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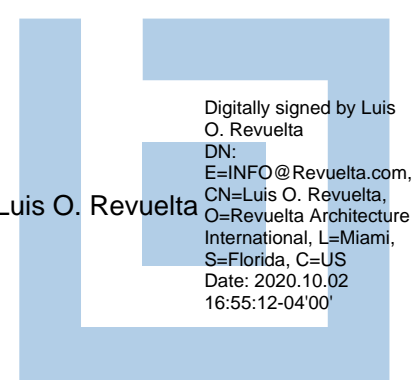
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KKAA KENGO KUMA & ASSOCIATES
隈研吾建築都市設計事務所

FINAL CAP SUBMITTAL 10/12/2020
APPLICATION HPB No. 20-0430
REVISION TO:
HPB ORDER No. 7490
HPB ORDER No. 20-0376

PROPOSED SCOPE UNDER THIS REVISION:
RESIDENTIAL TOWER DESIGN AND LOCATION
PROPOSED NEW BASEMENT LEVELS
REVISED RESIDENTIAL DROP OFF AND SITE VEHICULAR
ENTRANCES AND EXITS.



AMAN
AMAN HOTEL & RESIDENCES

3425 COLLINS AVE.
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
DECEMBER 8TH, 2020

NOT FOR CONSTRUCTION

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INDEX OF DRAWINGS

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LEVEL 13 OMITTED

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Luis O. Revuelta
AR-0007972

HPB - October 13, 2020

Date
9/7/2020

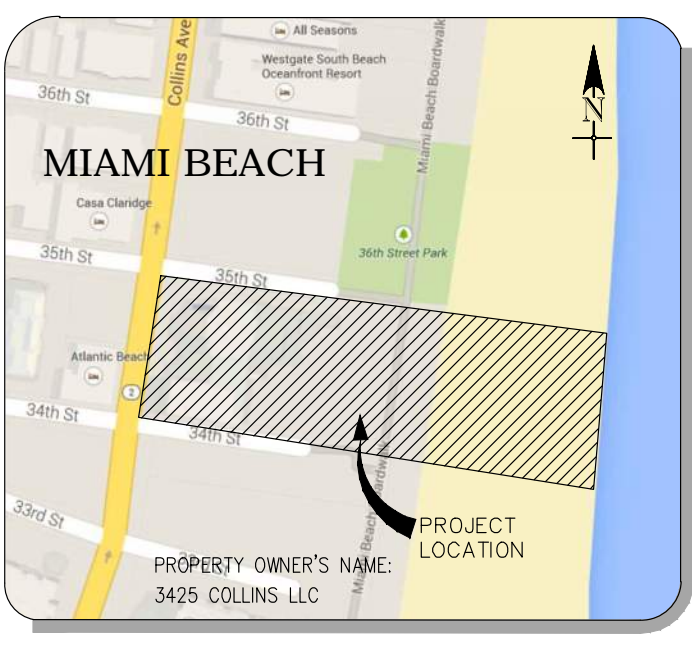
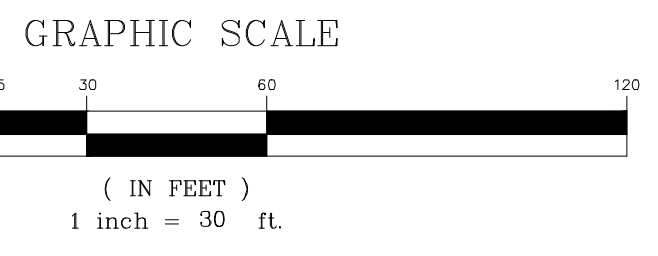
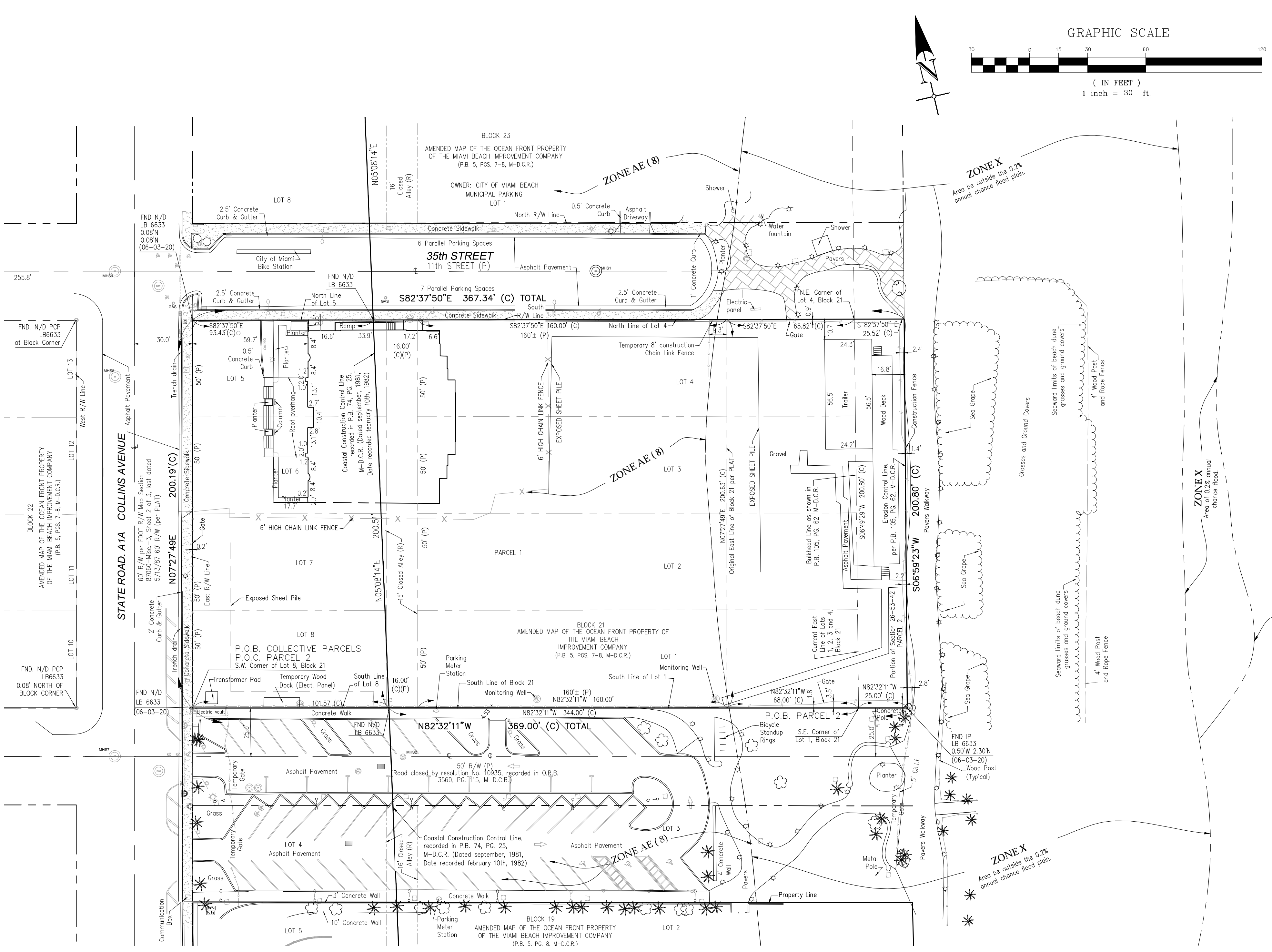
Scale
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Project No.
1933

Sheet Name
INDEX

Sheet No.

DRAWN BY: J. V. GIBSON, LICENSED SURVEYOR NO. 12007, STATE OF FLORIDA. CHECKED BY: J. V. GIBSON, LICENSED SURVEYOR NO. 12007, STATE OF FLORIDA.



LEGEND

	CATCH BASIN
	CATCH BASIN TYPE F
	CURB INLET
	CLEANOUT
	VALVE ASSEMBLY
	LIGHT POLES
	FIRE DEPARTMENT CONNECTION
	MASTER PARKING TICKET BOX
	MAIL DROP BOX
	GAS METER
	STORM DRAINAGE MANHOLE
	ELECTRIC MANHOLE
	SANITARY SEWER MANHOLE
	GREASE TRAP MANHOLE
	METAL LIGHT POLE
	STREET METAL LIGHT POLE
	BOLLARD WITH PEDESTRIAN LIGHT
	SON
	UTILITY MARKER
	UNKNOWN VALVE BOX
	WATER VALVE BOX
	WATER VALVE
	WIRE PULL BOX
	HANDICAP PARKING
	SPOT ELEVATION

BOUNDARY SURVEY ABBREVIATIONS

M-D.C.R.	MIAMI-DADE COUNTY RECORDS
O.R.	OFFICIAL RECORDS
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
P.G.	PAGE
LB	LICENSED BUSINESS
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
C.C.C.L.	COASTAL CONSTRUCTION CONTROL LINE
FND	FOUND
ID	IDENTIFICATION
IP	IRON PIPE
IRC	IRON ROD AND CAP
N/D	NAK AND DISC
POP	PERMANENT CONTROL POINT
NAV88	NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929
SR	STATE ROAD
R/W	RIGHT OF WAY
ELEV.	ELEVATION
C	CENTERLINE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
(MAP)	PER FDOT R/W MAP SECTION #7000-MSC-3
(P)	DATA SHOWN ON PLAT
(C)	CALCULATED BASED ON FIELD SURVEY AND PLAT DATA
DEPT.	DEPARTMENT

SURVEYOR'S NOTES

- THE LOTS SHOWN HEREON ARE BASED UPON THE PLAT OF MIAMI BEACH IMPROVEMENT COMPANY'S SUBDIVISION AS RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30'.
- AREA PARCEL 1 = 1.5786 ACRES (68,736 SQUARE FEET) MORE OR LESS. AREA PARCEL 2 = 0.1165 ACRES (5,076 SQUARE FEET) MORE OR LESS. TOTAL AREA (PARCELS 1 AND 2) = 1.6945 ACRES (73,812 SQUARE FEET) MORE OR LESS.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION OR EXCAVATION CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (1-800-432-4770) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- THE LOCATION OF THE COASTAL CONSTRUCTION CONTROL LINE (C.C.C.L.) SHOWN HEREON ARE BASED ON INFORMATION OBTAINED FROM THE MIAMI-DADE COUNTY DEPARTMENT OF NATURAL PROTECTION AND RECORDED IN MISCELLANEOUS PLAT BOOK 74, PAGE 25, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DATED SEPTEMBER 1981, RECORDED FEBRUARY 10TH, 1982. SEE SHEET 6 OF 10, POINT OF ORIGIN OF LINE IS P.R.M. 57-76-1-1.
- THE LOCATION OF THE EROSION CONTROL LINE AND BULKHEAD LINE WERE CALCULATED BASED ON DATA SHOWN IN PLAT MAP ENTITLED ESTABLISHMENT OF EROSION CONTROL LINE, RECORDED IN PLAT BOOK 105, PAGE 62, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF NORTH 07° 27' 49" EAST, ALONG THE WEST LINE OF BLOCK 21, OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. BEARINGS ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATES SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983/90, BASED ON REAL TIME KINEMATICS GPS OBSERVATIONS.

CONTINUATION SURVEYOR'S NOTES

- DISTANCES DENOTED AS (P) PLAT, REPRESENT MEASUREMENTS DERIVED FROM THE FOLLOWING PLAT OF RECORD: MIAMI BEACH IMPROVEMENT COMPANY'S SUBDIVISION, PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- HORIZONTAL CONTROL WAS VERIFIED BY TRAVERSE CLOSURES EXCEEDING 1 FOOT IN 10,000 FEET.
- BUILDING DIMENSIONS WERE MEASURED AT GROUND LEVEL AND ARE OVERALL. BUILDING TIES ARE TO THE EXTERIOR WALLS. ARCHITECTURAL DETAILS MAY NOT BE SHOWN.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OF THE FEATURE IT REPRESENTS.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF THE SURVEY ON THE DATES INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THE TIME OF SURVEY.
- PORTIONS OF THE PROPERTY SHOWN HEREON ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONES: ZONE AE (ELEV. 8 NGVD29) AND ZONE X AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12080303L-1 COMMUNITY NUMBER 120825, MIAMI-DADE COUNTY UNINCORPORATED AREAS, EFFECTIVE DATE SEPTEMBER 11, 2009.
- PROPERTY ADDRESS: 3425 COLLINS AVENUE, MIAMI BEACH, FL 33140, MIAMI-DADE COUNTY PROPERTY APPRAISER FOLD NUMBER: 02-3226-001-1440
- THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD29). ELEVATIONS ARE BASED ON A NATIONAL GEODETIC SURVEY VERTICAL CONTROL POINT DESIGNATION B-313 AND P30 ACC2265, THE SAME BEING A BRASS DISK STAMPED "B 313 1920" SET ON TOP OF CONCRETE PAVEMENT DIRECTLY OVER A CATCH BASIN LOCATED AT THE SOUTHWEST CORNER OF COLLINS AVENUE AND 36TH STREET, 81.7 FEET SOUTH OF THE CURB OF 36TH STREET AND 57.8 FEET EAST OF THE EAST CURB OF COLLINS AVENUE, ELEVATION 4.33 FEET (NGVD29).
- PROPERTY CORNERS WERE NOT RECOVERED AT THE TIME OF THE UPDATE (REV. 2) BECAUSE THE SITE IS UNDER ACTIVE CONSTRUCTION.

CERTIFIED TO:
 1- BANK OZK, AND ITS SUCCESSORS AND ASSIGNS
 2- 3425 COLLINS, LLC, A DELAWARE LIMITED LIABILITY COMPANY
 3- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 4- KENSINGTON VANGUARD NATIONAL LAND SERVICES, LLC

LEGAL DESCRIPTION
 FORMER VERSAILLES HOTEL CONDOMINIUM
 PARCEL 1
 PER GENERAL WARRANTY DEED, RECORDED IN OFFICIAL RECORDS BOOK 28768, PAGE 1588, OF THE OFFICIAL RECORDS OF MIAMI-DADE COUNTY, FLORIDA:
 LOTS 1 THROUGH 8, INCLUSIVE, AND THE 16.00 FOOT ALLEY, ALL IN BLOCK 21, OF AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 5, AT PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

TOGETHER WITH:
 PARCEL 2
 A PARCEL OF LAND BEING A PORTION OF SECTION 26, TOWNSHIP 53 SOUTH, RANGE 42 EAST, LYING WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF LOT 8, BLOCK 21 OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE SOUTH 82° 32' 11" E, ALONG THE SOUTH LINE OF LOTS 8 AND 1 OF SAID BLOCK 21, A DISTANCE OF 344.00 FEET TO THE EXISTING SOUTHWEST CORNER OF SAID LOT 1, BLOCK 21;

THENCE NORTH 06° 49' 29" EAST, ALONG THE EXISTING EAST LINE OF LOTS 1, 2, 3 AND 4 OF SAID BLOCK 21 AND ALSO ALONG THE BULKHEAD LINE, AS SHOWN IN THE PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE", AS RECORDED IN PLAT BOOK 105, PAGE 62 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, A DISTANCE OF 200.72 FEET TO THE EXISTING NORTHEAST CORNER OF SAID LOT 4;

THENCE SOUTH 82° 37' 50" EAST, ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 4, BLOCK 21, A DISTANCE OF 25.57 FEET TO A POINT ON THE EROSION CONTROL LINE, AS SHOWN IN SAID PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE";

THENCE SOUTH 06° 59' 23" WEST, ALONG SAID EROSION CONTROL LINE, A DISTANCE OF 200.80 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1, BLOCK 21;

THENCE NORTH 82° 32' 11" WEST, ALONG SAID EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 1, BLOCK 21 A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.
 PARCELS 1 AND 2 COLLECTIVELY ALSO DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING A PORTION OF SECTION 26, TOWNSHIP 53 SOUTH, RANGE 42 EAST, LYING WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 8, BLOCK 21 OF THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE NORTH 07° 27' 49" EAST, ALONG THE WEST LINE OF LOTS 8, 7, 6 AND 5 OF SAID BLOCK 21, A DISTANCE OF 200.19 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 21;

THENCE THENCE SOUTH 82° 37' 50" EAST, ALONG THE NORTH LINE OF LOTS 5 AND 4, OF SAID BLOCK 21 AND ALONG THE EASTERLY EXTENSION OF SAID LOT 4, A DISTANCE OF 367.34 FEET TO A POINT ON THE EROSION CONTROL LINE, AS SHOWN IN PLAT MAP ENTITLED "ESTABLISHMENT OF EROSION CONTROL LINE", AS RECORDED IN PLAT BOOK 105, PAGE 62 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THENCE SOUTH 06° 59' 23" WEST, ALONG SAID EROSION CONTROL LINE, A DISTANCE OF 200.80 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1, BLOCK 21;

THENCE NORTH 82° 32' 11" WEST, ALONG SAID EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 1 AND ALONG THE SOUTH LINE OF SAID LOTS 1 AND 8, BLOCK 21 A DISTANCE OF 369.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE WITHIN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

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REV.	DATE	BY	DESCRIPTION
1	11/14/18	JPG	UPDATE TO SHOW IMPROVEMENTS
2	08/06/19	JPG	UPDATE TO SHOW IMPROVEMENTS
3	04/17/20	ALB	REVISED TO ADD CERTIFIED TO OWNER
4	08/02/20	JPG	UPDATE SURVEY

Aimara Diaz La Rosa
 Digitally signed by Aimara Diaz La Rosa
 Date: 2020.09.02 15:42:41 -04'00'

AIMARA DIAZ LA ROSA
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER - LICENSE NUMBER: 156796

3425 COLLINS AVENUE, MIAMI BEACH, FL 33140

FOR
VERSAILLES

LOTS 1 THRU 8 AND ALL OF 16 FOOT ALLEY BLOCK 21 PLAT BOOK 5 PAGES 7 AND 8

MIAMI-DADE COUNTY FLORIDA

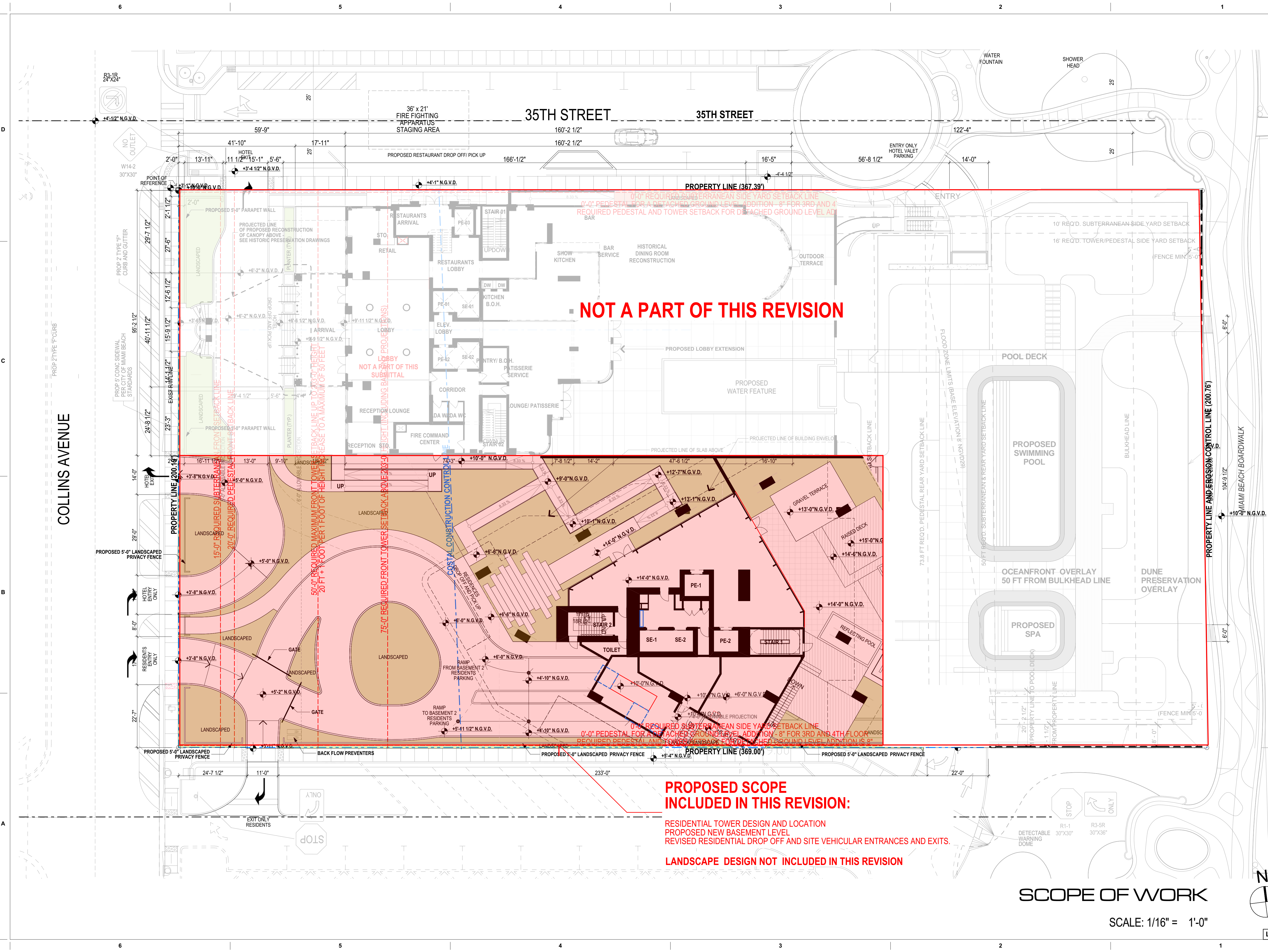
MIAMI OFFICE
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 Miami, FL 33166
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/14/2018	JPG	ADR
PROJECT NUMBER	DRAWING NUMBER	DATE	STATUS
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BOUNDARY AND TOPOGRAPHIC SURVEY

1 of 1

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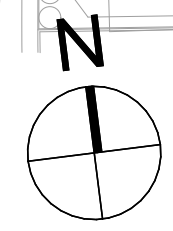


NOT A PART OF THIS REVISION

PROPOSED SCOPE INCLUDED IN THIS REVISION:
RESIDENTIAL TOWER DESIGN AND LOCATION
REVISED NEW BASEMENT LEVEL
REVISED RESIDENTIAL DROP OFF AND SITE VEHICULAR ENTRANCES AND EXITS.
LANDSCAPE DESIGN NOT INCLUDED IN THIS REVISION

SCOPE OF WORK

SCALE: 1/16" = 1'-0"



LEVEL 13 OMITTED

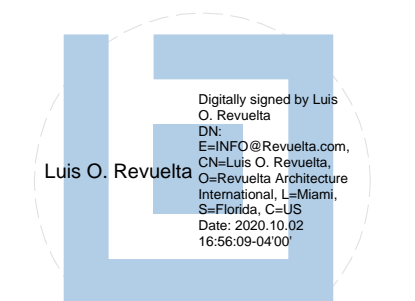
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Luis O. Revuelta
AR-0007972

HPB - October 13, 2020

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9/7/2020
Scale
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1933
Sheet Name
SCOPE OF WORK
Sheet No.

A-001

NOT FOR CONSTRUCTION

ZONING DATA

SITE ADDRESS

3425 COLLINS AVENUE, MIAMI BEACH, FL. 33140

SITE DATA

ZONING DESIGNATION: RM-3 (RESIDENTIAL MULTIFAMILY, HIGH INTENSITY)
 FLOOD ZONE: "AE" (ELEV. 8 NGVD29)
 "X" (FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0336 L COMMUNITY NUMBER 120635, MIAMI-DADE COUNTY UNINCORPORATED AREAS. EFFECTIVE DATE SEPTEMBER 11, 2009
 BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA

BUILDING HEIGHT: 250'-0" ABOVE BFE + 5'-0" FREEBOARD 13'-0" N.G.V.D.
 ESTABLISHED BFE: 8'-0"
 PROPOSED: 250'-0" NEW BUILDING (263'-0" N.G.V.D.)
 EXISTING TOWER: 161'-0" T.O. ROOF SLAB N.G.V.D.
 EXISTING TOWER: 200'-0" T.O. CUPOLA N.G.V.D.

PROPOSED NEW TOWER: 23 RESIDENTIAL UNITS
 EXISTING TOWER: 56 HOTEL GUESTROOMS

OVERLAY AREAS

DUNE PRESERVATION OVERLAY: RECREATIONAL AND OPEN SPACE WEST OF THE EROSION CONTROL LINE (ECL) EAST OF THE BULKHEAD LINE

REQUIRED: 80%
 TOTAL AREA: 5,073 SF
 IMPERVIOUS AREA: 6.18%
 MAX.PER CODE: 20%
 PERVIOUS AREA: 93.82%

MINIMUM YARDS

BULKHEAD LINE 0 FT
 SIDE PROPERTY LINE 15 FT
 MUNICIPAL PARK 15 FT
 STREET END 15 FT
 ROW 15 FT
 EROSION CONTROL LINE 10-15 FT STRUCTURES W/ FIN. FLR. ELEV. 3 FT OR LESS ABOVE T.O. DUNE
 ADD 1 FT FOR EVERY FOOT INCREASE IN FIN. FLR. ELEV.

FINISHED FLOOR ELEVATION
 MAX. BUILDING HEIGHT
 MAX. DENSITY
 PARKING REGULATIONS

MAX 2.5 FT ABOVE DUNE
 ONE STORY OR 12 FT
 ZERO
 NO PARKING REQUIREMENT

OCEANFRONT OVERLAY:

WEST OF BULKHEAD LINE
SETBACKS
 REAR 50 FT FRONT BULKHEAD LINE - DWELLING CONSTRUCTION AT GRADE AND SUBTERRANEAN LEVELS
 SIDE LOT LINE 15 FT
 BULKHEAD LINE 10 FT

MAX HEIGHT 30 FT ABOVE GRADE
 FINISHED FLOOR ELEVATION 2.5 FT ABOVE T.O. DUNE
 FAR 0.5 OF SETBACK AREA
 LOT COVERAGE 50 % OF REQUIRED REAR YARD SETBACK OPEN TO SKY
 VIEW CORRIDOR 50 % OF REQUIRED REAR YARD SETBACK OPEN APART FROM LANDSCAPE FROM E.C.L. TO REAR SETBACK LINE

REQUIRED: 50%
 TOTAL AREA: 10,000 SF
 IMPERVIOUS AREA: 50%
 MAX PER CODE: 50%
 PERVIOUS AREA: 50%
 REQUIRED BY CODE: 50%

RM-3 OVERLAY ZONE: TOTAL AREA: 58,680 SF

LOT AREA

AREA PARCEL 1 : 68,736 S.F. (1.5780 ACRES)
 AREA PARCEL 2 : 5,076 S.F. (0.1165 ACRES)
 73,812 S.F (1.6945 ACRES)

MAX F.A.R.

3.0 X 73,812 S.F. = 221,436 S.F.

MAX LOT WIDTH

REQUIRED 50 FT
 EXCEEDS CRITERIA AT 200 FT

MIN. LOT AREA

REQUIRED 7000 S.F. - EXCEEDS CRITERIA AT 73,812 SF

MINIMUM UNIT SIZE

NEW CONSTRUCTION 800 SF - MEETS CRITERIA
 HISTORIC TOWER AVERAGE UNIT SIZE=1897 SF
 NEW TOWER AVERAGE UNIT SIZE= 2450 SF

MAXBUILDING HEIGHT

OCEANFRONT LOTS 200 FT
 HISTORIC TOWER = 200 FT TO T.O. ROOF SLAB + MECHANICAL ROOF
 NEW TOWER= 263'-0" FT (NGVD) TO TOP OF OUTDOOR KITCHEN COUNTER

MAX NUMBER OF STORIES

OCEANFRONT LOTS 22 STORIES - MEETS CRITERIA
 HISTORIC TOWER - 10 GUESTROOM LEVELS + ROOF TOP REST.+LOBBY+ MEZZ + BASEMENT
 NEW TOWER - 13 RESIDENTIAL LEVELS + LOBBY + GYM + 3 LEVELS OF BASEMENT

NEW CONSTRUCTION ADDITIONAL REGULATIONS

ALL FLOORS OF A BUILDING CONTAINING PARKING SPACES SHALL INCORPORATE RESIDENTIAL OR COMMERCIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY.

SETBACK REQUIREMENTS

	FRONT (WEST-COLLINS AVE.)			NORTH - SIDE FACING A STREET SOUTH - SIDE INTERIOR			REAR (EAST- BEACH)		
	REQUIRED	PROVIDED	PROVIDED	REQUIRED	PROVIDED (N)	PROVIDED (S)	REQUIRED	PROVIDED	PROVIDED
SUB TERRANEAN	15'-0"	HIST. TOWER 41'-9"	NEW TOWER 20'-0"	0'-0"	0'-0"	0'-0"	46'-0" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE
PEDESTAL	20'-0" up to 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	41'-9"	106'-8"	0'-0"	0'-0" AT NORTH SIDE	8" AT SOUTH SIDE	50'-0" FROM BULKHEAD LINE	122'-4" FROM BULKHEAD LINE	95'-4" FROM BULKHEAD LINE
TOWER	20'-0" + 1 ft per 1ft increase in height above 50 ft to a max of 50 ft 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	59'-6"	96'-10"	0'-0"	5'-8" AT NORTH SIDE	8" AT SOUTH SIDE	75'-0" FROM BULKHEAD LINE	198'-4" FROM BULKHEAD LINE	99'-10" FROM BULKHEAD LINE

PARKING DATA

SEE REVISED PARKING AND LOADING CALCULATIONS PAGE A-005

DESIGNATED HISTORIC BUILDING
 NO OFF-STREET PARKING IS REQUIRED FOR MAIN OR ACCESSORY USES ASSOCIATED WITH AN INDIVIDUALLY DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING:
 DEVELOPMENTS WITH MORE THAN 20 UNITS 10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS
 8.5' X 18' MULTI- FAMILY RESIDENTIAL BUILDING 8.5 FT X 16 FT -100 % VALET ONLY GOVERNED BY A RESTRICTIVE COVENANT TANDEM MAXIMUM STACKING OF 2 PARKING AISLE MIN. 22 FT

TANDEM PARKING
 MAY BE UTILIZED FOR SELF- PARKING IN MULTI FAMILY RESIDENTIAL BUILDINGS WITH RESTRICTIVE COVENANT LIMITING USE OF EACH TANDEM PARKING SPACE TO THE SAME UNIT OWNER.

DESIGNATED HISTORIC BUILDING
 NO OFF-STREET PARKING IS REQUIRED FOR MAIN OR ACCESSORY USES ASSOCIATED WITH AN INDIVIDUALLY DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING:
 DEVELOPMENTS WITH MORE THAN 20 UNITS 10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS
 8.5' X 18' MULTI- FAMILY RESIDENTIAL BUILDING 8.5 FT X 16 FT -100 % VALET ONLY GOVERNED BY A RESTRICTIVE COVENANT TANDEM MAXIMUM STACKING OF 2 PARKING AISLE MIN. 22 FT

OFF-STREET LOADING
 RESIDENTIAL BUILDING OVER 36 UNITS BUT LESS THAN 50 UNITS: 1 SPACE OVER 50 UNITS BUT NOT MORE THAN 100 UNITS: 2 SPACES DESIGN STANDARD-WITHIN THE SAME LOT LOGICALLY AND CONVENIENTLY LOCATED FOR BULK PICK UPS AND DELIVERIES SCALED FOR EXPECTED DELIVERIES 10 X 20 FT

F.A.R. HISTORIC HOTEL	
LEVEL	Area (sf)
GROUND LEVEL	10,257
LEVEL 2	1,671
LEVEL 3	6,427
LEVEL 4	3,850
LEVEL 5	6,427
LEVEL 6	6,427
LEVEL 7	6,427
LEVEL 8	6,427
LEVEL 9	6,427
LEVEL 10	6,427
LEVEL 11	6,427
LEVEL 12	6,427
LEVEL 14	4,802
LEVEL 15	187
78,610 sq ft	

PROPOSED

F.A.R. RESIDENTIAL BUILDING	
LEVEL	Area (sf)
GROUND LEVEL	4,991
LEVEL 2	1,816
LEVEL 3	2,623
LEVEL 4	802
LEVEL 5	10,531
LEVEL 6	10,531
LEVEL 7	10,531
LEVEL 8	10,531
LEVEL 9	10,531
LEVEL 10	10,531
LEVEL 11	10,531
LEVEL 12	10,531
LEVEL 14	10,531
LEVEL 15	10,531
LEVEL 16	8,445
LEVEL 17	8,445
LEVEL 18	8,445
LEVEL ROOF	1,379
MECHANICAL ROOF	168
142,424 sq ft	

TOTAL F.A.R. PROPOSED = 221,034 S.F.

MAX. F.A.R. ALLOWED: 3 X 73,812 S.F. = 221,436 S.F.

PROPOSED MODIFICATIONS SHOWN IN RED

LEVEL 13 OMITTED

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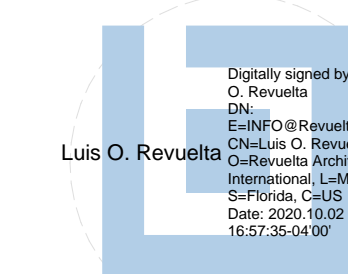
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AR-0007972

HPB - October 13, 2020

Date
9/29/2020

Scale
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Project No.
1933

Sheet Name
PROPOSED ZONING DATA

Sheet No.

A-004

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 File: BIM/0305/2020/03/03/3425 COLLINS AVE. AMAN HOTEL & RESIDENCES - MAIN.LAY BY #181.dwg Date: 09/29/2020

**PROPOSED
PARKING AND LOADING
CALCULATIONS**

3425 COLLINS AVE - Miami Beach

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

PARKING Spaces Requirement - Parking District 1

Residential Apartment building on lots wider than 50 feet:				Required	Proposed
1.50 parking spaces per unit for units between 550 and 999 square feet	0 units	1.50 spaces per unit		0.00	
1.75 parking spaces per unit for units between 1,000 and 1,200 square feet	0 units	1.75 spaces per unit		0.00	
2.00 parking spaces per unit for units above 1,200 square feet	23 units	2.00 spaces per unit		46.00	
10% additional parking spaces for visitors				5	
			sub total	51	68

Retail / Spa				Required	Proposed
1.0 parking spaces per 400 square feet	17,000 SF	16,580 SF	41.45	41.45	42
less 7.5 square feet per Unit (56 rooms)	420 SF				
			sub total	41	42

Restaurant Kitchen Bar Roof Top Hotel		Proposed Area	Existing Grandfathered Area	Occupants Calculation Remaning area per FBC		Required	Proposed
1.0 parking spaces per 4 seats	Historic Restaurant (Seating Area)	2,422 SF	2,422 SF	161 occupants	Grandfathered	0	
	Historic Patisserie	1,263 SF	1,263 SF	84 occupants	Grandfathered	0	
	New Restaurant/Bar Terrace seating	2,270 SF	0 SF	151 occupants	1 space every 4 seats	38	
minus 1.0 seat for every 2 Guestrooms	56 guestrooms	Discounted Seats - Accessory Hotel Use	28		discounted	28	
			sub total			10	10

Hotel				Required	Proposed
0.5 parking spaces for every Hotel Room	New floor area for hotel rooms, associated with retaining, preserving and restoring a building or structure that is classified as "contributing"		Not Required . Hotel guestrooms grandfathered. No additional area	0	0
1.0 parking spaces for every Hotel Room	Other (e.g., new construction or substantial demolition of contributing building)		0 rooms	0	0
			sub total	0	0

Meeting Rooms				Required	Proposed
1.0 parking spaces per 60 square feet of floor area without seating	Meeting Room Usable Space		0 SF 1 per 60 sf	0	
less 15 square feet per Unit (accessory to hotel)	56 guestrooms	15 SF	840 SF 1 per 60 sf discounted	0	
			sub total	0	0

Restaurant Kitchen Bar at levels 1 and 3		Proposed Area		Required	Proposed
1.0 parking spaces per 4 seats	Restaurant Seating Area Level 1	4,337 SF	All uses proposed are within footprint of contributing historic structure and therefore have no required parking.	0	0
	Restaurant Seating Area Level 2	2,044 SF		0	0
	Kitchen	430 SF		0	0
	Bar	414 SF		0	0
minus 1.0 seat for every 2 Guestrooms	Guestrooms	56 / 2 = 31 Seats		n/a	n/a
			sub total	0	0

TOTAL PARKING 102 120
ELECTRIC VEHICLES CHARGING STATIONS 2.4 4

Loading Spaces Requirement

Residential			Required	Proposed
Less than 36 Units - No loading is required	No. of Units	23	0	0
Retail			Required	Proposed
Over 20,000 but not over 40,000: three spaces	Retail/Spa/Restaurant aggregate area	22,955 SF	3	3
Existing Hotel			Required	Proposed
Over 50 units but no more than 100 units* Two spaces	No of rooms existing construction	56	0	0
New Construction Hotel			Required	Proposed
Over 50 units but no more than 100 units* Two spaces	No of rooms new construction	0	0	0
			TOTAL	3 3

Bicycle Spaces Requirement

Residential			Required	Proposed
Short term: 4 per project or 1 per 10 units	No. of Units	23	3	3
Long term: 1 per unit			23	23
Hotel - Existing + New			Required	Proposed
Short term: 2 per hotel or 1 per 10 rooms	No. of Rooms	56	6	6
Long term: 1 per 10% of Employees	No. of employees estimated	112	12	12
Retail			Required	Proposed
Short term: 1 per business, 4 per project or 1 per 10,000 square feet	Area	22,955 SF	3	3
Long term: 1 per 10 percent of employees; or 2 per 5,000 square feet and under; 3 per 5,001—20,000 square feet; 6 for 20,001—50,000 square feet; 10 for 50,000 square feet and over			6	6
			TOTAL short term bicycle parking	12 12
			TOTAL long term bicycle parking	41 41

PARKING DATA

LEVEL 13 OMITTED

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 File: BIM/Model: EALP - BIM/Model: EALP - 3425 COLLINS AVE - AMAN HOTEL & RESIDENCES - MAIN - By: [redacted] - Date: 9/7/2020

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**AMAN HOTEL AND
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Luis O. Revuelta
9/7/2020 10:02 AM
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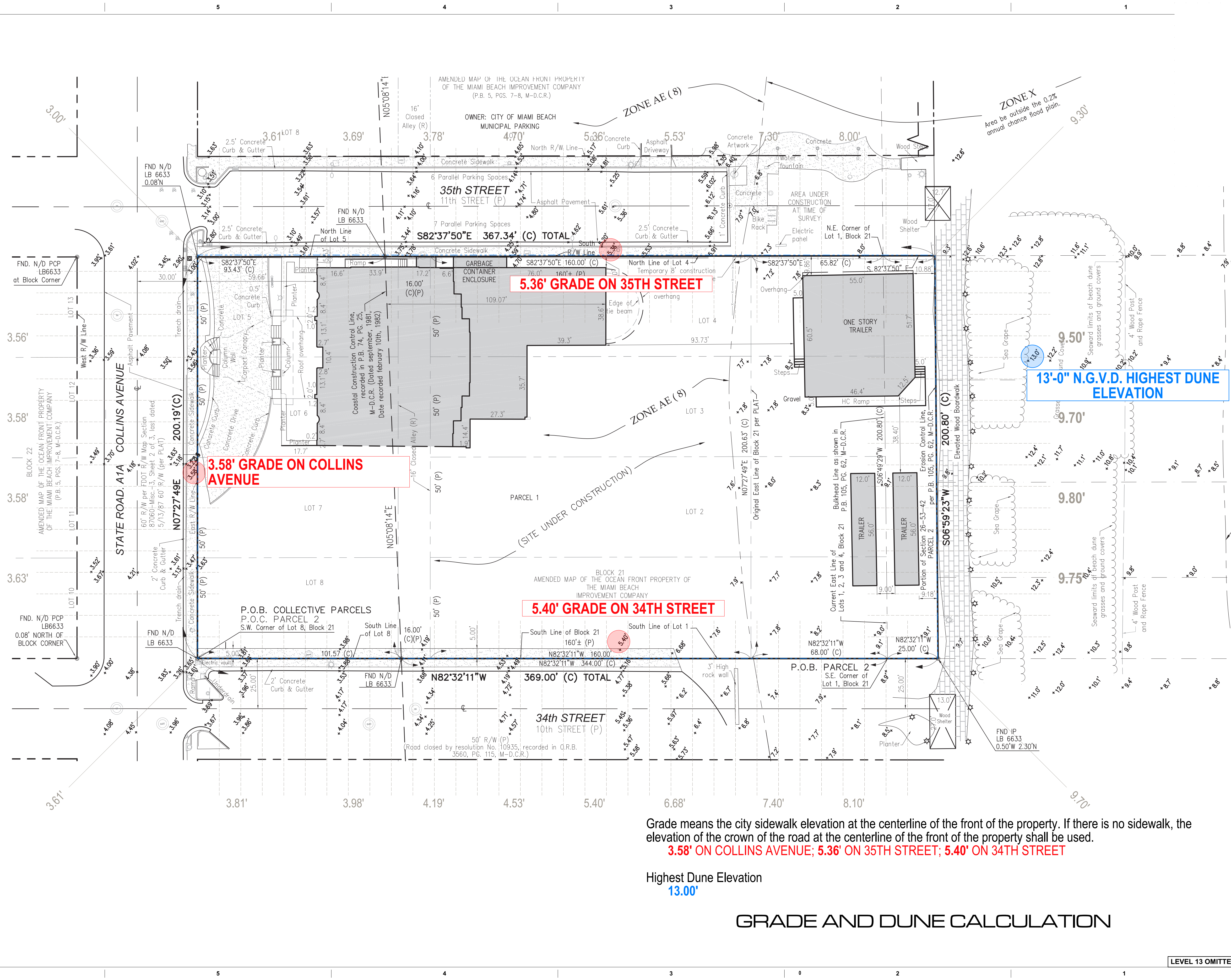
Luis O. Revuelta
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1933
Sheet Name
PARKING DATA
Sheet No.

A-005

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Grade means the city sidewalk elevation at the centerline of the front of the property. If there is no sidewalk, the elevation of the crown of the road at the centerline of the front of the property shall be used.
3.58' ON COLLINS AVENUE; 5.36' ON 35TH STREET; 5.40' ON 34TH STREET

Highest Dune Elevation
13.00'

GRADE AND DUNE CALCULATION

LEVEL 13 OMITTED

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HPB - October 13, 2020

Date
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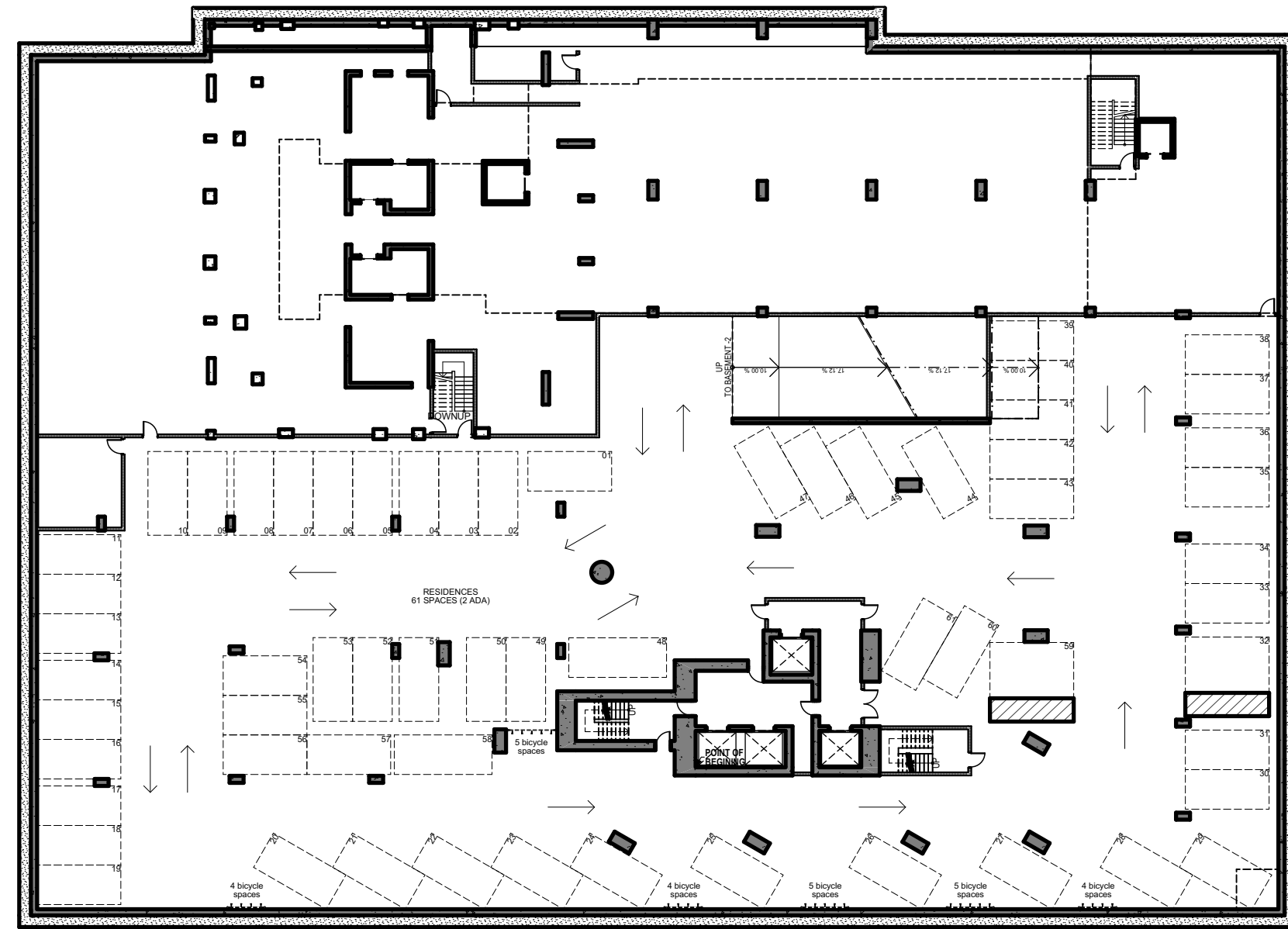
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Project No.
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GRADE AND DUNE
 CALCULATION

Sheet No.
A-006

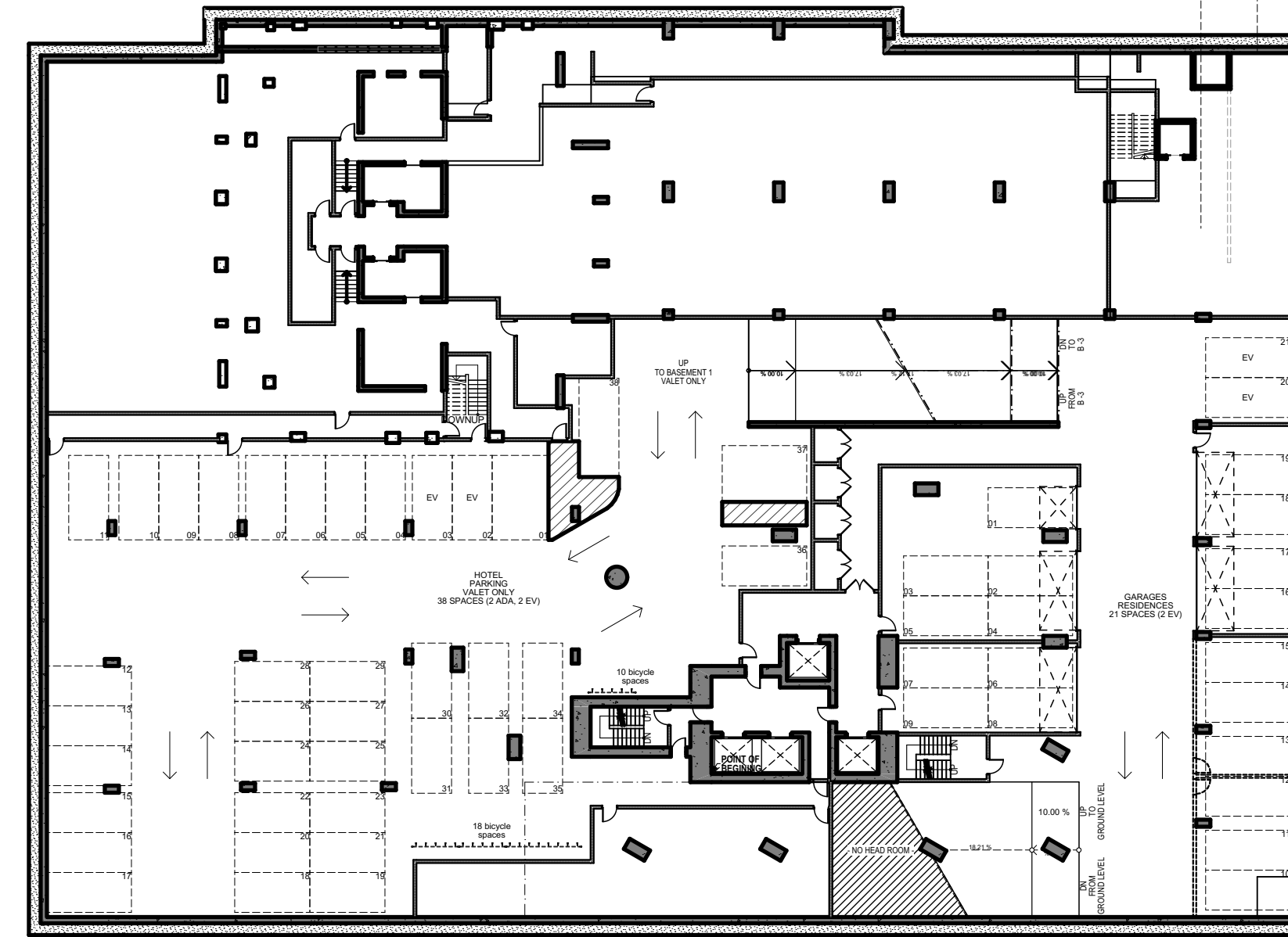
PROPOSED



BASEMENT LEVEL -3 BELOW GRADE

SCALE: 1/32" = 1'-0"

FAR = 0 SF



BASEMENT LEVEL -2 BELOW GRADE

SCALE: 1/32" = 1'-0"

FAR = 0 SF

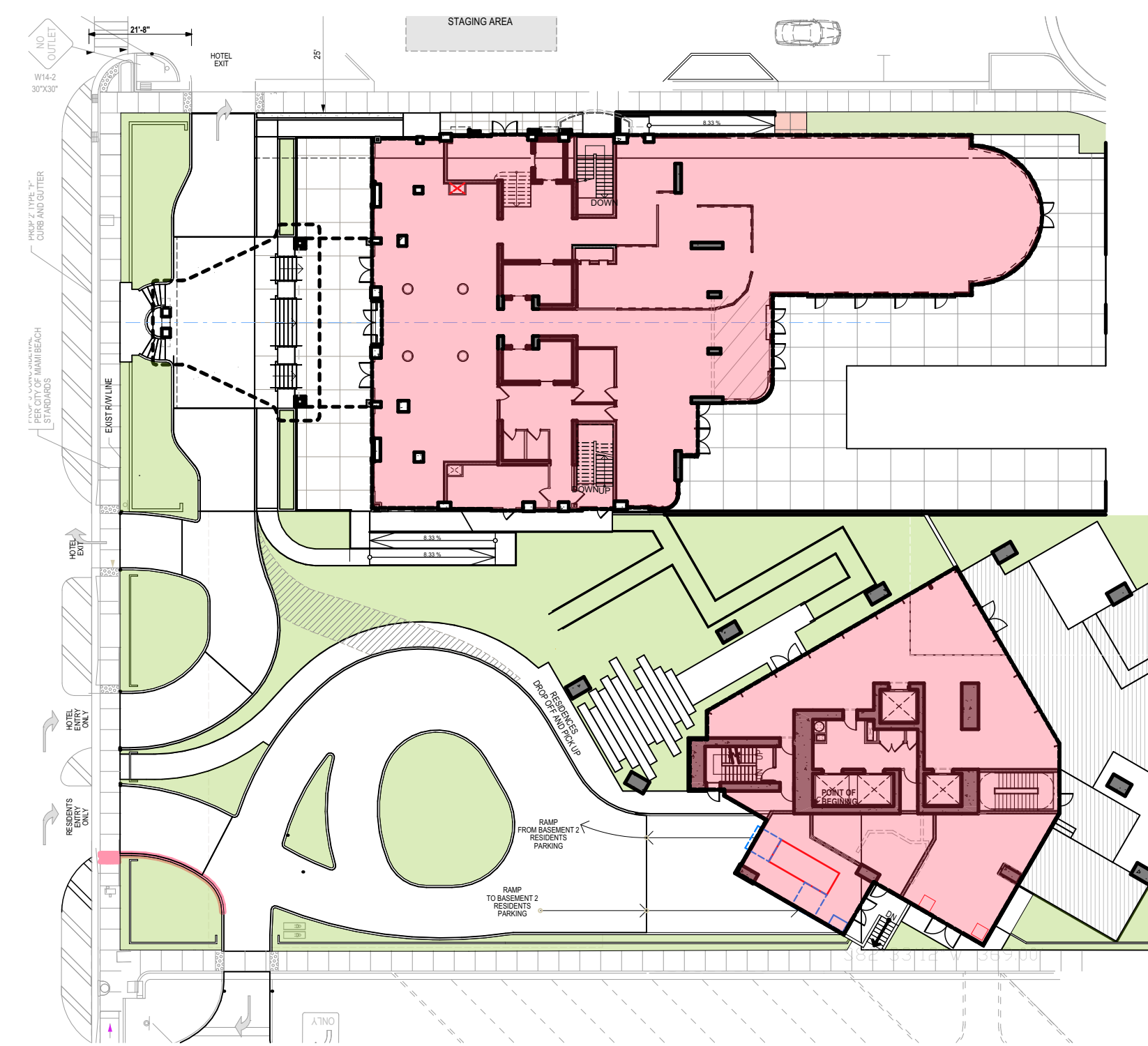
PROPOSED F.A.R.



BASEMENT LEVEL -1

SCALE: 1/32" = 1'-0"

FAR = 0 SF



GROUND LEVEL

SCALE: 1/32" = 1'-0"

FAR HOTEL = 10,257 SF
FAR RESIDENCÉS = 4,991 SF

F.A.R. DIAGRAMS - PROPOSED

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Date
9/29/2020

Scale
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Project No.
1933

Sheet Name
F.A.R. DIAGRAMS - PROPOSED

Sheet No.

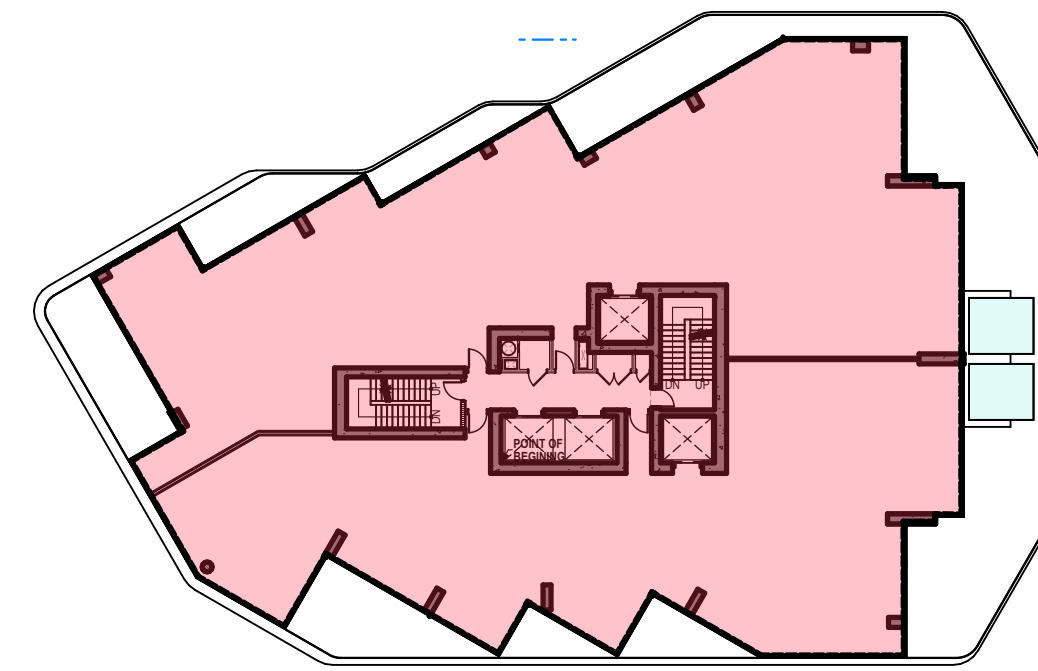
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LEVEL 13 OMITTED

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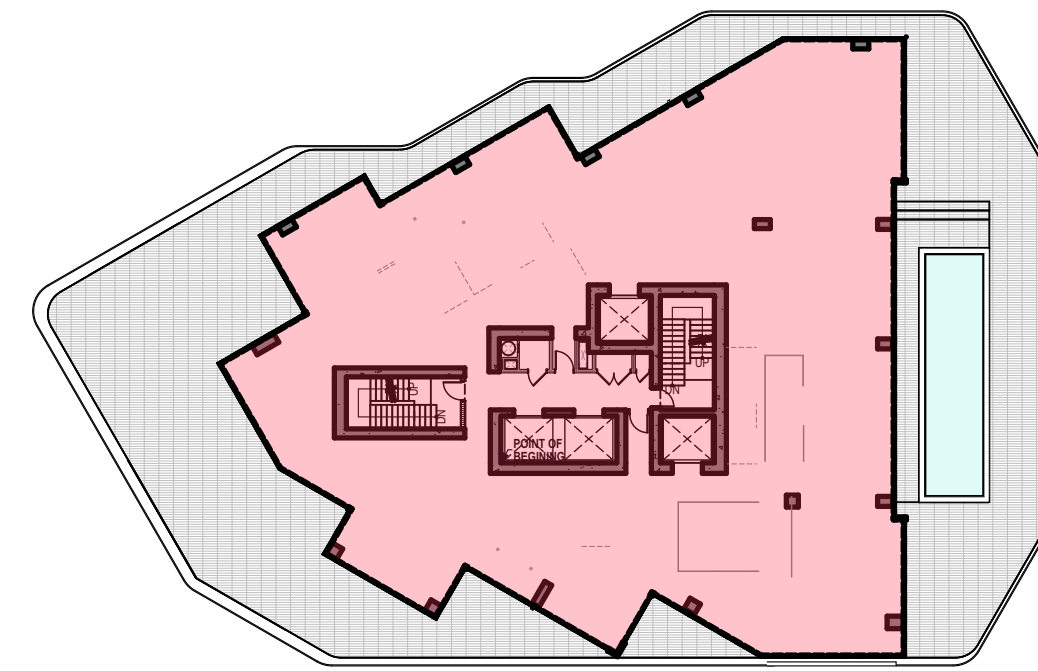
PROPOSED



LEVELS 12 TO 15 RESIDENCES

SCALE: 1/32" = 1'-0"

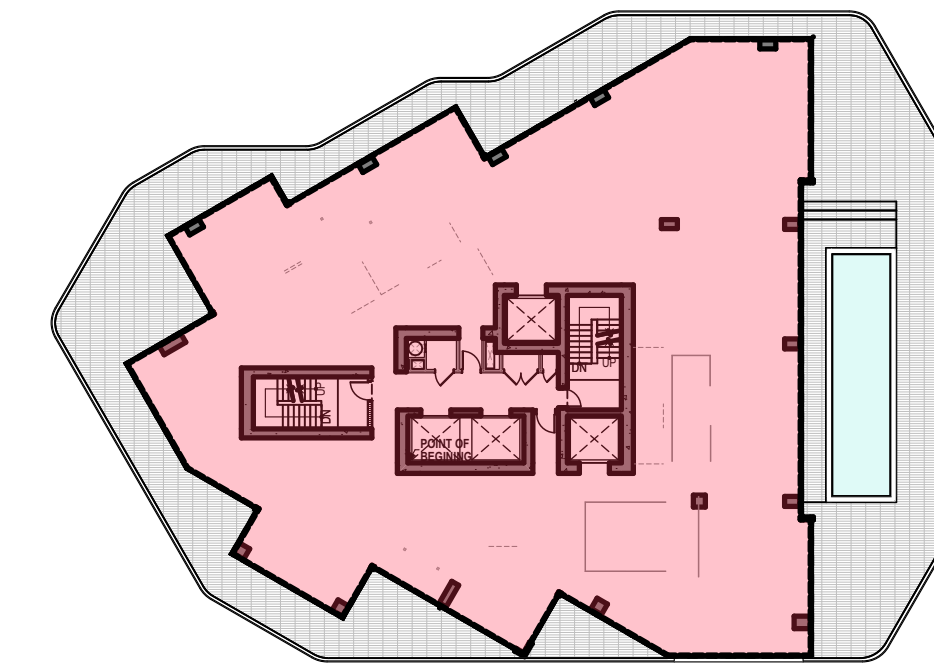
FAR RESIDENCES = 10,531 x 3 = 31,593 SF
(LEVEL 13 EXCLUDED)



LEVEL 16 RESIDENCES

SCALE: 1/32" = 1'-0"

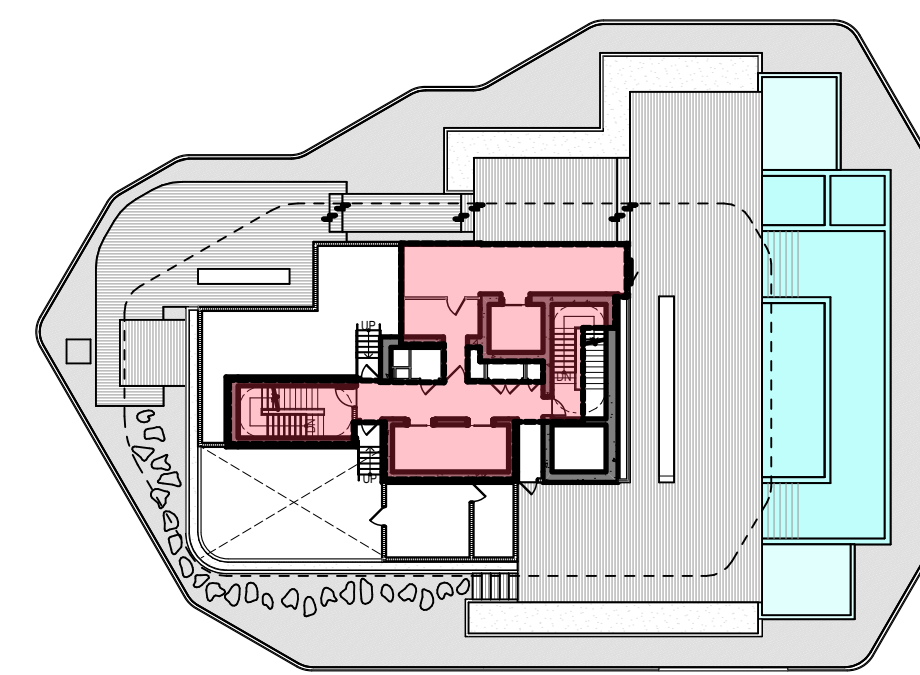
FAR RESIDENCES = 8,445 SF



LEVELS 17 AND 18 RESIDENCES

SCALE: 1/32" = 1'-0"

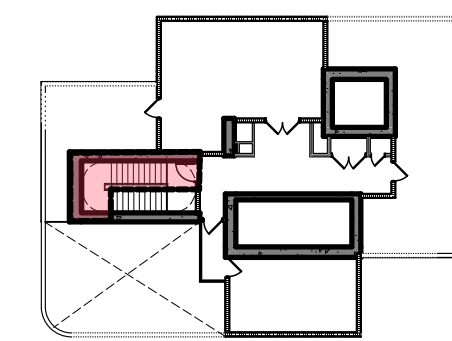
FAR RESIDENCES = 8,445 x 2 = 16,890 SF



LEVEL ROOF RESIDENCES

SCALE: 1/32" = 1'-0"

FAR RESIDENCES = 1,379 SF



LEVEL MECHANICAL ROOF RESIDENCES

SCALE: 1/32" = 1'-0"

FAR RESIDENCES = 166 SF

PROPOSED F.A.R.

F.A.R. HISTORIC HOTEL	
LEVEL	Area (sf)
GROUND LEVEL	10,257
LEVEL 2	1,671
LEVEL 3	6,427
LEVEL 4	3,850
LEVEL 5	6,427
LEVEL 6	6,427
LEVEL 7	6,427
LEVEL 8	6,427
LEVEL 9	6,427
LEVEL 10	6,427
LEVEL 11	6,427
LEVEL 12	6,427
LEVEL 14	4,802
LEVEL 15	187
TOTAL	78,610 sq ft

F.A.R. RESIDENTIAL BUILDING	
LEVEL	Area (sf)
GROUND LEVEL	4,991
LEVEL 2	1,816
LEVEL 3	2,623
LEVEL 4	802
LEVEL 5	10,531
LEVEL 6	10,531
LEVEL 7	10,531
LEVEL 8	10,531
LEVEL 9	10,531
LEVEL 10	10,531
LEVEL 11	10,531
LEVEL 12	10,531
LEVEL 14	10,531
LEVEL 15	10,531
LEVEL 16	8,445
LEVEL 17	8,445
LEVEL 18	8,445
LEVEL ROOF	1,379
MECHANICAL ROOF	168
TOTAL	142,424 sq ft

F.A.R. DIAGRAMS - PROPOSED

LEVEL 13 OMITTED

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Date
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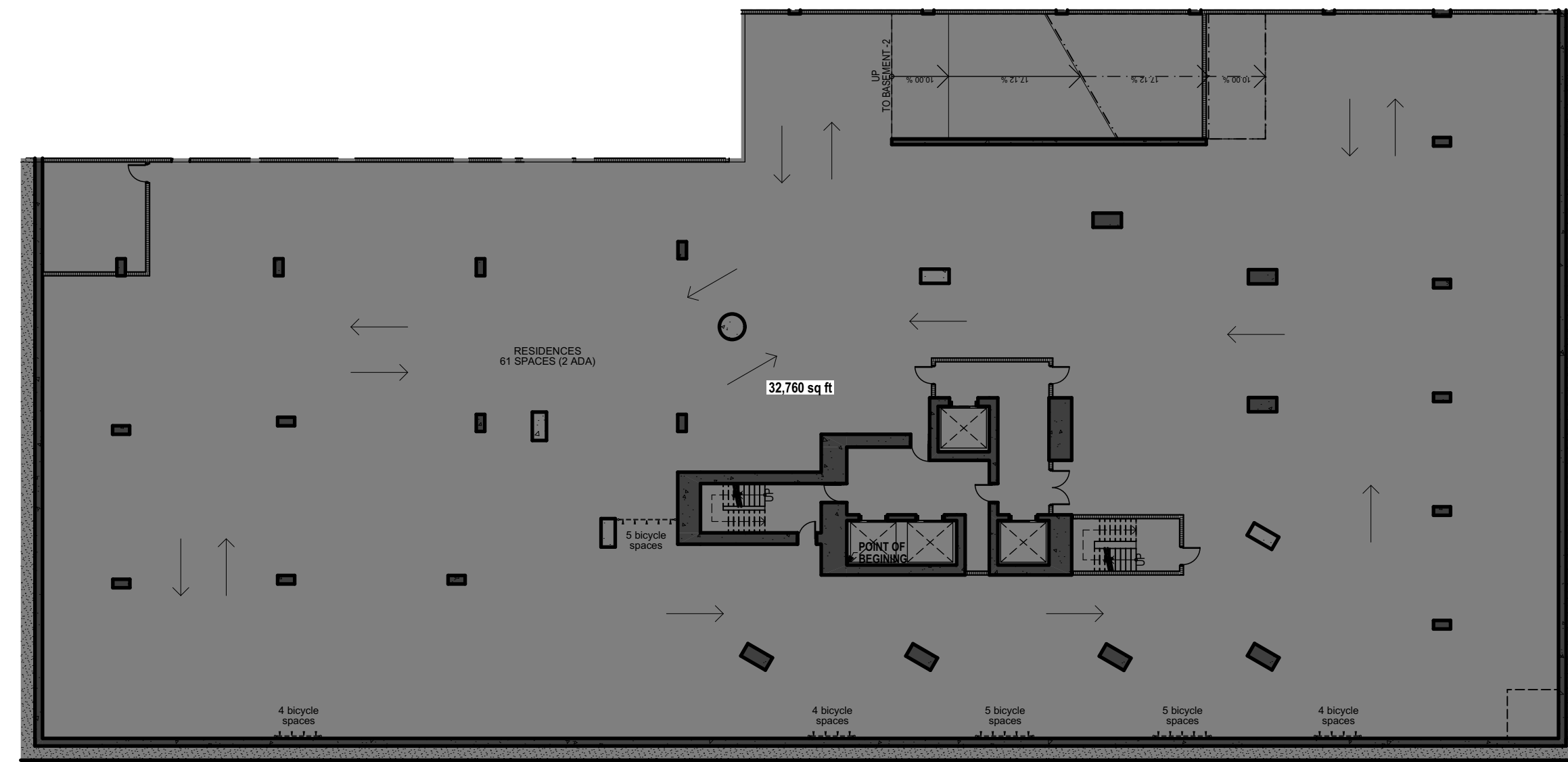
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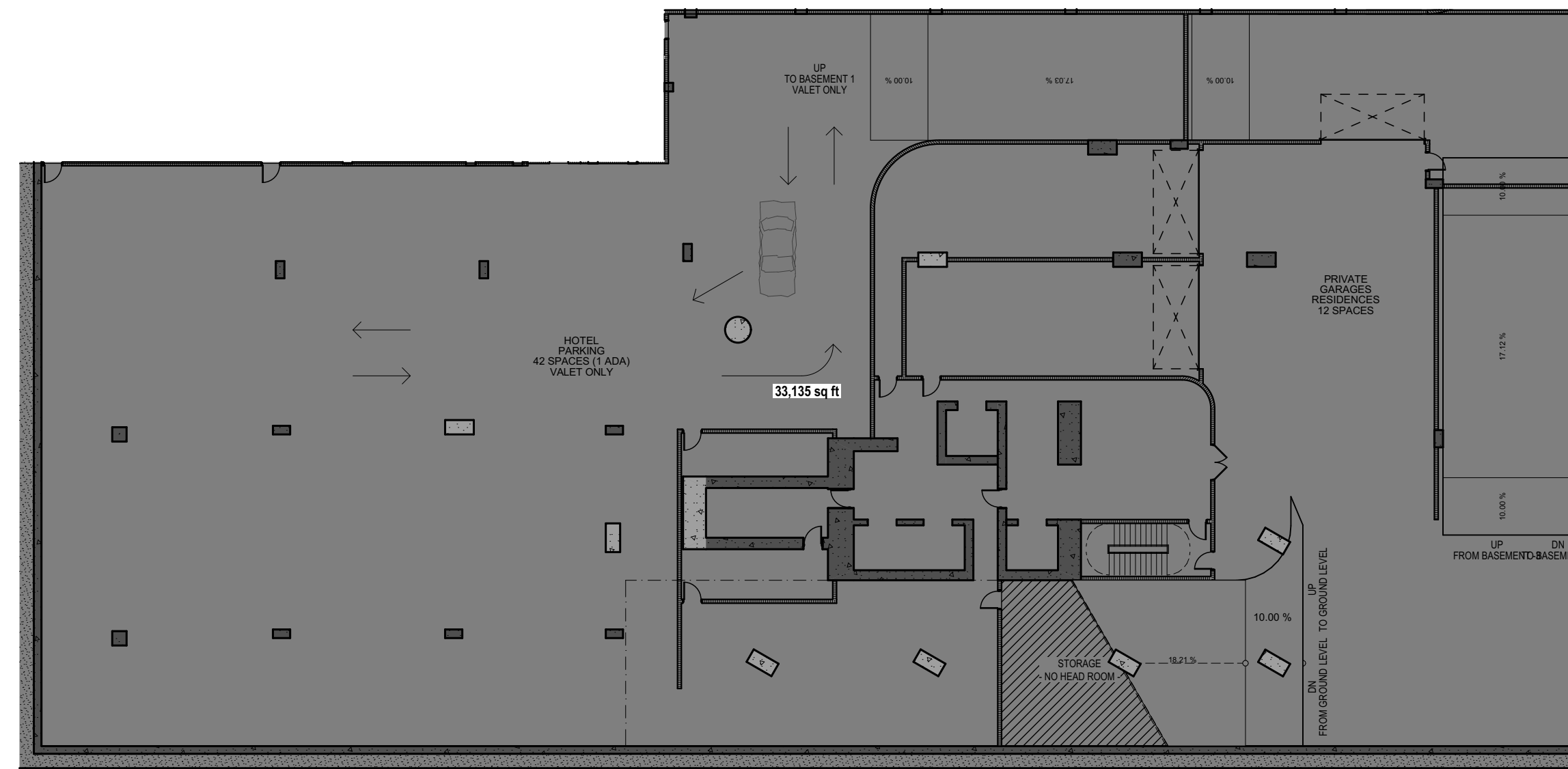
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Sheet No.
A-009

PROPOSED



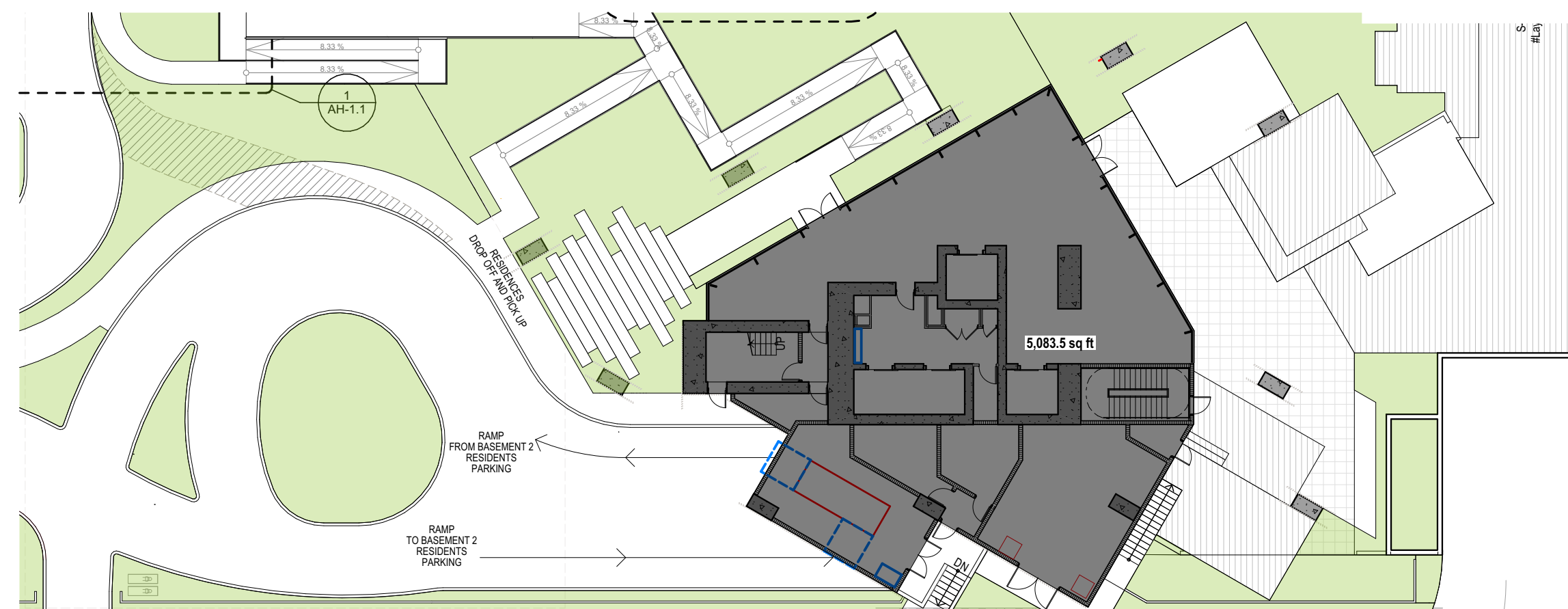
BASEMENT LEVEL -3 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 32,760 SF



BASEMENT LEVEL -2 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 33,135 SF



BASEMENT LEVEL -1 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 33,317.5 SF



GROUND LEVEL RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 5,083.5 SF

PROPOSED NEW
GROSS AREA RESIDENCES

GROSS DIAGRAMS RESIDENCES - PROPOSED

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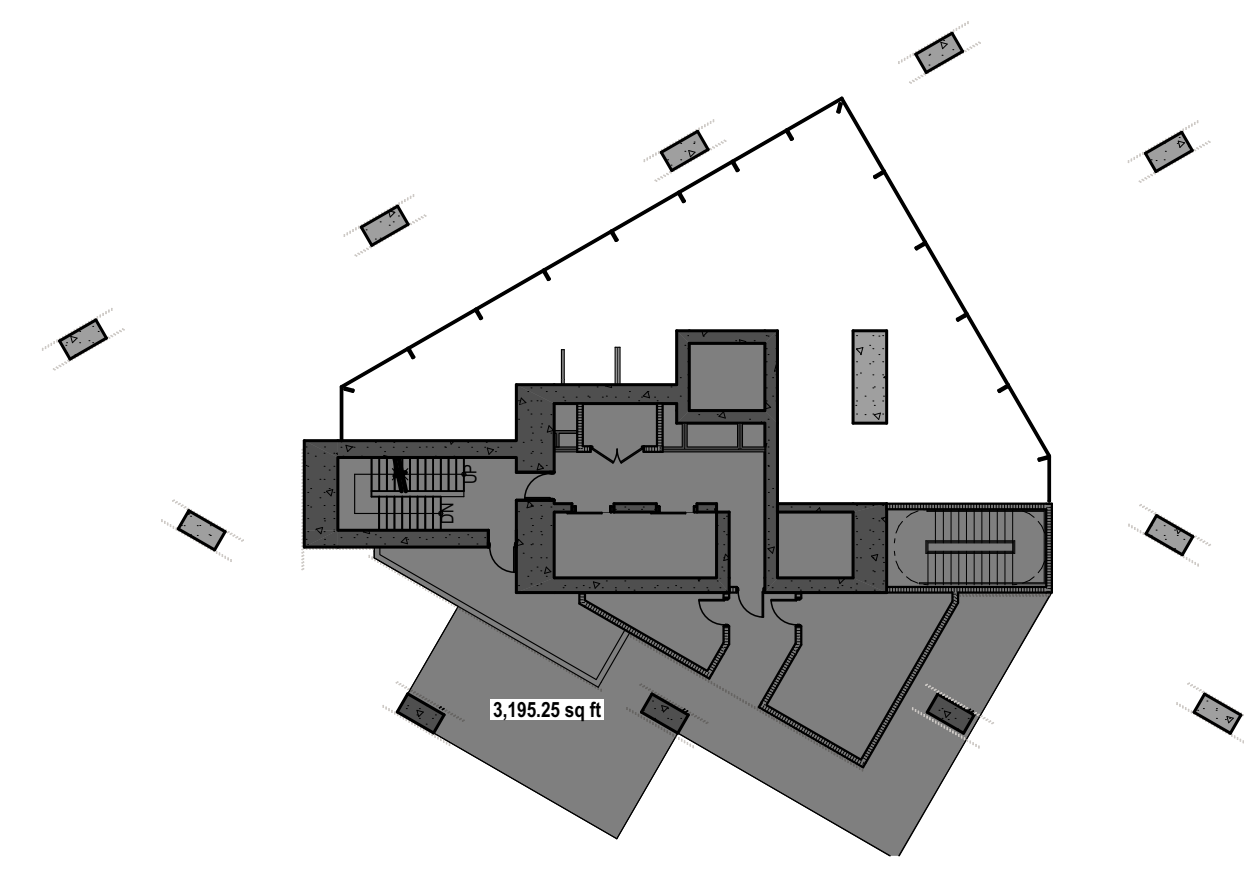
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RESIDENCES - PROPOSED
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A-010

LEVEL 13 OMITTED

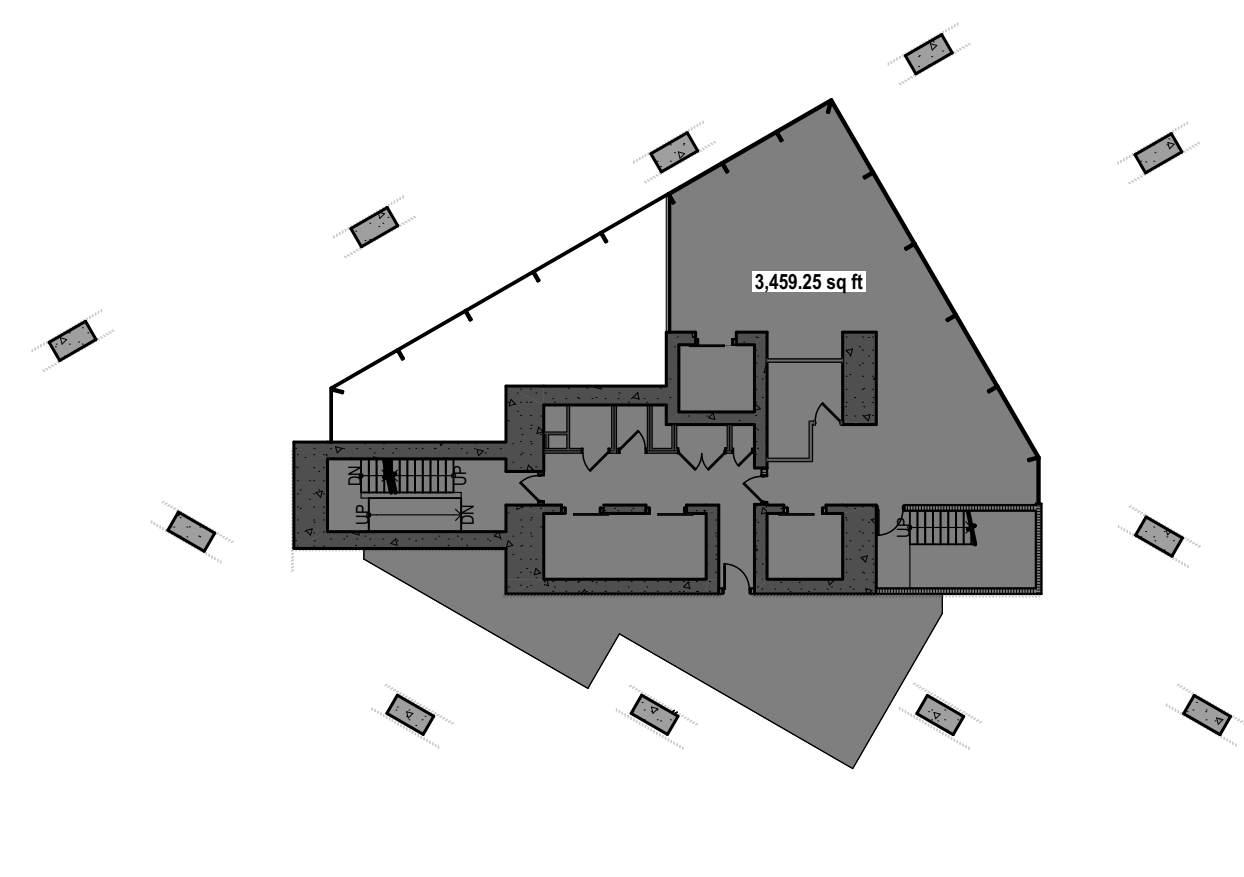
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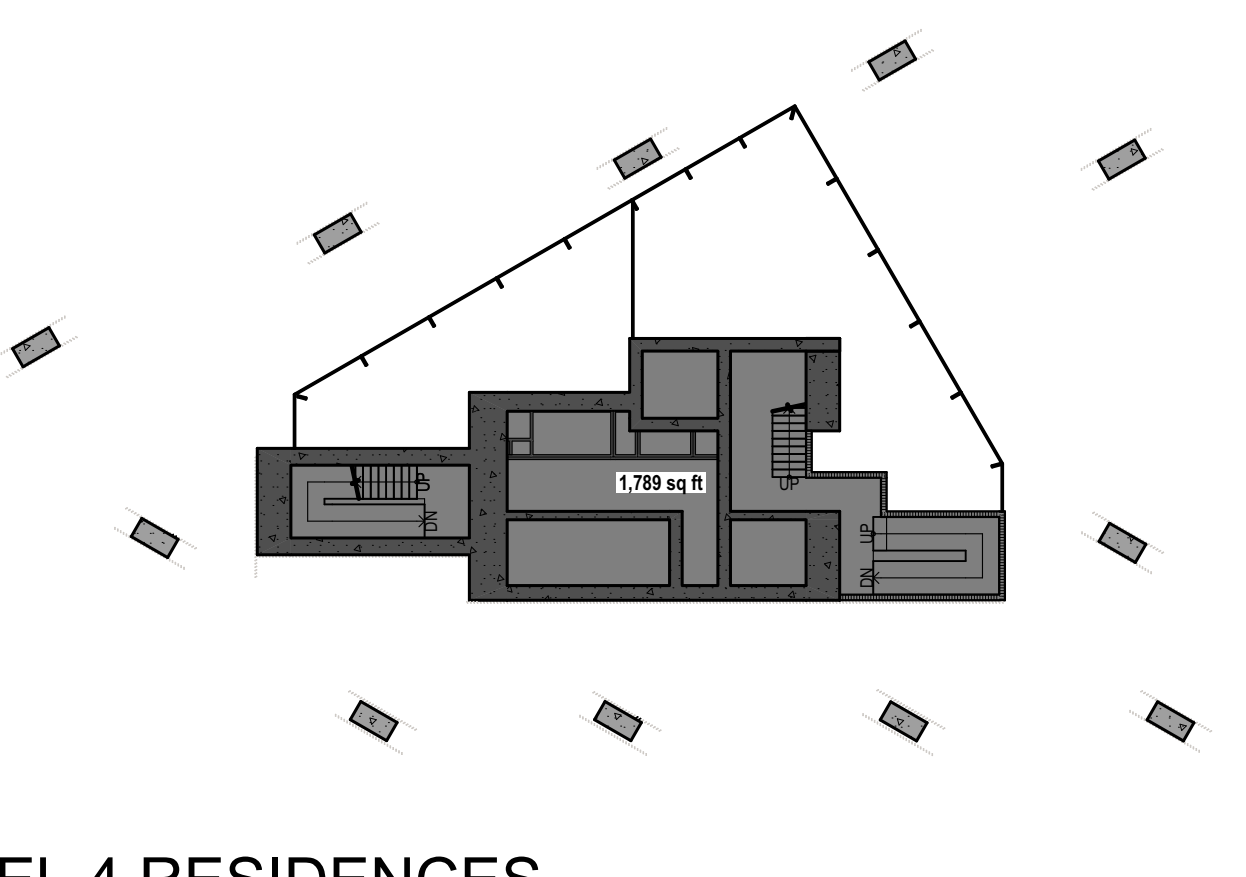
PROPOSED



LEVEL 2 RESIDENCES
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GROSS RESIDENCES NEW = 3,195.25 SF

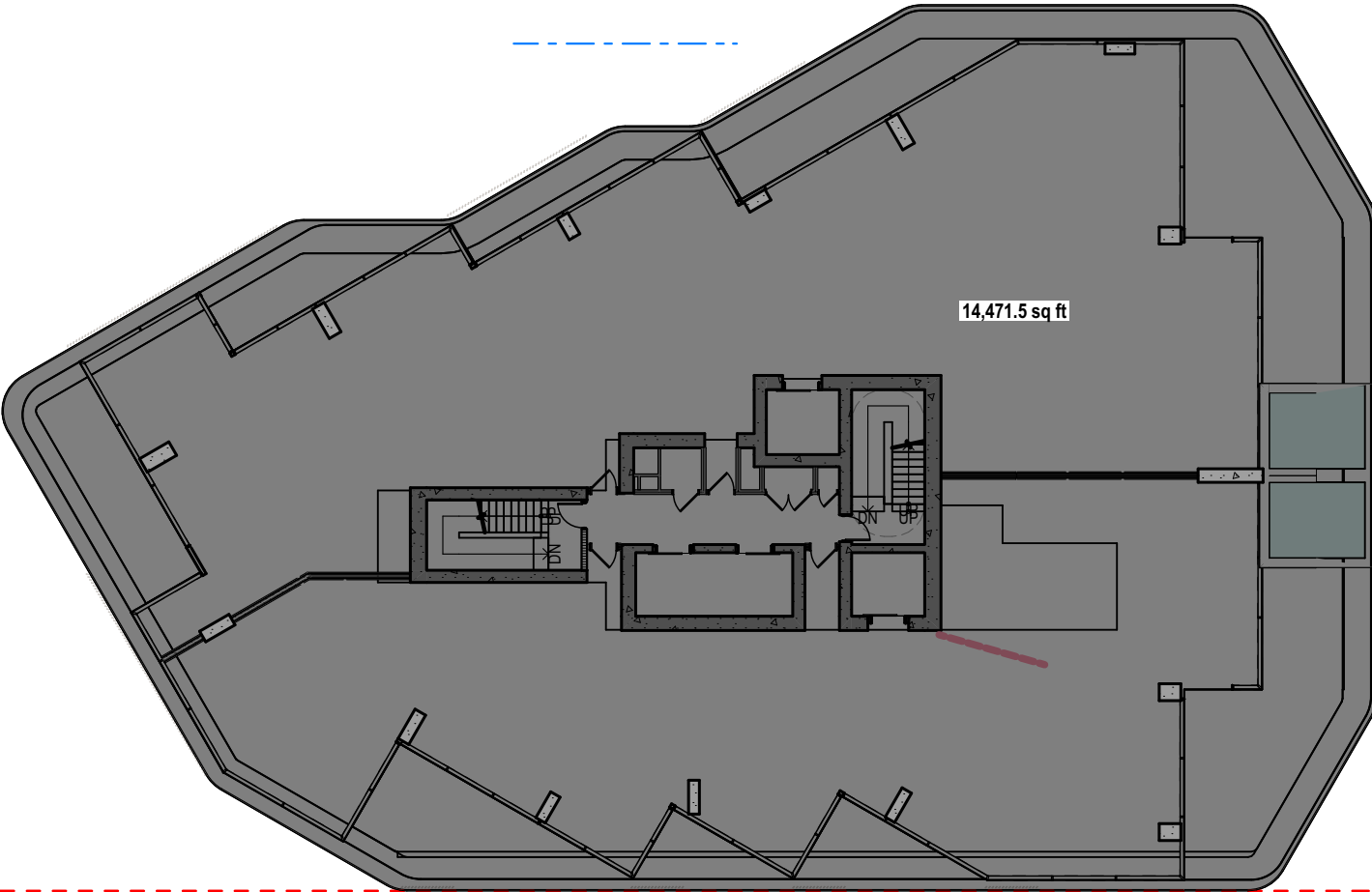


LEVEL 3 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 3,459.25 SF

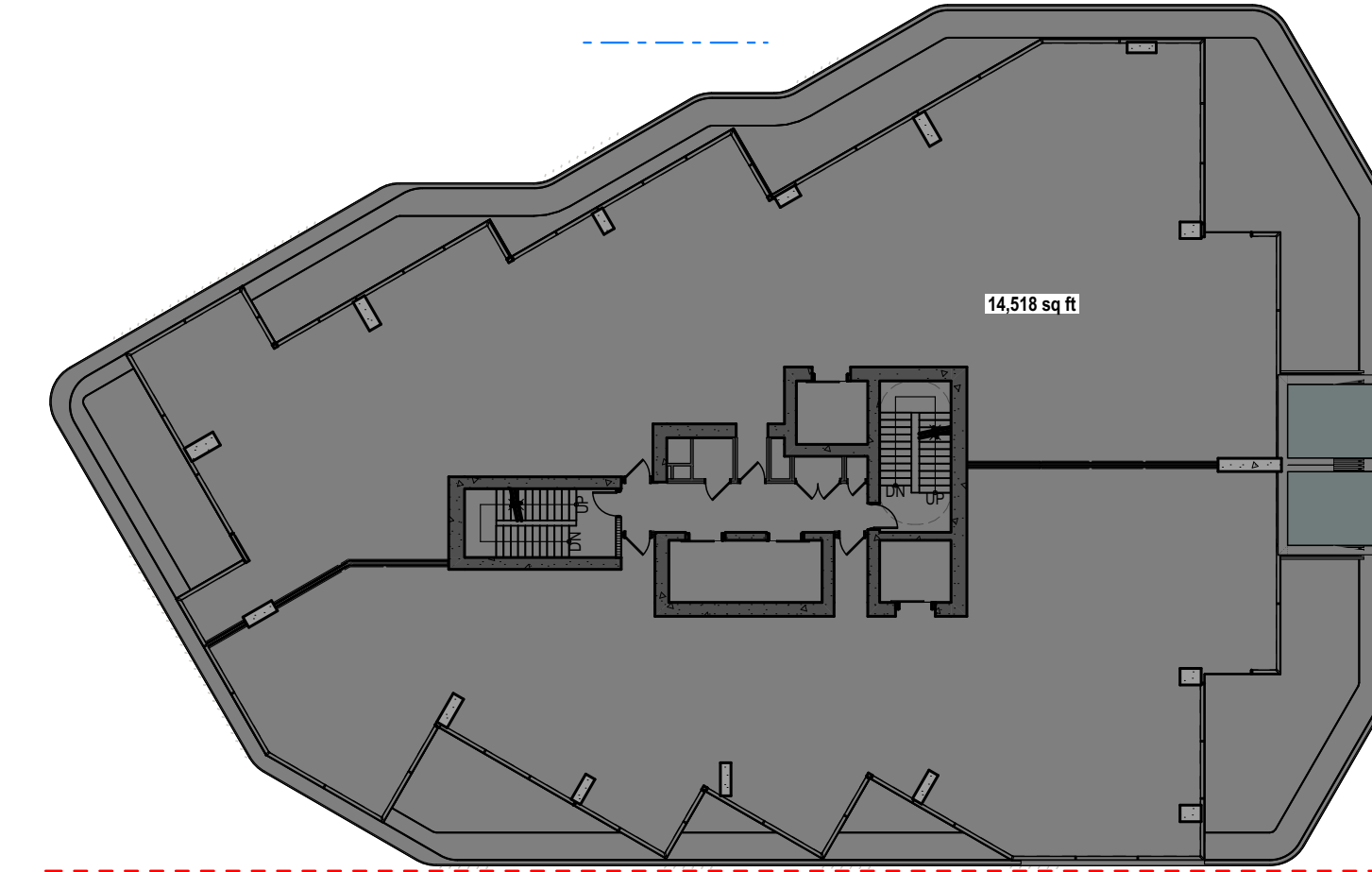


LEVEL 4 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 1,789 SF

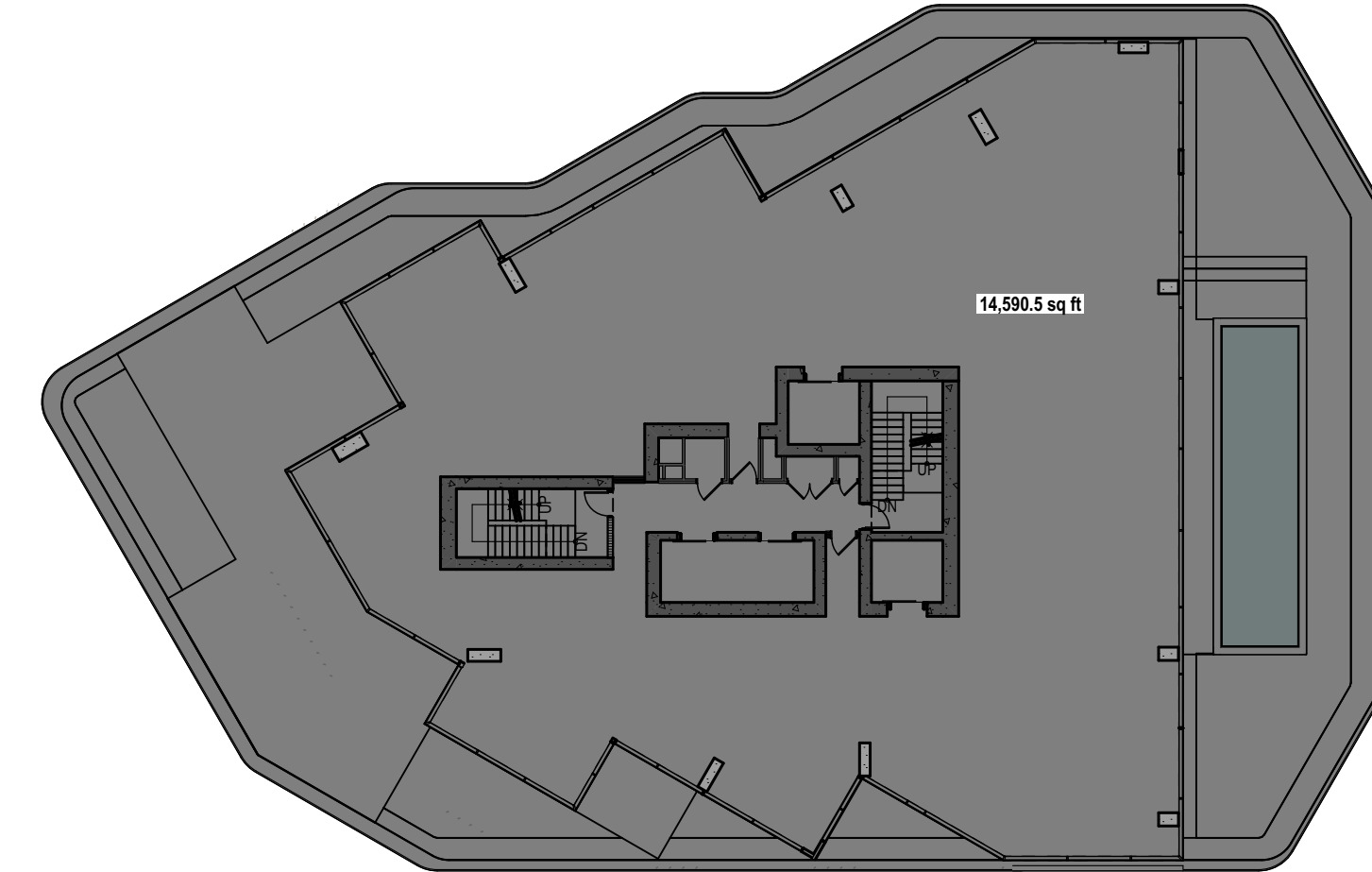
PROPOSED NEW GROSS AREA RESIDENCES



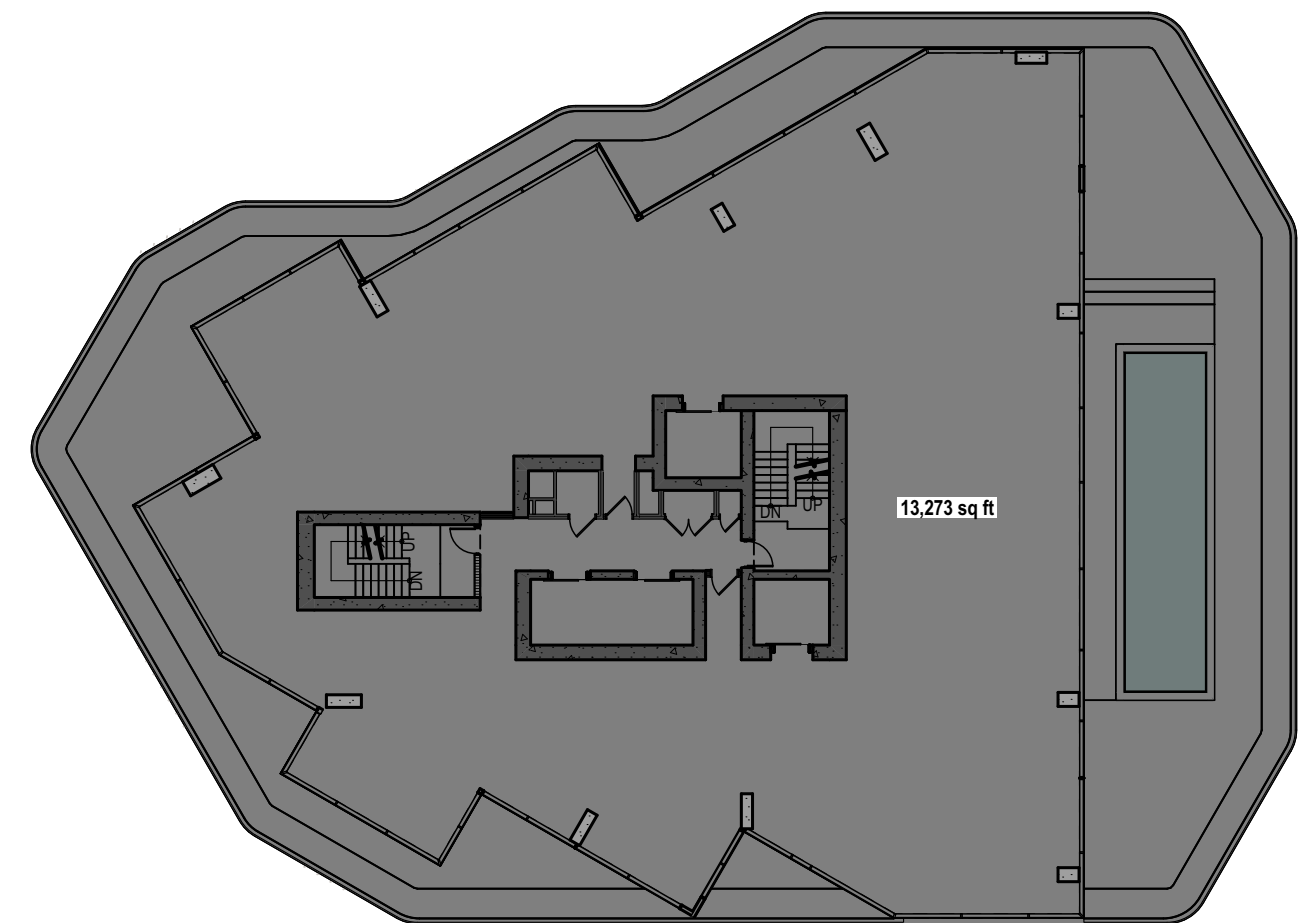
LEVEL 5 TO 10 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 14,471.5 x 6 = 86,829 SF



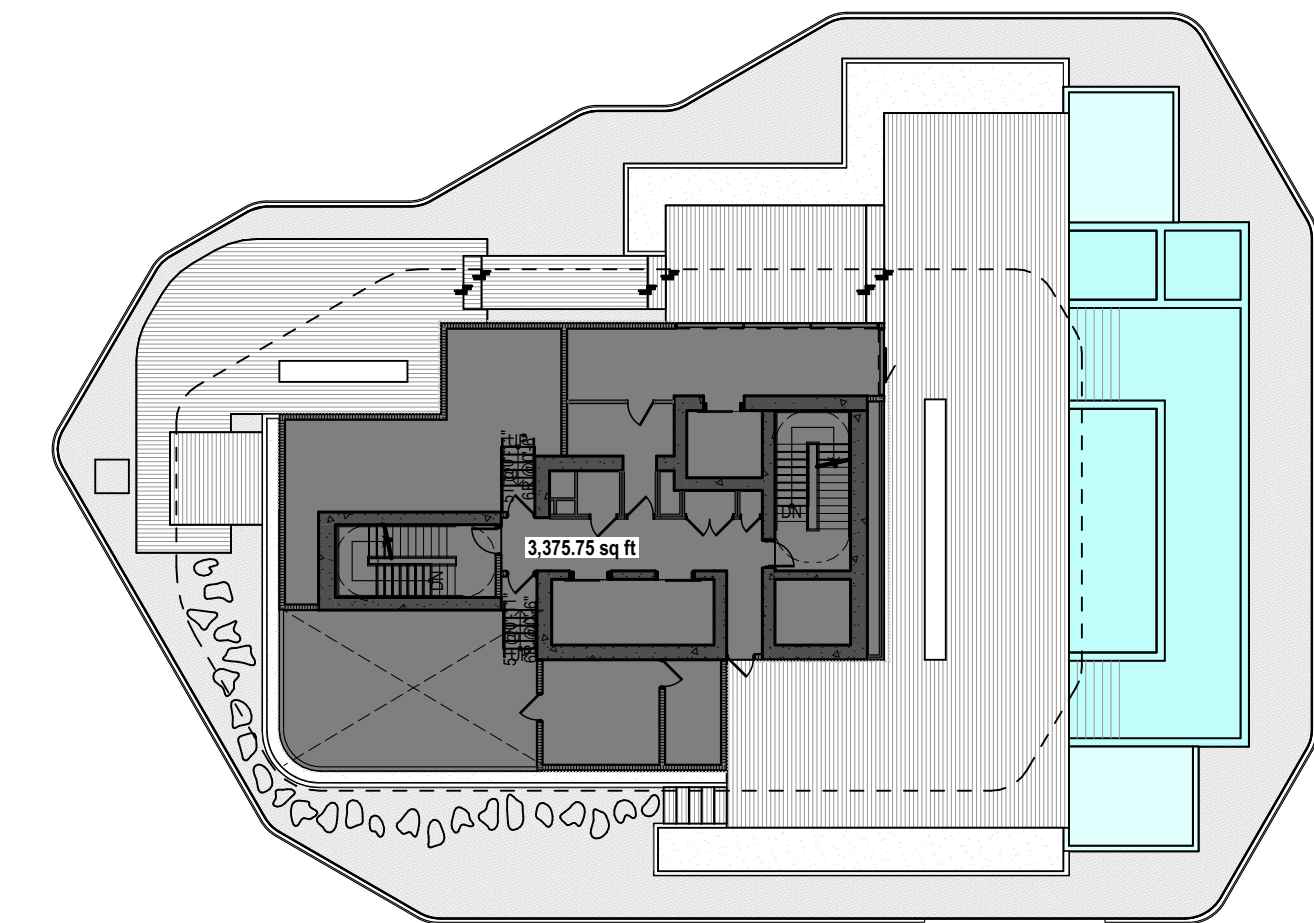
LEVEL 11 TO 15 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 14,518 x 4 = 58,072 SF (LEVEL 13 EXCLUDED)



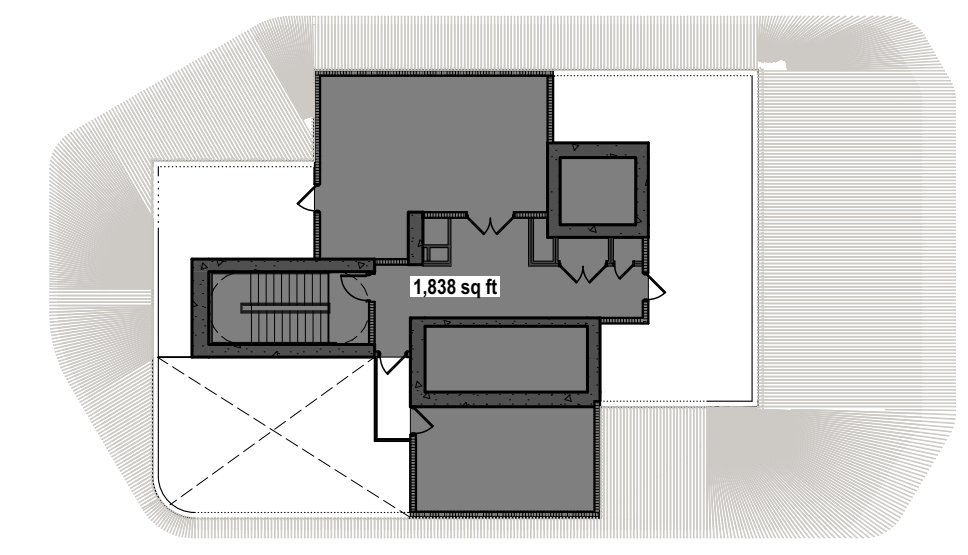
LEVEL 16 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 14,590.5 SF



LEVEL 17 & 18 RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 13,273 x 2 = 26,546 SF



LEVEL ROOF RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 3,375.75 SF



LEVEL MECHANICAL ROOF RESIDENCES
SCALE: 1:274.2857
GROSS RESIDENCES NEW = 1,838 SF

GROSS-00 RESIDENCES NEW	
LEVEL	Area (sf)
BASEMENT LEVEL -3	32,760
BASEMENT LEVEL -2	33,135
BASEMENT LEVEL -1	33,317
GROUND LEVEL	5,084
LEVEL 2	3,195
LEVEL 3	3,459
LEVEL 4	1,789
LEVEL 5	14,472
LEVEL 6	14,472
LEVEL 7	14,472
LEVEL 8	14,472
LEVEL 9	14,472
LEVEL 10	14,472
LEVEL 11	14,518
LEVEL 12	14,518
LEVEL 14	14,518
LEVEL 15	14,518
LEVEL 16	14,590
LEVEL 17	13,273
LEVEL 18	13,273
LEVEL ROOF	3,376
MECHANICAL ROOF	1,838
TOTAL	303,993 sq ft

GROSS DIAGRAMS RESIDENCES - PROPOSED

LEVEL 13 OMITTED

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Date: 2020.10.13 17:05:41-0400

Luis O. Revuelta
AR-0007972

HPB - October 13, 2020

Date
9/29/2020

Scale
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GROSS DIAGRAMS
RESIDENCES - PROPOSED

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SITE AERIAL PHOTOGRAPHS

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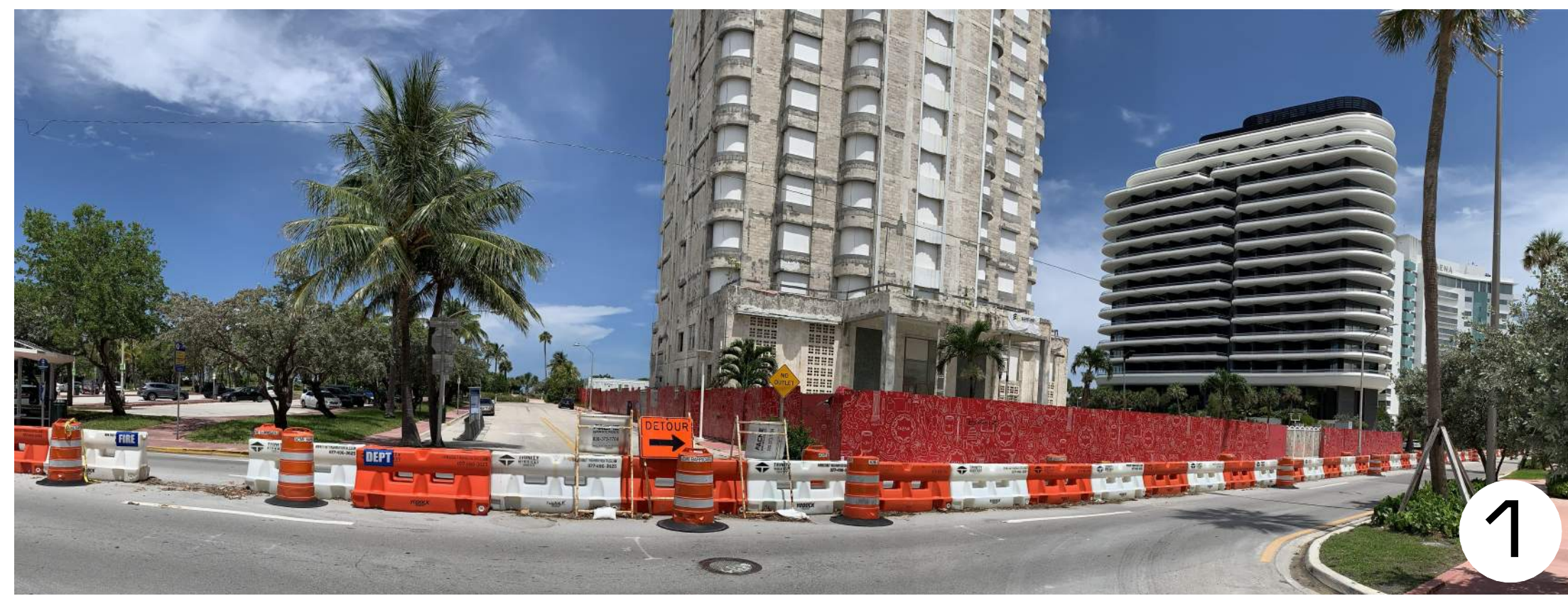
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Date: 2020.10.13 17:01:15-0400

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SITE PHOTOGRAPHS

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