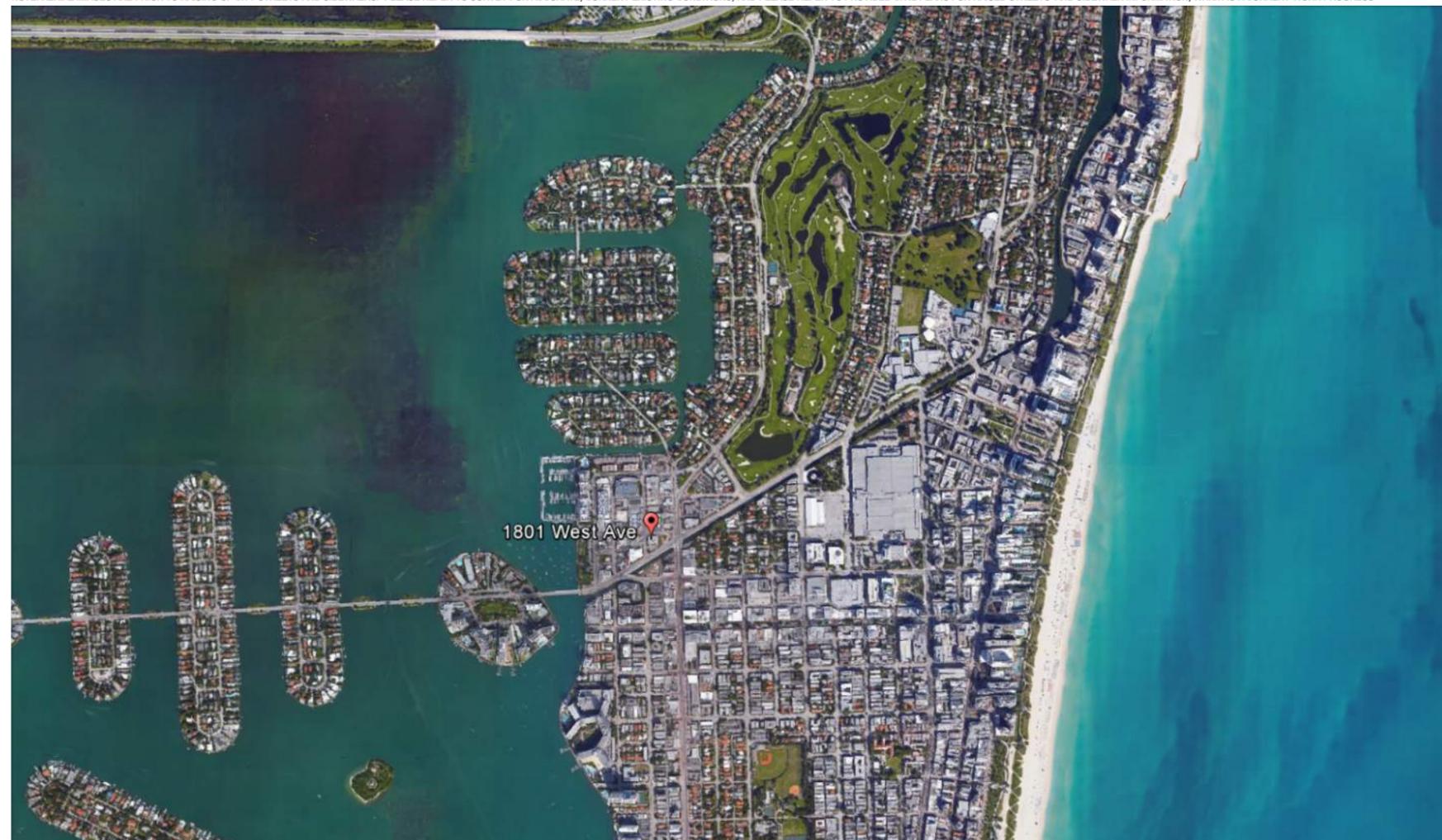
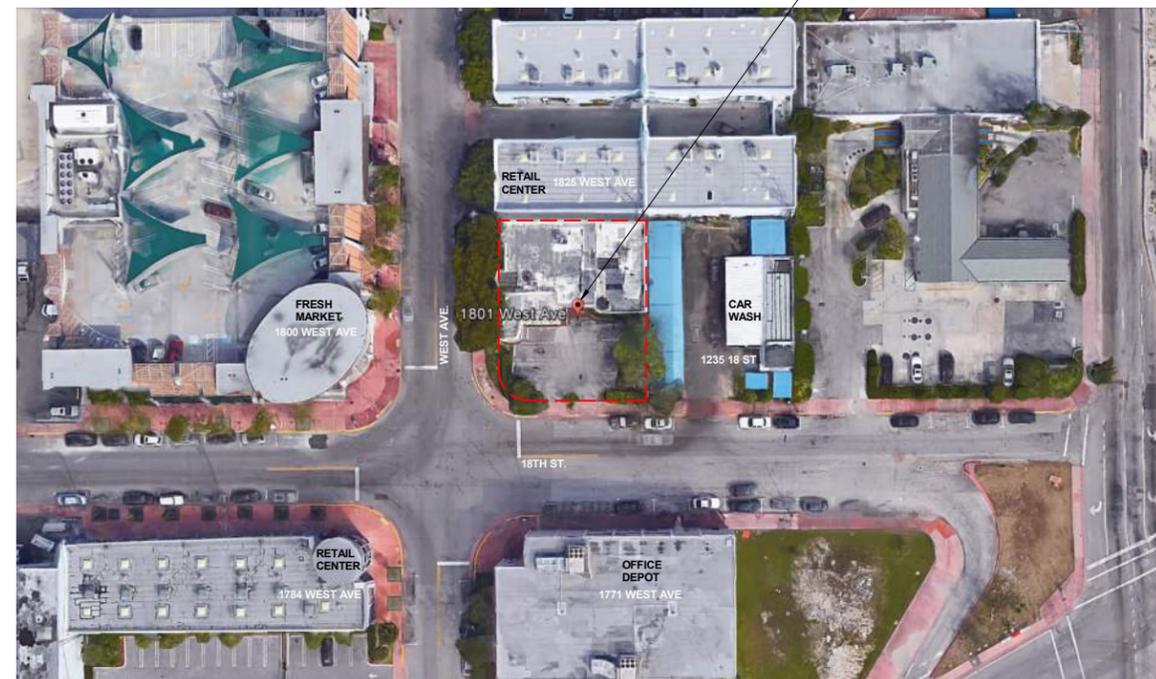
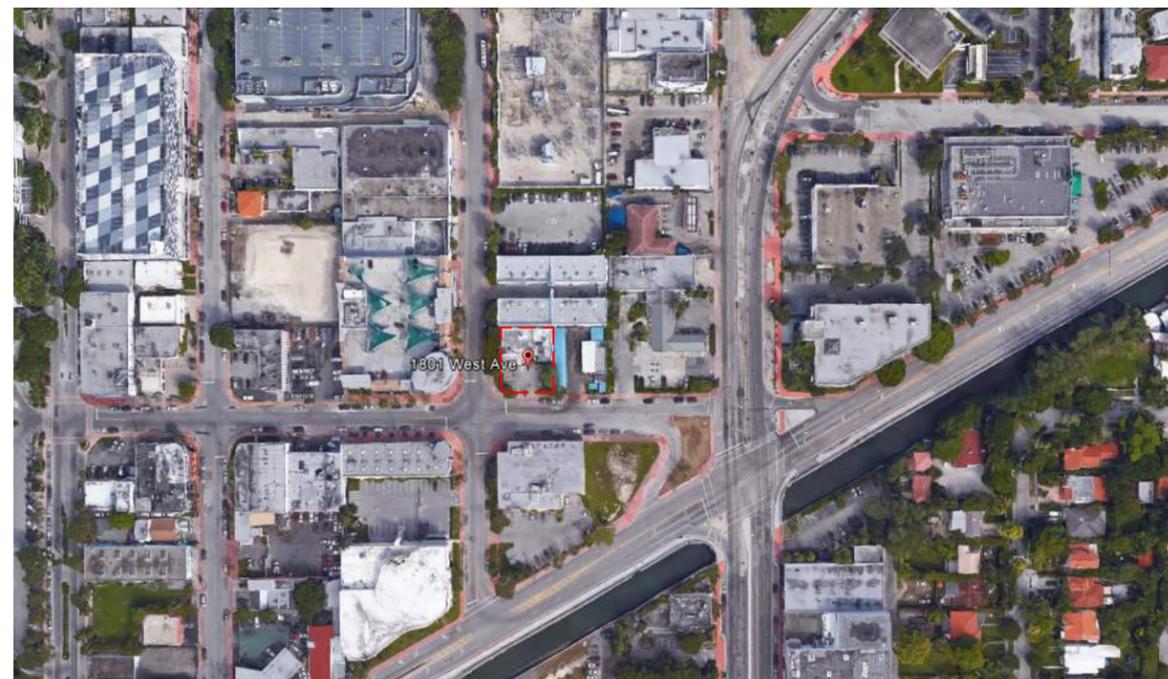


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1801 WEST AVE - EXISTING SOUTH ELEVATION



REVISIONS		
NO.	DESCRIPTION	DATE

ARCHITECT
PRAVDA ARCHITECTURE/DESIGN, PLLC
FLORIDA ARCHITECT BUSINESS LICENSE NO. AA26002884
FLORIDA INTERIOR DESIGN BUSINESS LICENSE NO. IB260016003
990 BISCAYNE BLVD., STE. 502
MIAMI, FL 33132
305/ 707/ 7663
3505 S. OCEAN DRIVE, STE. 1417
HOLLYWOOD, FL 33019
BRYAN@PRAVDAarchitecture.com
www.PRAVDAarchitecture.com
DRAWN BY: BRYAN PRAVDA, AIA
FLORIDA REGISTERED ARCHITECT LICENSE NO. AR95842

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CONSULTANTS/ ENGINEERS
CHRISTOPHER CAWLEY
LANDSCAPE ARCHITECTURE, LLC
780 NE 69TH STREET, STE. 1106
MIAMI, FL 33138

PROJECT NAME
SOUL TAVERN

PROJECT ADDRESS
1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER
2016_P03

PROJECT STATUS
DESIGN REVIEW BOARD

DATE
07 / 01 / 16

SHEET NAME
LOCATION PLAN

SHEET NUMBER
A-003



B1 18TH ST - FACING NORTH TO SITE



D1 18TH ST - FACING SOUTH, ACROSS FROM SITE



E6 CONTEXT KEY PLAN

REVISIONS		
NO.	DESCRIPTION	DATE

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 FLORIDA ARCHITECT BUSINESS LICENSE NO. AA26002884
 FLORIDA INTERIOR DESIGN BUSINESS LICENSE NO. IB26001603
 990 BISCAYNE BLVD, STE. 502
 MIAMI, FL 33132
 305/ 707/ 7663
 3505 S. OCEAN DRIVE, STE. 1417
 HOLLYWOOD, FL 33019
 BRYAN@PRAVDAarchitecture.com
 www.PRAVDAarchitecture.com
 DRAWN BY: BRYAN PRAVDA, AIA
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CONSULTANTS/ ENGINEERS
 CHRISTOPHER CAWLEY
 LANDSCAPE ARCHITECTURE, LLC
 780 NE 69TH STREET, STE. 1106
 MIAMI, FL 33138

PROJECT NAME
SOUL TAVERN

PROJECT ADDRESS
 1801 WEST AVE.
 MIAMI BEACH, FL 33139

PROJECT NUMBER
 2016_P03

PROJECT STATUS
 DESIGN REVIEW BOARD

DATE
 07 / 01 / 16

SHEET NAME
CONTEXTUAL ELEVATIONS - EXIST. 18TH ST

SHEET NUMBER

A-004

REVISIONS		
NO.	DESCRIPTION	DATE

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PRAVDA ARCHITECTURE/DESIGN, PLLC
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 FLORIDA INTERIOR DESIGN BUSINESS LICENSE NO. IB26001603
 990 BISCAYNE BLVD., STE. 502
 MIAMI, FL 33132
 305/ 707/ 7663
 3505 S. OCEAN DRIVE, STE. 1417
 HOLLYWOOD, FL 33019
 BRYAN@PRAVDAarchitecture.com
 www.PRAVDAarchitecture.com
 DRAWN BY: BRYAN PRAVDA, AIA
 FLORIDA REGISTERED ARCHITECT LICENSE NO. AR95842

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CONSULTANTS/ ENGINEERS
 CHRISTOPHER CAWLEY
 LANDSCAPE ARCHITECTURE, LLC
 780 NE 69TH STREET, STE. 1106
 MIAMI, FL 33138

PROJECT NAME
SOUL TAVERN

PROJECT ADDRESS
 1801 WEST AVE.
 MIAMI BEACH, FL 33139

PROJECT NUMBER
 2016_P03

PROJECT STATUS
 DESIGN REVIEW BOARD

DATE
 07 / 01 / 16

SHEET NAME
CONTEXTUAL ELEVATIONS - EXIST. WEST AVE

SHEET NUMBER

A-005



RETAIL CENTER - 1825 WEST AVE 1801 WEST AVE. 18TH ST OFFICE DEPOT

B1 WEST AVE - FACING EAST TO SITE



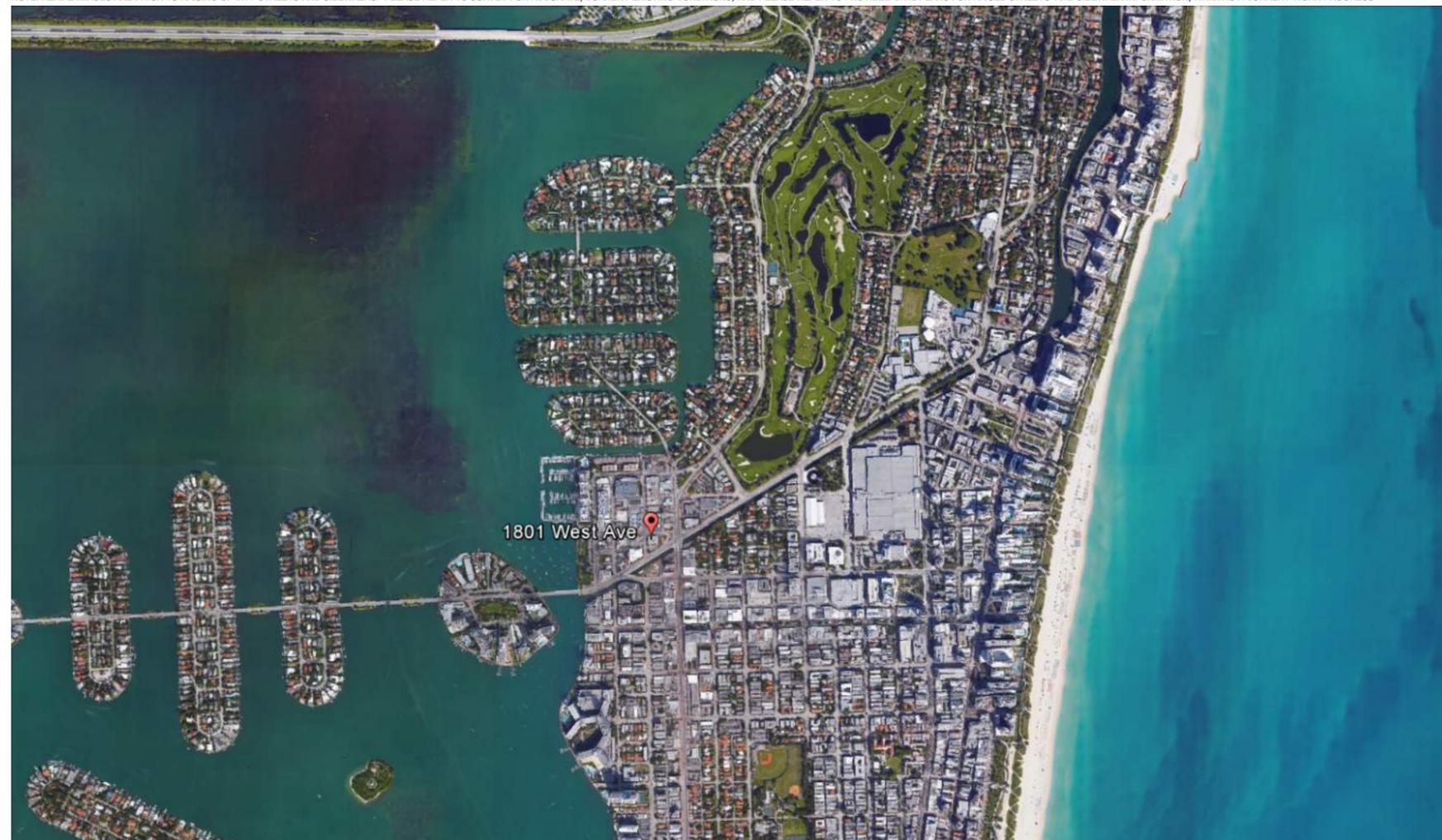
RETAIL CENTER - 1784 WEST AVE 18TH ST FRESH MARKET

D1 WEST AVE - FACING WEST, ACROSS FROM SITE

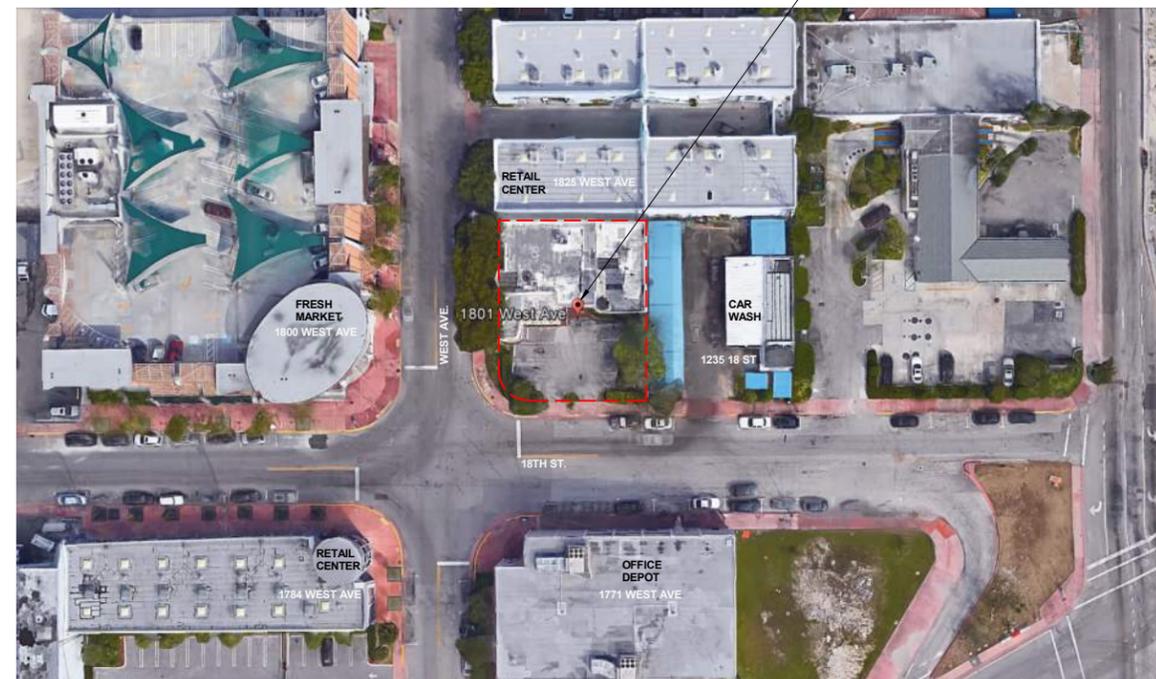
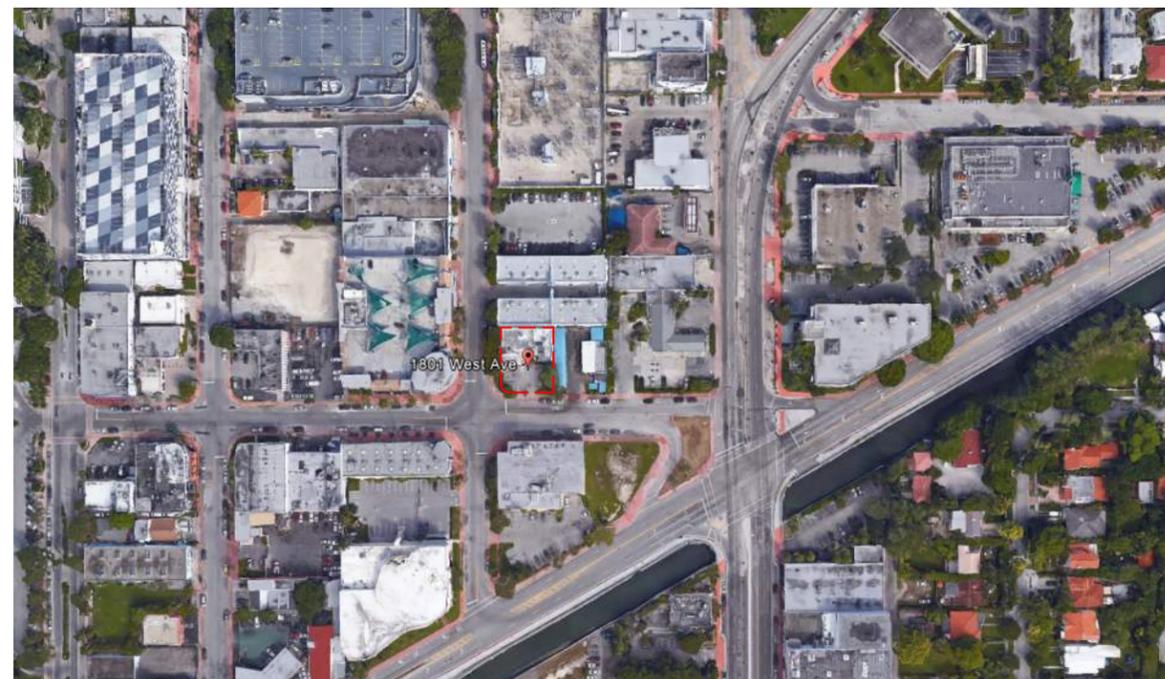


E6 CONTEXT KEY PLAN
 6" = 1'-0"

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1801 WEST AVE - EXISTING SOUTH ELEVATION



REVISIONS		
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 FLORIDA ARCHITECT BUSINESS LICENSE NO. AA26002884
 FLORIDA INTERIOR DESIGN BUSINESS LICENSE NO. IB260016003
 990 BISCAYNE BLVD, STE. 502
 MIAMI, FL 33132
 305/ 707/ 7663
 3505 S. OCEAN DRIVE, STE. 1417
 HOLLYWOOD, FL 33019
 BRYAN@PRAVDAarchitecture.com
 www.PRAVDAarchitecture.com
 DRAWN BY: BRYAN PRAVDA, AIA
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CONSULTANTS/ ENGINEERS
 CHRISTOPHER CAWLEY
 LANDSCAPE ARCHITECTURE, LLC
 780 NE 69TH STREET, STE. 1106
 MIAMI, FL 33138

PROJECT NAME	SOUL TAVERN
PROJECT ADDRESS	1801 WEST AVE, MIAMI BEACH, FL 33139
PROJECT NUMBER	2016_P03
PROJECT STATUS	DESIGN REVIEW BOARD
DATE	07 / 01 / 16
SHEET NAME	LOCATION PLAN
SHEET NUMBER	A-003

REVISIONS		
NO.	DESCRIPTION	DATE

ARCHITECT
PRAVDA ARCHITECTURE/DESIGN, PLLC
 FLORIDA ARCHITECT BUSINESS
 LICENSE NO. AA26002884
 FLORIDA INTERIOR DESIGN BUSINESS
 LICENSE NO. IB26001603
 990 BISCAYNE BLVD., STE. 502
 MIAMI, FL 33132
 305/ 707/ 7663
 3505 S. OCEAN DRIVE, STE. 1417
 HOLLYWOOD, FL 33019
 BRYAN@PRAVDAarchitecture.com
 www.PRAVDAarchitecture.com
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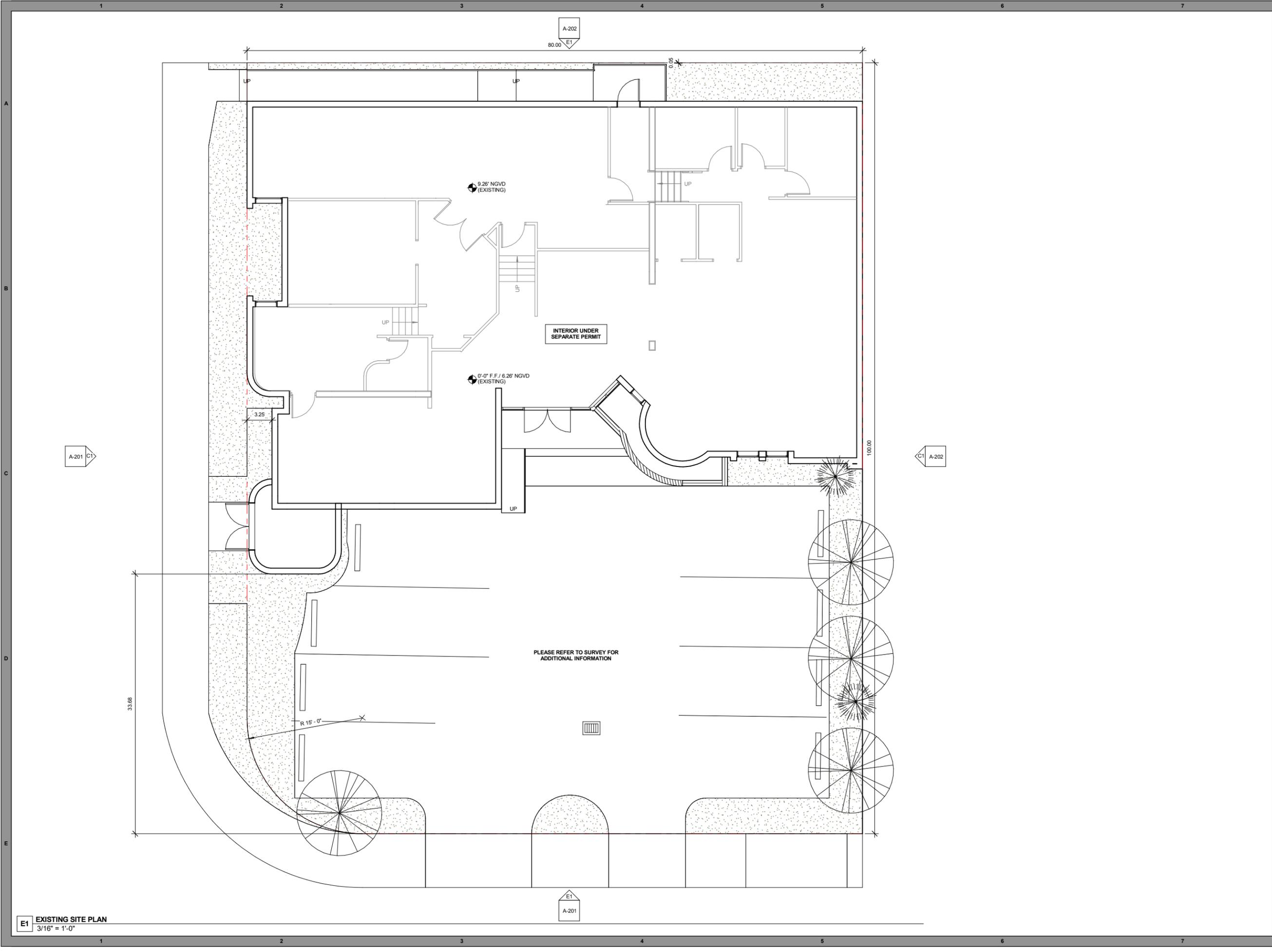
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 CHRISTOPHER CAWLEY
 LANDSCAPE ARCHITECTURE, LLC
 780 NE 69TH STREET, STE. 1106
 MIAMI, FL 33138

PROJECT NAME
SOUL TAVERN
 PROJECT ADDRESS
 1801 WEST AVE.
 MIAMI BEACH, FL 33139
 PROJECT NUMBER
 2016_P03
 PROJECT STATUS
 DESIGN REVIEW BOARD
 DATE
 07 / 01 / 16
 SHEET NAME

EXISTING SITE PLAN
 SHEET NUMBER

A-101



E1 EXISTING SITE PLAN
 3/16" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

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PRAVDA ARCHITECTURE/DESIGN, PLLC
FLORIDA ARCHITECT BUSINESS LICENSE NO. AA26002884
FLORIDA INTERIOR DESIGN BUSINESS LICENSE NO. IB26001603
990 BISCAYNE BLVD, STE. 502
MIAMI, FL 33132
305/ 707/ 7663
3505 S. OCEAN DRIVE, STE. 1417
HOLLYWOOD, FL 33019
BRYAN@PRAVDAArchitecture.com
www.PRAVDAArchitecture.com
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CHRISTOPHER CAWLEY
LANDSCAPE ARCHITECTURE, LLC
780 NE 69TH STREET, STE. 1106
MIAMI, FL 33138

PROJECT NAME	SOUL TAVERN
PROJECT ADDRESS	1801 WEST AVE. MIAMI BEACH, FL 33139
PROJECT NUMBER	2016_P03
PROJECT STATUS	DESIGN REVIEW BOARD
DATE	07 / 01 / 16
SHEET NAME	DEMOLITION PLAN
SHEET NUMBER	A-102

- CONTRACTOR SHALL PROTECT EXISTING BUILDING PRIOR TO STARTING DEMOLITION WORK.
- DEMOLITION SCOPE IS LIMITED TO THE EXTERIOR WORK SHOWN. CONTRACTOR IS TO COORDINATE WITH DOCUMENTS FOR THE NEW PLAN.
- DEMOLITION SERVICES PLANNED BY CONTRACTOR SHALL NOT IN ANY WAY INTERFERE WITH DAY-TO-DAY OPERATIONS OF ADJACENT BUILDINGS, ADJACENT EXTERIOR AREAS, OR RIGHT-OF-WAYS. CONTRACTOR SHALL COORDINATE WORK WITH ALL TRADES AS NECESSARY.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH BUILDING OWNER AS REQUIRED, AND CONTRACTOR SHALL MAKE ARRANGEMENTS FOR REMOVAL OF DEBRIS AND HAULING FROM PREMISES WITH A MINIMUM OF DISTURBANCE.
- THE DRAWINGS DO NOT INTEND TO SHOW ALL OBJECTS EXISTING AT THE SITE. THE CONTRACTOR MUST VERIFY AT SITE ALL OBJECTS TO BE PRESERVED OR MODIFIED AND REPORT TO ARCHITECT IN WRITING ANY DISCREPANCIES OR QUESTIONABLE ITEMS.
- THE DRAWINGS ARE INTENDED TO ASSIST IN SHOWING THE SCOPE OF THE DEMOLITION WORK AND DO NOT SHOW ALL DEMOLITION REQUIRED. CONTRACTOR IS TO REMOVE ALL EXISTING ITEMS AS REQUIRED TO PROPERLY COMPLETE ALL WORK INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR TO USE ALL MEASURES NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN, AND IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AND BUILDING OWNER.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL CAREFULLY INSPECT THE ENTIRE SITE OF ALL OBJECTS, UTILITIES, AND STRUCTURES TO BE REMOVED AND/OR PRESERVED TO DETERMINE REQUIREMENTS FOR PROTECTION OR DISCONNECTION AND CAPPING OF WORK IN ACCORDANCE WITH REQUIREMENTS OF THE UTILITY COMPANY OR GOVERNMENT AGENCIES INVOLVED.
- THE CONTRACTOR SHALL RE-ROUTE AND/OR CAP OFF ALL UNUSED UTILITIES COMING INTO THE AREA OF WORK AFTER CHECKING WITH THE ARCHITECT. ALL UTILITIES, IF NOT BEING RE-ROUTED SHALL BE CAPPED OFF, AS REQUIRED BY CODE.
- PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE LOCAL ENVIRONMENTAL PROTECTION DIVISION FOR DEMOLITION AND ASBESTOS REMOVAL NOTIFICATION REQUIREMENTS.
- CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WHEN PENETRATING EXISTING WALLS OR FLOOR SLABS, CONTRACTOR SHALL EXERCISE EXTREME CARE TO ENSURE THE STRUCTURAL INTEGRITY OF ELEMENTS ARE NOT AFFECTED. CONTRACTOR IS TO RESTORE EXISTING SURFACES AFFECTED BY DEMOLITION AND SEAL TIGHT ALL NEW PENETRATIONS IN WALLS AND SLABS.
- CONTRACTOR IS TO COMPLY WITH ALL ORDINANCES, RULES, REGULATIONS, AND LAWS PERTAINING TO NOISE, AIR POLLUTION, AND DEMOLITION.
- CONTRACTOR IS TO TAKE ALL PRECAUTIONS POSSIBLE, CONSISTENT WITH THE STANDARD OF CARE, TO PROTECT ALL UNDERGROUND OR OTHER CONCEALED UTILITIES.
- CONTRACTOR IS TO USE WATER SPRINKLERING OR CHEMICAL DUST CONTROL BINDER TO LIMIT THE DUST AND DIRT SCATTERED INTO THE AIR TO THE LOWEST PRACTICAL LEVEL. CONTRACTOR IS NOT TO USE WATER WHEN IT MAY CREATE HAZARDOUS CONDITIONS.
- CONTRACTOR IS TO REFER TO ALL DOCUMENTS IN FULL CONTRACT DOCUMENT SET, INCLUDING DOCUMENTS FROM OTHER DISCIPLINES, FOR ADDITIONAL DEMOLITION INFORMATION.

C7 GENERAL NOTES TO SHEET A-101

KEY VALUE	KEYNOTE TEXT
02 40 00 A6	REMOVE THE EXISTING ASPHALT PAVING
02 40 00 A7	REMOVE THE EXISTING CONCRETE PAVING
02 40 00 A31	REMOVE THE EXISTING CMU WALL AS NEEDED TO PLACE NEW OPENING (WINDOW, DOOR, AND/OR CURTAIN WALL/ STOREFRONT SYSTEM). COORDINATE WITH STRUCT. DOCS, NEW PLAN, & NEW ELEVATIONS
02 40 00 A32	REMOVE THE EXISTING WINDOW AND FRAME
02 40 00 A37	REMOVE EXISTING STEP(S)
02 40 00 A38	REMOVE EXISTING RAMP
02 40 00 A41	REMOVE EXISTING RAILING
02 40 00 A43	REMOVE EXISTING PLATFORM/ LANDING
02 40 00 A45	REMOVE THE EXISTING TRASH ROOM, INCLUDING WALLS, FLOOR, ROOF, AND DOORS. PATCH AND REPAIR WHERE EXISTING TRASH ROOM MEETS REMAINDER OF EXISTING BUILDING
02 40 00 A46	REMOVE EXISTING DECORATIVE COLUMN(S), PATCH AND REPAIR AS NECESSARY FOR NEW DOOR AND SIDELIGHT. COORDINATE WITH STRUCT. DOCS, NEW PLAN, & NEW ELEVATIONS
02 40 00 A47	REMOVE EXISTING, NON-FUNCTIONING STORM DRAIN & CAP PLUMBING AS NECESSARY
02 40 00 A48	REMOVE EXISTING CONCRETE TIRE STOPS
02 40 00 H1	PREPARE EXISTING GROUND COVER FOR NEW GROUND COVER. COORDINATE WITH NEW PLAN
02 40 00 H2	COORDINATE WITH CITY FOR NEW CURB CUT, FOR NEW DRIVE. REFER TO NEW PLAN
02 40 00 H3	COORDINATE WITH CITY TO REMOVE CURB CUTS AND CONTINUE SIDEWALK. REFER TO NEW PLAN

