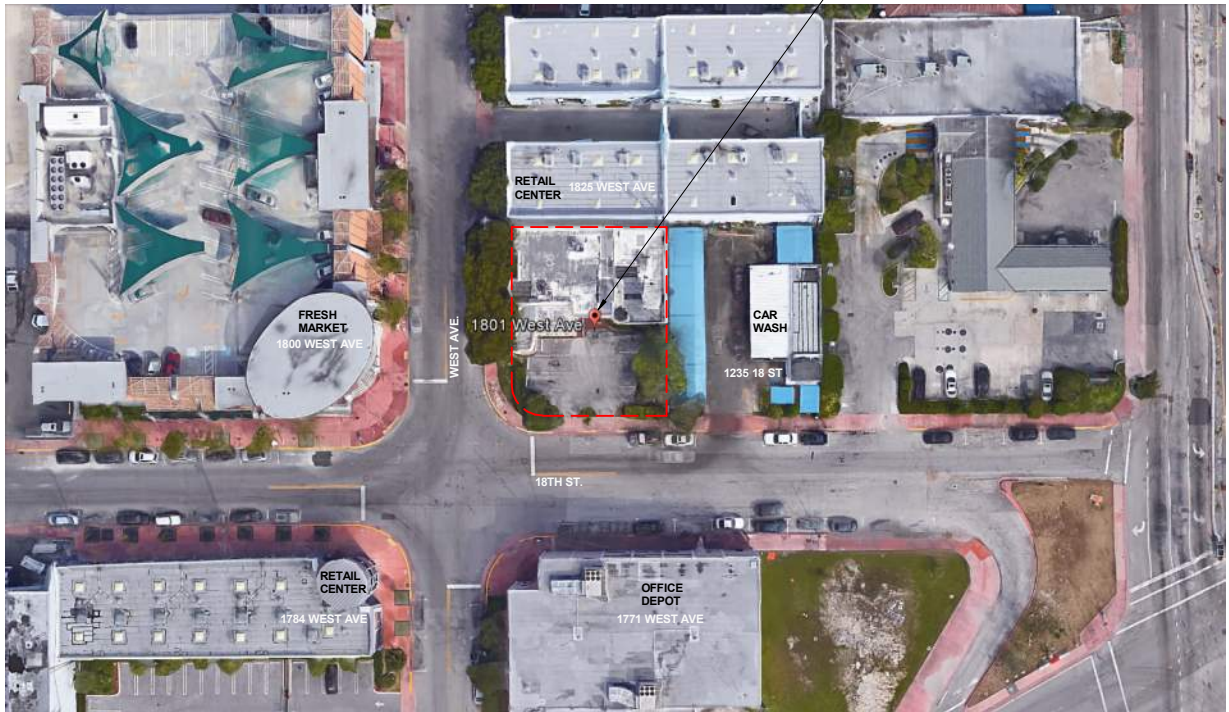






An aerial photograph of a coastal city, likely Miami, showing a dense urban area with a grid street pattern. A red pin is placed on a street labeled '1801 West Ave'. To the left of the city is a large body of water with several artificial islands or peninsulas, each containing residential developments. The ocean is visible on the right side of the image, with a sandy beach area. The image is oriented horizontally on the page.



**PRAVDA**  
ARCHITECTURE/ DESIGN  
DESIGNING YOUR DREAMS

[illegible]

PRAVDA ARCHITECTURE/ DESIGN, PLLC

TECT SEAL

FILE REGISTRATION NO.:  
AR95842

THESE DRAWINGS ARE THE EXCLUSIVE, COPYRIGHTED PROPERTY OF PRAVDA ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS OR IDEAS CONTAINED HEREIN MAY BE USED FOR ANY PURPOSE OTHER THAN THIS PROJECT UNDER THE SUPERVISION OF BRYAN PRAVDA, NOR MAY THEY BE REPRODUCED OR DISCLOSED TO OTHERS, WITHOUT THE WRITTEN PERMISSION OF BRYAN PRAVDA. THE CONTRACTOR SHALL CHECK, VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS, REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

SOUL TAVERN

1801 WEST AVE.  
MIAMI BEACH, FL 33139

---

---

DATE \_\_\_\_\_

/ 01 / 16

SHEET NAME \_\_\_\_\_

## EDUCATION PLAN

SHEET NUMBER  
\_\_\_\_\_  
\_\_\_\_\_

**A-003**





PRAVDA

ARCHITECTURE/ DESIGN

DESIGNING YOUR DREAMS

REVISIONS		
NO.	DESCRIPTION	DATE

ARCHITECT

PRAVDA ARCHITECTURE/ DESIGN, PLLC

FLORIDA ARCHITECT BUSINESS  
LICENSE NO. AA26002884

FLORIDA INTERIOR DESIGN BUSINESS  
LICENSE NO. IB26001603

990 BISCAYNE BLVD, STE. 502  
MIAMI, FL 33132  
305/ 707/ 7663

3505 S. OCEAN DRIVE, STE. 1417  
HOLLYWOOD, FL 33019

BRYAN@PRAVDAarchitecture.com

www.PRAVDAarchitecture.com

DRAWN BY: BRYAN PRAVDA, AIA

FLORIDA REGISTERED ARCHITECT  
LICENSE NO. AR95842

ARCHITECT SEAL

INTERIM REVIEW ONLY  
(DOCUMENT INCOMPLETE)

NOT TO BE USED FOR  
REGULATORY APPROVAL,  
PERMIT, OR CONSTRUCTION.

ARCHITECT OF RECORD:  
BRYAN D. PRAVDA

FL REGISTRATION NO.:  
AR95842

PROVISIONS

THESE DRAWINGS ARE THE EXCLUSIVE,  
COPYRIGHTED PROPERTY OF PRAVDA  
ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS  
OR IDEAS CONTAINED HEREIN MAY BE USED  
FOR ANY PURPOSE OTHER THAN THIS  
PROJECT UNDER THE SUPERVISION OF BRYAN  
PRAVDA, NOR MAY THEY BE REPRODUCED OR  
DISCLOSED TO OTHERS, WITHOUT THE  
WRITTEN PERMISSION OF BRYAN PRAVDA.  
THE CONTRACTOR SHALL CHECK, VERIFY, AND  
BE RESPONSIBLE FOR ALL DIMENSIONS,  
REPORTING ANY DISCREPANCIES TO THE  
ARCHITECT BEFORE COMMENCING WORK.  
DRAWINGS ARE NOT TO BE SCALED.

CONSULTANTS/ ENGINEERS

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.  
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016\_P03

PROJECT STATUS

DESIGN REVIEW BOARD

DATE

07 / 01 / 16

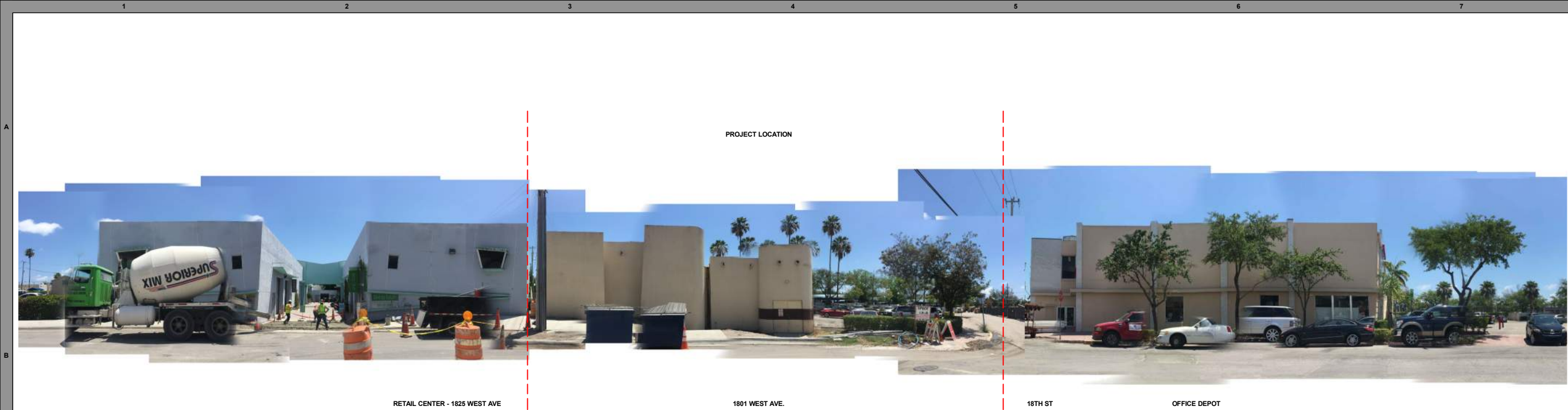
SHEET NAME

CONTEXTUAL  
ELEVATIONS -  
EXIST. 18TH ST

SHEET NUMBER

A-004





B1 WEST AVE - FACING EAST TO SITE



D1 WEST AVE - FACING WEST, ACROSS FROM SITE



E6 CONTEXT KEY PLAN  
6" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

ARCHITECT  
PRAVDA ARCHITECTURE/ DESIGN, PLLC  
FLORIDA ARCHITECT BUSINESS  
LICENSE NO. AA26002884  
FLORIDA INTERIOR DESIGN BUSINESS  
LICENSE NO. IB26001603  
990 BISCAYNE BLVD, STE. 502  
MIAMI, FL 33132  
305/ 707/ 7663  
3505 S. OCEAN DRIVE, STE. 1417  
HOLLYWOOD, FL 33019  
BRYAN@PRAVDAarchitecture.com  
www.PRAVDAarchitecture.com  
DRAWN BY: BRYAN PRAVDA, AIA  
FLORIDA REGISTERED ARCHITECT  
LICENSE NO. AR95842

ARCHITECT SEAL  
**INTERIM REVIEW ONLY**  
(DOCUMENT INCOMPLETE)  
NOT TO BE USED FOR  
REGULATORY APPROVAL,  
PERMIT, OR CONSTRUCTION.  
ARCHITECT OF RECORD:  
BRYAN D. PRAVDA  
FL REGISTRATION NO.:  
AR95842

PROVISIONS  
THESE DRAWINGS ARE THE EXCLUSIVE,  
COPYRIGHTED PROPERTY OF PRAVDA  
ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS  
OR IDEAS CONTAINED HEREIN MAY BE USED  
FOR ANY PURPOSE OTHER THAN THIS  
PROJECT UNDER THE SUPERVISION OF BRYAN  
PRAVDA, NOR MAY THEY BE REPRODUCED OR  
DISCLOSED TO OTHERS, WITHOUT THE  
WRITTEN PERMISSION OF BRYAN PRAVDA.  
THE CONTRACTOR SHALL CHECK, VERIFY, AND  
BE RESPONSIBLE FOR ALL DIMENSIONS,  
REPORTING ANY DISCREPANCIES TO THE  
ARCHITECT BEFORE COMMENCING WORK.  
DRAWINGS ARE NOT TO BE SCALED.

CONSULTANTS/ ENGINEERS  
CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

PROJECT NAME  
**SOUL TAVERN**

PROJECT ADDRESS  
1801 WEST AVE,  
MIAMI BEACH, FL 33139

PROJECT NUMBER  
2016\_P03

PROJECT STATUS  
DESIGN REVIEW BOARD

DATE  
07 / 01 / 16

SHEET NAME

**CONTEXTUAL  
ELEVATIONS -  
EXIST. WEST AVE**

SHEET NUMBER

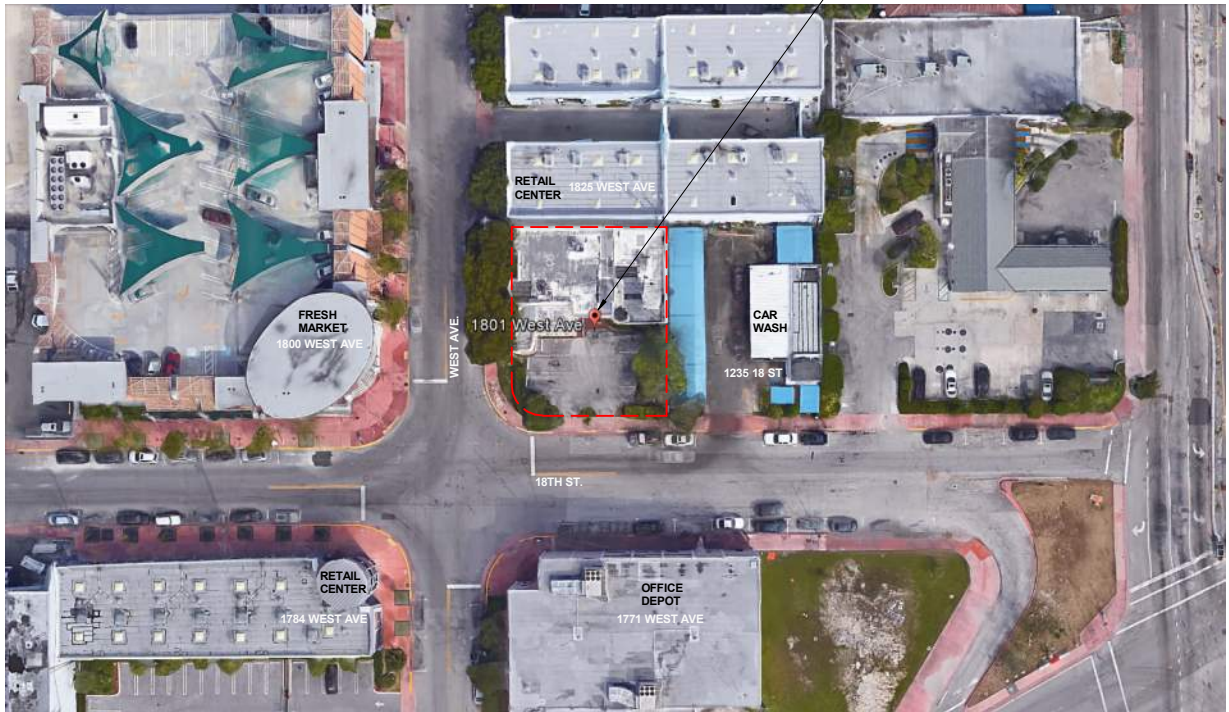
**A-005**







An aerial photograph of a coastal city, likely Miami, showing a dense urban area with a grid of streets. A red pin is placed on a street labeled '1801 West Ave'. The city is bordered by a body of water on the left and a beach area on the right. Several large, curved, and irregularly shaped land parcels are visible in the water, some of which are densely built up. The water is a deep blue-green color, and the beach is a light tan color. The sky is a clear, pale blue.



**PRAVDA**  
ARCHITECTURE/ DESIGN  
DESIGNING YOUR DREAMS

[illegible]

PRAVDA ARCHITECTURE/ DESIGN, PLLC

FLORIDA REGISTERED ARCHITECT  
LICENSE NO. AR95842

L REGISTRATION NO.:  
AR95842

THESE DRAWINGS ARE THE EXCLUSIVE,  
COPYRIGHTED PROPERTY OF PRAVDA  
ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS  
OR IDEAS CONTAINED HEREIN MAY BE USED  
FOR ANY PURPOSE OTHER THAN THIS  
PROJECT UNDER THE SUPERVISION OF BRYAN  
PRAVDA, NOR MAY THEY BE REPRODUCED OR  
DISCLOSED TO OTHERS, WITHOUT THE  
WRITTEN PERMISSION OF BRYAN PRAVDA.  
THE CONTRACTOR SHALL CHECK, VERIFY, AND  
BE RESPONSIBLE FOR ALL DIMENSIONS,  
REPORTING ANY DISCREPANCIES TO THE  
ARCHITECT BEFORE COMMENCING WORK.  
DRAWINGS ARE NOT TO BE SCALED.

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

SOUL TAVERN

1801 WEST AVE.  
MIAMI BEACH, FL 33139

010\_1 03

DATE

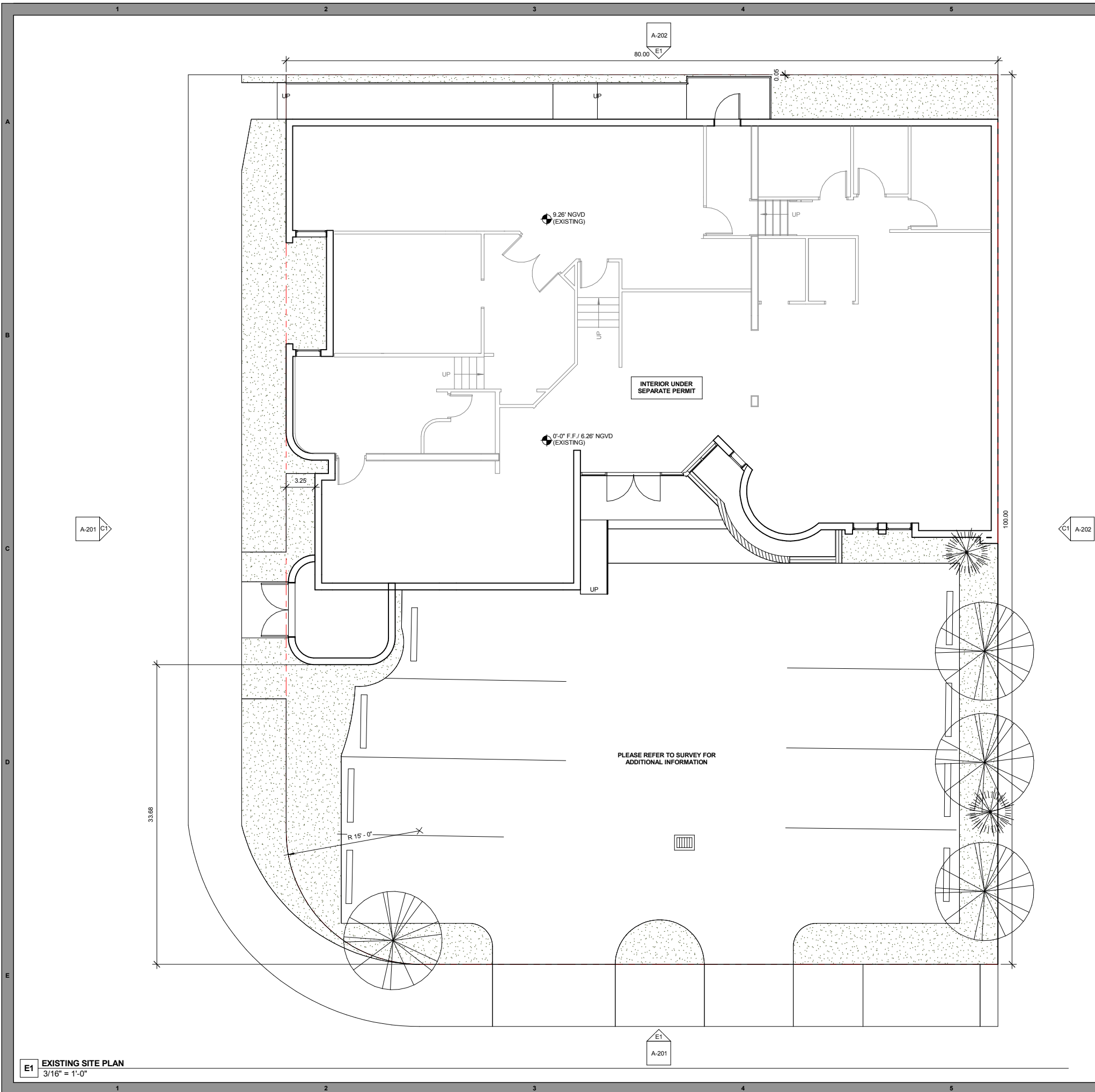
---

## LOCATION PLAN

ET NUMBER

**A-003**



[illegible]

ARCHITECT

PRAVDA ARCHITECTURE/ DESIGN, PLLC

FLORIDA ARCHITECT BUSINESS  
LICENSE NO. AA26002884

FLORIDA INTERIOR DESIGN BUSINESS  
LICENSE NO. IB26001603

990 BISCAYNE BLVD, STE. 502  
MIAMI, FL 33132  
305/ 707/ 7663

3505 S. OCEAN DRIVE, STE. 1417  
HOLLYWOOD, FL 33019

BRYAN@PRAVDAarchitecture.com

www.PRAVDAarchitecture.com

DRAWN BY: BRYAN PRAVDA, AIA

FLORIDA REGISTERED ARCHITECT  
LICENSE NO. AR95842

ARCHITECT SEAL

**INTERIM REVIEW ONLY**  
(DOCUMENT INCOMPLETE)

NOT TO BE USED FOR  
REGULATORY APPROVAL,  
PERMIT, OR CONSTRUCTION.

ARCHITECT OF RECORD:  
BRYAN D. PRAVDA

FL REGISTRATION NO.:  
AR95842

## PROVISIONS

THESE DRAWINGS ARE THE EXCLUSIVE, COPYRIGHTED PROPERTY OF PRAVDA ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS OR IDEAS CONTAINED HEREIN MAY BE USED FOR ANY PURPOSE OTHER THAN THAT PROJECT UNDER THE SUPERVISION OF BRYAN PRAVDA, NOR MAY THEY BE REPRODUCED OR DISCLOSED TO OTHERS, WITHOUT THE WRITTEN PERMISSION OF BRYAN PRAVDA. THE CONTRACTOR SHALL CHECK, VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS, REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.

CONSULTANTS/ ENGINEERS

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

PROJECT NAME

---

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.  
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016\_P03

## PROJECT STATUS

DESIGN REVIEW BOARD

DATE \_\_\_\_\_

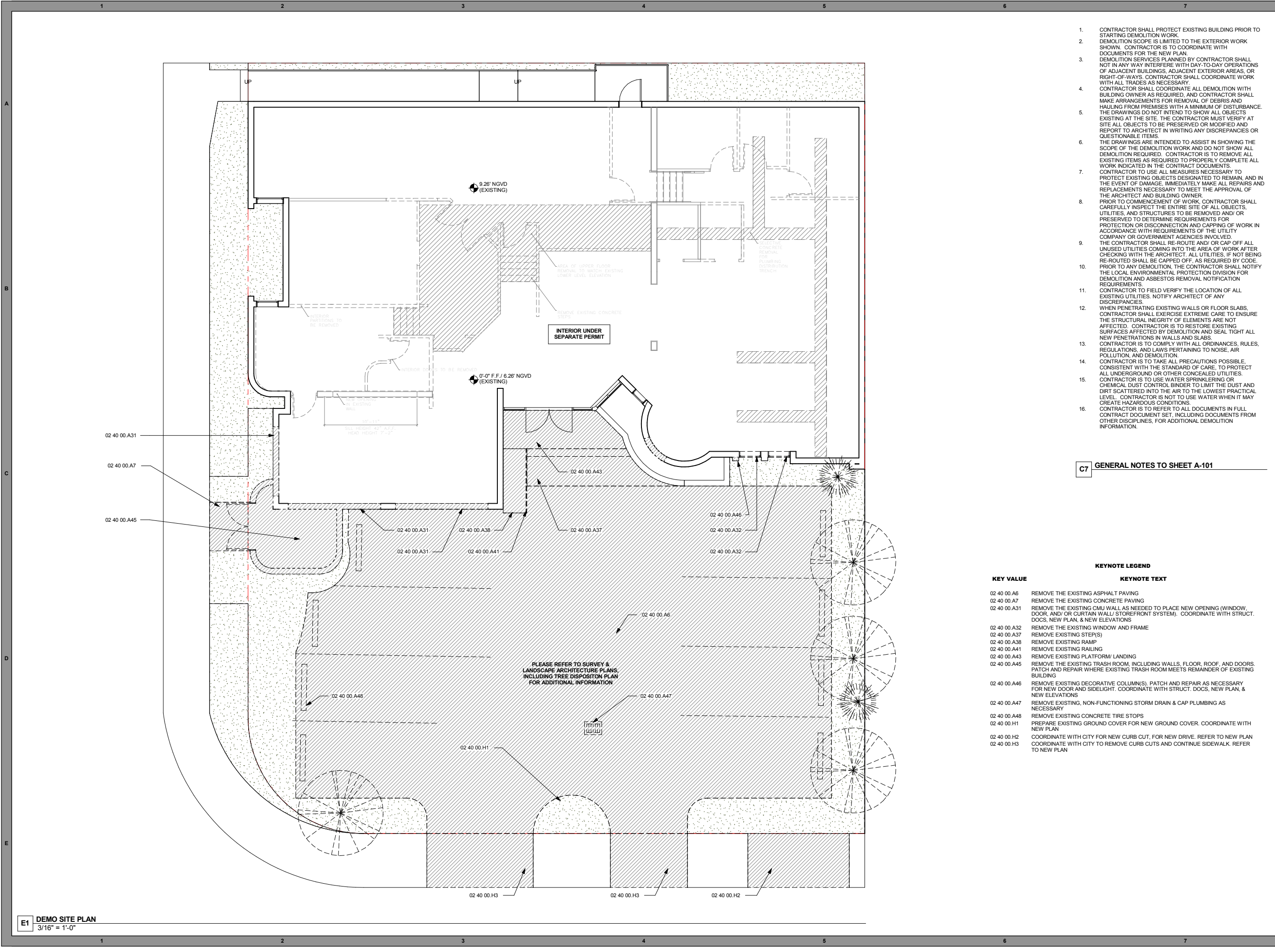
07 / 01 / 16

SHEET NAME

## EXISTING SITE PLAN

SHEET NUMBER

**A-101**



1. CONTRACTOR SHALL PROTECT EXISTING BUILDING PRIOR TO STARTING DEMOLITION WORK.
2. DEMOLITION SCOPE IS LIMITED TO THE EXTERIOR WORK SHOWN. CONTRACTOR IS TO COORDINATE WITH DOCUMENTS FOR THE NEW PLAN.
3. DEMOLITION SERVICES PLANNED BY CONTRACTOR SHALL NOT IN ANY WAY INTERFERE WITH DAY-TO-DAY OPERATIONS OF ADJACENT BUILDINGS, ADJACENT EXTERIOR AREAS, OR RIGHT-OF-WAYS. CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES AS NECESSARY.
4. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH BUILDING OWNER AS REQUIRED, AND CONTRACTOR SHALL MAKE ARRANGEMENTS FOR REMOVAL OF DEBRIS AND HAULING FROM PREMISES WITH A MINIMUM OF DISTURBANCE. THE DRAWINGS DO NOT INTEND TO SHOW ALL OBJECTS EXISTING AT THE SITE. THE CONTRACTOR MUST VERIFY AT SITE ALL OBJECTS TO BE PRESERVED OR MODIFIED AND REPORT TO ARCHITECT IN WRITING ANY DISCREPANCIES OR QUESTIONABLE ITEMS.
5. THE DRAWINGS ARE INTENDED TO ASSIST IN SHOWING THE SCOPE OF THE DEMOLITION WORK AND DO NOT SHOW ALL DEMOLITION REQUIRED. CONTRACTOR IS TO REMOVE ALL EXISTING ITEMS AS REQUIRED TO PROPERLY COMPLETE ALL WORK INDICATED IN THE CONTRACT DOCUMENTS.
6. CONTRACTOR TO USE ALL MEASURES NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN, AND IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AND BUILDING OWNER.
7. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL CAREFULLY INSPECT THE ENTIRE SITE OF ALL OBJECTS, UTILITIES, AND STRUCTURES TO BE REMOVED AND/ OR PRESERVED TO DETERMINE REQUIREMENTS FOR PROTECTION OR DISCONNECTION AND CAPPING OF WORK IN ACCORDANCE WITH REQUIREMENTS OF THE UTILITY COMPANY OR GOVERNMENT AGENCIES INVOLVED.
8. THE CONTRACTOR SHALL RE-ROUTE AND/ OR CAP OFF ALL UNUSED UTILITIES COMING INTO THE AREA OF WORK AFTER CHECKING WITH THE ARCHITECT. ALL UTILITIES, IF NOT BEING RE-ROUTED SHALL BE CAPPED OFF, AS REQUIRED BY CODE.
9. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE LOCAL ENVIRONMENTAL PROTECTION DIVISION FOR DEMOLITION AND ASBESTOS REMOVAL NOTIFICATION REQUIREMENTS.
10. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
11. WHEN PENETRATING EXISTING WALLS OR FLOOR SLABS, CONTRACTOR SHALL EXERCISE EXTREME CARE TO ENSURE THE STRUCTURAL INTEGRITY OF ELEMENTS ARE NOT AFFECTED. CONTRACTOR IS TO RESTORE EXISTING SURFACES AFFECTED BY DEMOLITION AND SEAL TIGHT ALL NEW PENETRATIONS IN WALLS AND SLABS.
12. CONTRACTOR IS TO COMPLY WITH ALL ORDINANCES, RULES, REGULATIONS, AND LAWS PERTAINING TO NOISE, AIR POLLUTION, AND DEMOLITION.
13. CONTRACTOR IS TO TAKE ALL PRECAUTIONS POSSIBLE, CONSISTENT WITH THE STANDARD OF CARE, TO PROTECT ALL UNDERGROUND OR OTHER CONCEALED UTILITIES.
14. CONTRACTOR IS TO USE WATER SPRINKLERING OR CHEMICAL DUST CONTROL BINDER TO LIMIT THE DUST AND DIRT SCATTERED INTO THE AIR TO THE LOWEST PRACTICAL LEVEL. CONTRACTOR IS NOT TO USE WATER WHEN IT MAY CREATE HAZARDOUS CONDITIONS.
15. CONTRACTOR IS TO REFER TO ALL DOCUMENTS IN FULL CONTRACT DOCUMENT SET, INCLUDING DOCUMENTS FROM OTHER DISCIPLINES, FOR ADDITIONAL DEMOLITION INFORMATION.

#### C7 GENERAL NOTES TO SHEET A-101

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
02 40 00.A6	REMOVE THE EXISTING ASPHALT PAVING
02 40 00.A7	REMOVE THE EXISTING CONCRETE PAVING
02 40 00.A31	REMOVE THE EXISTING CMU WALL AS NEEDED TO PLACE NEW OPENING (WINDOW, DOOR, AND/ OR CURTAIN WALL/ STOREFRONT SYSTEM). COORDINATE WITH STRUCT. DOCS, NEW PLAN, & NEW ELEVATIONS
02 40 00.A32	REMOVE THE EXISTING WINDOW AND FRAME
02 40 00.A37	REMOVE EXISTING STEP(S)
02 40 00.A38	REMOVE EXISTING RAMP
02 40 00.A41	REMOVE EXISTING RAILING
02 40 00.A43	REMOVE EXISTING PLATFORM/ LANDING
02 40 00.A45	REMOVE THE EXISTING TRASH ROOM, INCLUDING WALLS, FLOOR, ROOF, AND DOORS. PATCH AND REPAIR WHERE EXISTING TRASH ROOM MEETS REMAINDER OF EXISTING BUILDING
02 40 00.A46	REMOVE EXISTING DECORATIVE COLUMN(S). PATCH AND REPAIR AS NECESSARY FOR NEW DOOR AND SIDELIGHT. COORDINATE WITH STRUCT. DOCS, NEW PLAN, & NEW ELEVATIONS
02 40 00.A47	REMOVE EXISTING, NON-FUNCTIONING STORM DRAIN & CAP PLUMBING AS NECESSARY
02 40 00.A48	REMOVE EXISTING CONCRETE TIRE STOPS
02 40 00.H1	PREPARE EXISTING GROUND COVER FOR NEW GROUND COVER. COORDINATE WITH NEW PLAN
02 40 00.H2	COORDINATE WITH CITY FOR NEW CURB CUT, FOR NEW DRIVE. REFER TO NEW PLAN
02 40 00.H3	COORDINATE WITH CITY TO REMOVE CURB CUTS AND CONTINUE SIDEWALK. REFER TO NEW PLAN

PRAVDA

ARCHITECTURE/ DESIGN

DESIGNING YOUR DREAMS

REVISIONS

NO.	DESCRIPTION	DATE

ARCHITECT

PRAVDA ARCHITECTURE/ DESIGN, PLLC

FLORIDA ARCHITECT BUSINESS  
LICENSE NO. AA26002884

FLORIDA INTERIOR DESIGN BUSINESS  
LICENSE NO. IB26001603

990 BISCAYNE BLVD., STE. 502  
MIAMI, FL 33132  
305/ 707/ 7663

3505 S. OCEAN DRIVE, STE. 1417  
HOLLYWOOD, FL 33019

BRYAN@PRAVDAarchitecture.com

www.PRAVDAarchitecture.com

DRAWN BY: BRYAN PRAVDA, AIA

FLORIDA REGISTERED ARCHITECT  
LICENSE NO. AR95842

ARCHITECT SEAL

INTERIM REVIEW ONLY  
(DOCUMENT INCOMPLETE)

NOT TO BE USED FOR  
REGULATORY APPROVAL,  
PERMIT, OR CONSTRUCTION.

ARCHITECT OF RECORD:  
BRYAN D. PRAVDA

FL REGISTRATION NO.:  
AR95842

PROVISIONS

THESE DRAWINGS ARE THE EXCLUSIVE,  
COPYRIGHTED PROPERTY OF PRAVDA  
ARCHITECTURE/ DESIGN, PLLC. NO DESIGNS  
OR IDEAS CONTAINED HEREIN MAY BE USED  
FOR ANY PURPOSE OTHER THAN THIS  
PROJECT UNDER THE SUPERVISION OF BRYAN  
PRAVDA, NOR MAY THEY BE REPRODUCED OR  
DISCLOSED TO OTHERS, WITHOUT THE  
WRITTEN PERMISSION OF BRYAN PRAVDA.  
THE CONTRACTOR SHALL CHECK, VERIFY, AND  
BE RESPONSIBLE FOR ALL DIMENSIONS,  
REPORTING ANY DISCREPANCIES TO THE  
ARCHITECT BEFORE COMMENCING WORK.  
DRAWINGS ARE NOT TO BE SCALED.

CONSULTANTS/ ENGINEERS

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, STE. 1106  
MIAMI, FL 33138

PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.  
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016\_P03

PROJECT STATUS

DESIGN REVIEW BOARD

DATE

07 / 01 / 16

SHEET NAME

DEMOLITION  
PLAN

SHEET NUMBER

A-102