

ZONING DATA

SITE ADDRESS

400 COLLINS AVENUE, MIAMI BEACH, FL

SITE DATA

LOT 5, 6, 7

LOT DIMENSION: 150 FT X 130 FT

LOT AREA: 19,500 SF

ZONING DESIGNATION

C-PS2 GENERAL MIXED-USE COMMERCIAL (SEC. 142-698 - 142-699)

MAXIMUM FAR = 2.0

MAXIMUM HEIGHT = 50 FT

MAXIMUM NUMBER OF STORIES = 5

MINIMUM APARTMENT SIZE = 600 SF

AVERAGE APARTMENT SIZE = 900 SF

SUBTERRANEAN SETBACKS:

FRONT = 0 FT

SIDE, INTERIOR = 0 FT

SIDE, FACING A STREET = 0 FT

REAR = 0 FT

PEDESTAL & TOWER (NON-OCEANFRONT) SETBACKS:

FRONT = 0 FT; 5 FT FOR RESIDENTIAL

SIDE, INTERIOR = 7.5 FT WHEN ABUTTING A RESIDENTIAL DISTRICT,

OTHERWISE NONE; RESIDENTIAL USES SHALL FOLLOW

R-PS1, 2, 3, 4 SETBACKS

SIDE, FACING A STREET = 0 FT; RESIDENTIAL USES SHALL FOLLOW

R-PS1, 2, 3, 4 SETBACKS

REAR = 10 FT WHEN ABUTTING A RESIDENTIAL DISTRICT,

OTHERWISE 5 FT

RESIDENTIAL USE IN C-PS2 DISTRICT

PURSUANT TO ALL R-PS3 REGULATIONS, EXCEPT
MAXIMUM BUILDING HEIGHT = 75 FT (SEC. 142-698 (b))

TOWER SETBACKS:

FRONT = 50 FT

SIDE, INTERIOR = THE REQUIRED PEDESTAL SETBACK (7.5 FT) PLUS

0.10 THE HEIGHT OF THE BUILDING (7.5 FT) = 15 FT

SIDE, FACING A STREET = THE REQUIRED PEDESTAL SETBACK (5 FT) PLUS

0.10 THE HEIGHT OF THE BUILDING (7.5 FT) = 12.5 FT

REAR (NON-OCEANFRONT) = 15% OF LOT DEPTH = 19.5 FT

NOT FOR CONSTRUCTION

BUILDING DATA

BUILDING HEIGHT

ALLOWED HEIGHT TO PARKING

GARAGE ROOF = 50'-0"

PROPOSED HEIGHT TO PARKING

GARAGE ROOF = 49'-0"

ALLOWED HEIGHT TO RESIDENTIAL

ROOF = 75'-0"

PROPOSED HEIGHT TO RESIDENTIAL

ROOF = 75'-0"

ALLOWED HEIGHT TO MECH.BULKHEAD =

100'-0"

PROPOSED HEIGHT TO MECH.BULKHEAD =

95'-0"

NUMBER OF STORIES

ALLOWED PARKING GARAGE = 5

PROPOSED PARKING GARAGE = 5

ALLOWED RESIDENTIAL = 5

PROPOSED RESIDENTIAL = 2

AREA

MAXIMUM BUILDING AREA = 39,000 SF

PROPOSED BUILDING AREA = 24,123 SF

EXCLUDED FROM AREA (SEC. 114-1):

-TERRACES

-COMMERICAL PARKING GARAGES

WHEN SUCH STRUCTURE IS THE

MAIN USE ON A SITE

-MECHANICAL EQUIP. ROOMS LOCATED

ABOVE THE MAIN ROOF DECK

-ENCLOSED GARBAGE ROOMS ON THE

GROUND FLOOR

RESIDENTIAL UNITS

4 TOTAL:

2 ON LEVEL 06

2 ON LEVEL 07

OFF-STREET LOADING

1 LOADING SPACE W/IN BUILDING

PROJECT

TORINO GARAGE

400 COLLINS AVE.,
MIAMI BEACH, FL 33139

Owner:
Allied Partners
770 Lexington Ave
New York, NY 10065-8165

Design Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Landscape Architect:
Naturaliffical, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143

Traffic Consultant:
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8400 N. University Drive, Suite 202
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Parking / Auto-Turn Consultant:
Juan Espinosa
David Plummer & Associates
1750 Ponce de Leon Boulevard
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NO. DESCRIPTION DATE

02 FINAL SUBMITTAL MAY 4, 2016
01 PROGRESS SET APRIL 27, 2016

DATE OF ISSUE DRAWN BY

05/03/2016 Author

SCALE CHECKED BY

Project Status Checker

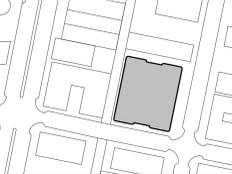
PROJECT NO. & TITLE

Project Number TORINO GARAGE

PROJECT STATUS

Project Status

KEY PLAN



SCALE & ORIENTATION

NOT TO SCALE

SEAL & SIGNATURE

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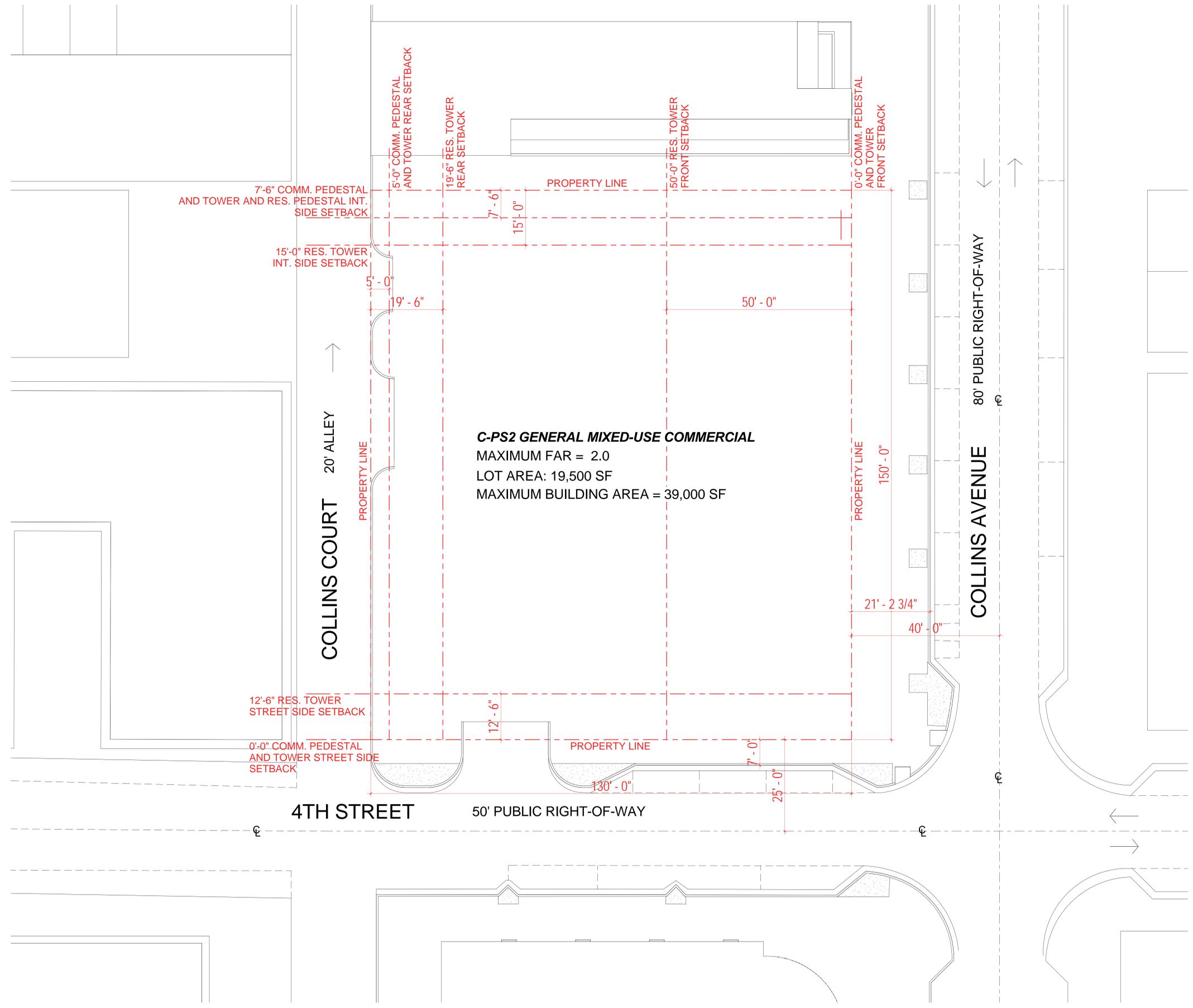
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DRAWING TITLE

PB A-002
ZONING DATA

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PROJECT
TORINO GARAGE
 400 COLLINS AVE.,
 MIAMI BEACH, FL 33139

Owner:
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Design Architect:
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CONSULTANTS

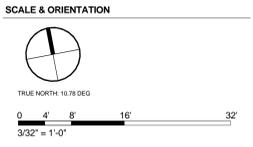
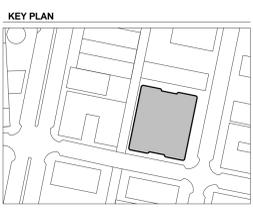
Landscape Architect:
 Naturalicial, Inc.
 6915 Red Road, Suite 224
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3/32" = 1'-0"	Checker
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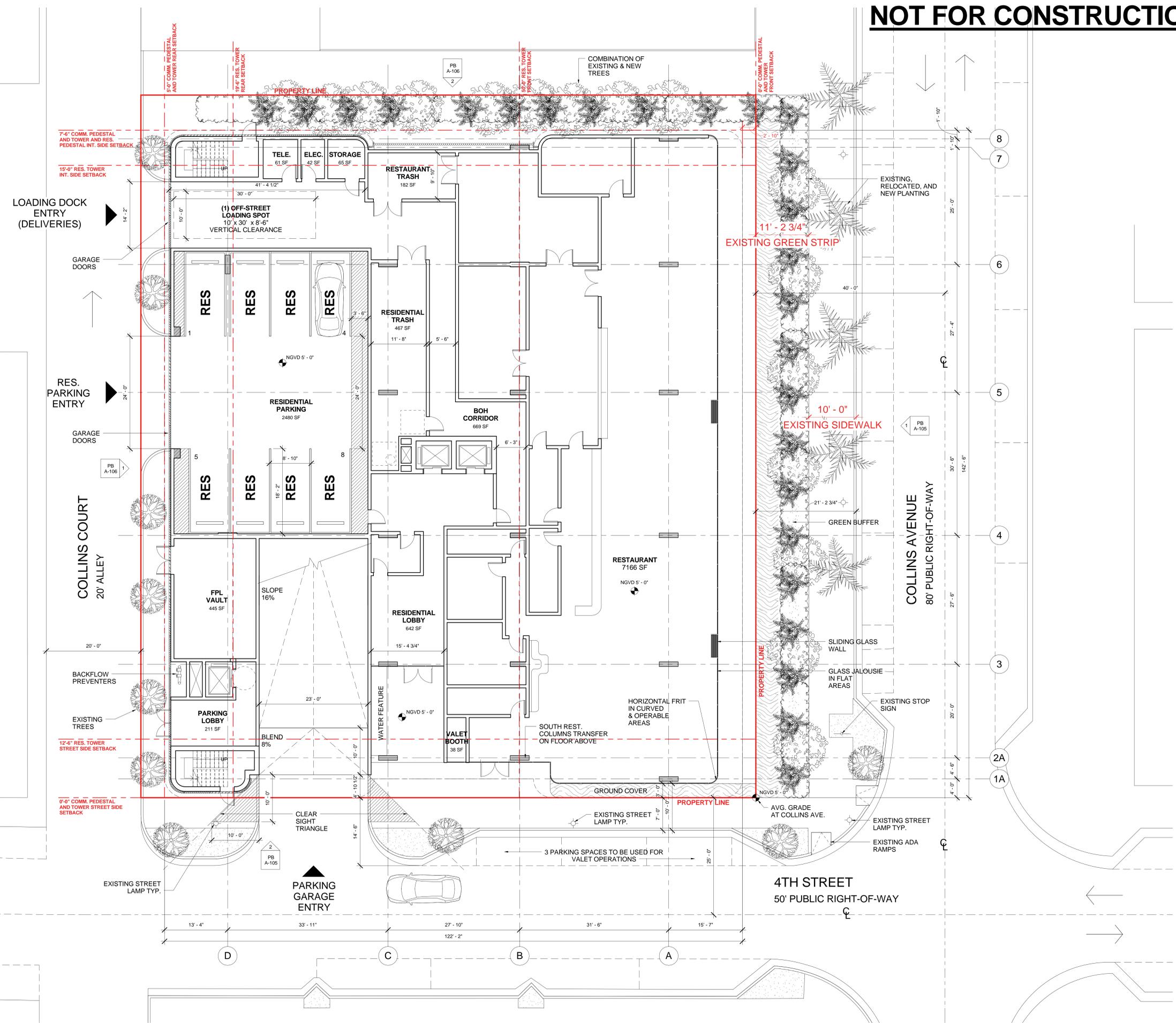
CONSULTANTS

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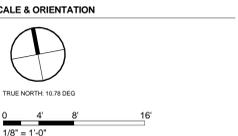
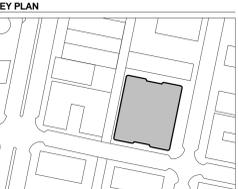
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DRAWING TITLE
PB A-101
PROPOSED SITE PLAN -
GROUND FLOOR

1 SITE PLAN - AT GROUND LEVEL
1/8" = 1'-0"

TORINO GARAGE

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Coral Gables, FL 33134

NOT FOR CONSTRUCTION

LOADING DOCK
ENTRY
(DELIVERIES)

RES.
PARKING
ENTRY

COLLINS COURT
20' ALLEY

COLLINS AVENUE
80' PUBLIC RIGHT-OF-WAY

4TH STREET
50' PUBLIC RIGHT-OF-WAY

7'-6" COMM. PEDESTAL
AND TOWER AND RES.
PEDESTAL INT. SIDE SETBACK

15'-0" RES. TOWER
INT. SIDE SETBACK

12'-6" RES. TOWER
STREET SIDE SETBACK

0'-0" COMM. PEDESTAL
AND TOWER STREET SIDE
SETBACK

0'-0" COMM. PEDESTAL
AND TOWER REAR SETBACK

0'-0" COMM. PEDESTAL
AND TOWER REAR SETBACK

9'-0" RES. TOWER
FRONT SETBACK

0'-0" COMM. PEDESTAL
FRONT SETBACK

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

T.O. EGRESS
BULKHEAD
NGVD 95'-0"

NGVD 83'-0"

NGVD 86'-0"

NGVD 88'-0"

NGVD 94'-0"

T.O. ELEV.
BULKHEAD
NGVD 103'-0"

NGVD 83'-0"

OPEN
TRELLIS
PERGOLA

ROOF POOL
DECK
NGVD 94'-0"

PLUNGE
POOL
NGVD 88'-0"

ROOF GARDEN
DECK
NGVD 86'-0"

T.O. EGRESS
BULKHEAD
NGVD 95'-0"

NGVD 83'-0"

NGVD 71'-9"

NGVD 60'-6"

NGVD 59'-6"

NGVD 56'-0"

NGVD 5'-0"

2
PB
A-106

PARKING
GARAGE
ENTRY

8

7

6

5

4

3

2B

1B

PB
A-106
2

PB
A-106
1

PB
A-106
1

D

C

B

A

1 SITE PLAN - FROM T.O. ROOF
1/8" = 1'-0"

NO. DESCRIPTION DATE

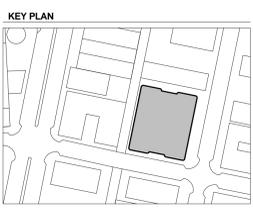
02 FINAL SUBMITTAL MAY 4, 2016
01 PROGRESS SET APRIL 27, 2016

DATE OF ISSUE 05/03/2016 DRAWN BY Author

SCALE 1/8" = 1'-0" CHECKED BY Checker

PROJECT NO. & TITLE Project Number TORINO GARAGE

PROJECT STATUS Project Status



SCALE & ORIENTATION



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DRAWING TITLE

PB A-102
PROPOSED SITE PLAN -
ROOF LEVEL

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TORINO GARAGE

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MIAMI BEACH, FL 33139

Owner:
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New York, NY 10065-8165

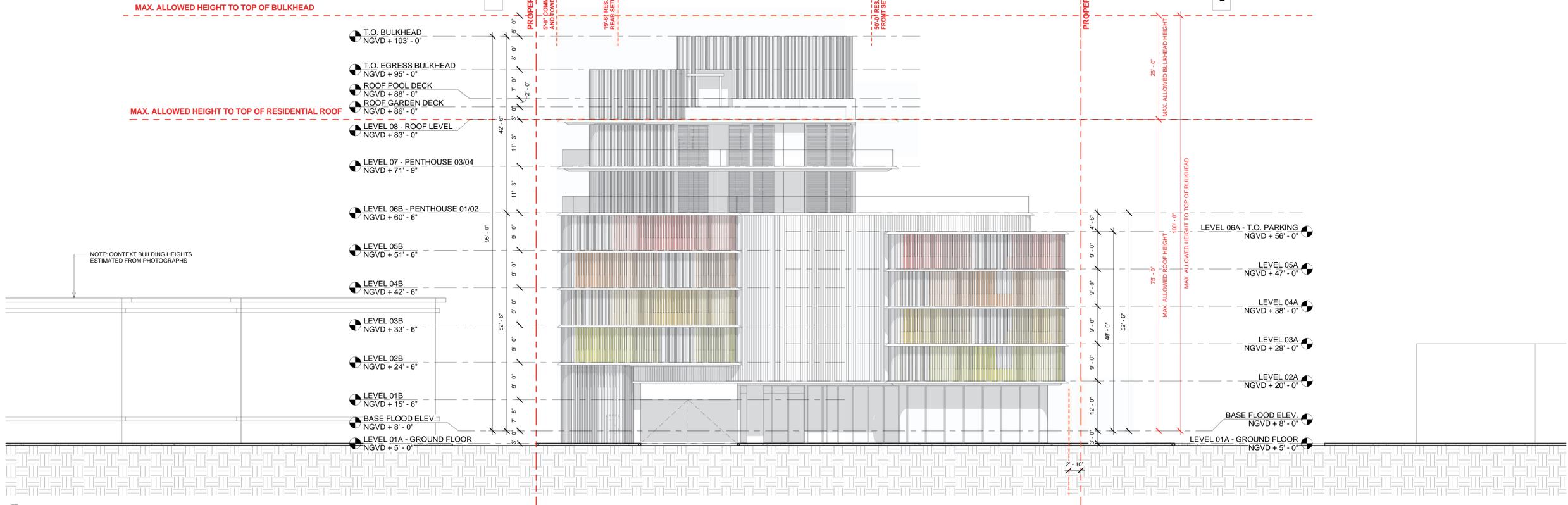
Design Architect:
Brandon Haw Architecture LLP
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CONSULTANTS

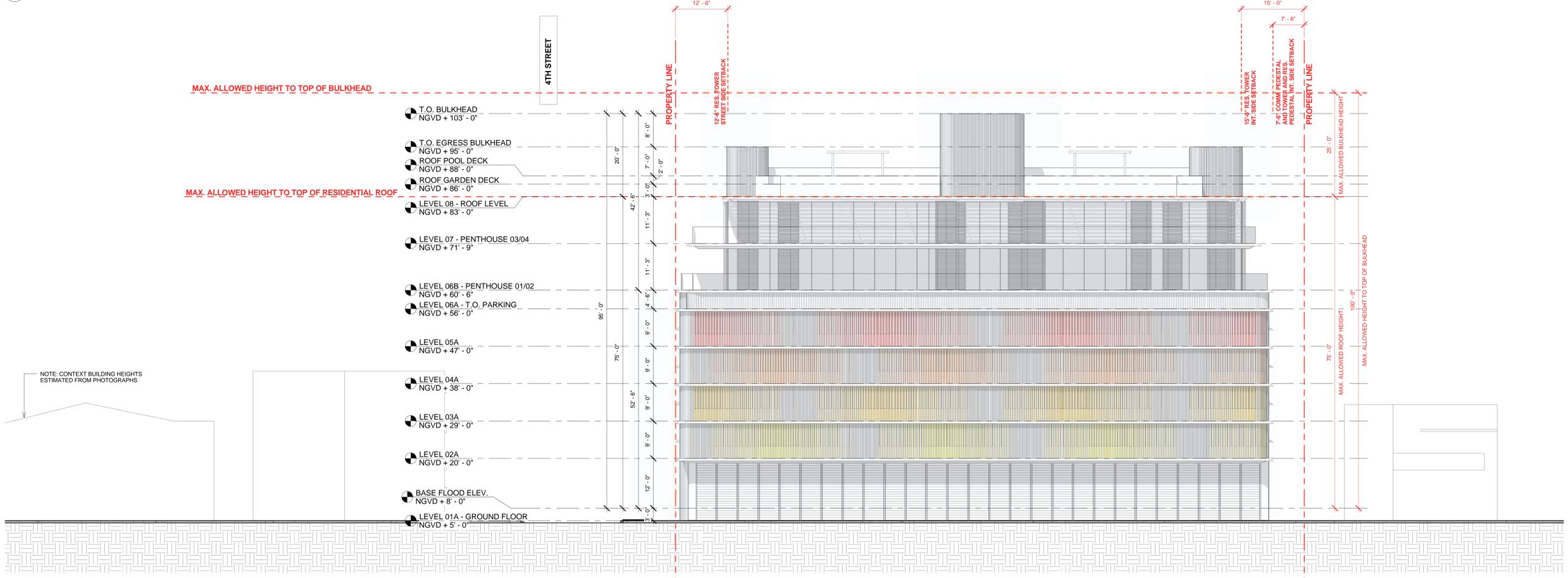
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2 PROPOSED SITE ELEVATION - SOUTH
3/32" = 1'-0"



1 PROPOSED SITE ELEVATION - EAST
3/32" = 1'-0"

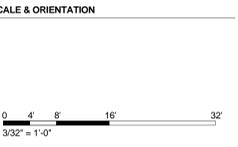
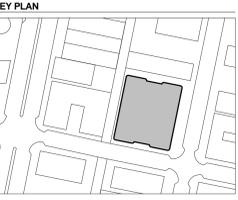
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DRAWING TITLE

PB A-105

PROPOSED SITE -
ELEVATION - EAST &
SOUTH

NOT FOR CONSTRUCTION

PROJECT
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 400 COLLINS AVE.,
 MIAMI BEACH, FL 33139

Owner:
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 New York, NY 10065-8165

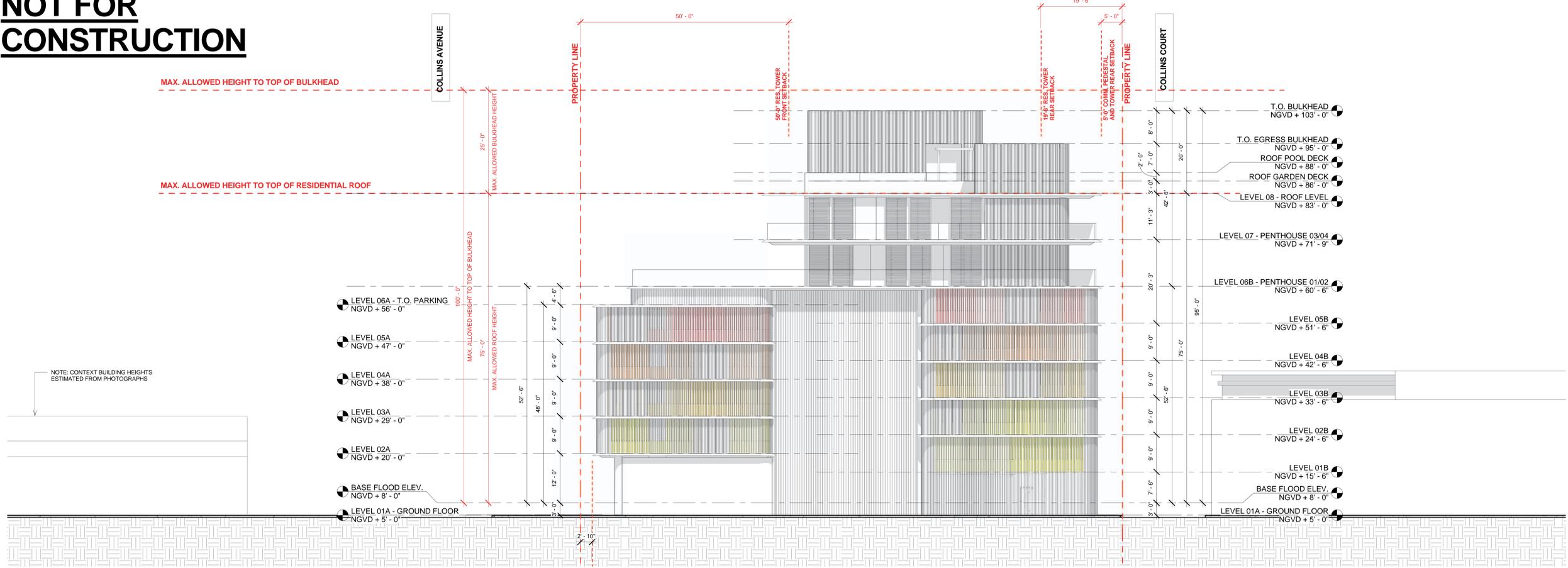
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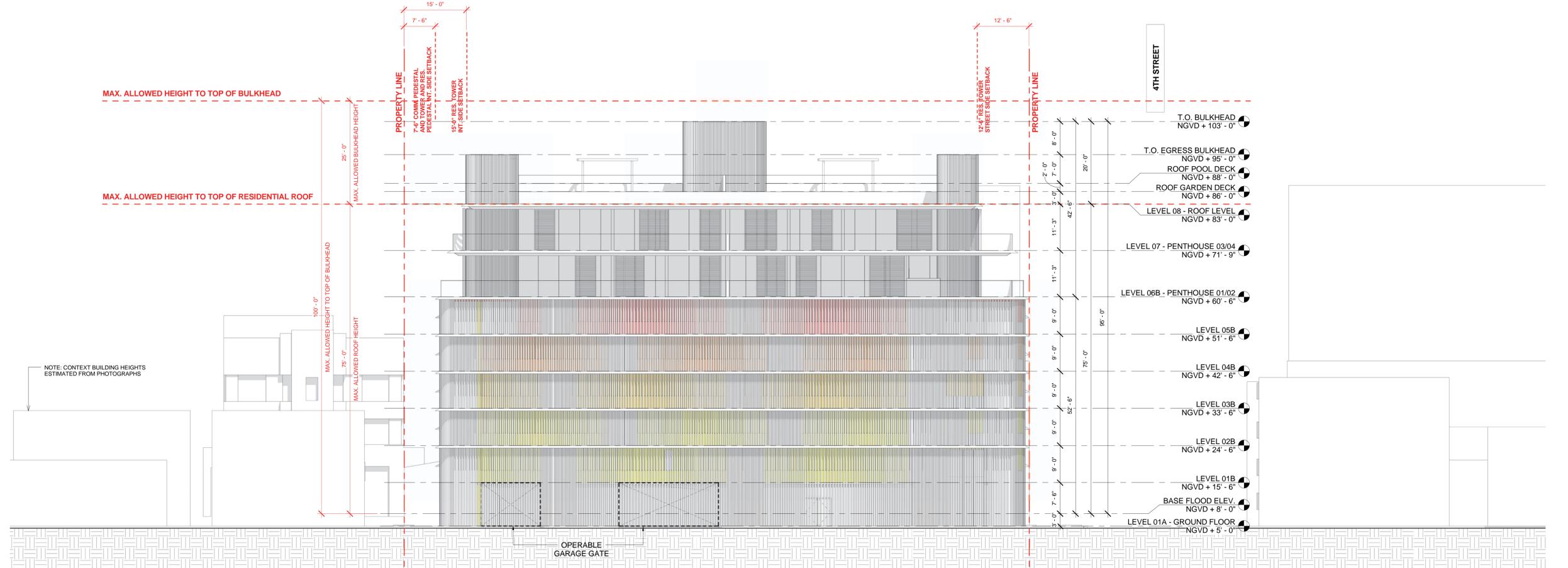
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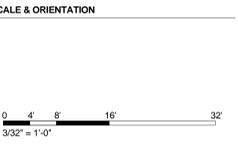
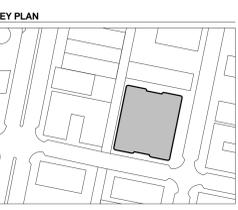
2 PROPOSED SITE ELEVATION - NORTH
 3/32" = 1'-0"



1 PROPOSED SITE ELEVATION - WEST
 3/32" = 1'-0"

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DRAWING TITLE

PB A-106

PROPOSED SITE -
 ELEVATION - WEST &
 NORTH

