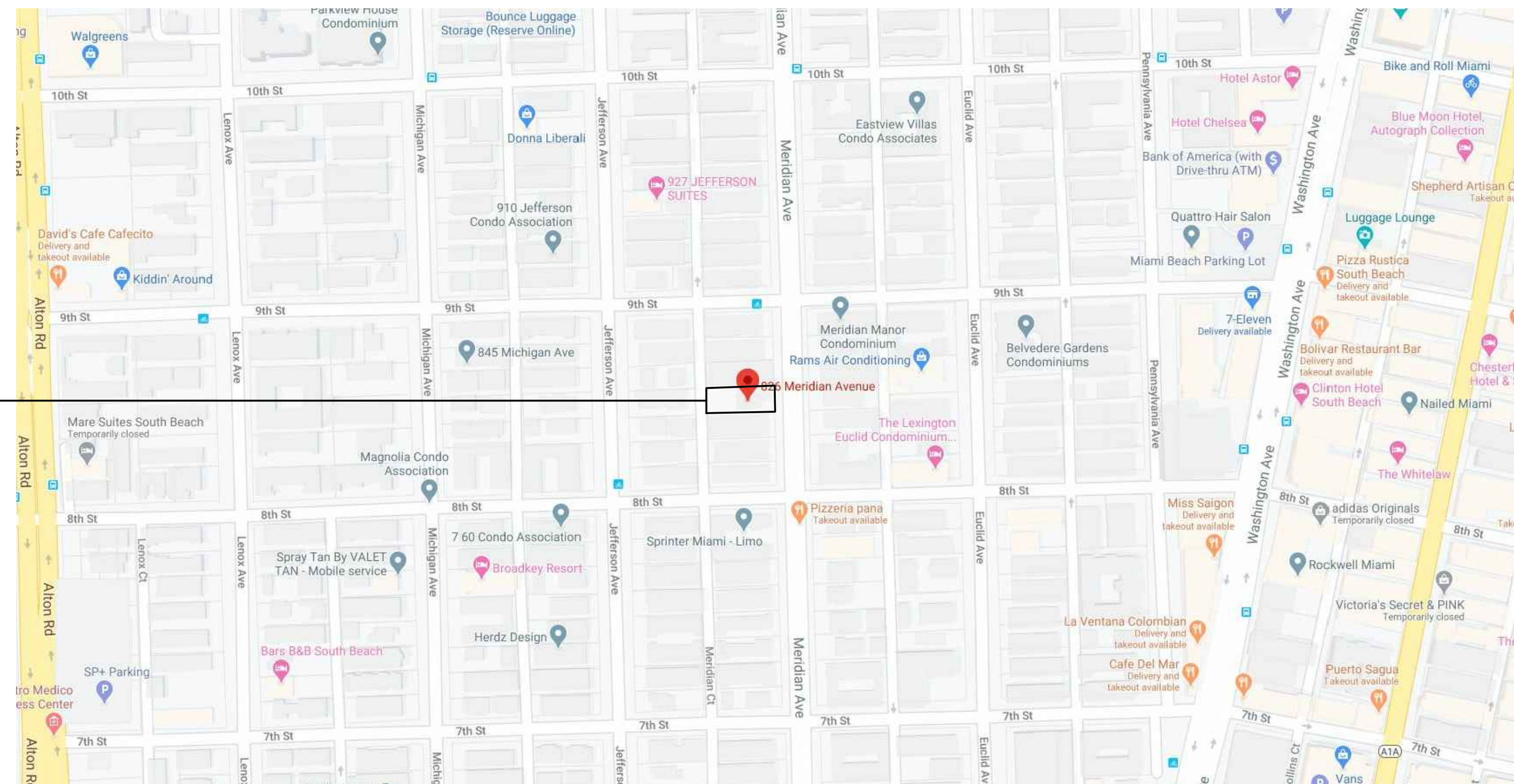
DRAWING INDEX

DISCIPLINE	SHEET NUMBER	SHEET NAME
INDEX	A-0	COVER SHEET
ARCHITECTURE	A-01	SITE PLAN EXISTING & PROPOSED
	A-02	EXISTING FLOOR PLAN
	A-03	PROPOSED FLOOR PLAN
	A-04	ELEVATION A AND DIAGRAMS
	A-05	ELEVATION B
	A-06	ELEVATIONS C, D, E & F
	A-07	ELEVATIONS COMPARISON
LANDSCAPE	L-1	LANDSCAPE PLAN
	L-2	LANDSCAPE DETAILS
	L-3	TREE PRESERVATION PLAN

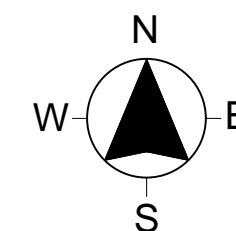
CODE INFORMATION

CODES	EDITION
BUILDING	2017 FLORIDA BUILDING CODE (6TH EDITION)
MECHANICAL	2017 FLORIDA MECHANICAL CODE
PLUMBING	2017 FLORIDA PLUMBING CODE
ELECTRICAL	2017 NATIONAL ELECTRIC CODE (6TH EDITION)
GAS	2017 FLORIDA BUILDING CODE
ENERGY CONSERVATION	2017 ENERGY CONSERVATION CODE
ACCESSIBILITY	2017 FLORIDA ACCESSIBILITY CODE
FIRE CODE	FLORIDA FIRE PREVENTION CODE - NFPA 1
LIFE SAFETY	FLORIDA FIRE PREVENTION CODE - NFPA 101

PROJECT LOCATION



LOCATION MAP
 N.T.S.



FINAL SUBMITTAL

REVISIONS		
#	DESCRIPTION	DATE
1	CITY COMMENTS	07.06.20



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PROFESSIONAL SEAL

DRAWN
 CT
 EDIT DATE
 XXXXXX
 ISSUE DATE
 08.05.2020
 SCALE
 As Noted
 JOB NUMBER
 20-021

SHEET NAME
 COVER SHEET

SHEET NUMBER

A-0

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Project Information				
1	Address:	826 MERIDIAN AVENUE		
2	Board and file numbers:			
3	Folio number(s):	02-4203-009-4520		
4	Year constructed:	1923	Zoning District:	RM-1 SINGLE FAMILY RESIDENTIAL
5	Based Flood Elevation:	EL 8	Grade value in NGVD:	4.61' NGVD
6	Adjusted grade (Flood+Grade/2):	$\frac{8+4.61}{2} = 10.305$	Lot Area:	7,000 S.F.
7	Lot width:	50'-0"	Lot Depth:	140'-0"
8	Minimum Unit Size	2,965 S.F.	Average Unit Size	2,965 S.F.
9	Existing use:	01 SINGLE FAMILY	Proposed use:	01- SINGLE FAMILY
Zoning Information / Calculations				
10	Height	35'-0"	15'-2"	25'-6"
11	Number of Stories	2	1	2
12	FAR	1.25	0.36	0.42
13	Gross square footage	8,750 S.F.	2,495 S.F.	2,965 S.F.
14	Min. Lot Width	50'-0"	50'-0"	50'-0"
15	Number of units Residential	2	1	1
Setbacks				
16	Side Setback:	5'-0"	1'-1 3/4"	1'-1 3/4"
17	Side Setback facing street:	20'-0"	25'-1"	25'-1"
18	Rear Setback:	14'-0"	0'-8 1/2"	3'-6"
19	Is this a contributing building?	YES		
20	Located within a Local Historic District?	YES, FLAMINGO PARK LOCAL HISTORIC DISTRICT		

GROSS SQUARE FOOTAGE INCLUDING EXTERIOR WALKWAYS:

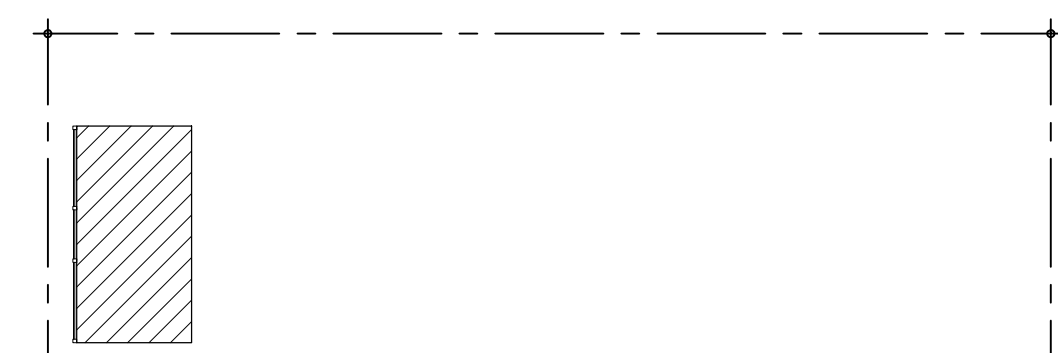
BUILDINGS AREA	2,965 S.F.
PAVERS	635 S.F.
WOODS DECK	1,100 S.F.
TOTAL	4,700 S.F.
TOTAL IMPERVIOUS AREA:	3,115 S.F.

SITE PLAN NOTES

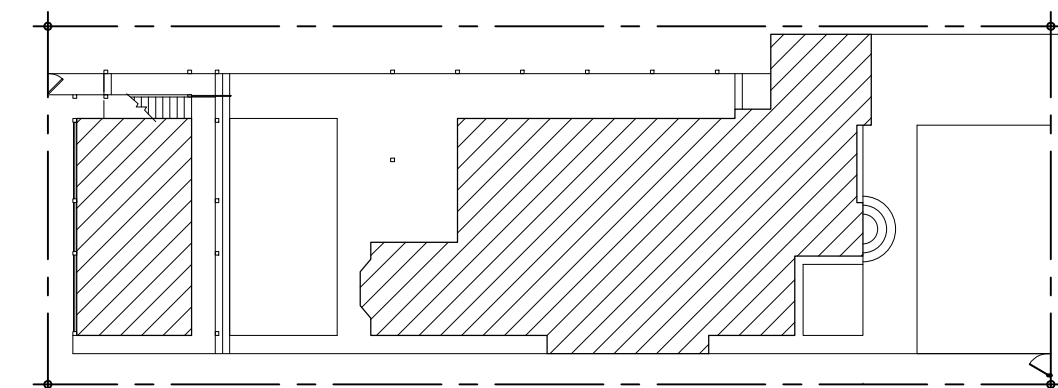
- SEE LANDSCAPE PLAN FOR LANDSCAPING DESIGN AND DETAILS.
- FOR EXISTING TREES SEE TREE SURVEY AND TREE DISPOSITION PLAN.
- ALL STORMWATER RUNOFF MUST BE RETAINED WITHIN OUR PRIVATE PROPERTY AND THE ANY PROPOSED ON-SITE STORMWATER SYSTEM MUST HOLD A 10-YEAR, 24-HOUR RAINFALL EVENT WITH AN INTENSITY OF 8.75 INCHES OF RAINFALL.

LEGAL DESCRIPTION

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SECOND FLOOR
485 SQ.FT.



FIRST FLOOR
1,995 SQ.FT.

F.A.R. = 0.42 (2,965 SQ.FT.)

3 F.A.R. DIAGRAM
A-01 N.T.S.

LOT 12
BLOCK 71

LOT 11
BLOCK 71

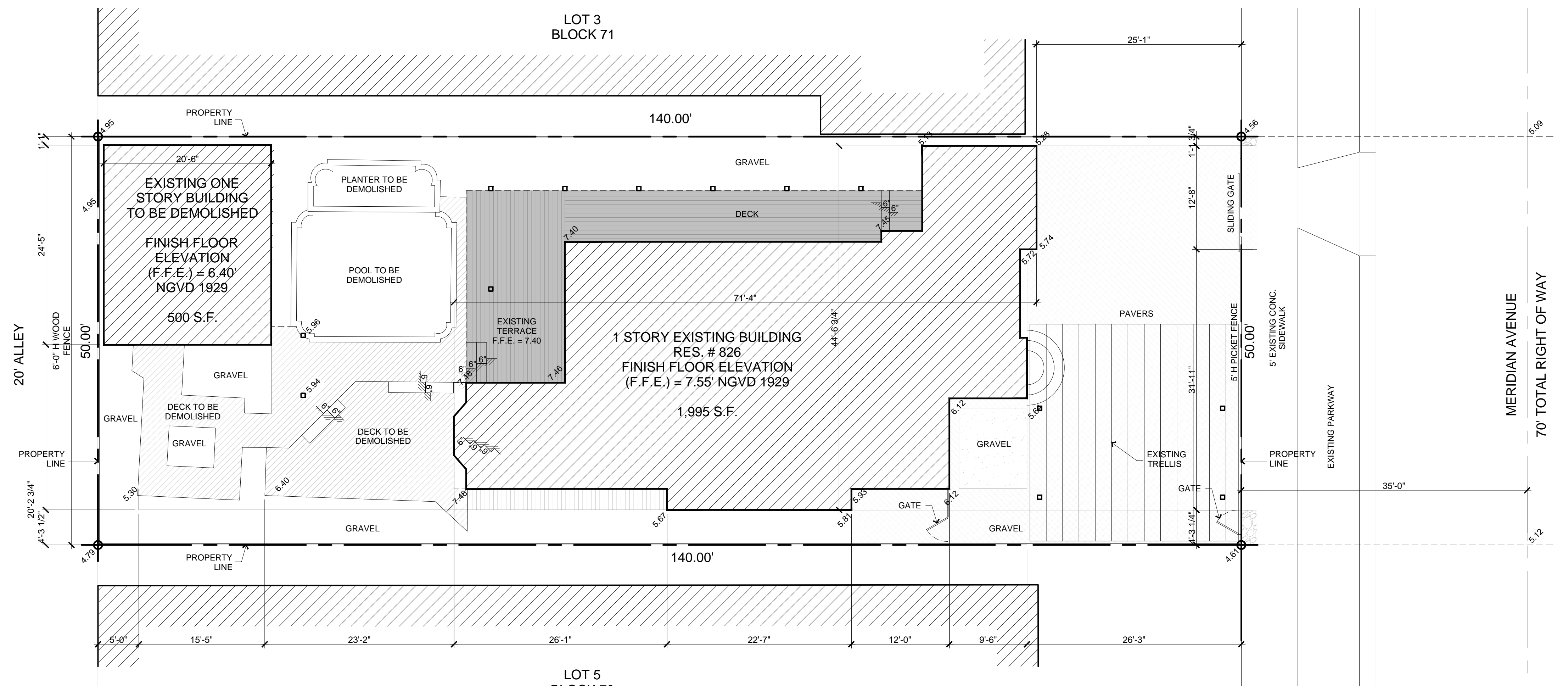
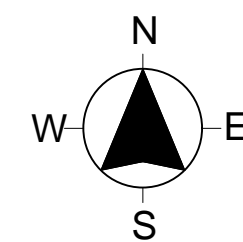
LOT 10
BLOCK 71

LOT 12
BLOCK 71

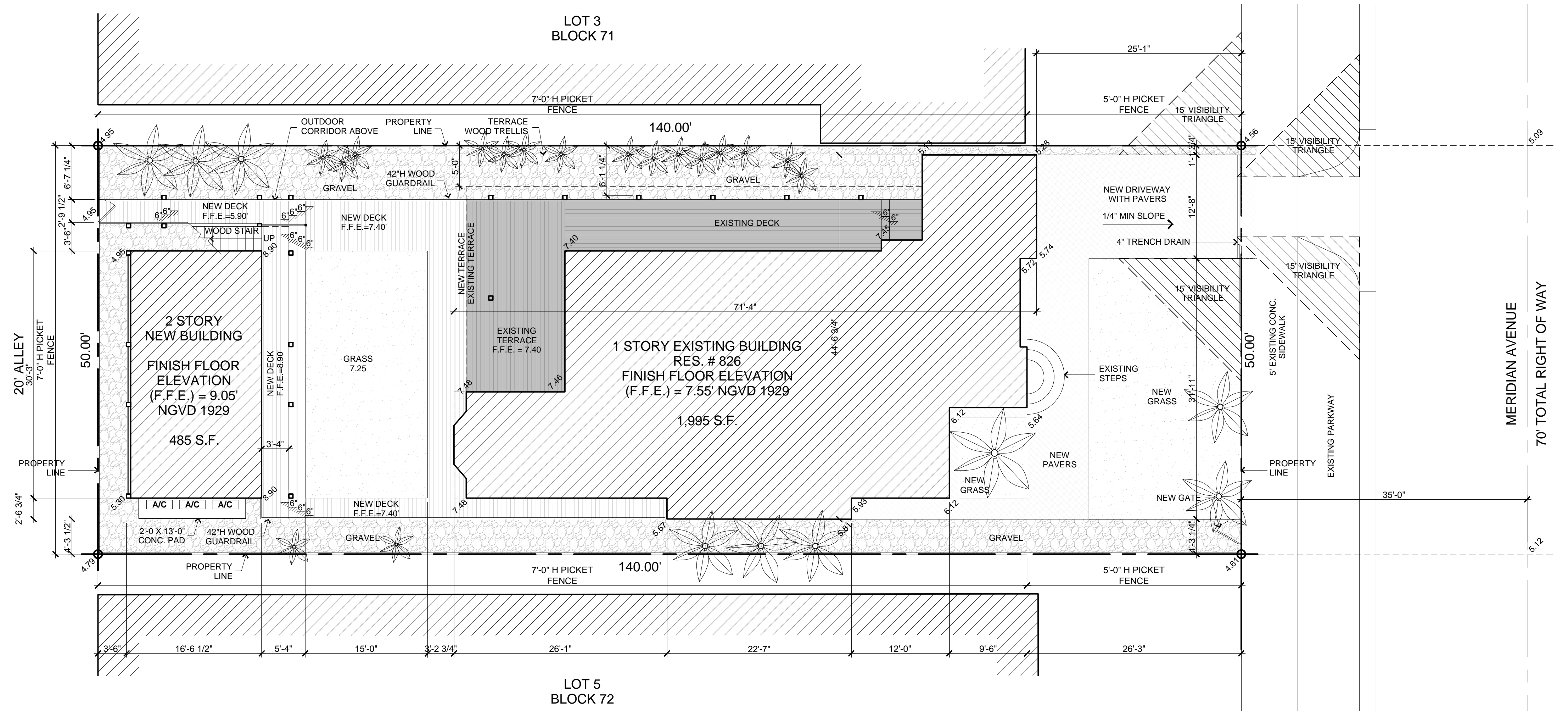
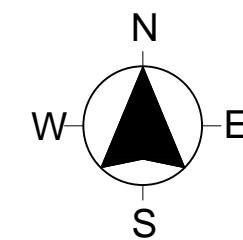
LOT 11
BLOCK 71

LOT 10
BLOCK 71

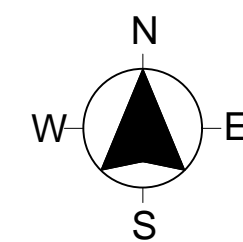
1 PROPOSED SITE PLAN
A-01 SCALE 1:100



2 EXISTING SITE PLAN
A-01 SCALE 1:100



3 F.A.R. DIAGRAM
A-01 N.T.S.



FINAL SUBMITTAL

REVISIONS

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1	CITY COMMENTS	07.06.20

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PROFESSIONAL SEAL

DRAWN: CV
EDIT DATE: XX-XX-XX
ISSUE DATE: 08.05.2020
SCALE: As Noted
JOB NUMBER: 20-021
SHEET NAME: SITE PLAN
SHEET NUMBER: A-01

REVISIONS	
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SHEET NAME	PROPOSED FLOOR PLAN
SHEET NUMBER	

A-03

FINAL SUBMITTAL

SCOPE OF WORK NOTES

- NEW 2 STORY BUILDING WITH BEDROOM AND BATHROOM.
- INTERIOR RENOVATION OF THE MAIN HOUSE
- THE STRUCTURE AND SHELL OF THE EXISTING MAIN HOUSE IS EXISTING TO REMAIN.
- EVERY WINDOW TO BE REPLACED WITH IMPACT RATED WINDOWS.
- NEW WOOD TERRACE TO MATCH EXISTING TERRACE.

CODES AND STANDARDS

- BUILDING CODE IS THE 2017 FLORIDA BUILDING CODE . ALL WIND LOADS ARE DESIGNED AS PER MINIMUM OF 175 MPH, 3 SECOND GUST, EXPOSURE C, ASCE 7-10
- BASED ON RATIONAL ANALYSIS, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BLDG. CODES & FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY & IN ACCORDANCE WITH THE FBC, 2017 EDITION.
- EVERY GLAZING PANEL WITH MORE THAN 9 SQUARE FEET SHALL BE CAT II SAFETY GLAZING AS PER FBC R308.
- ALL WOOD IN CONTACT WITH MASONRY TO BE PRESSURE TREATED (P.T.)
- BATHTUB AND SHOWER FLOORS, WALL ABOVE BATHTUB WITH SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE UP TO A HIGH OF NOT LESS THAN SIX (6) FEET ABOVE FINISH FLOOR TO COMPLY WITH FBC 2017.
- ALL NEW FINISHES (WALL/CEILING/FLOOR) OTHER THAN PAINT TO COMPLY WITH FBC 2017 803 AND FBC 2017 804.
- IN AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE, THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SUCH CLEAR OPENING SHALL BE NOT LESS THAN 20" IN 24" IN HEIGHT, 5.7 SQ. FT. IN AREA THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE FINISHED FLOOR.
- ALL WORK SHALL CONFORM WITH LATEST REQUIREMENTS OF FLORIDA BUILDING CODE, NATIONAL ELECTRIC CODE, NATIONAL FIRE PROTECTION ASSOCIATION, O.S.H.A. AND ALL OTHER CODES HAVING CONTROL OVER THE PROJECT.
- A/C EQUIPMENT DO NOT EXCEED 5'-0" FROM BFE+1 (+9.00') AND 10'-0" FROM GRADE (+4.61')

LEGEND

EXISTING WALL TO REMAIN

NEW PARTITION WALLS

NEW 8" CMU WALL

W.H. WATER HEATER

NEW RANGE

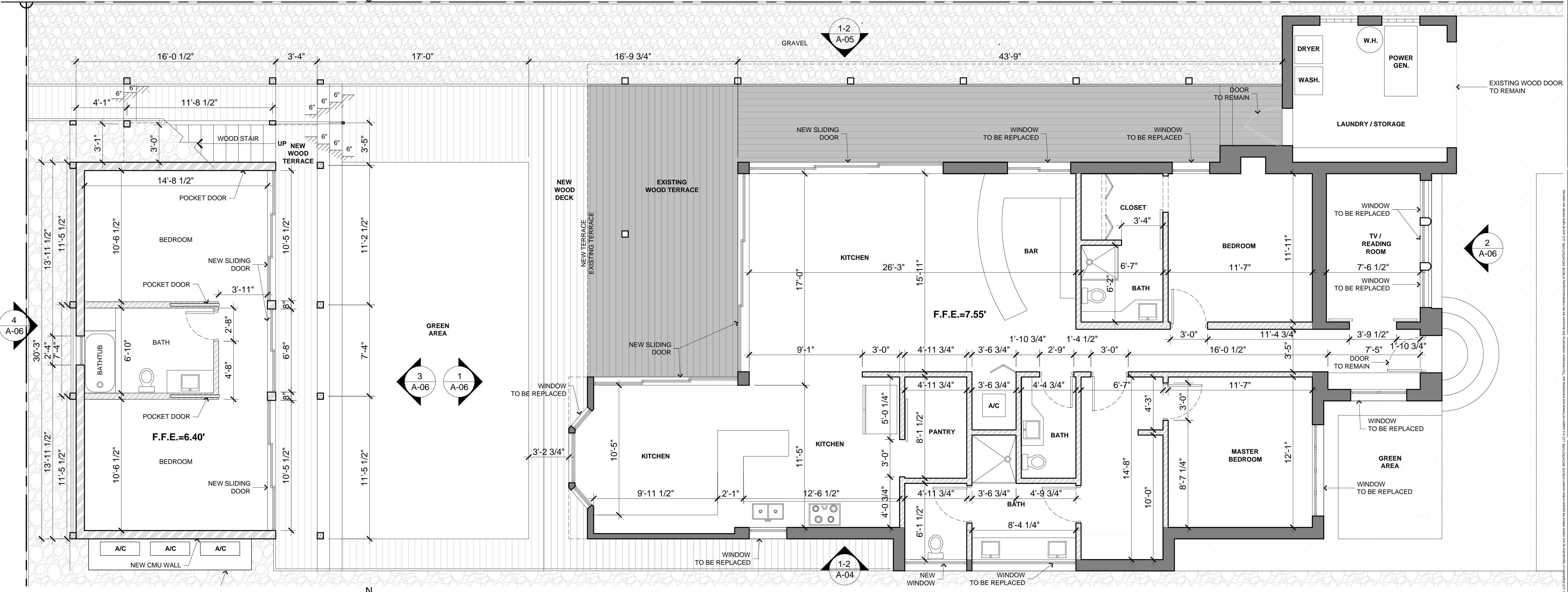
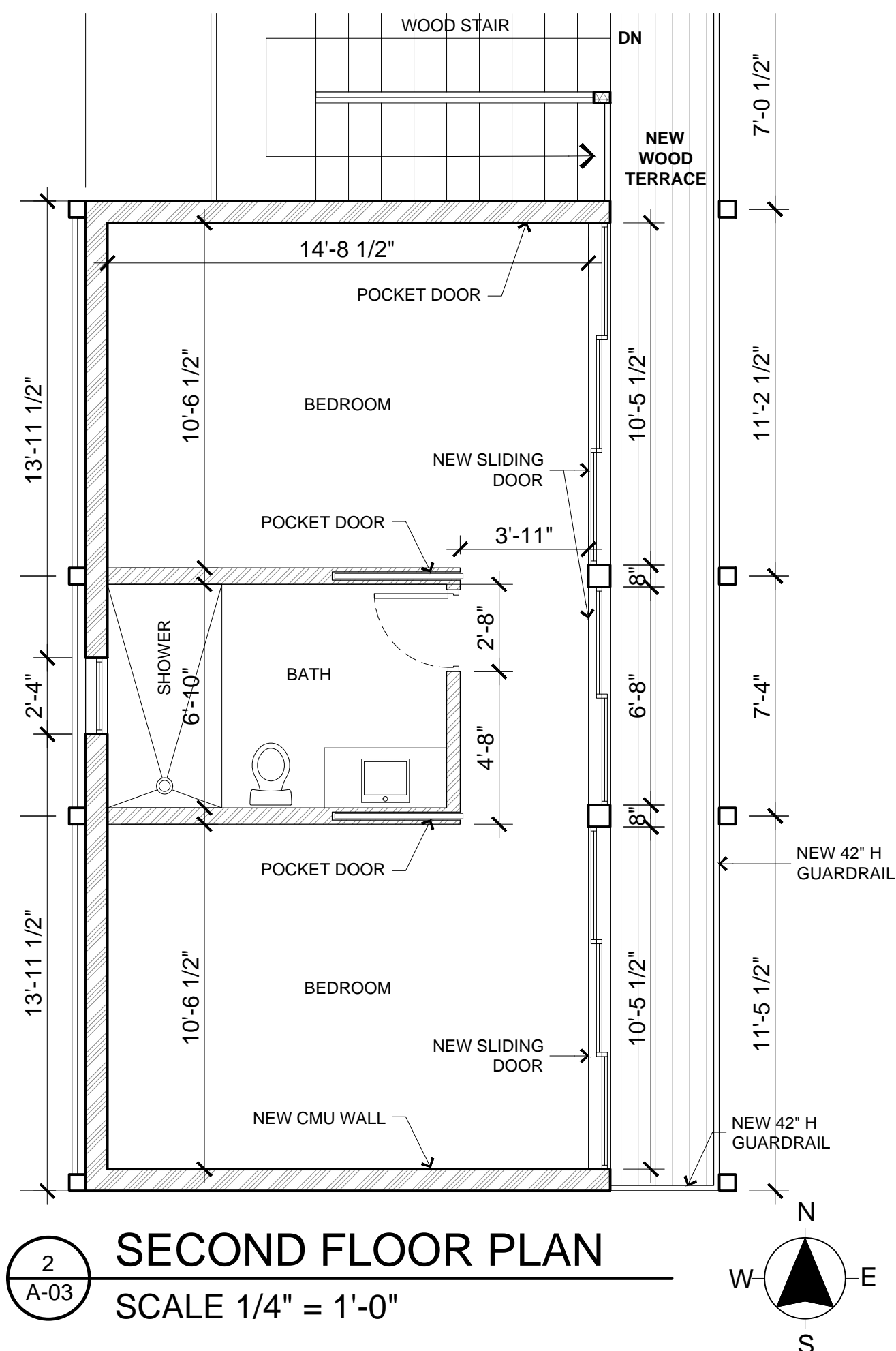
NEW COUNTER DEPTH REFRIGERATOR

NEW SHOWER

NEW BATHTUB

NEW TOILET

NEW BATHROOM SINK



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

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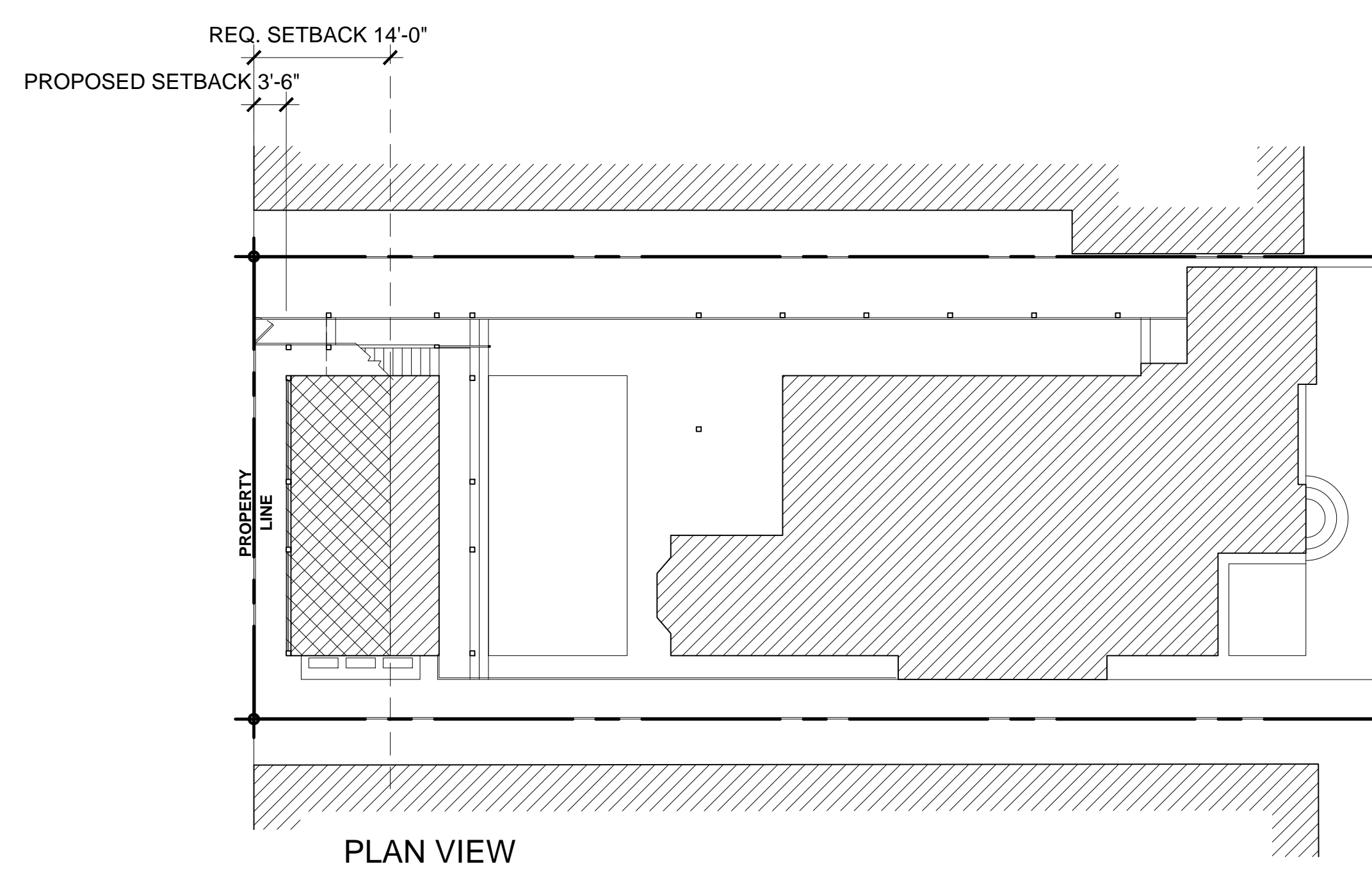
SHEET NAME
ELEVATION A

SHEET NUMBER

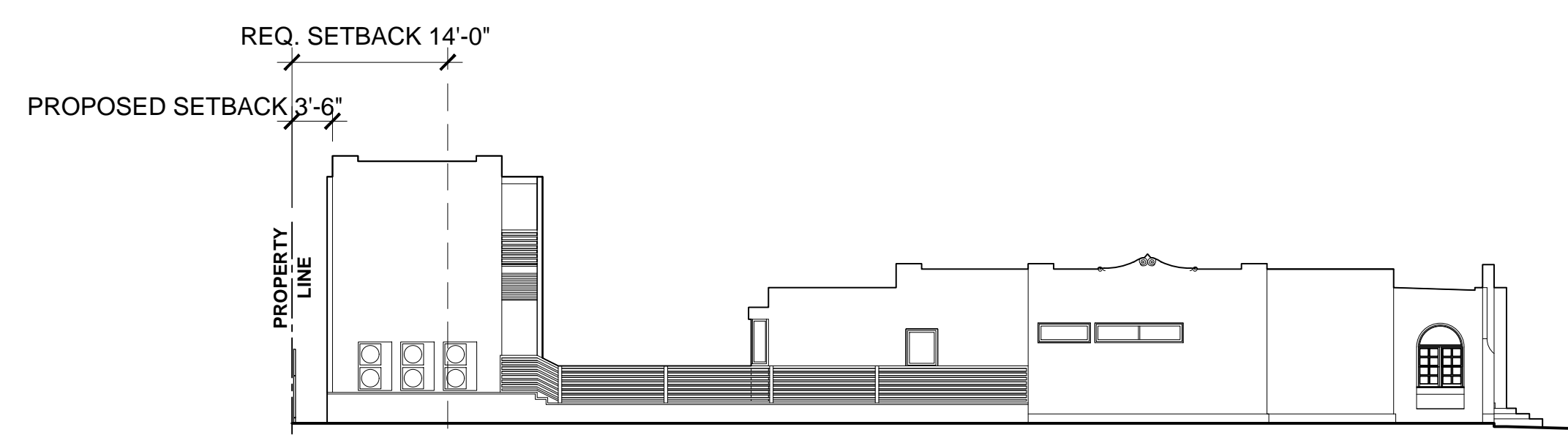
A-04

ELEVATION LEGEND	
MKD	FINISH
A	STUCCO FINISH PAINTED WITH SW 7507 STONE LION BY SHERWIN-WILLIAMS. STUCCO TEXTURE TO REMAIN.
B	STUCCO FINISH PAINTED WITH SW 9109 NATURAL LINEN BY SHERWIN-WILLIAMS. STUCCO TEXTURE TO REMAIN.
C	NATURAL WOOD FINISH CUMARU HARD WOOD. OILED

- OTHER FINISHES**
- WOOD TRELLIS**
CUMARU HARD WOOD. NATURAL. OILED
- WOOD DECK (TERRACE)**
CUMARU HARD WOOD. NATURAL. OILED
- PICKET FENCE**
ANODIZED ALUMINUM. BRONZE
- NEW WINDOWS AND SLIDING DOORS**
WOOD TEXTURES ALUMINUM OR PVC WINDOW FRAMES AND RAILS WITH INSULATED LOW-I GLASS PANE.
- EXISTING EXTERIOR DOORS**
NATURAL WOOD COLOR
- DRIVEWAY**
OLD CHICAGO PAVERS



PLAN VIEW



ELEVATION

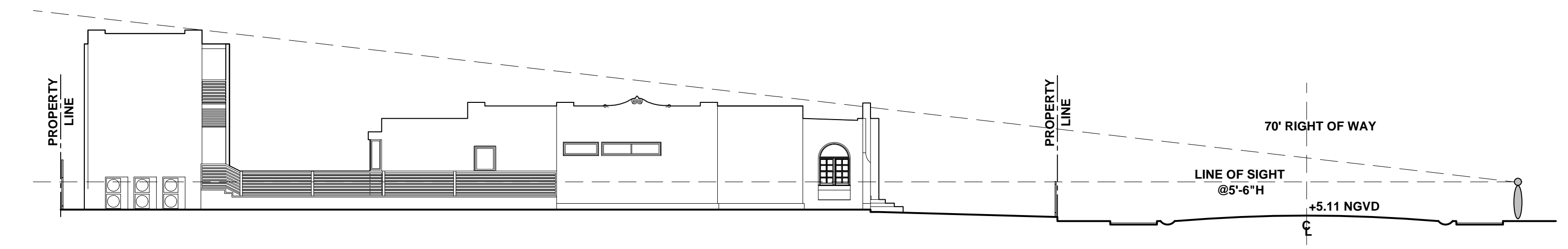
VARIANCE FOR AREA OF THE BUILDING ON REAR SETBACK:

REQUIRED REAR YARD AREA:	750 S.F. (100%)
MAX. AREA ALLOWED:	225 S.F. (30%)
AREA OF THE NEW BUILDING	320 S.F. (45%)
DIFFERENCE:	95 S.F. (12%)

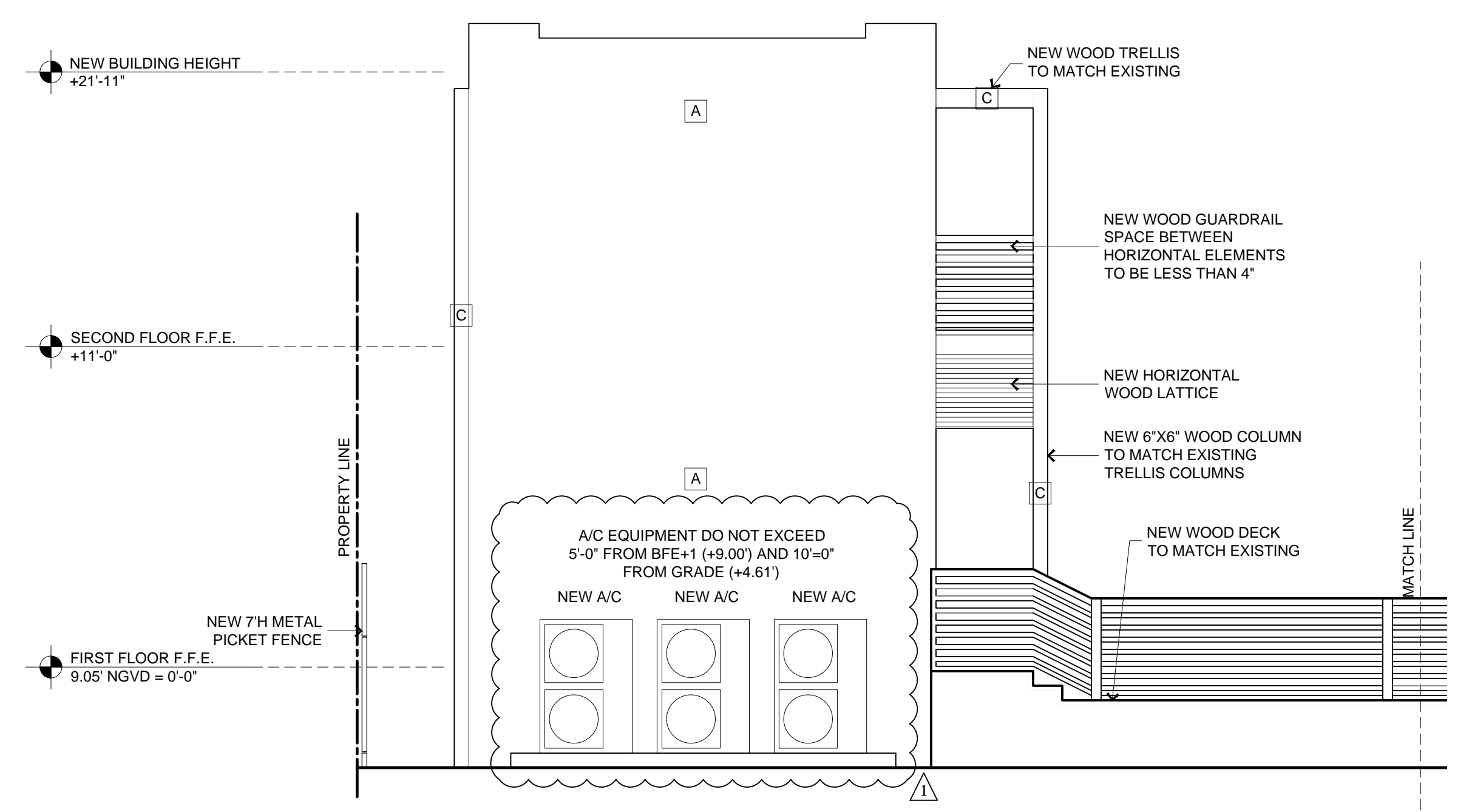
VARIANCE FOR REAR SETBACK DISTANCE:

REQUIRED SETBACK:	14'-0"
PROVIDED SETBACK:	3'-6"
DIFFERENCE:	10'-6"

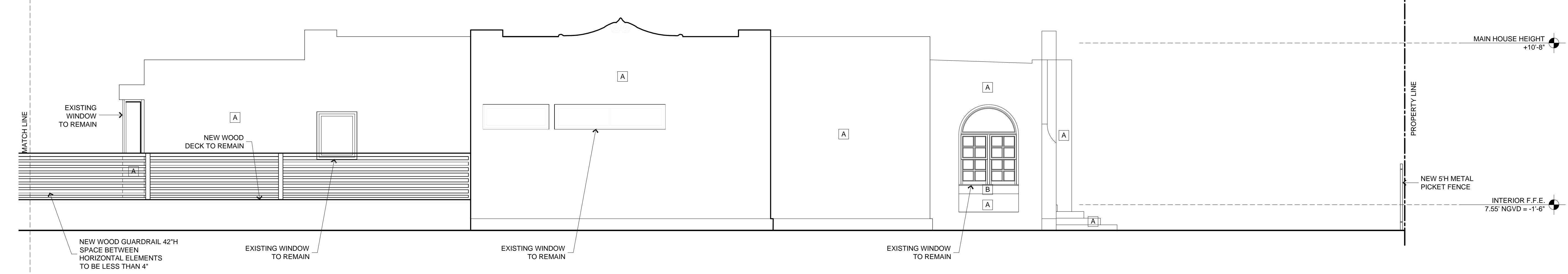
VARIANCE DIAGRAM
4
A-04
N.T.S.



LINE OF SIGHT DIAGRAM
3
A-04
N.T.S.

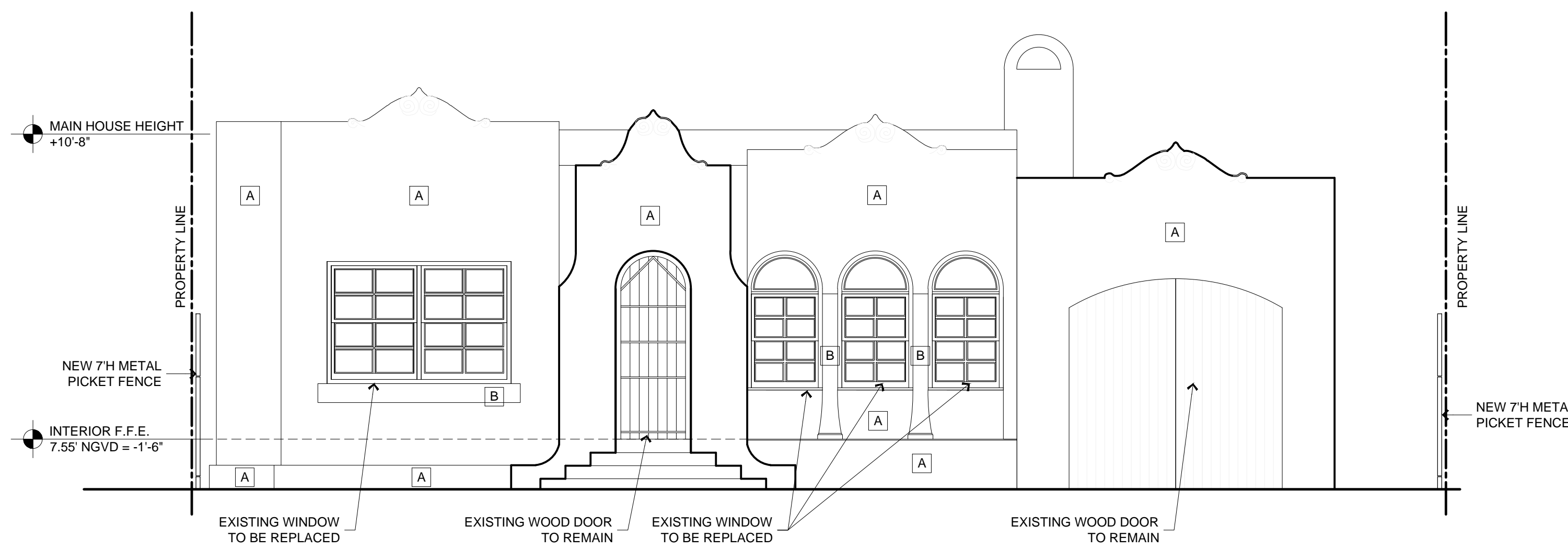


ELEVATION A(2)
2
A-04
SCALE 1/4" = 1'-0"

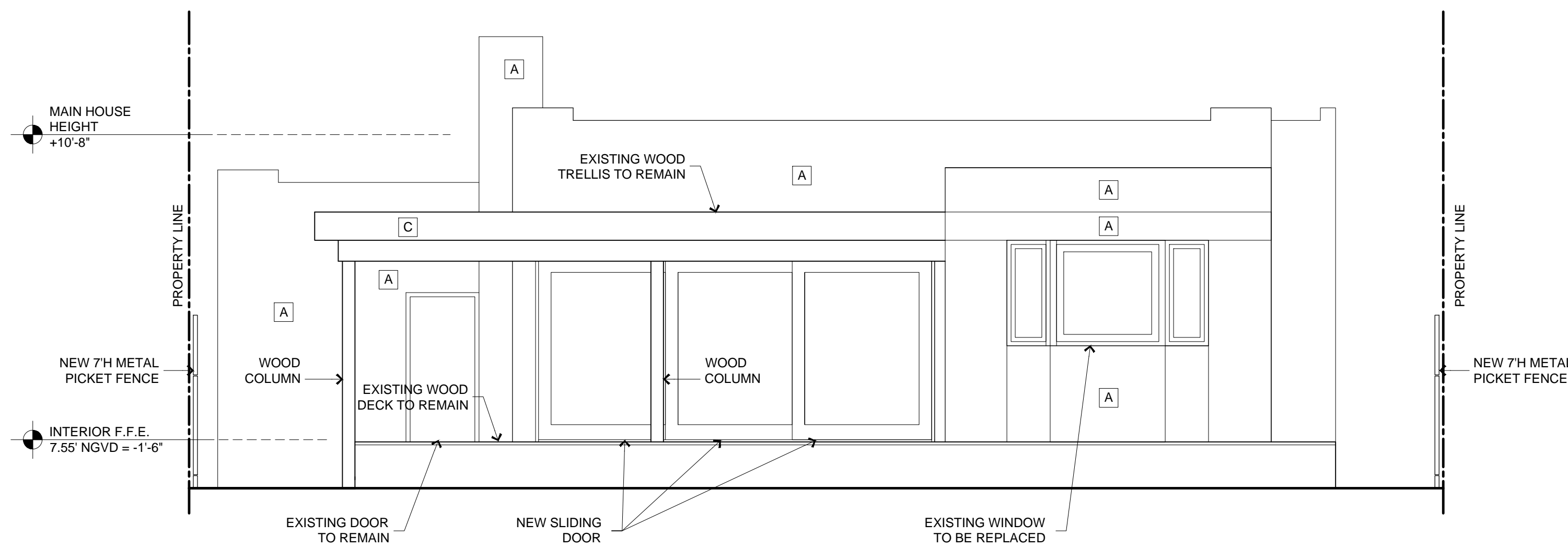


ELEVATION A(1)
1
A-04
SCALE 1/4" = 1'-0"

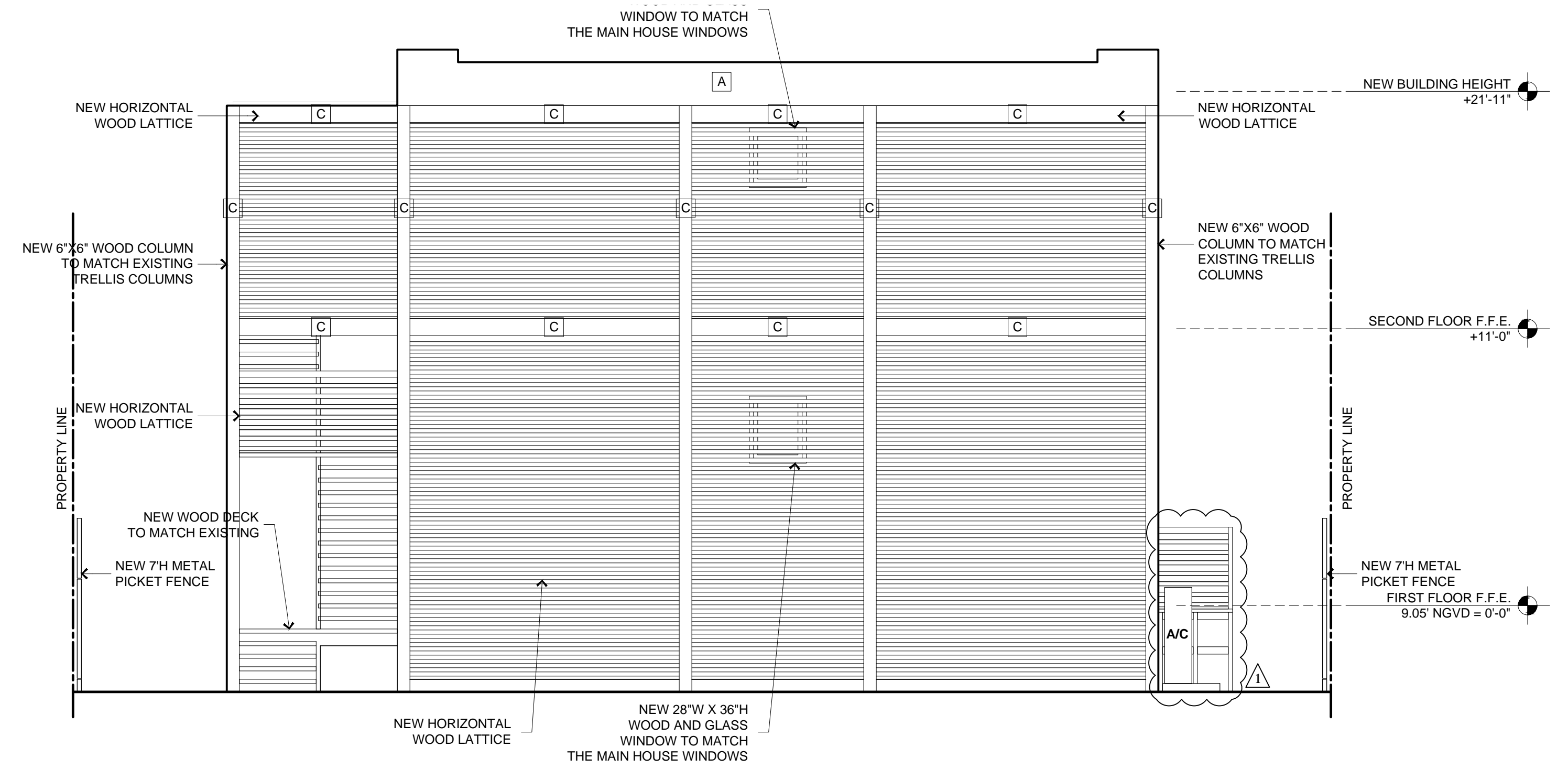
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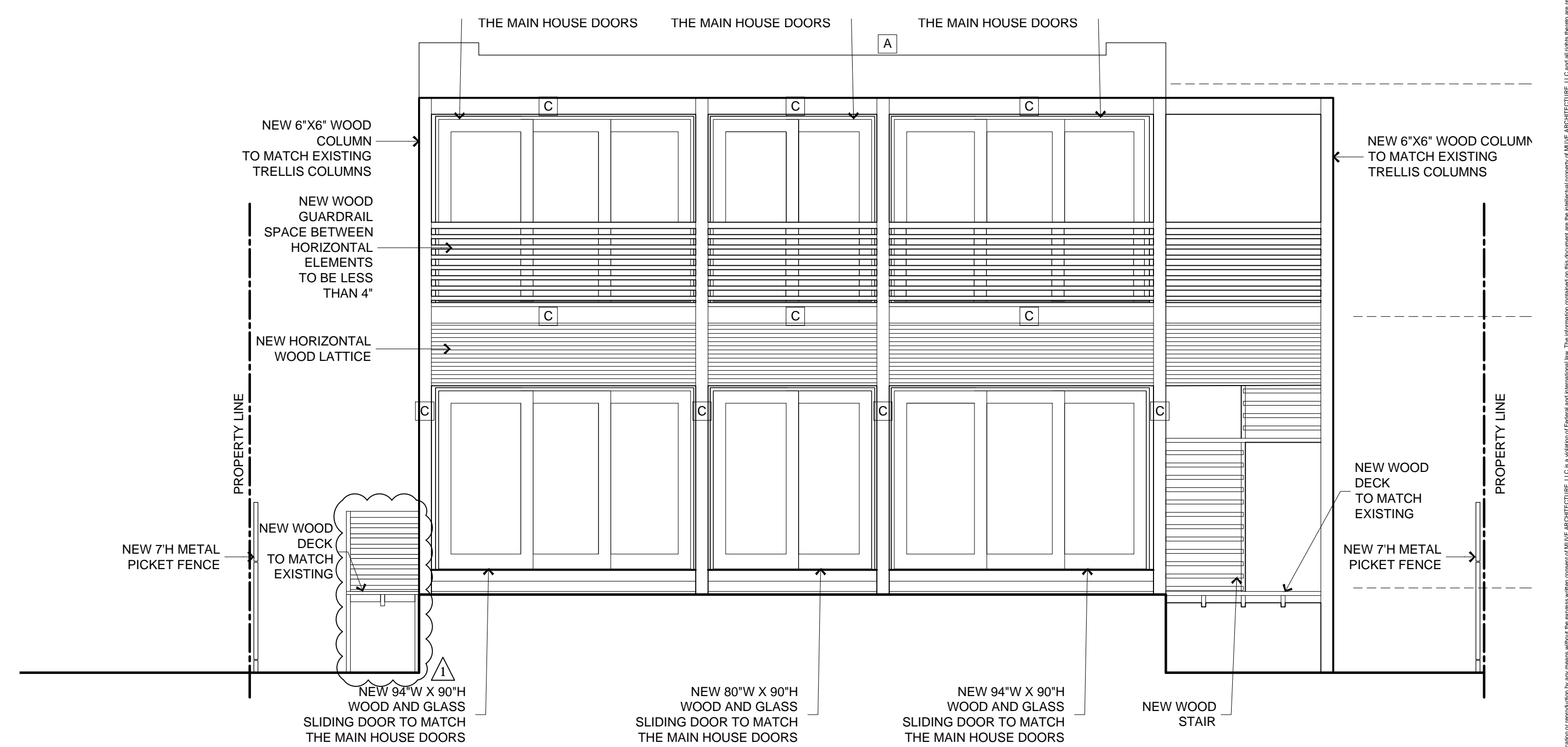
2
A-06
ELEVATION C
SCALE 1/4" = 1'-0"



1
A-06
ELEVATION D
SCALE 1/4" = 1'-0"



4
A-06
ELEVATION E
SCALE 1/4" = 1'-0"



3
A-06
ELEVATION F
SCALE 1/4" = 1'-0"

ELEVATION LEGEND	
MKD	FINISH
A	STUCCO FINISH PAINTED WITH SW 7507 STONE LION BY SHERWIN-WILLIAMS. STUCCO TEXTURE TO REMAIN.
B	STUCCO FINISH PAINTED WITH SW 9109 NATURAL LINEN BY SHERWIN-WILLIAMS. STUCCO TEXTURE TO REMAIN.
C	NATURAL WOOD FINISH CUMARU HARD WOOD. OILED

- OTHER FINISHES**
- WOOD TRELLIS**
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SHEET NAME
ELEVATION C, D, E & F

SHEET NUMBER

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A-06

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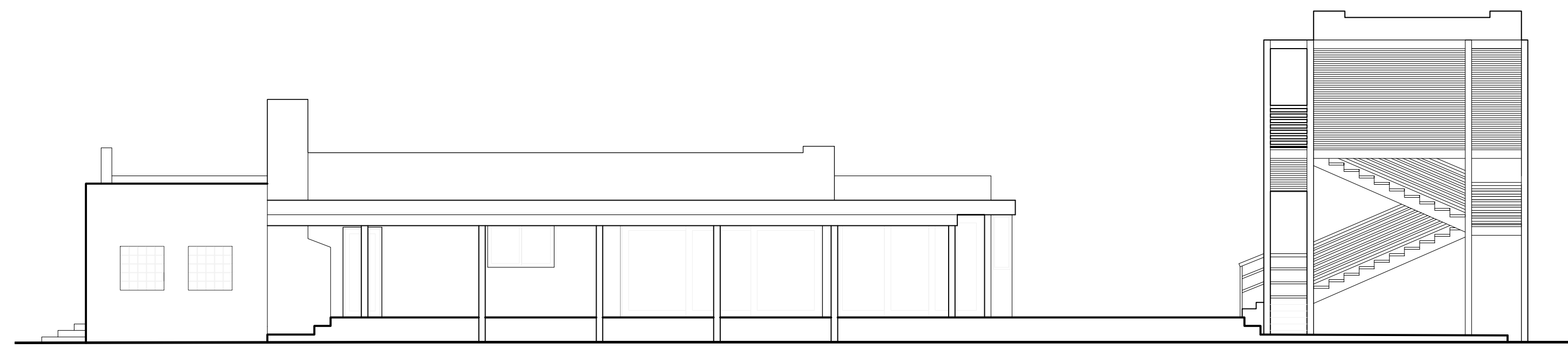
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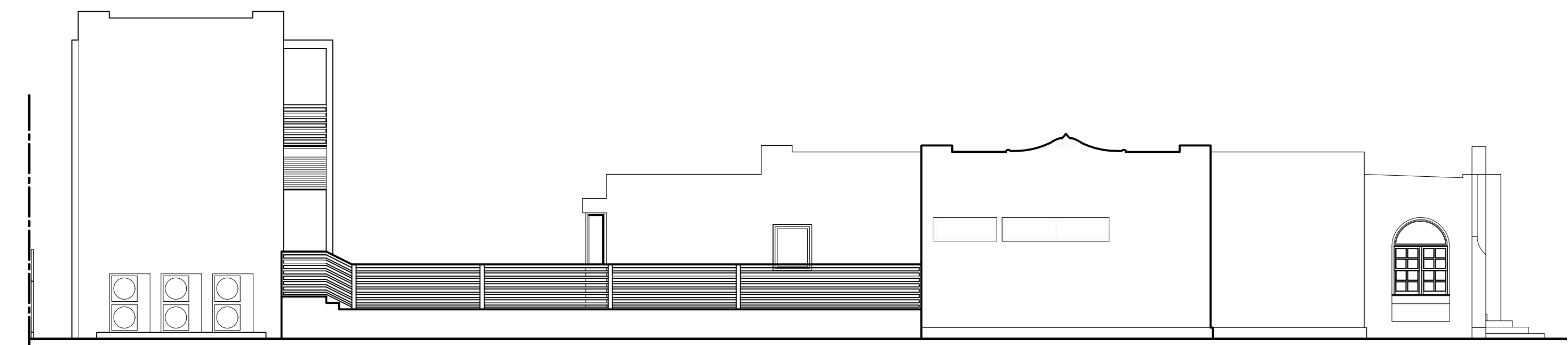
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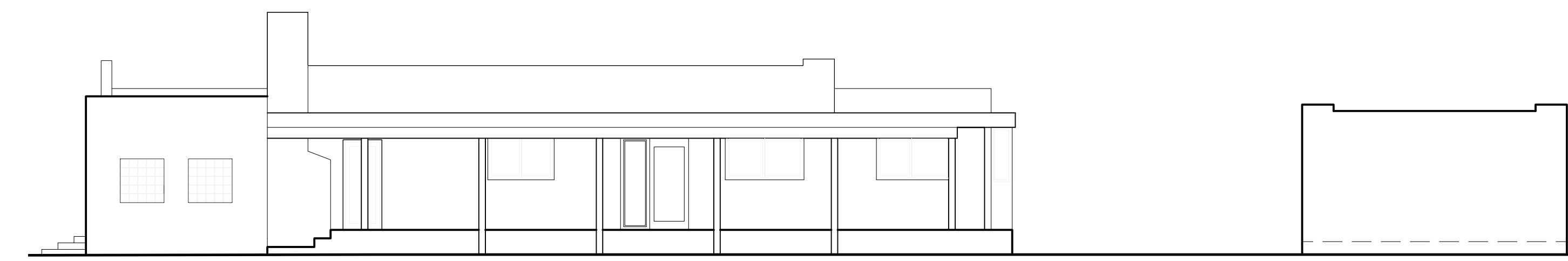
SHEET NAME
ELEVATIONS
COMPARISON
SHEET NUMBER



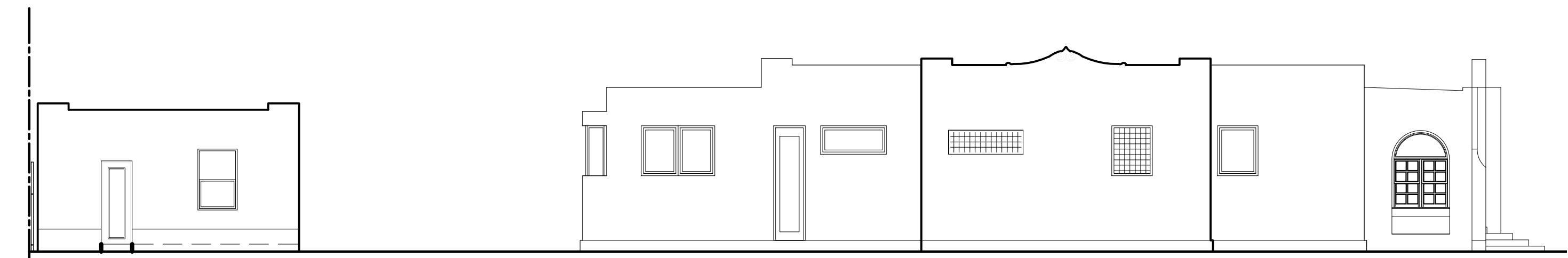
10 PROPOSED NORTH
SCALE 1/8" = 1'-0"



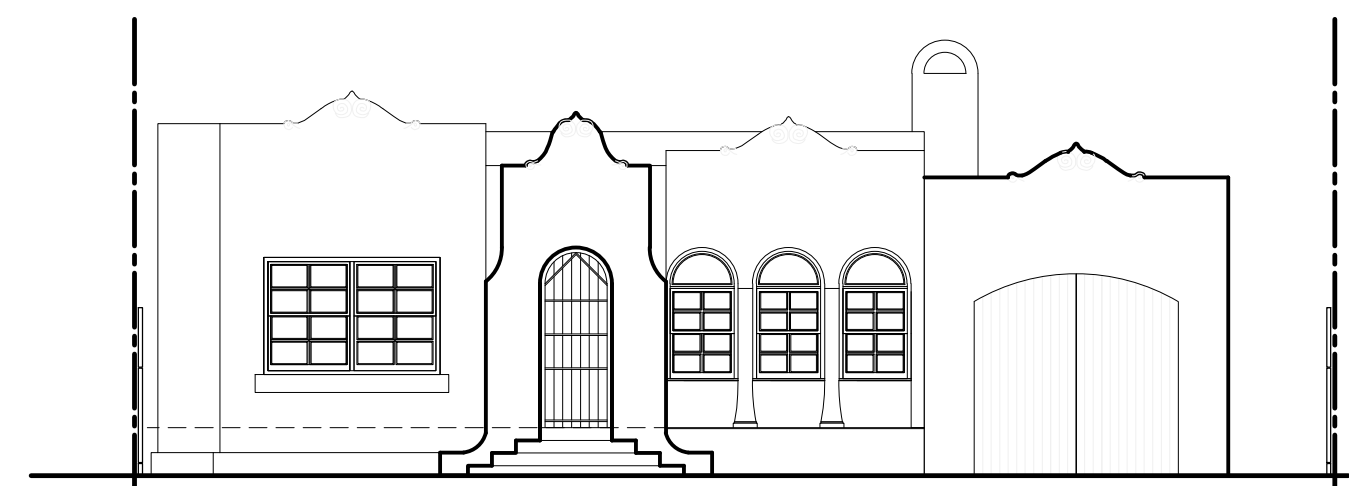
12 PROPOSED SOUTH
SCALE 1/8" = 1'-0"



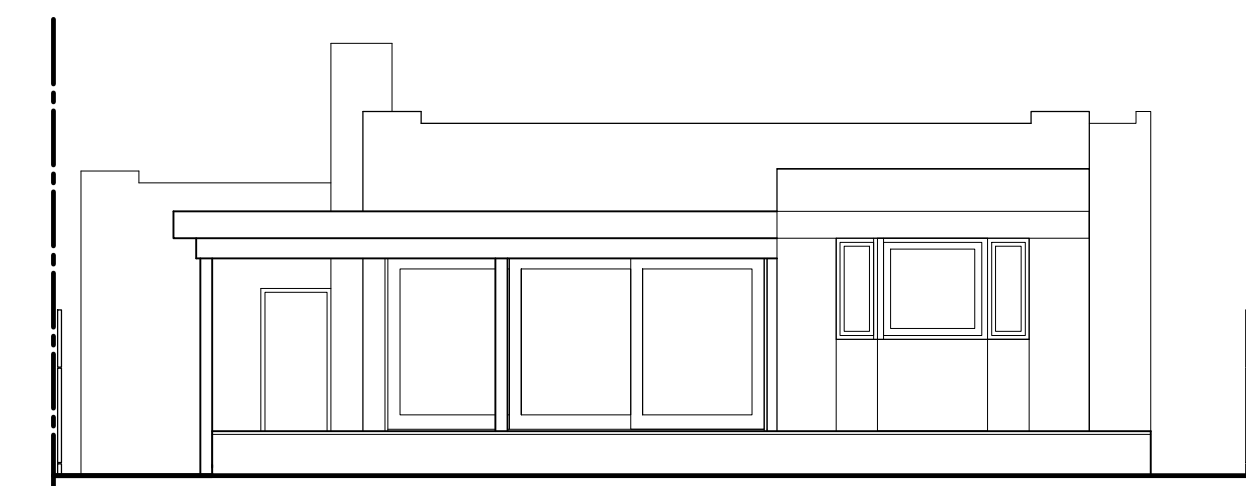
9 EXISTING NORTH
SCALE 1/8" = 1'-0"



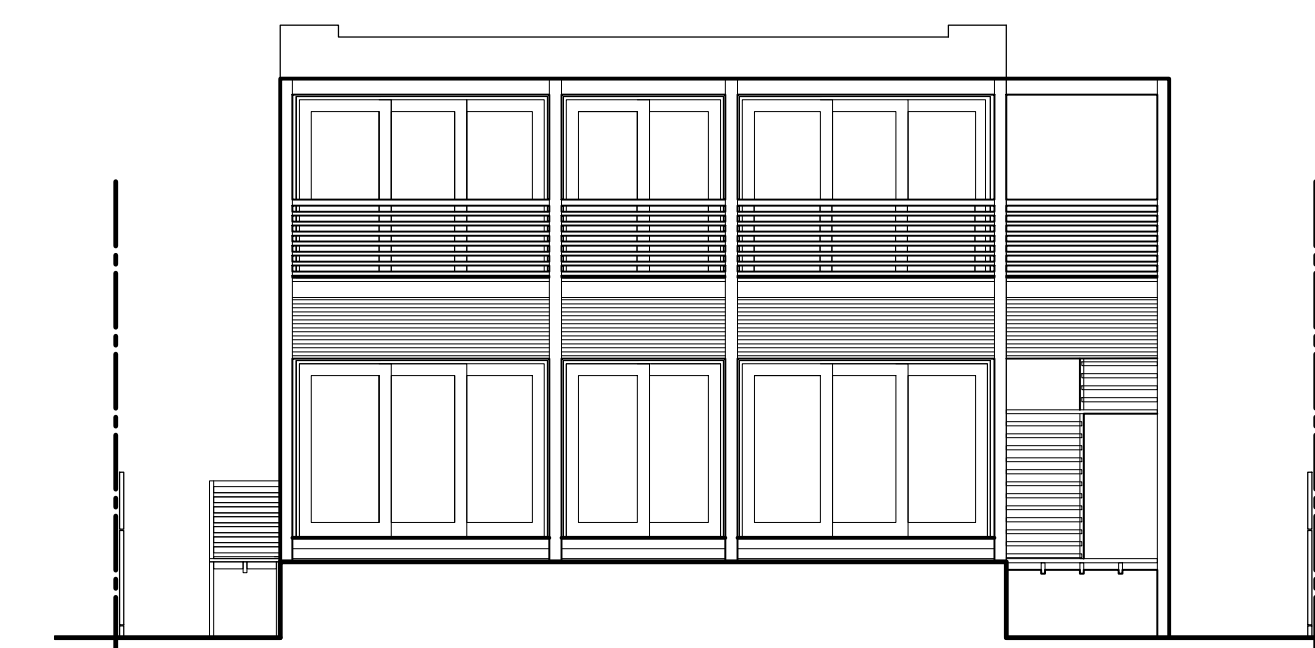
11 EXISTING SOUTH
SCALE 1/8" = 1'-0"



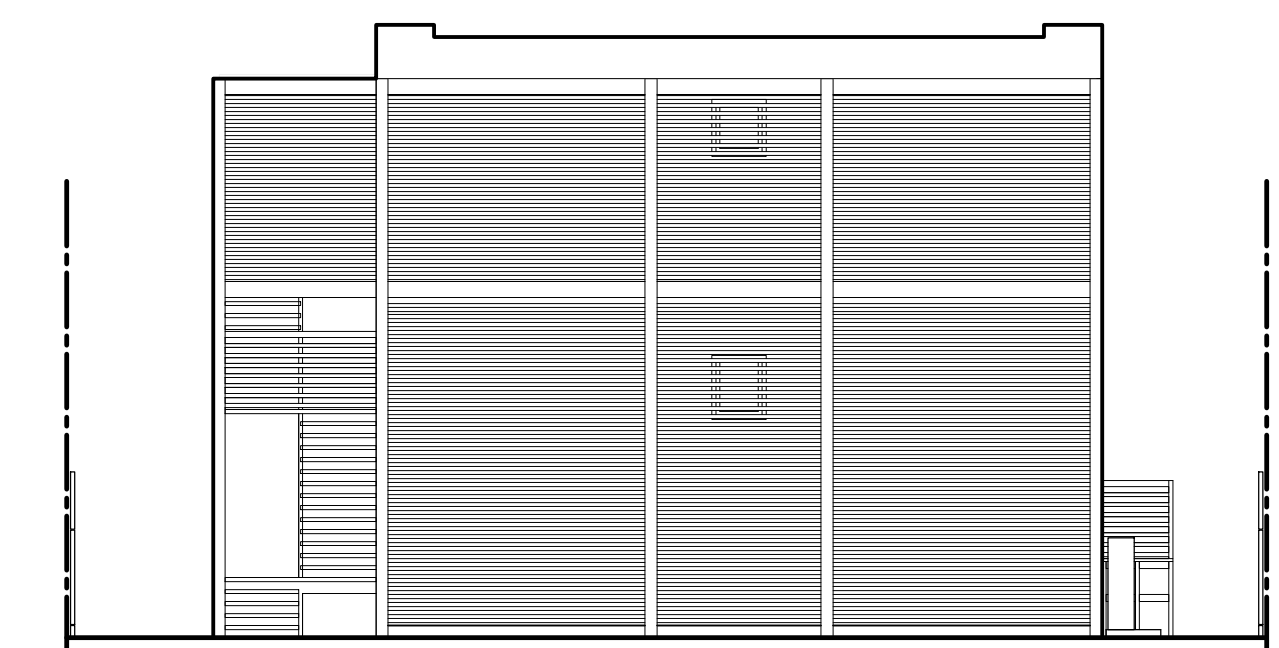
2 PROPOSED EAST MAIN BLDG.
SCALE 1/8" = 1'-0"



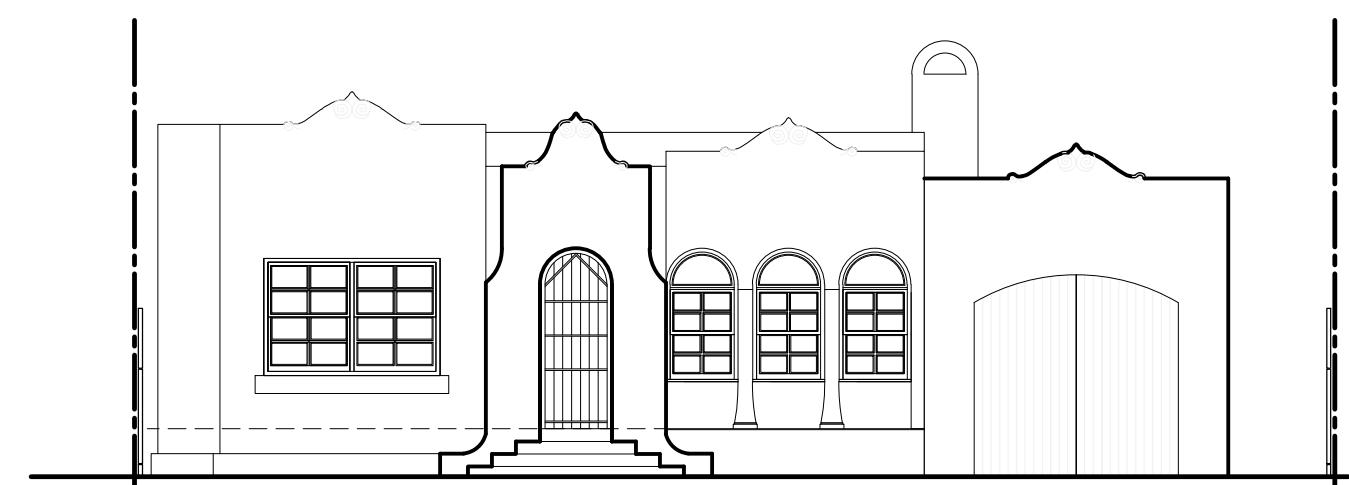
4 PROPOSED WEST MAIN BLDG.
SCALE 1/8" = 1'-0"



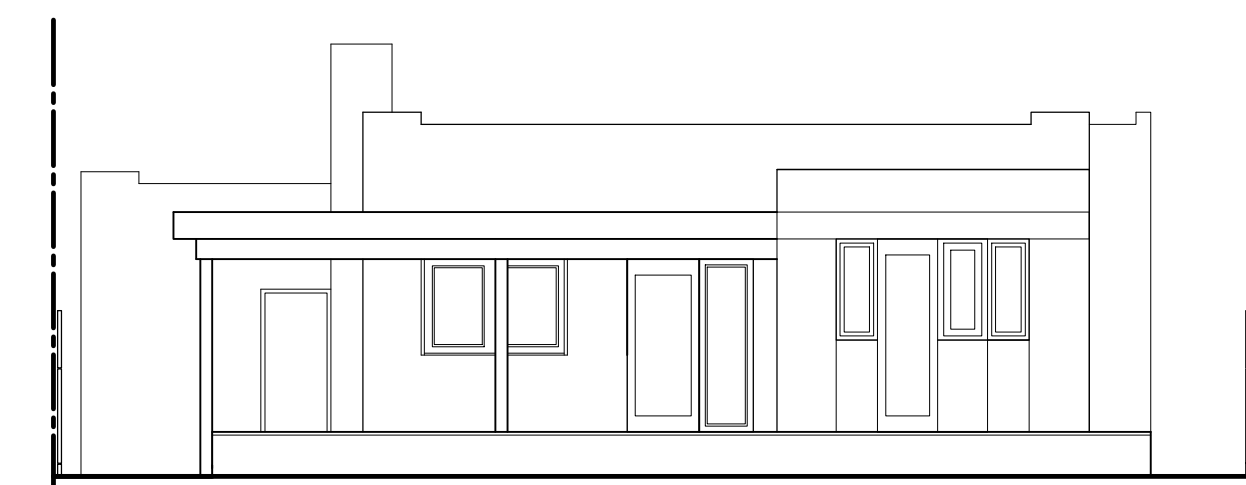
6 PROPOSED EAST REAR BLDG.
SCALE 1/8" = 1'-0"



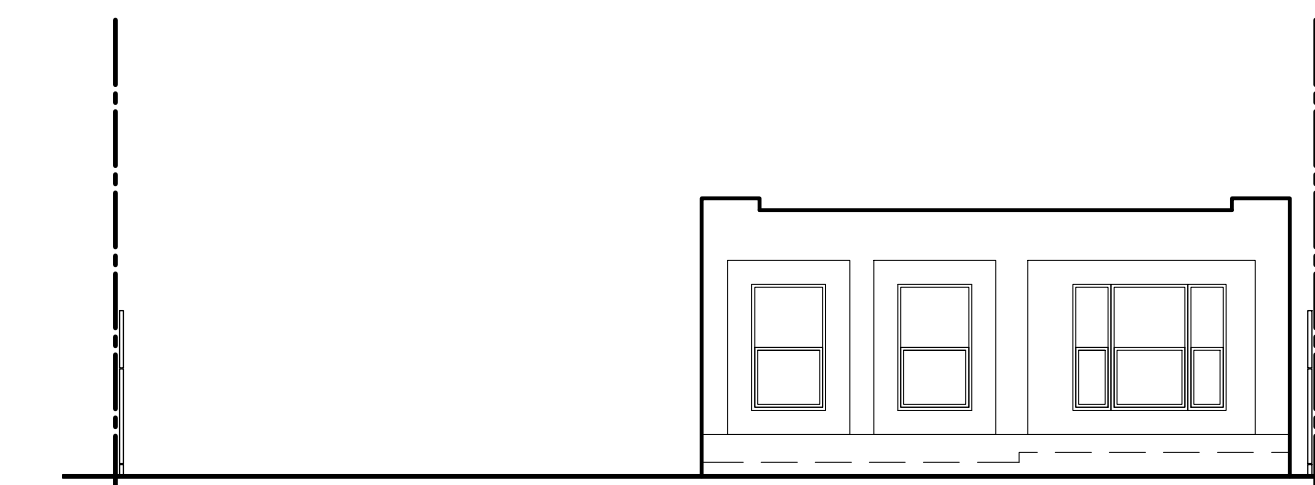
8 PROPOSED WEST REAR BLDG.
SCALE 1/8" = 1'-0"



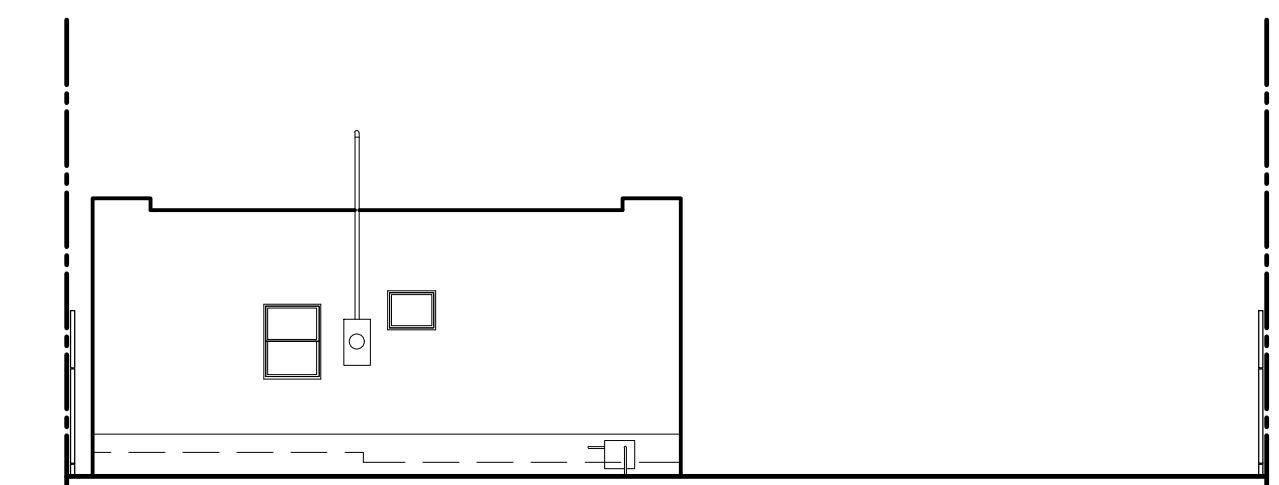
1 EXISTING EAST MAIN BLDG.
SCALE 1/8" = 1'-0"



3 EXISTING WEST MAIN BLDG.
SCALE 1/8" = 1'-0"



5 EXISTING EAST REAR BLDG.
SCALE 1/8" = 1'-0"



7 EXISTING WEST REAR BLDG.
SCALE 1/8" = 1'-0"

FINAL SUBMITTAL

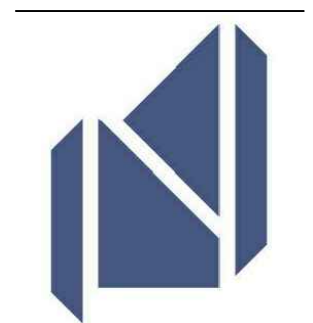
A-07

REVISIONS		
#	DESCRIPTION	DATE
1	CITY COMMENTS	07.06.20

cadbox
studio
architectural visualization

3088 LILLIAN LN
MARGATE, FL 33063
PHONE: 954.225.2565
www.cadboxstudio.com

SINGLE FAMILY HOME RENOVATION
826 MERIDIAN AVE.
MIAMI BEACH, FL. 33139



MUVE
ARCHITECTURE
2030 HABERSHAM TRCE
CUMMING, GA 30041
PHONE: (764) 912-6650
www.muvearch.com
AA#26003161

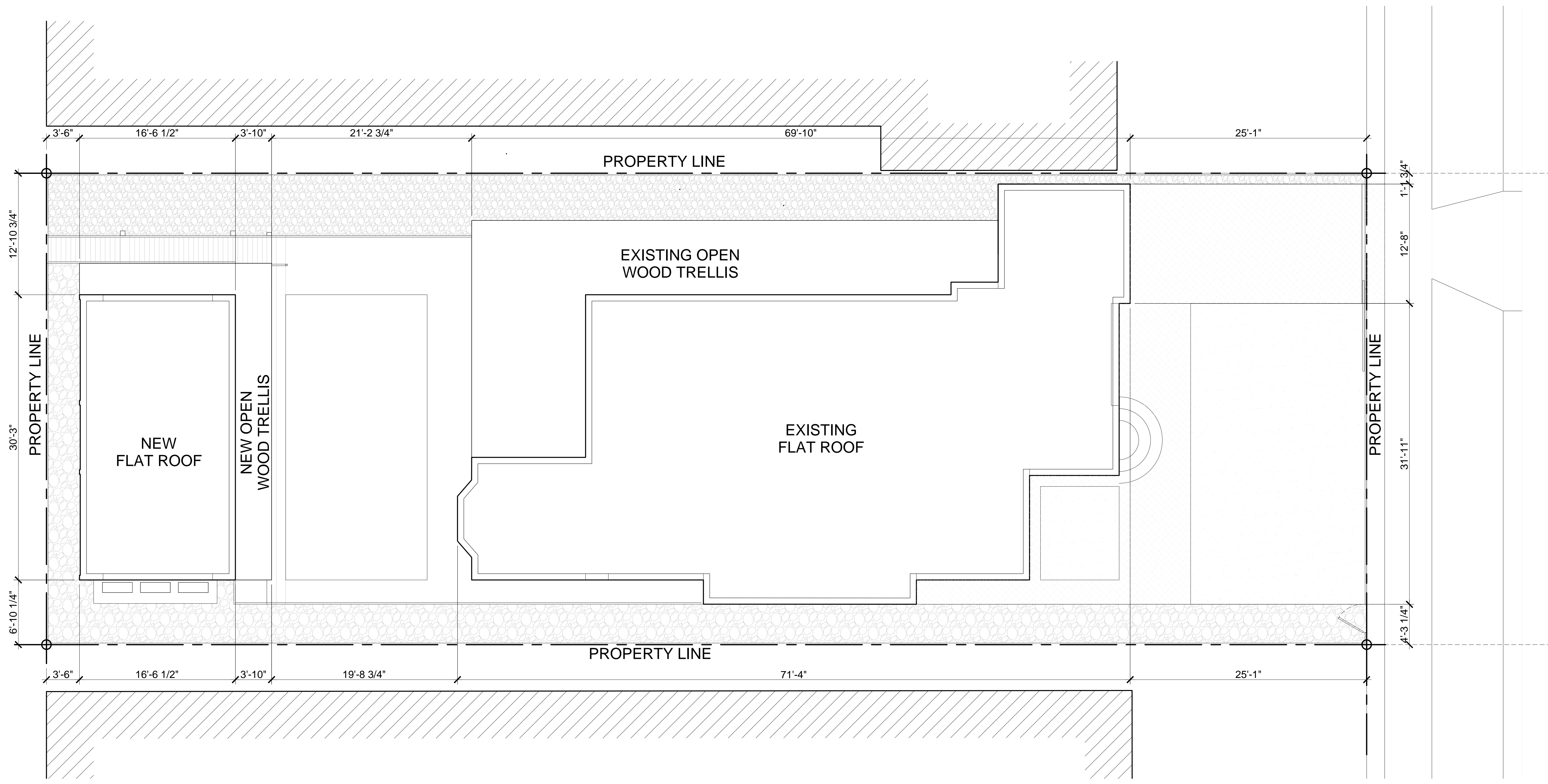
PROFESSIONAL SEAL

DRAWN
CV
EDIT DATE
XX-XX-XXXX
ISSUE DATE
08.05.2020
SCALE
As Noted
JOB NUMBER
20-021

SHEET NAME
ROOF PLAN

SHEET NUMBER

A-08



1
A-08
ROOF PLAN
SCALE 3/16" = 1'-0"

FINAL SUBMITTAL

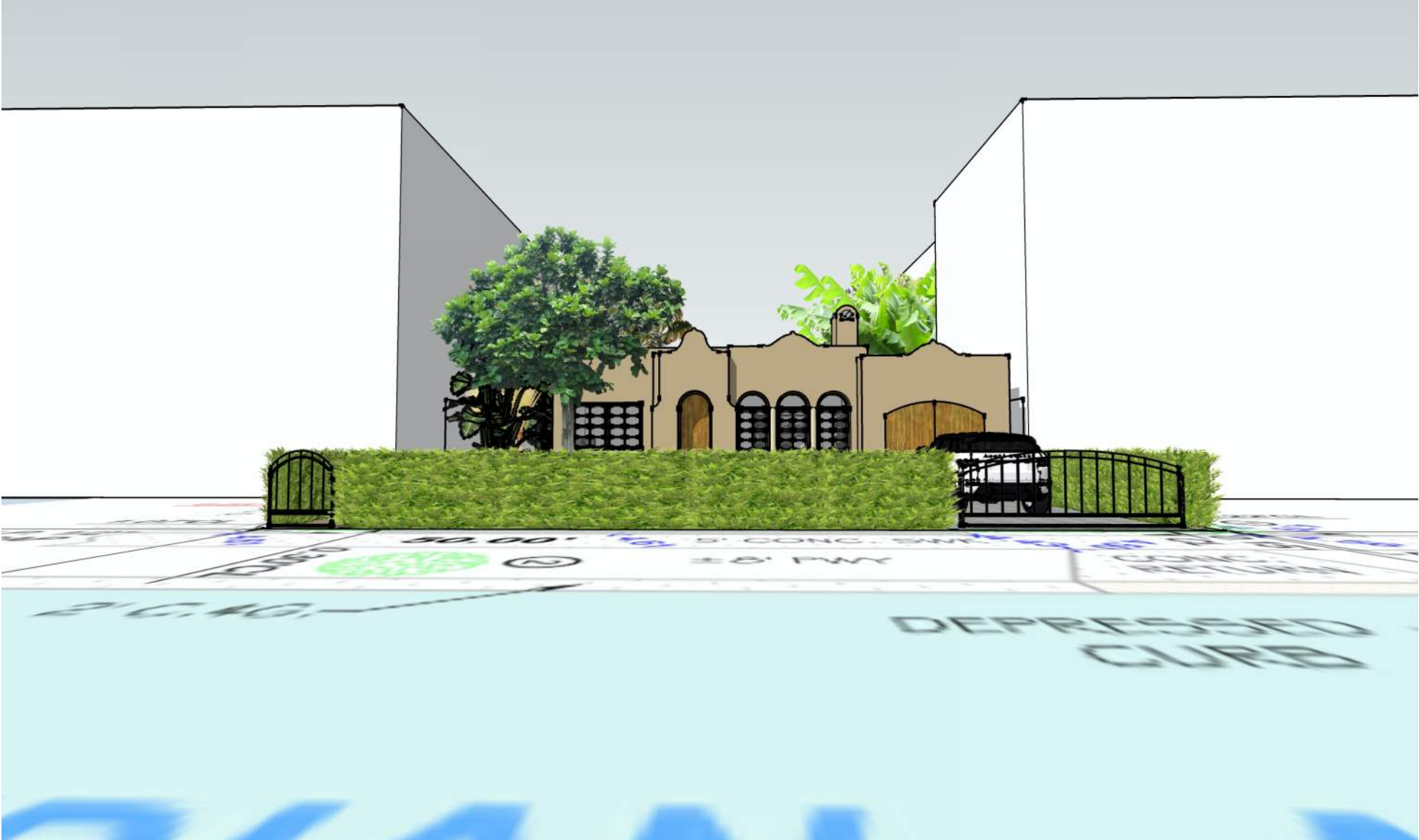


REAR ALLEY VIEW 1



REAR ALLEY VIEW 2

826 MERIDIAN AVE., MIAMI BEACH





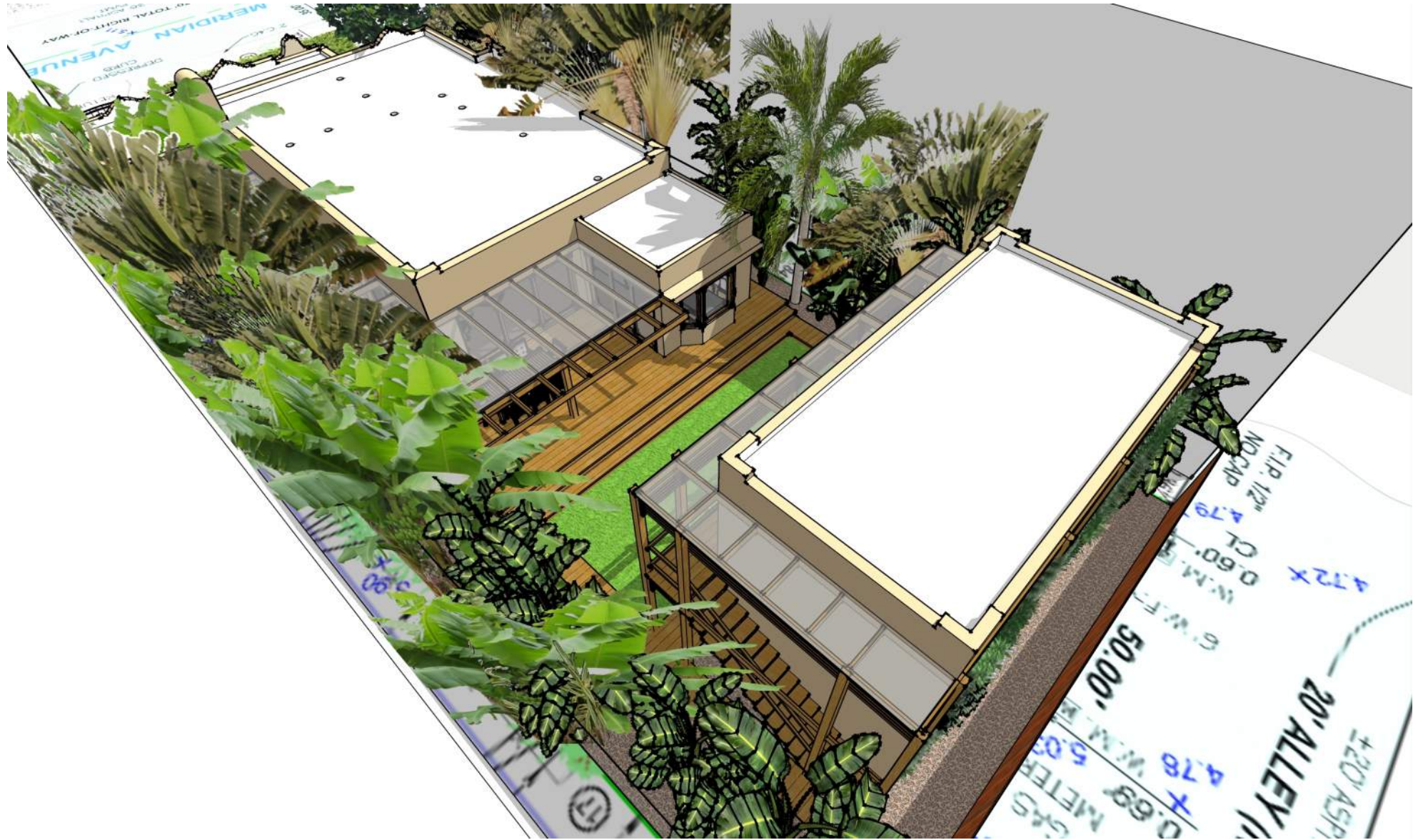
FRONT YARD



AERIAL #1



AERIAL #2



AERIAL #3



AERIAL - ALLEY



FACADE - ALLEY











