

PRAVDA ARCHITECTURE/ DESIGN, PLLC

FLORIDA REGISTERED ARCHITECT
LICENSE NO. AR95842

FL REGISTRATION NO.:
AR95842

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CONSULTANTS/ ENGINEERS

CHRISTOPHER CAWLEY
LANDSCAPE ARCHITECTURE, LLC
780 NE 69TH STREET, STE. 1106
MIAMI, FL 33138

SOUL TAVERN

1801 WEST AVE.
MIAMI BEACH, FL 33139

2016_P03

DESIGN REVIEW BOARD

07 / 01 / 16

CITY CIVIL

**CITY CIVIL
PLANS - WEST
AVE**

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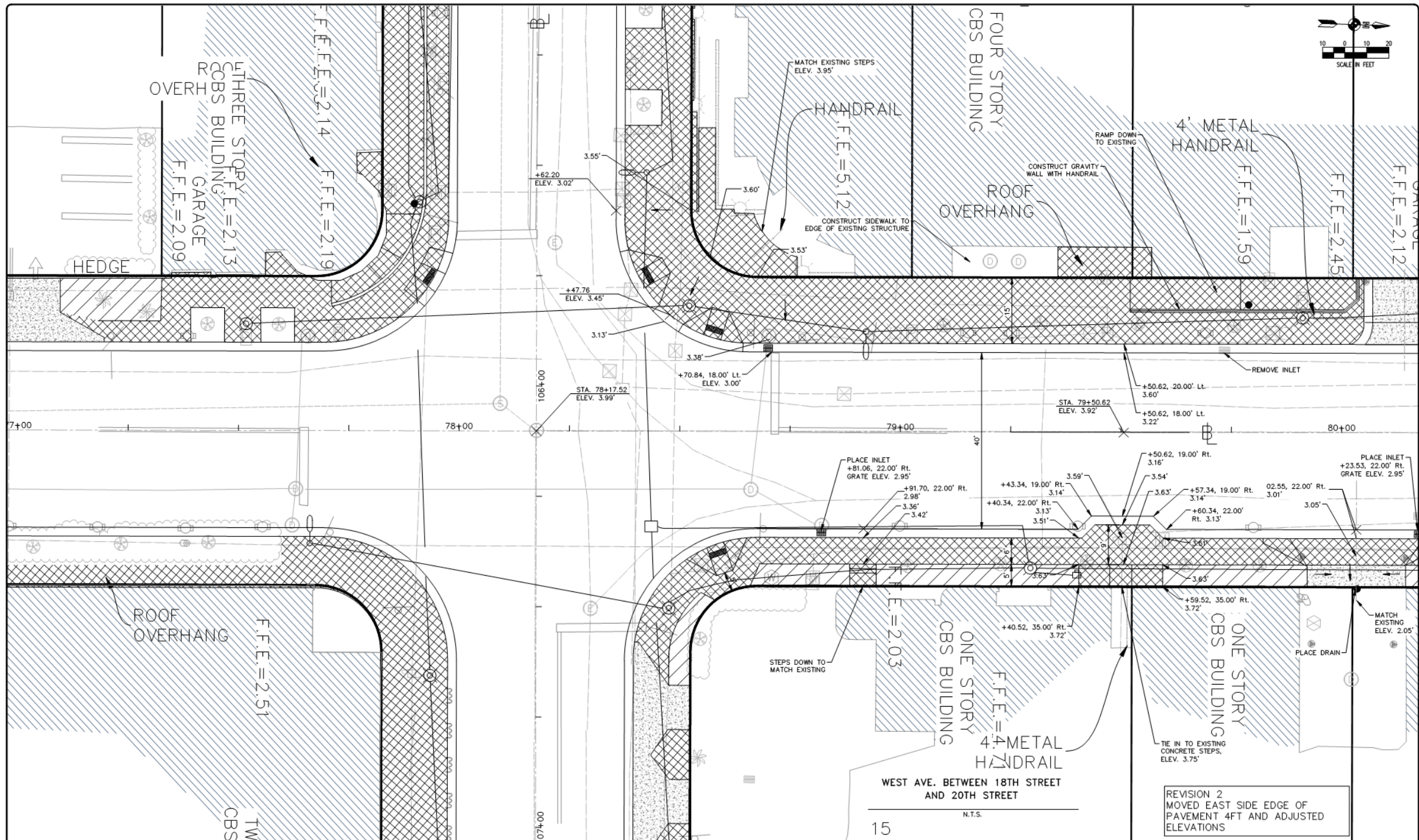
EX-203



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File Name: PR1-PLTS-ProposedRoadway\improvements_WEST AVE.dwg
Survey Reference:
Field Book: N/A Page: N/A Work Order: N/A
Date: 3/23/2016 Sheet: 4 of 13



MIAMI BEACH PUBLIC WORKS DEPARTMENT 1700 CONVENTION CENTER DRIVE, MIAMI BEACH, FL 33139	NEIGHBORHOOD: SUNSET HARBOUR WEST AVE FROM 18TH ST TO 20TH ST TITLE: EOP DETAILS	ENGINEER OF RECORD: WADE TRIM 2150 PENNA DEL LAGO BLVD SUITE 610 CORAL GABLES, FL 33134 (786) 361-1665	CITY MANAGER: JIMMY L. MORALES PUBLIC WORKS DIRECTOR: ERIC T. CARPENTER, P.E. CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.	ENGINEER OF RECORD: CW DESIGN ENGINEER: CW DRAWN BY: RC CHECKER: CW SCALE:	ENGINEER OF RECORD: 5 4 3 2 1 NO. DATE REVISION APP'D. BY	File Path: C:\pw_work\mcorter\0617863 File Name: CSC-PLTS-DETAIL_SHEETS.dwg Survey Reference: Field Book: N/A Page: N/A Work Order: N/A Date: 3/23/2016 Sheet: 6 of 13 Drawing:

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NO.	DESCRIPTION	DATE

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PRAVDA ARCHITECTURE/ DESIGN, PLLC
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PROJECT NAME
SOUL TAVERN

PROJECT ADDRESS
1801 WEST AVE.
MIAMI BEACH, FL 33139

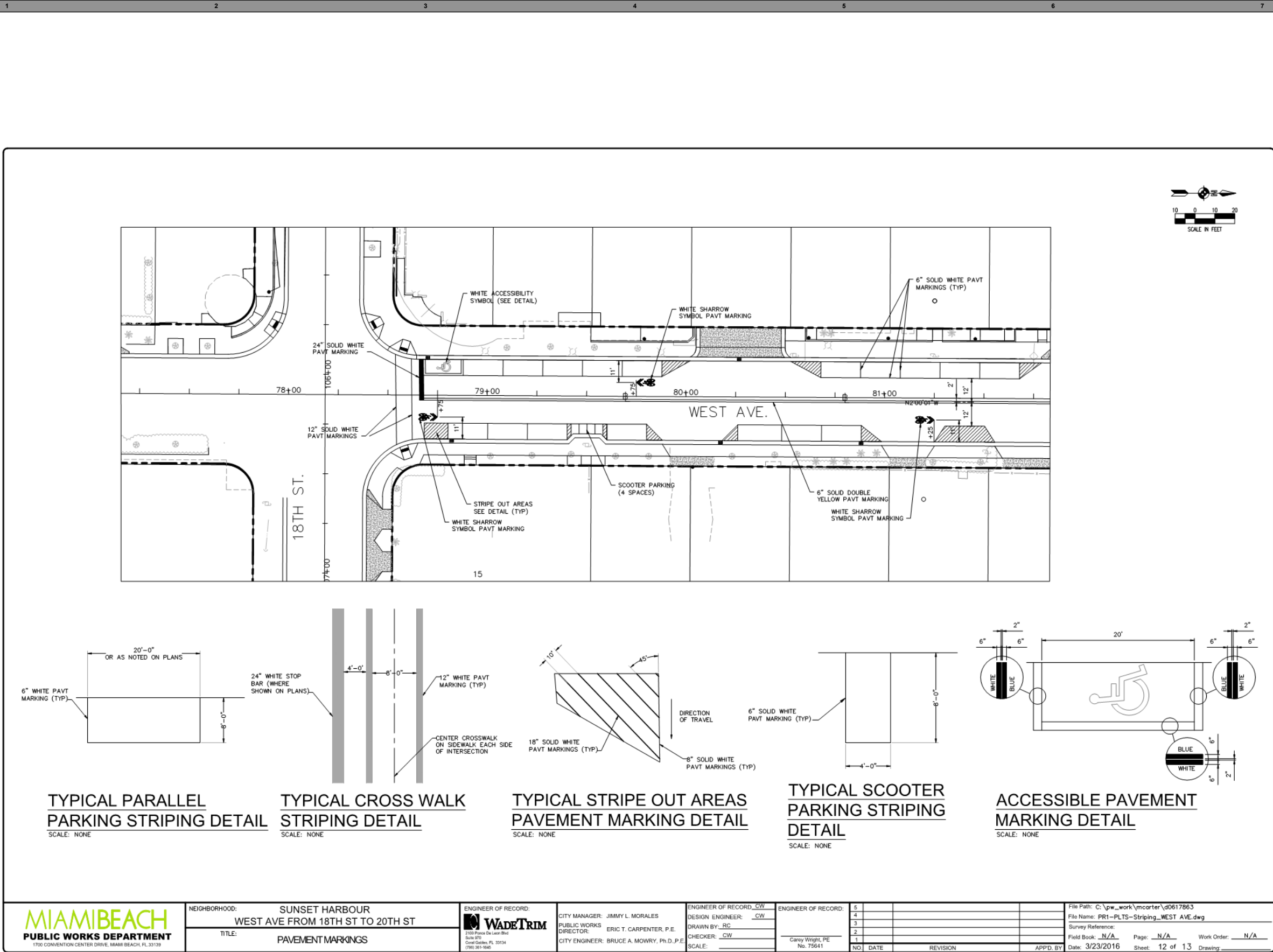
PROJECT NUMBER
2016_P03

PROJECT STATUS
DESIGN REVIEW BOARD

DATE
07 / 01 / 16

SHEET NAME
**CITY CIVIL
PLANS - WEST
AVE**

SHEET NUMBER
EX-204



MIAMI BEACH
PUBLIC WORKS DEPARTMENT
1700 CONVENTION CENTER DRIVE, MIAMI BEACH, FL 33139

NEIGHBORHOOD: SUNSET HARBOUR
WEST AVE FROM 18TH ST TO 20TH ST
TITLE: PAVEMENT MARKINGS

ENGINEER OF RECORD:
WADETRIM
2100 PRINCE OF LEON BLVD
SUITE 100
CORAL GABLES, FL 33134
(781) 361-1640

CITY MANAGER: JIMMY L. MORALES
PUBLIC WORKS DIRECTOR: ERIC T. CARPENTER, P.E.
CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.

ENGINEER OF RECORD, CW
DESIGN ENGINEER: CW
DRAWN BY: RC
CHECKER: CW
SCALE: _____

ENGINEER OF RECORD:
Carry Wright, P.E.
No. 75641

NO.	DATE	REVISION	APPD. BY
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File Name: PR1-PLTS-Striping_WEST AVE.dwg
Survey Reference:
Field Book: N/A Page: N/A Work Order: N/A
Date: 3/23/2016 Sheet: 12 of 13 Drawing: _____

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MIAMI, FL 33138

PROJECT NAME
SOUL TAVERN

PROJECT ADDRESS
1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016_P03

PROJECT STATUS

DESIGN REVIEW BOARD

DATE

07 / 01 / 16

SHEET NAME

**CITY CIVIL
PLANS - WEST
AVE**

SHEET NUMBER

EX-205



MIAMI BEACH

PUBLIC WORKS DEPARTMENT

18TH ST. FROM WEST AVE. TO ALTON RD ROADWAY IMPROVEMENTS

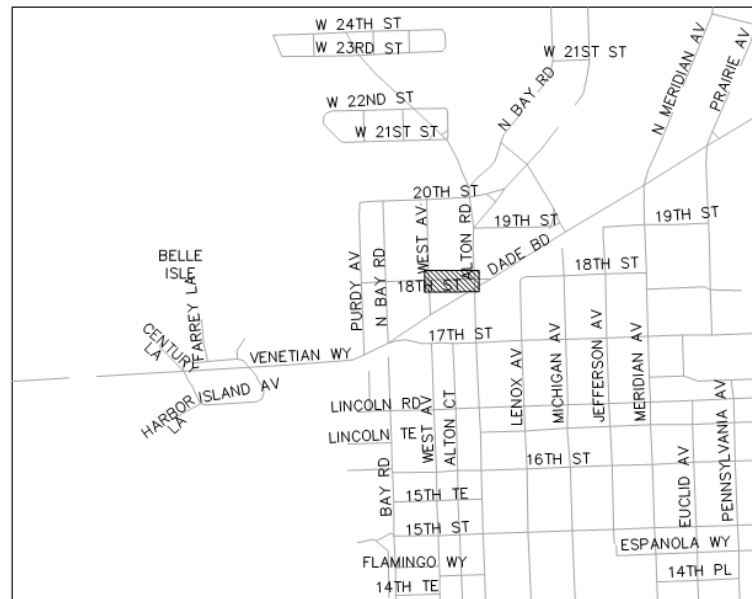


CITY OF MIAMI BEACH

MAYOR: PHILIP LEVINE

COMMISSIONERS: DEEDE WEITHORN
MICKEY STEINBERG
MICHAEL GRIECO
JOY MALAKOFF
EDWARD L. TOBIN
JONAH WOLFSON

CITY MANAGER: JIMMY L MORALES
CITY ATTORNEY: RAUL J. AGUILA
PUBLIC WORKS DIRECTOR: ERIC CARPENTER
CITY ENGINEER: BRUCE A MOWRY, P.E.
ASST. CITY ENGINEER: ROGER BUELL, P.E.



LOCATION MAP
N.T.S.



WADETRIM
2100 Ponce De Leon Blvd
Suite 970
Coral Gables, FL 33134
(888) 499-9624
www.wadetrtrim.com Building relationships on a foundation of excellence



INDEX OF ROADWAY PLANS

SHEET No.	SHEET DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	TYPICAL SECTIONS
4	PLAN & PROFILE
5	EOP DETAIL
6	DETAIL SHEET

LOCATION OF PROJECT

100% DESIGN PLANS
May 4, 2016

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PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016_P03

PROJECT STATUS

DESIGN REVIEW BOARD

DATE

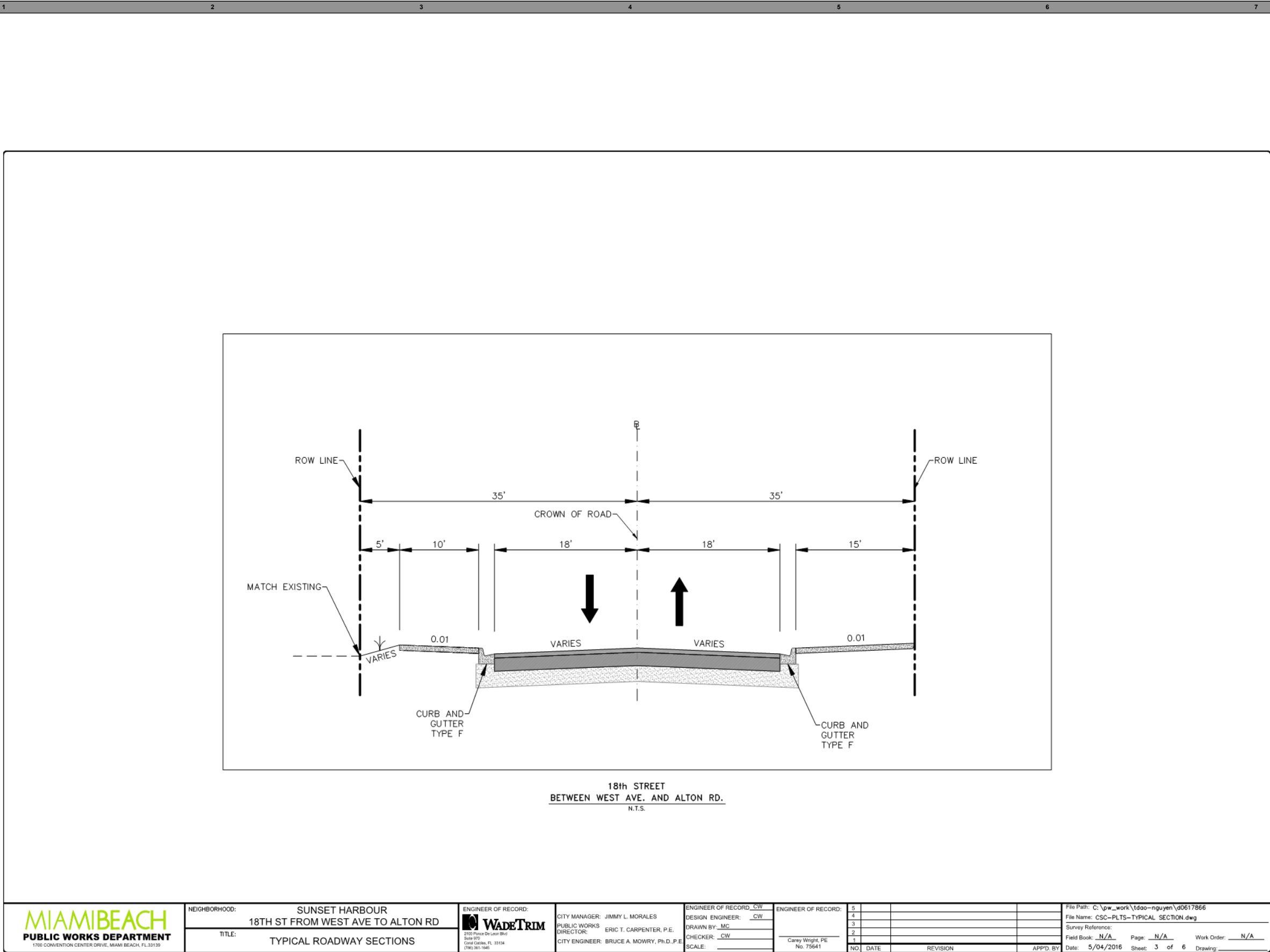
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SHEET NAME

**CITY CIVIL
PLANS - 18TH ST**

SHEET NUMBER

EX-206



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PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016_P03

PROJECT STATUS

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DATE

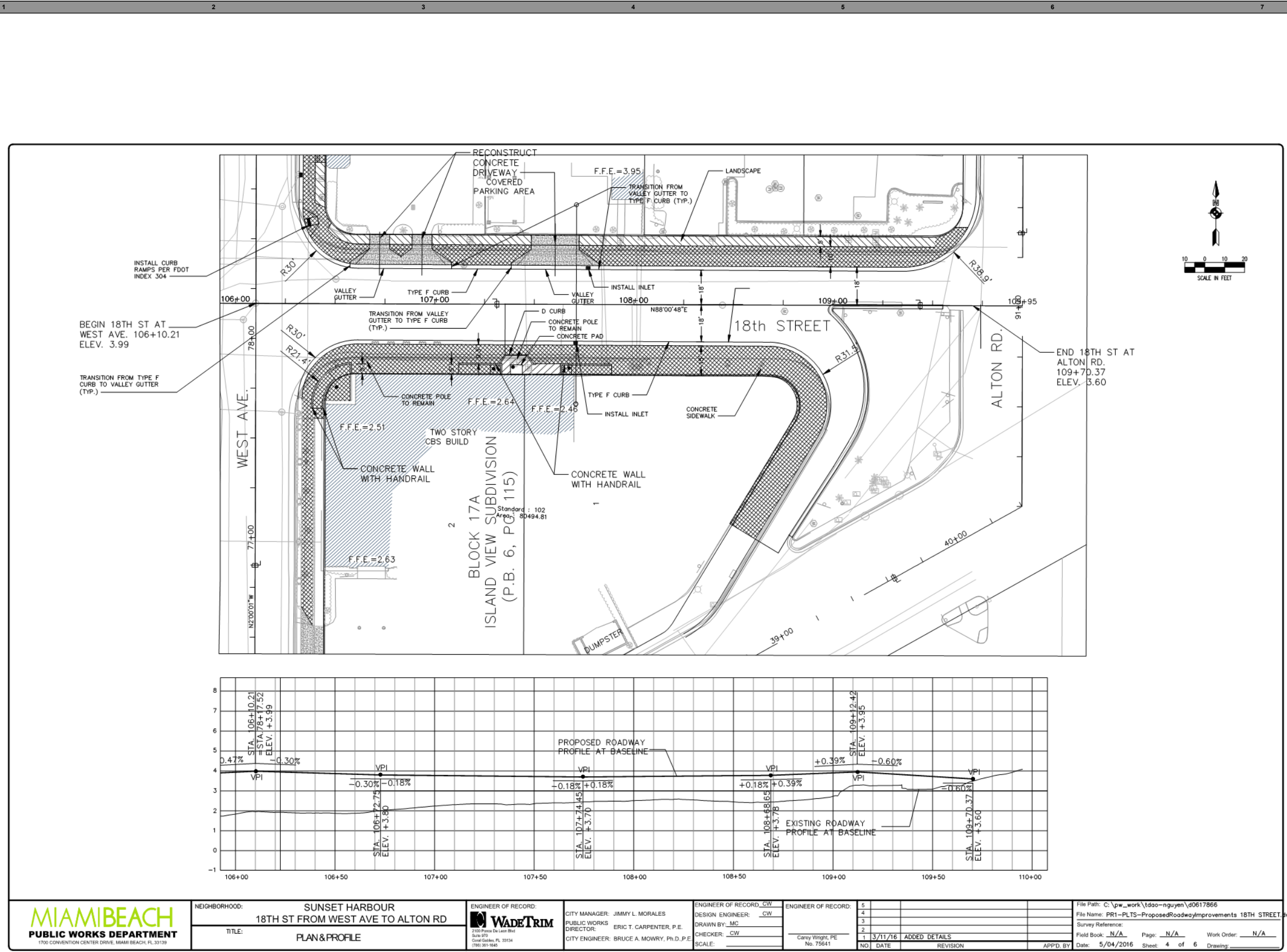
07 / 01 / 16

SHEET NAME

CITY CIVIL
PLANS - 18TH ST

SHEET NUMBER

EX-207



MIAMI BEACH
PUBLIC WORKS DEPARTMENT
1700 CONVENTION CENTER DRIVE, MIAMI BEACH, FL 33139

NEIGHBORHOOD: **SUNSET HARBOUR**
18TH ST FROM WEST AVE TO ALTON RD
TITLE: **PLAN & PROFILE**

ENGINEER OF RECORD:
WADETRIM
2100 PINE DE LAURE BLVD
SUITE 170
CORAL GABLES, FL 33134
(781) 361-1640

CITY MANAGER: JIMMY L. MORALES
PUBLIC WORKS DIRECTOR: ERIC T. CARPENTER, P.E.
CITY ENGINEER: BRUCE A. MOWRY, PH.D., P.E.

ENGINEER OF RECORD, CW
DESIGN ENGINEER: CW
DRAWN BY: MC
CHECKER: CW
SCALE:

ENGINEER OF RECORD:
Carey Wright, PE
No. 75641

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1	3/11/16 ADDED DETAILS
NO.	DATE
	REVISION
	APPD. BY

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Field Book: N/A Page: N/A Work Order: N/A
Date: 5/04/2016 Sheet: 4 of 6 Drawing:

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PROJECT NAME
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PROJECT ADDRESS
1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER
2016_P03

PROJECT STATUS

DESIGN REVIEW BOARD

DATE
07 / 01 / 16

SHEET NAME
**CITY CIVIL
PLANS - 18TH ST**

SHEET NUMBER
EX-208

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PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016_P0

PROJECT STATUS

DESIGN REVIEW BOARD

DATE _____

07 / 01 / 16

SHEET NAME

**CITY CIVIL
PLANS - 18TH ST**

SHEET NUMBER

EX-209



NEIGHBORHOOD:	SUNSET HARBOUR 18TH ST FROM WEST AVE TO ALTON RD
TITLE:	EOP DETAIL

ENGINEER OF RECORD:
 **WADE TRIMBLE**
 2150 Ponce De Leon Blvd
 Suite 970
 Coral Gables, FL 33134

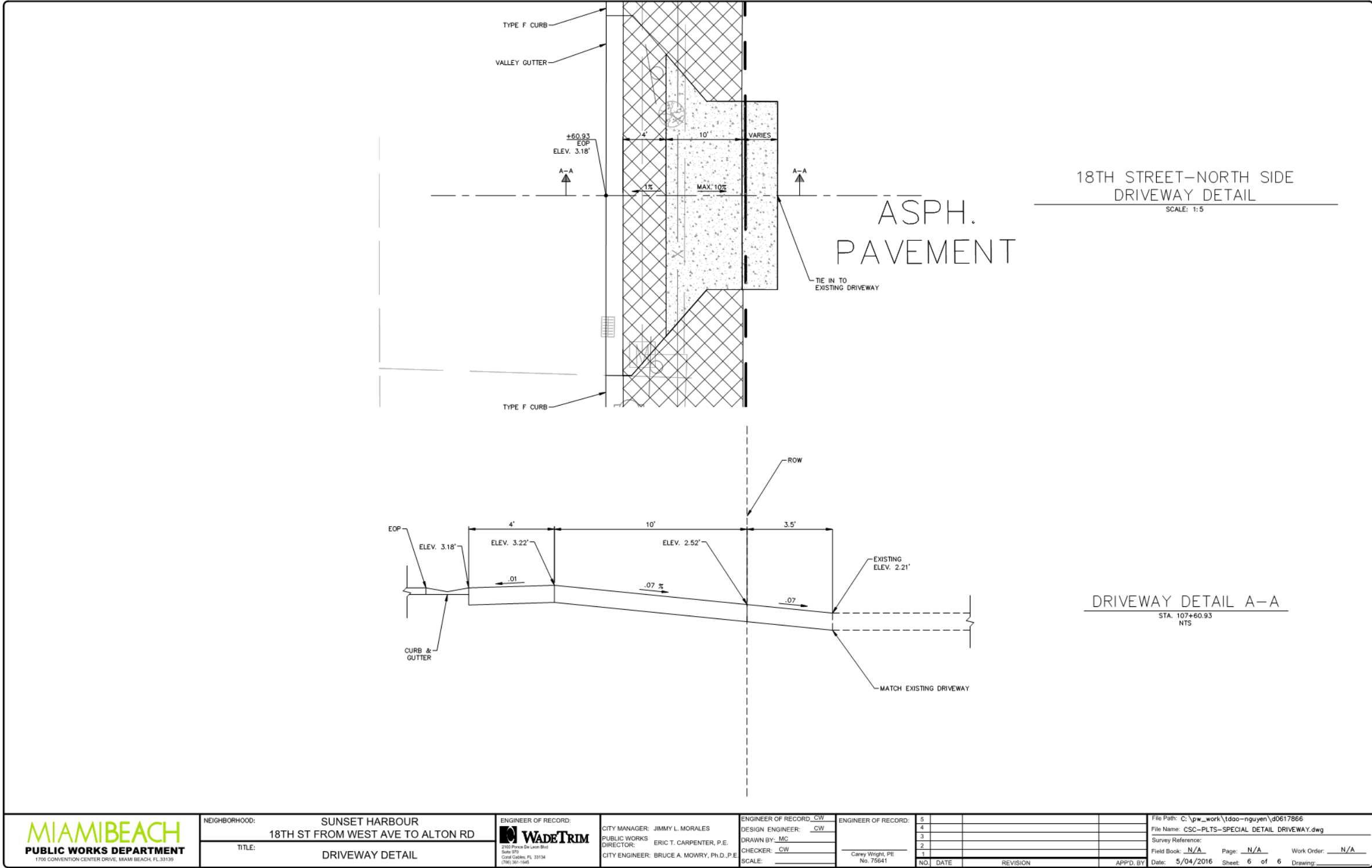
CITY MANAGER: JIMMY L. MORALES
PUBLIC WORKS
DIRECTOR: ERIC T. CARPENTER, P.E.
CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.

ENGINEER OF RECORD: CW
DESIGN ENGINEER: CW
DRAWN BY: MC
CHECKER: CW

ENGINEER OF RECORD

Carey Wright, PE

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File Name: CSC-PLTS-DETAIL-SHEET1.dwg
Survey Reference:
Field Book: N/A Page: N/A Work Order: N/A



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MIAMI, FL 33138

PROJECT NAME

SOUL TAVERN

PROJECT ADDRESS

1801 WEST AVE.
MIAMI BEACH, FL 33139

PROJECT NUMBER

2016_P03

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DESIGN REVIEW BOARD

DATE

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SHEET NAME

CITY CIVIL
PLANS - 18TH ST

SHEET NUMBER

EX-210

<div><div>MIAMI BEACH</div><div>PUBLIC WORKS DEPARTMENT</div><div>1706 CONVENTION CENTER DRIVE, MIAMI BEACH, FL 33139</div></div>	NEIGHBORHOOD: SUNSET HARBOUR	ENGINEER OF RECORD: WADE TRIM	CITY MANAGER: JIMMY L. MORALES	ENGINEER OF RECORD, CW	5				File Path: C:\pw_work\ldao-nguyen\ld0617866
	TITLE: DRIVEWAY DETAIL	2500 Prince Dr. Suite 300 Coral Gables, FL 33134 (786) 361-1945	PUBLIC WORKS DIRECTOR: ERIC T. CARPENTER, P.E.	DESIGN ENGINEER: CW	4				File Name: CSC-PLTS-SPECIAL DETAIL DRIVEWAY.dwg
			CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.	DRAWN BY: MC	3				Survey Reference:
				CHECKER: CW	2				Field Book: N/A Page: N/A Work Order: N/A
				SCALE:	1				Date: 5/04/2016 Sheet: 6 of 6 Drawing:
					NO.	DATE	REVISION	APPD. BY	

THE SOUL TAVERN – 1801 West Avenue

Operational Plan

- (1) The hours of operation of will be from **11am to 2am Monday through Friday and 9am to 2am on Saturdays and Sundays.**
- (2) There will be no live performances or dancing associated with the proposed use.
- (3) The concept of Soul Tavern is a vegetarian gastropub. The menu will be comprised of fully vegetarian food items using the highest level of culinary concepts and ingredients.
- (4) The restaurant will employ approximately 30 to 35 persons.
- (5) There is no on-site parking being proposed with subject restaurant. The Soul Tavern site will be amply served by existing on street public parking, the nearby Sunset Harbour garage as well as uber and taxi service.
- (6) Management will walk the site every morning to see the property is trash free & being properly maintained.
- (7) Sidewalks, drives & adjacent curbs & gutter will be power washed from time to time to remove any grime or gum deposits.
- (8) Soul Tavern will contract for private refuse disposal services. The current design approval provides for an air conditioned trash room, and will have up four large rolling bins for waste and compost. This should allow more than ample storage capacity for a single daily pickup, six days per week.
- (9) Trash containers will be wheeled out of the trash room for curbside pickup between 7AM and 9AM & returned to the trash room. Except when otherwise being emptied or serviced, the containers will kept inside the building & not left out visible to the street.
- (10) Outdoor speakers are proposed but will be limited to ground mounted speakers that are intended to keep the sound contained to the site. The ground speakers will be proposed to be rock style ground mounted speakers. The Applicant is proposing 6 - 8 ground mounted speakers that will be distributed throughout the outdoor area of the Property, so as to eliminate any travel of sound to adjacent properties. Additionally, the property is not adjacent to any residential buildings.