



AERIAL PLAN 

TEAM
STUDIO MCG ARCHITECTURE
 7500 NE 4th Court
 Studio 103
 Miami, FL 33138

CHRISTOPHER CAWLEY
LANDSCAPE ARCHITECTURE
 780 NE 69th Street, Suite 200 Miami, Florida 33138
 (305) 791-1585
 CHRISTOPHERCAWLEY.COM | LG-28000480

PROJECT
THE HOHAUSER
 1030 6th Street
 Miami Beach, FL 33139

DRAWING
**HISTORIC PRESERVATION BOARD
 FINAL SUBMISSION**

DRAWING
AERIAL PLAN

SHEET
A0.02

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 JENNIFER MCCONNEY
 FLORIDA LICENSE #AR93044



TEAM

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CHRISTOPHERCAWLEY.COM | LC 29004992

PROJECT

THE HOHAUSER

1030 6th Street
Miami Beach, FL 33139

DRAWING

SITE PHOTOGRAPHY

SHEET

A0.03

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EXISTING EAST BUILDING
 PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
 DATED FEBRUARY 15TH, 1963



EXISTING SOUTH BUILDING
 PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
 DATED FEBRUARY 15TH, 1963



EXISTING WEST BUILDING
 PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.
 DATED FEBRUARY 15TH, 1963

TEAM



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PROJECT

THE HOHAUSER

1030 6th Street
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DRAWING

ARCHIVE PHOTOGRAPHS

SHEET

A0.20

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2020-06-01

EAST BUILDING



2020-06-01

WEST BUILDING



2020-06-01

SOUTH BUILDING



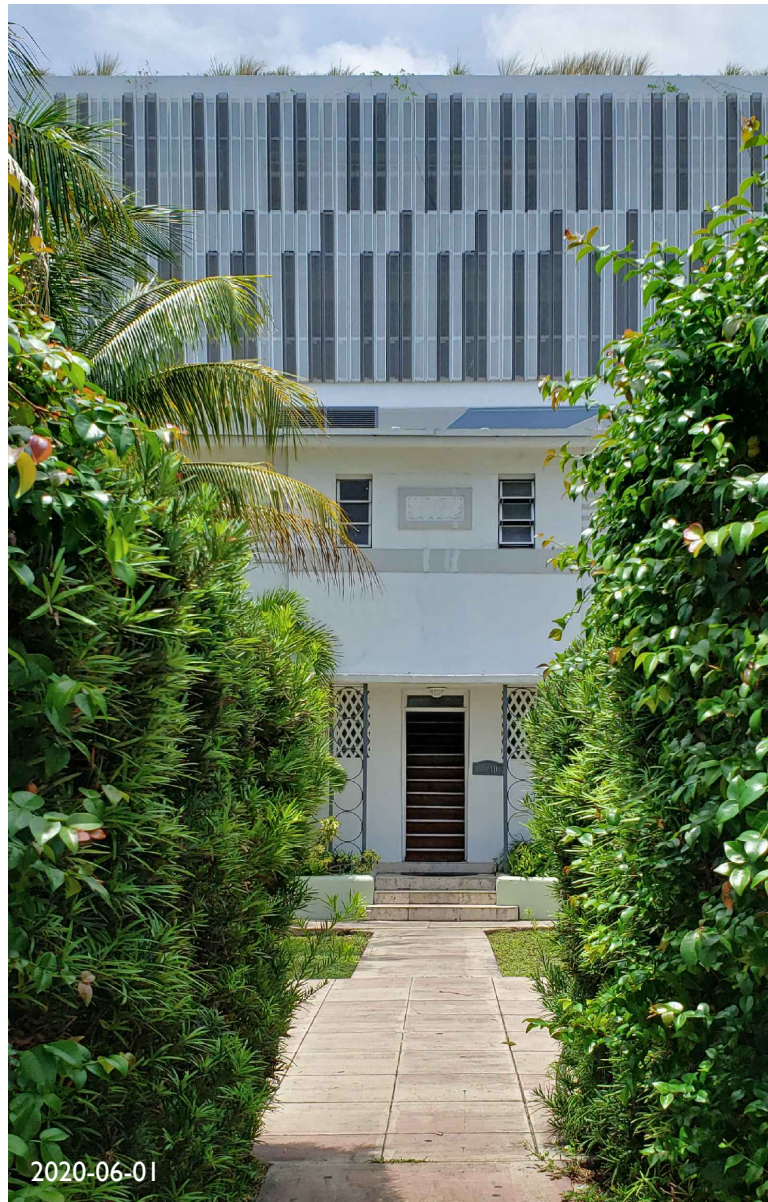
2020-06-01

WEST BUILDING



2020-06-01

CIRCULAR ORNAMENTAL
SCREENS



2020-06-01

SYMMETRICAL SITE PLAN WITH
ALIGNED VIEWS



2020-06-01

STRIPS OF WINDOWS WITH STREAMLINE SPANDREL



2020-06-01

OVERLAPPING ROUNDED CANOPIES

TEAM



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PROJECT

THE HOHAUSER

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**HISTORIC PRESERVATION BOARD
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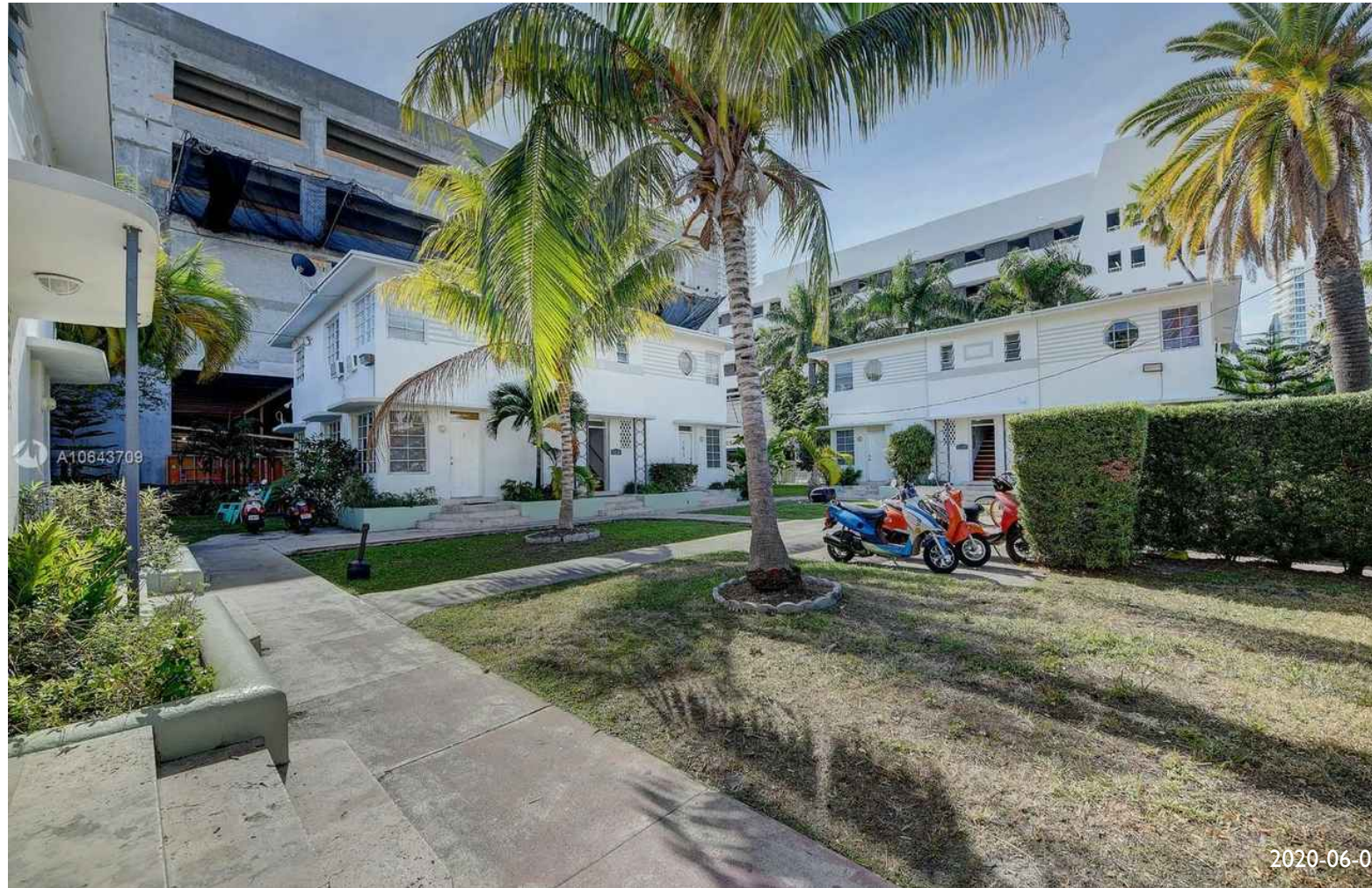
DRAWING

SITE PHOTOGRAPHY

SHEET

A0.05

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2020-06-01

COURTYARD



2020-06-01

COURTYARD



2020-06-01

TEAM



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PROJECT

THE HOHAUSER

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DRAWING

SITE PHOTOGRAPHY

SHEET

A0.09

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FLORIDA LICENSE #AR93044

THE HOHAUSER

PROPOSED
SITE
ELEVATIONS

JENNIFER McCONNIEY FLORIDA LIC# AR93044

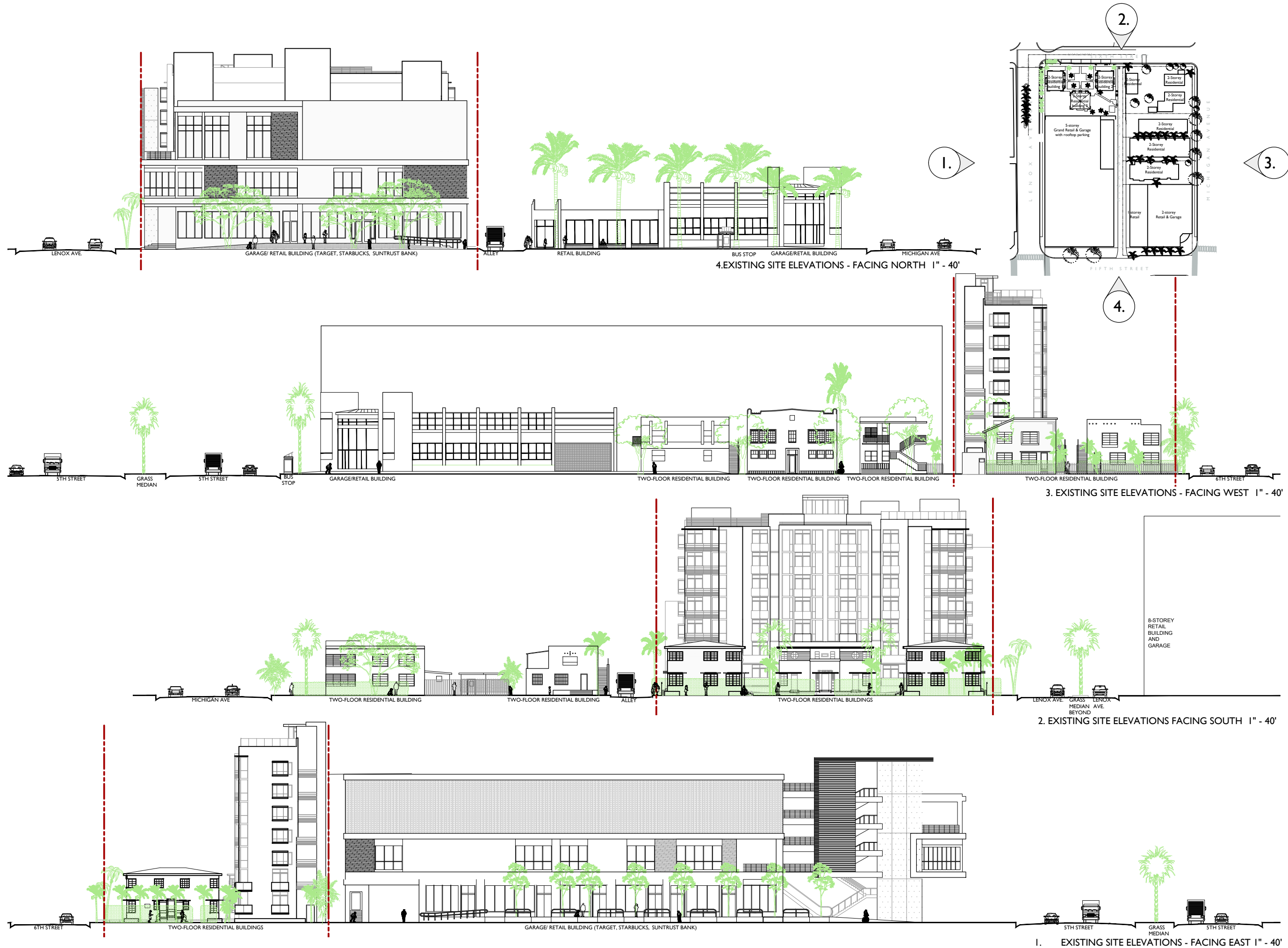
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED
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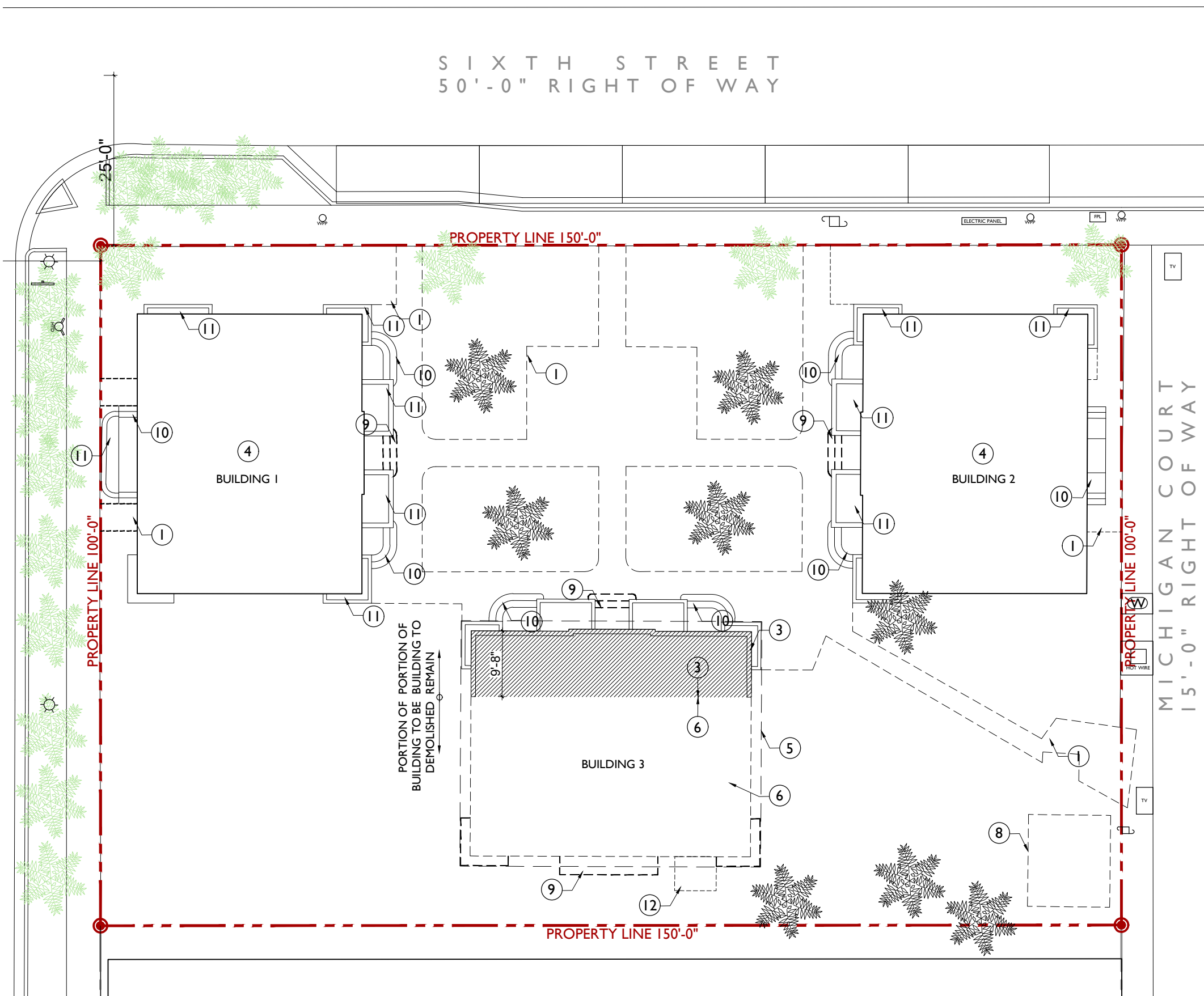
SCALE: 1"=40'-0"

CHECK: JMcG

DATE: 08/21/2020

SHEET NUMBER





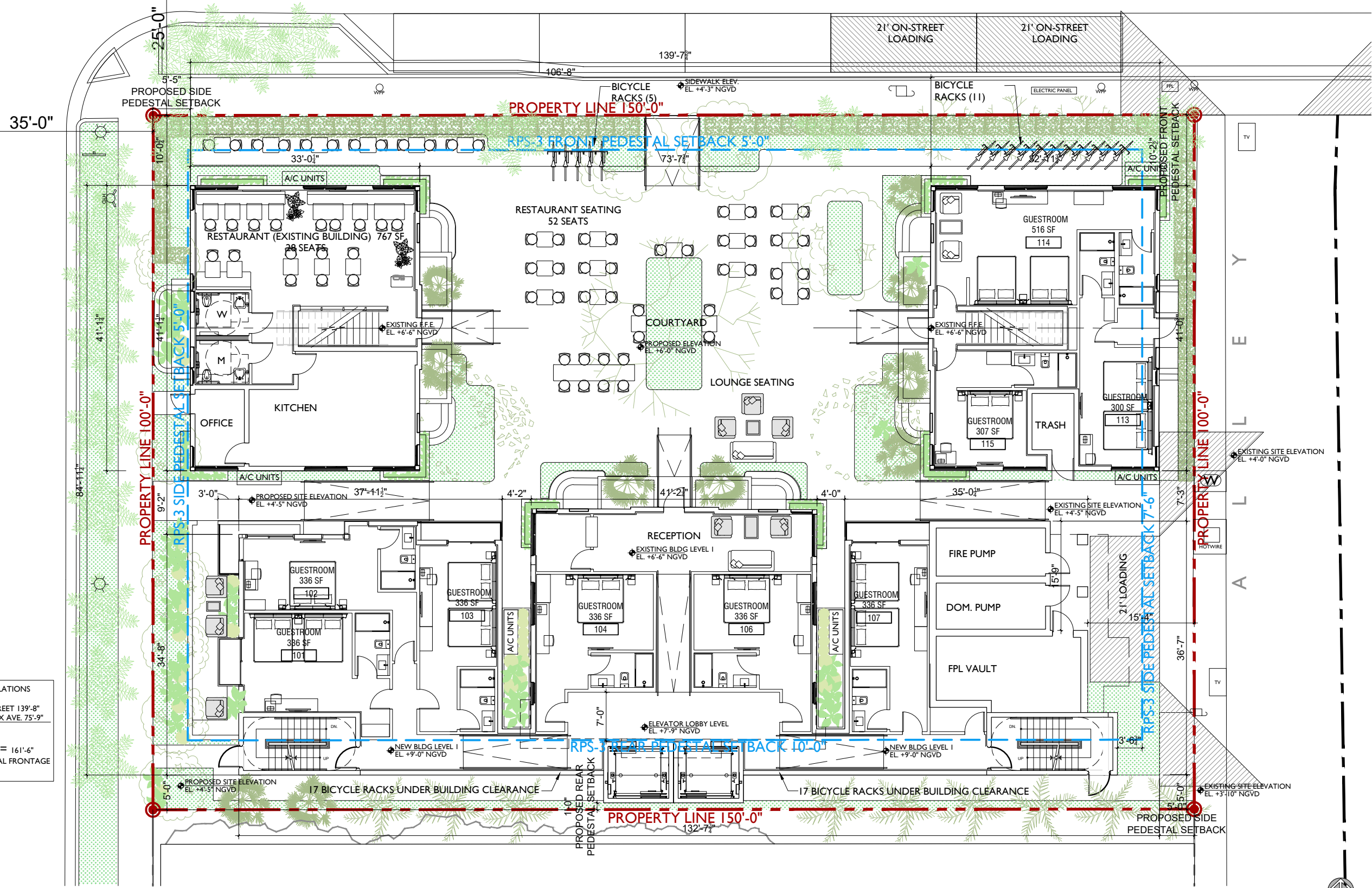
- DEMOLITION LEGEND
- ① HARDSCAPE TO BE REMOVED
 - ② (LEFT BLANK)
 - ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
 - ④ BUILDING TO REMAIN
 - ⑤ ROOF ABOVE TO BE REMOVED
 - ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
 - ⑦ (LEFT BLANK)
 - ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
 - ⑨ STAIRS TO BE REMOVED
 - ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
 - ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
 - ⑫ UTILITY BOX/SHED TO BE REMOVED

SIXTH STREET
50'-0" RIGHT OF WAY

LENOX AVENUE
70'-0" TOTAL RIGHT OF WAY

FRONTAGE CALCULATIONS
FRONTAGE 6TH STREET 139'-8"
FRONTAGE LENNOX AVE. 75'-9"
TOTAL 215'-5"

75% OF FRONTAGE = 161'-6"
TOTAL COMMERCIAL FRONTAGE
PROVIDED 147'-9"



PROPOSED LEVEL I PLAN 1"=15'-0"

SIXTH STREET
50'-0" RIGHT OF WAY

LENOX AVENUE
70'-0" TOTAL RIGHT OF WAY

35'-0"

25'-0"

PROPERTY LINE 150'-0"

RPS-3 FRONT PEDESTAL SETBACK 5'-0"

33'-0 1/2"

33'-0"

GUESTROOM
435 SF
211

GUESTROOM
435 SF
214

GUESTROOM
379 SF
212

GUESTROOM
350 SF
210

GUESTROOM
350 SF
215

GUESTROOM
379 SF
213

COURTYARD
BELOW

125'-3"
41'-2"

PROPERTY LINE 100'-0"

RPS-3 SIDE PEDESTAL SETBACK 5'-0"

41'-1"

41'-0"

PROPERTY LINE 100'-0"

PROPERTY
A
L
L
E
Y

3'-0" 37'-11 1/2" 4'-2"

4'-0" 37'-11 1/2" 3'-0"

37'-11 1/2" 3'-0"

GUESTROOM
336 SF
202

GUESTROOM
336 SF
203

GUESTROOM
369 SF
204

GUESTROOM
390 SF
205

GUESTROOM
390 SF
206

GUESTROOM
336 SF
207

GUESTROOM
336 SF
208

GUESTROOM
386 SF
209

GUESTROOM
336 SF
201

3'-0" 36'-7"

36'-7"

7'-4 1/2" 12'-4 1/2"

7'-4 1/2" 12'-4 1/2"

PORTION OF BUILDING
TO BE DEMOLISHED

PORTION OF BUILDING
TO BE DEMOLISHED

RPS-3 REAR PEDESTAL SETBACK 10'-0"

PROPERTY LINE 150'-0"

PROPOSED REAR
TOWER SETBACK

125'-3"

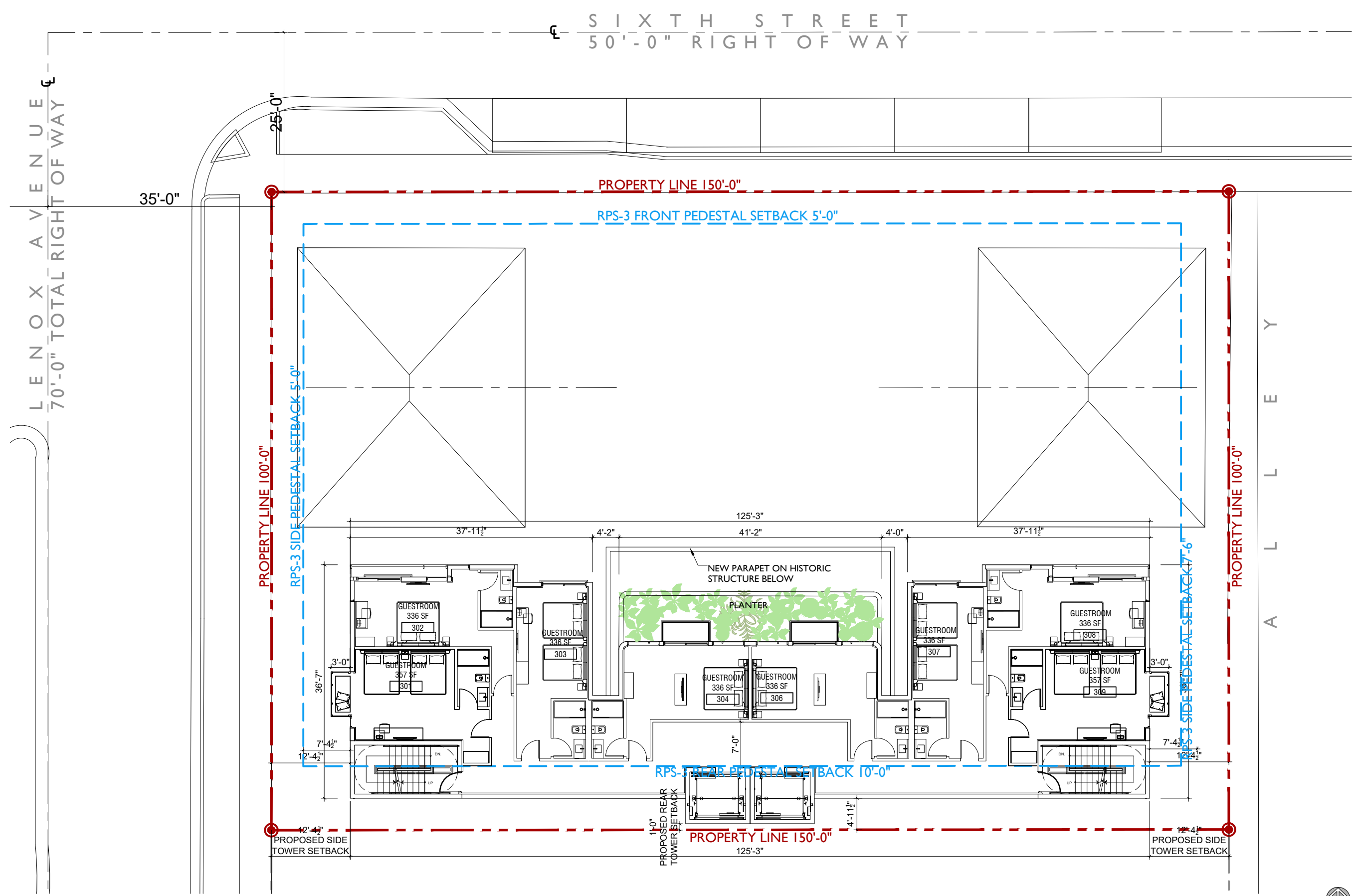
EXISTING F.F.E. MATCH
EL. +9.7' NGVD

PROPOSED F.F.E.
EL. +9.8' NGVD

PROPOSED SIDE
TOWER SETBACK

PROPOSED SIDE
TOWER SETBACK





PROPOSED LEVEL 3 PLAN 1" = 15'-0"





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PROJECT

THE HOHAUSER

1030 6th Street
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**HISTORIC PRESERVATION BOARD
 FINAL SUBMISSION**

DRAWING

**VIEW FACING SOUTH EAST ON LENNOX
 AVENUE**

SHEET

A3.03

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VIEW FACING SOUTH ON 6TH STREET- EXISTING

TEAM



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PROJECT

THE HOHAUSER

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DRAWING

RENDERINGS

SHEET

3A

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VIEW FACING SOUTH ON 6TH STREET

TEAM

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DRAWING

RENDERINGS

SHEET

3B

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DRAWING

RENDERING

SHEET

4

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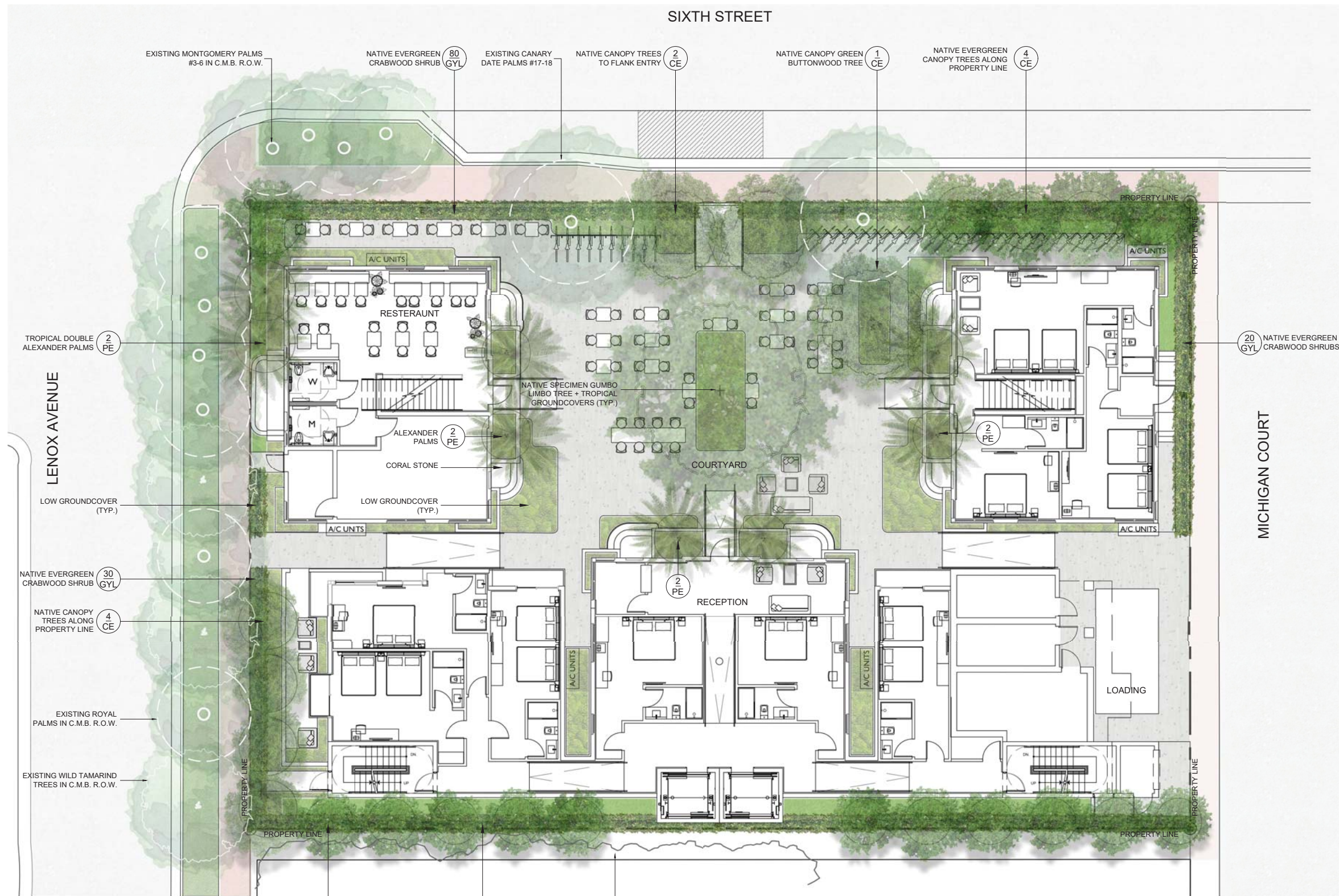
DRAWING

**SECTION
 NORTH-SOUTH**

SHEET

A4.01

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SIXTH STREET

LENOX AVENUE

MICHIGAN COURT

EVERGREEN BAYRUM TREES ALONG PROPERTY LINE 11 PR
 NATIVE EVERGREEN SHRUB 100 PSL
 EXISTING SABAL + PAUROTIS PALMS ON ADJACENT PROPERTY

LEVEL 1 LANDSCAPE PLAN RENDERING



2010

PROJECT:

THE HOHAUSER

1030 6th Street.
 Miami Beach, FL 33139

DRAWING:

LEVEL 1
 LANDSCAPE
 PLAN
 RENDERING

**CHRISTOPHER
 CAWLEY**
 LANDSCAPE
 ARCHITECTURE

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SEAL

CHRISTOPHER CAWLEY, RLA
 Florida License LA 6662786

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REVISIONS

SCALE:
 DRAWN:
 CHECK: CCLA
 DATE: HPB SUBMITTAL
 07/07/2020

SHEET NUMBER

LI.00