

THE HOHAUSER

1030 6th Street
Miami Beach, FL 33139

DRAWING:

COVER SHEET

JENNIFER MCCONNEY FLORIDA LIC# AR93044

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ARCHITECTURE, INC. (c) 2020

SCALE: N.T.S.

CHECK: JMcG

DATE: 08/10/2020

SHEET NUMBER

THE HOHAUSER HOTEL

1030 6th Street, Miami Beach, Florida

HISTORIC PRESERVATION BOARD

FINAL SUBMISSION

August 10th, 2020



Scope of Work

- Restoration of two Historic 2-story structures and the adjoining courtyard.
- Partial demolition of 1 Contributing 2-story structure on the south side of the lot
- New construction of a 7-story Hotel with total 64 hotel units
- 50 units in new proposed building and 14 units in existing buildings.

A0.00

PARKING CALCULATIONS			
Hotel	50 units X 0.5 parking space		25 P.S.
RESTAURANT/CAFÉ	Restaurant is located inside historic structure and historic courtyard space		0 P.S.
ALTERNATIVE PARKING (reduction up to 50% of required parking)	10 parking spaces of required parking*		
FEE in lieu of providing parking spaces. Sec.130-132(a,b)	5 bike racks/parking space		50 bicycle racks
			15 P.S.
TOTAL			25 P.S.

GUEST ROOM SIZES				
Unit Number	300-335sf	335+ sf	Part of Existing Bldg	Area
Level 1				
101				336 SF
102		I		336 SF
103		I		336 SF
104		I	yes	336 SF
XX				
106		I	yes	336 SF
107		I		336 SF
XX				
XX				
XX				
XX				
113		I	yes	340 SF
114		I	yes	516 SF
115		I	yes	340 SF
Floor Total		9 units		3,212 SF
Level 2				
201		I		336 SF
202		I		336 SF
203		I		336 SF
204		I	yes	390 SF
205		I	yes	369 SF
206		I	yes	390 SF
207		I		336 SF
208		I		336 SF
209		I		336 SF
210		I	yes	350 SF
211		I	yes	435 SF
212		I	yes	379 SF
213		I	yes	379 SF
214		I	yes	435 SF
215		I	yes	350 SF
Floor Total		15 units		5,493 SF
Level 3				
301		I		357 SF
302		I		336 SF
303		I		336 SF
304		I		336 SF
XX				
306		I		336 SF
307		I		336 SF
308		I		336 SF
309		I		357 SF
Floor Total		8 units		2,730 SF
Level 4				
401	I			313 SF
402		I		336 SF
403		I		336 SF
404		I		336 SF
XX				
406		I		336 SF
407		I		336 SF
408		I		336 SF
409	I			313 SF
Floor Total		8 units		2,642 SF
Level 5				
501	I			313 SF
502		I		336 SF
503		I		336 SF
504		I		336 SF
XX				
506		I		336 SF
507		I		336 SF
508		I		336 SF
509	I			313 SF
Floor Total		8 units		2,642 SF
Level 6				
601	I			313 SF
602		I		336 SF
603		I		336 SF
604		I		336 SF
XX				
606		I		336 SF
607		I		336 SF
608		I		336 SF
609	I			313 SF
Floor Total		8 units		2,642 SF
Level 7				
701	I			313 SF
702		I		336 SF
703		I		336 SF
704		I		336 SF
XX				
706		I		336 SF
707		I		336 SF
708		I		336 SF
709	I			313 SF
Floor Total		8 units		2,642 SF
Grand Subtotal	8 units	56 units	14 units	41,364 SF
Ratio	12.50%	87.50%		
Grand Total	64 units			

GUEST ROOMS PER LEVEL	
Level 1	9 units
Level 2	15 units
Level 3	8 units
Level 4	8 units
Level 5	8 units
Level 6	8 units
Level 7	8 units
TOTAL	64 units

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITE M #	Zoning Information			
1	Address:	1030-1050 6 Street, Miami Beach FL 33139		
2	Board and File numbers:			
3	Folio number(s):	02-4203-009-7860		
4	Year constructed:	1938	Zoning District:	CPS-2 w/ RPS-3 setbacks
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	4.25' NGVD
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	15,000 SF
7	Lot Width	150'-0"	Lot Depth:	100'-0"
8	Minimum Unit Size	300SF	Average Unit Size:	N/A
9	Existing User	Residential Multi-Family	Proposed Use:	Hotel

	Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	N/A	69'-8"
11	Number of Stories	N/A	2	7
12	FAR	2.0	N/A	2.0
13	FLOOR AREA Square Footage	30,000 SF	N/A	29,970 SF
14	Square Footage by use	N/A	N/A	N/A
15	Number of Units Residential	N/A	N/A	0
16	Number of Units Hotel	N/A	15	64
17	Number of Seats	N/A	N/A	80
18	Occupancy Load	N/A	N/A	-

	Required	Existing	Proposed	Deficiencies
Setbacks				
At Grade Parking:				
19	Front Setback (NORTH):	5'-0"	N/A	N/A
20	Rear Setback (SOUTH):	5'-0"	N/A	N/A
21	Side Setback facing Michigan Ct (EAST):	5'-0"	N/A	0'
22	Side Setback facing Lennox Ave (WEST):	5'-0"	N/A	N/A
Pedestal LEVEL 1 (RPS-3)				
23	Front Setback (NORTH):	5'-0"	10'-2"	10'-2"
24	Rear Setback (SOUTH):	10'-0"	10'-1"	1'-0" (VARIANCE REQUIRED)
25	Side Setback facing Michigan Ct (EAST):	5'-0"	5'-1"	5'-0"
26	Side Setback facing Lennox Ave (WEST):	5'-0"	5'-5"	5'-5"
Tower (RPS-3)				
27	Front Setback (NORTH):	50'-0"	N/A	58'-6"
28	Rear Setback (SOUTH):	15'-0"	N/A	1'-0" (VARIANCE REQUIRED)
29	Side Setback facing Street (EAST Alley):	12'-0"	N/A	13'-6"
30	Side Setback facing Street (WEST):	12'-0"	N/A	13'-6"

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District	1	1	1	-
32	Total # of parking spaces	0.5 P.S. PER UNIT TILL 100	N/A	0	-
33	# of parking spaces required	50 NEW CONSTRUCTION UNITSX0.5 SPACE=25P.S.	N/A	0	Fee in lieu of providing parking. Sec. 130-132. (a,b)
34	Parking Space Dimensions	8.5' X 18'		N/A	-
35	Parking Space Configurations (45°, 60°, 90°, Parallel)	90 DEGREE		N/A	-
36	ADA Spaces	0	N/A	0	-
37	Tandem Spaces	N/A	N/A	N/A	-
38	Drive Aisle Width	22'	N/A	N/A	-
39	Valet Drop off and pick up	11'	N/A	N/A	-
40	Loading zones and Trash collection areas	3	0	3	Waiver required
41	Bike Racks (15% of required parking)	25 p.s.*15%=4 BIKE RACKS REQUIRED	N/A	50 BIKE RACKS	ALLOWS FOR A REDUCTION OF 10 PARKING SPACES

	Restaurants, Cafes, Bars, Lounges,	Required	Existing	Proposed	Deficiencies
42	Type of use	N/A	RESIDENTIAL	HOTEL/COMMERCIAL	-
43	Total # of Seats	N/A	N/A	80	-
44	Total # of Seats per venue	N/A	N/A	80	-
45	Total Occupant Content	N/A	N/A	N/A	-
46	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	-

47	Is this a contributing building?	YES
48	Located within a Local Historic District?	YES

Notes: If not applicable write N/A
All other data information may be required and presented like the above format.
* SEE PARKING REQUIREMENTS (A)

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7500 NE 4th Court
Studio 103
Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street
Miami Beach, FL 33139

DRAWING:

INDEX AND DATA

JENNIFER McCONNERY FLORIDA LIC# AR93044

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SCALE: 3/32"=1'-0"

CHECK: JMcG

DATE: 08/10/2020

SHEET NUMBER

A0.01

THE HOHAUSER

PROPOSED
SITE
ELEVATIONS

JENNIFER McCONNIEY FLORIDA LIC# AR93044

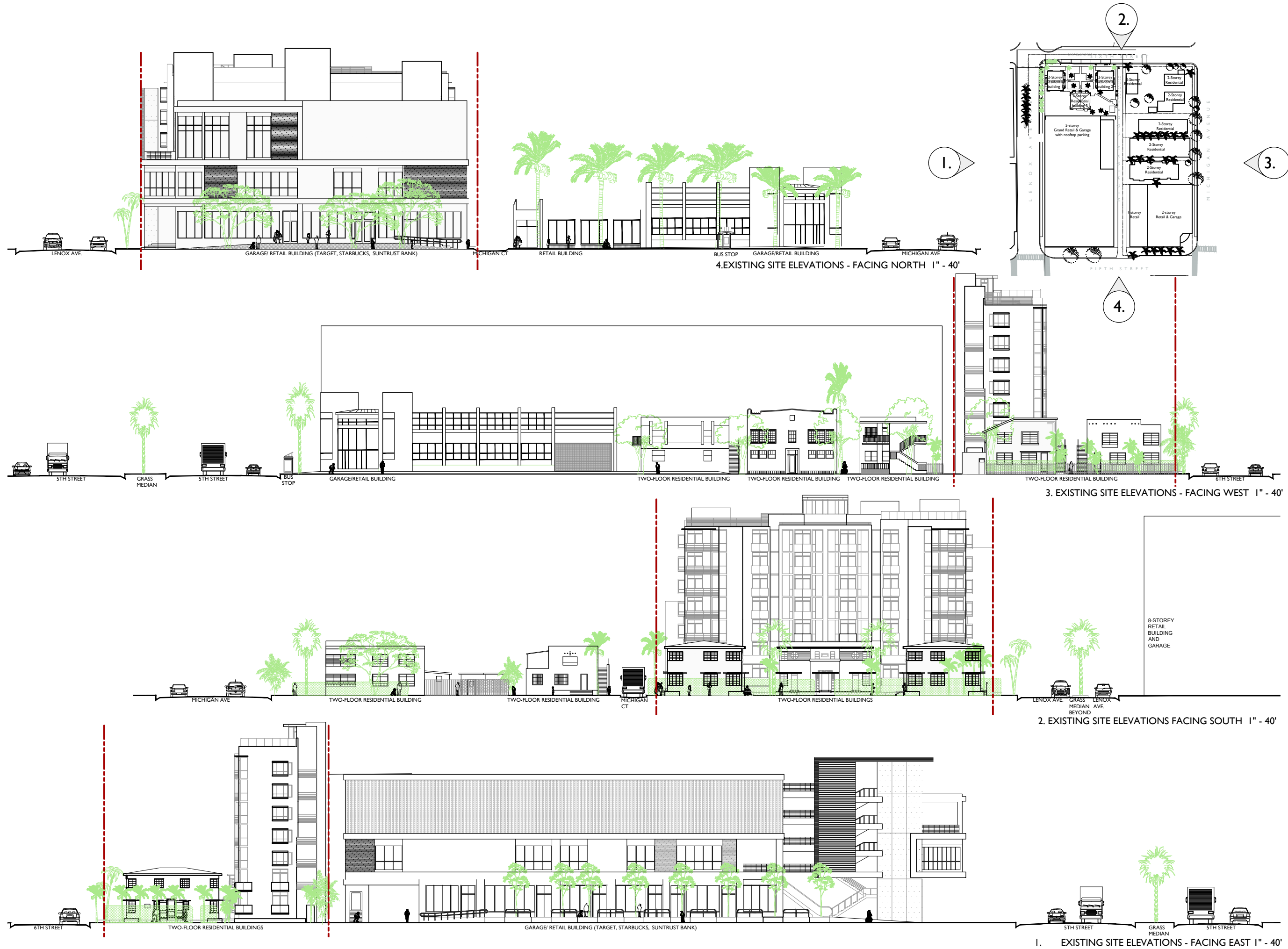
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SCALE: 1"=40'-0"

CHECK: JMcG

DATE: 08/10/2020

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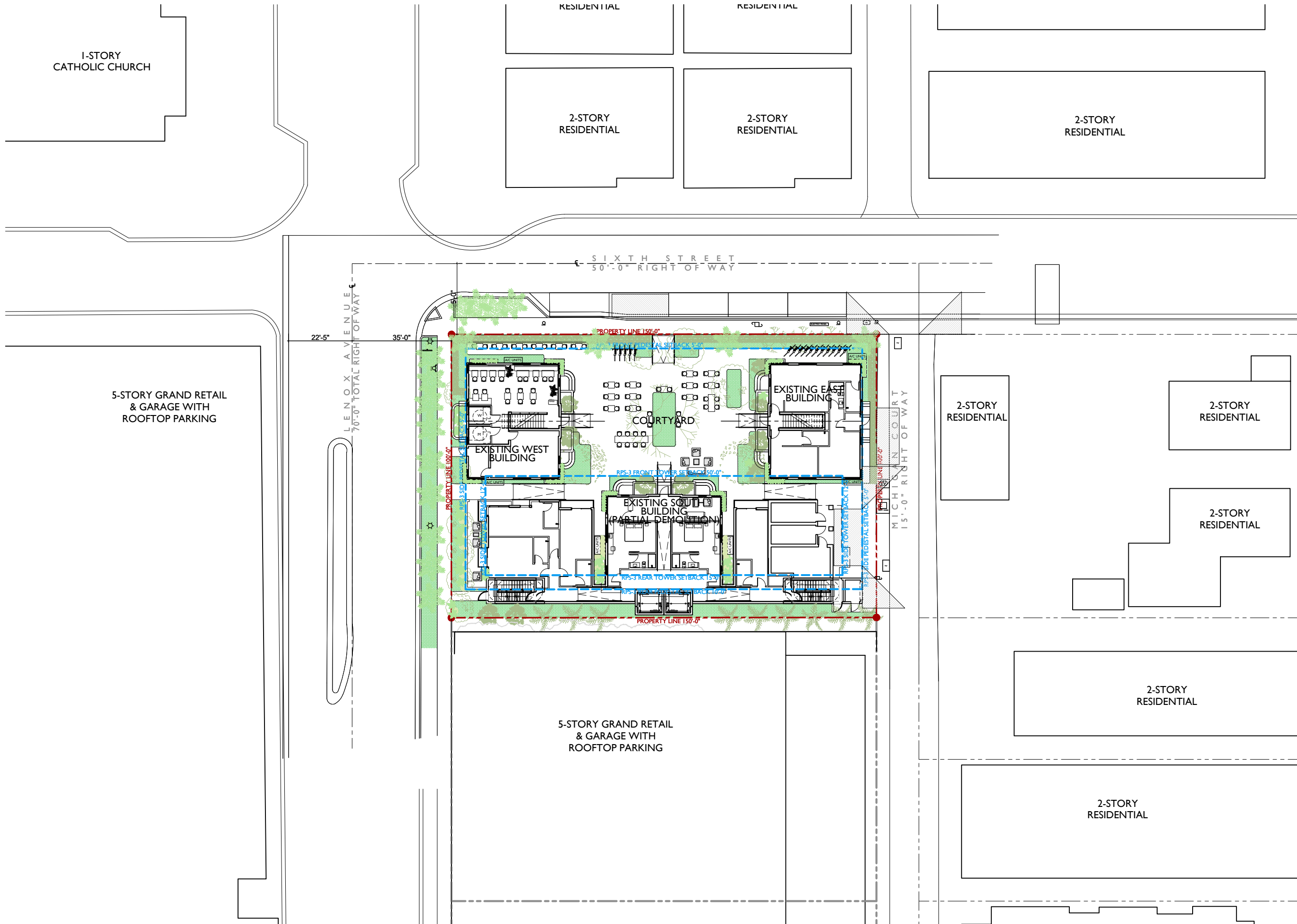
4. EXISTING SITE ELEVATIONS - FACING NORTH 1" - 40'

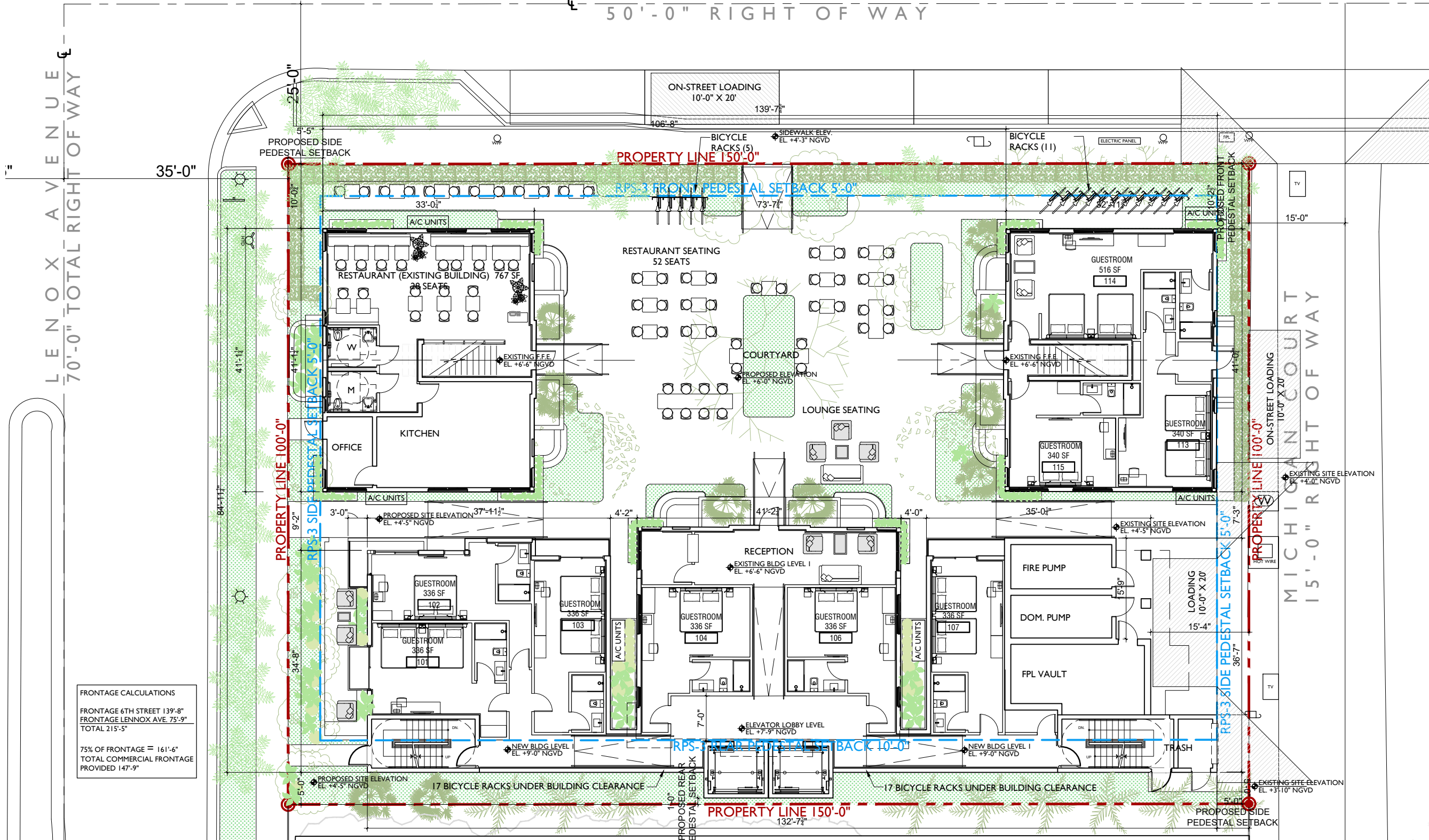
3. EXISTING SITE ELEVATIONS - FACING WEST 1" - 40'

2. EXISTING SITE ELEVATIONS FACING SOUTH 1" - 40'

1. EXISTING SITE ELEVATIONS - FACING EAST 1" - 40'

8-STORY
RETAIL
BUILDING
AND
GARAGE

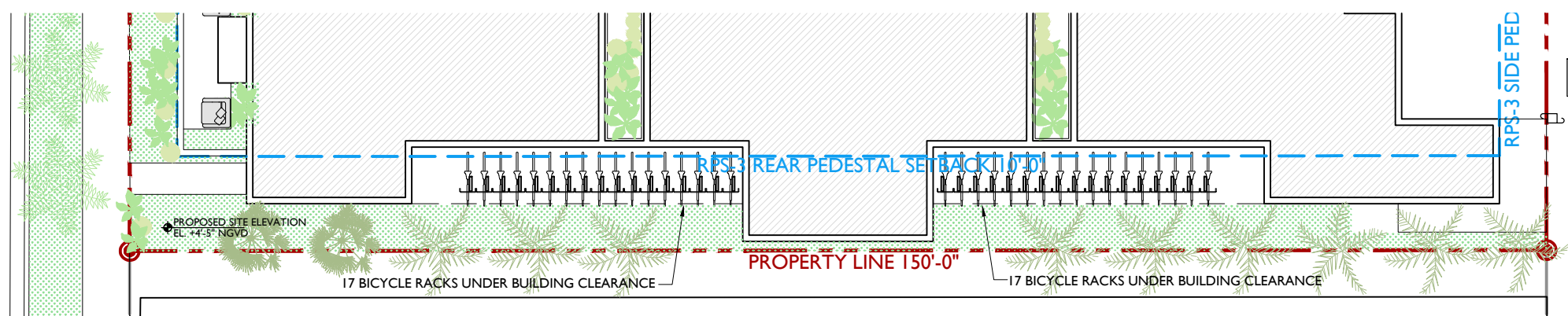




FRONTAGE CALCULATIONS
FRONTAGE 6TH STREET 139'-8"
FRONTAGE LENNOX AVE. 75'-9"
TOTAL 215'-5"

75% OF FRONTAGE = 161'-6"
TOTAL COMMERCIAL FRONTAGE
PROVIDED 147'-9"

PROPOSED LEVEL I PLAN 1/16" = 1'-0"



PROPOSED LEVEL 0 PLAN 1/16" = 1'-0"

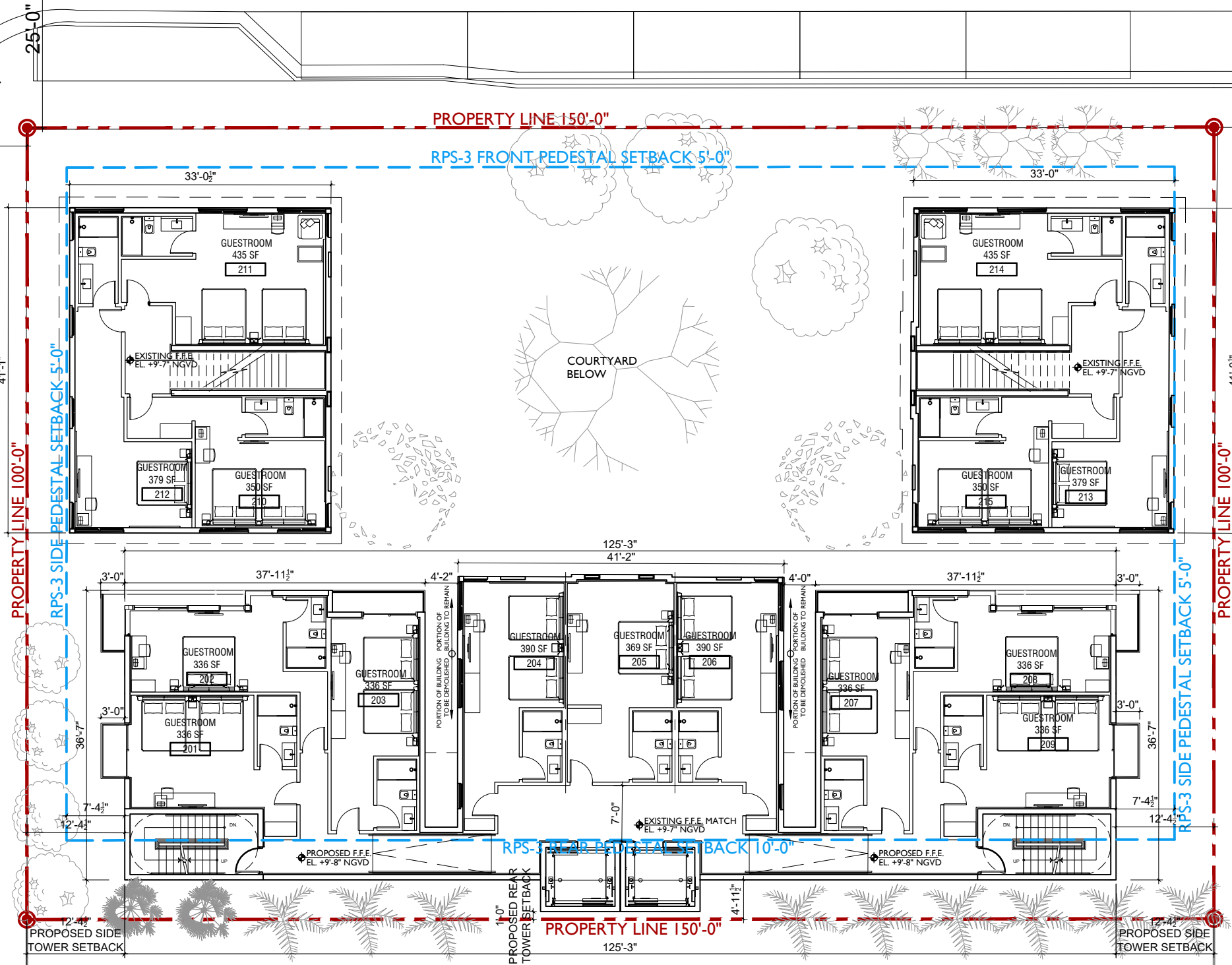
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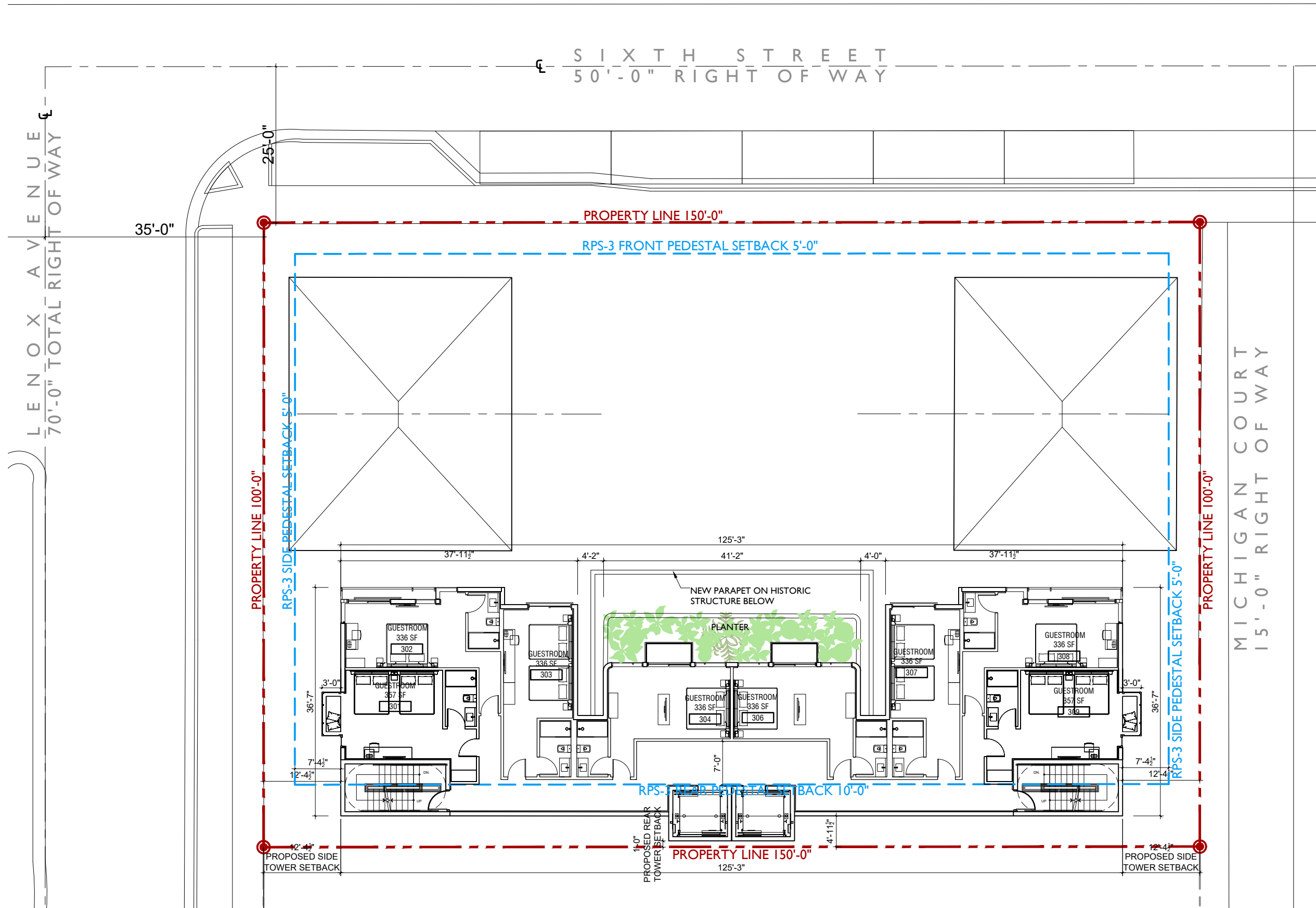
SCALE: 1/16" = 1'-0"
CHECK: JMcG
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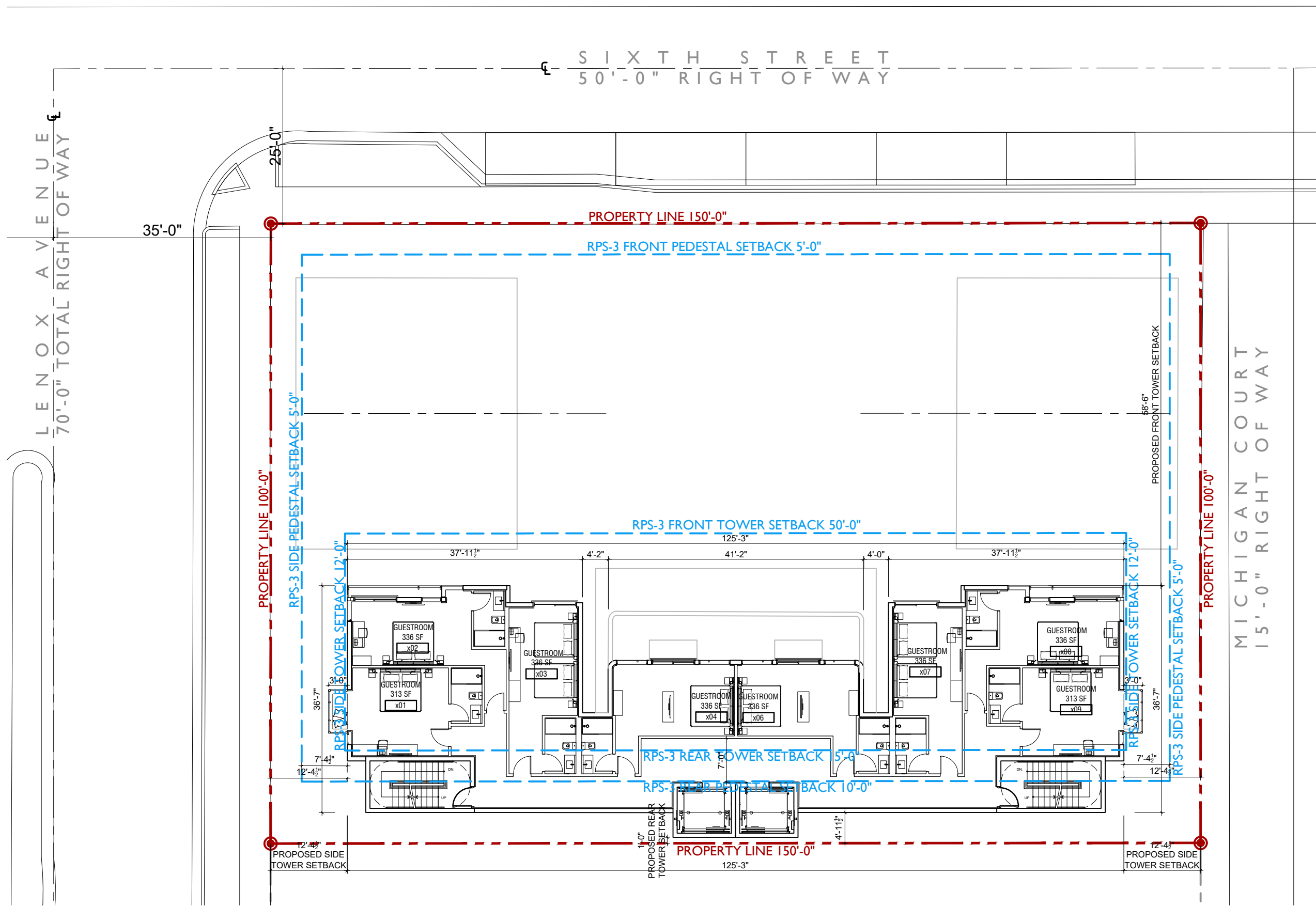
SIXTH STREET
50'-0" RIGHT OF WAY

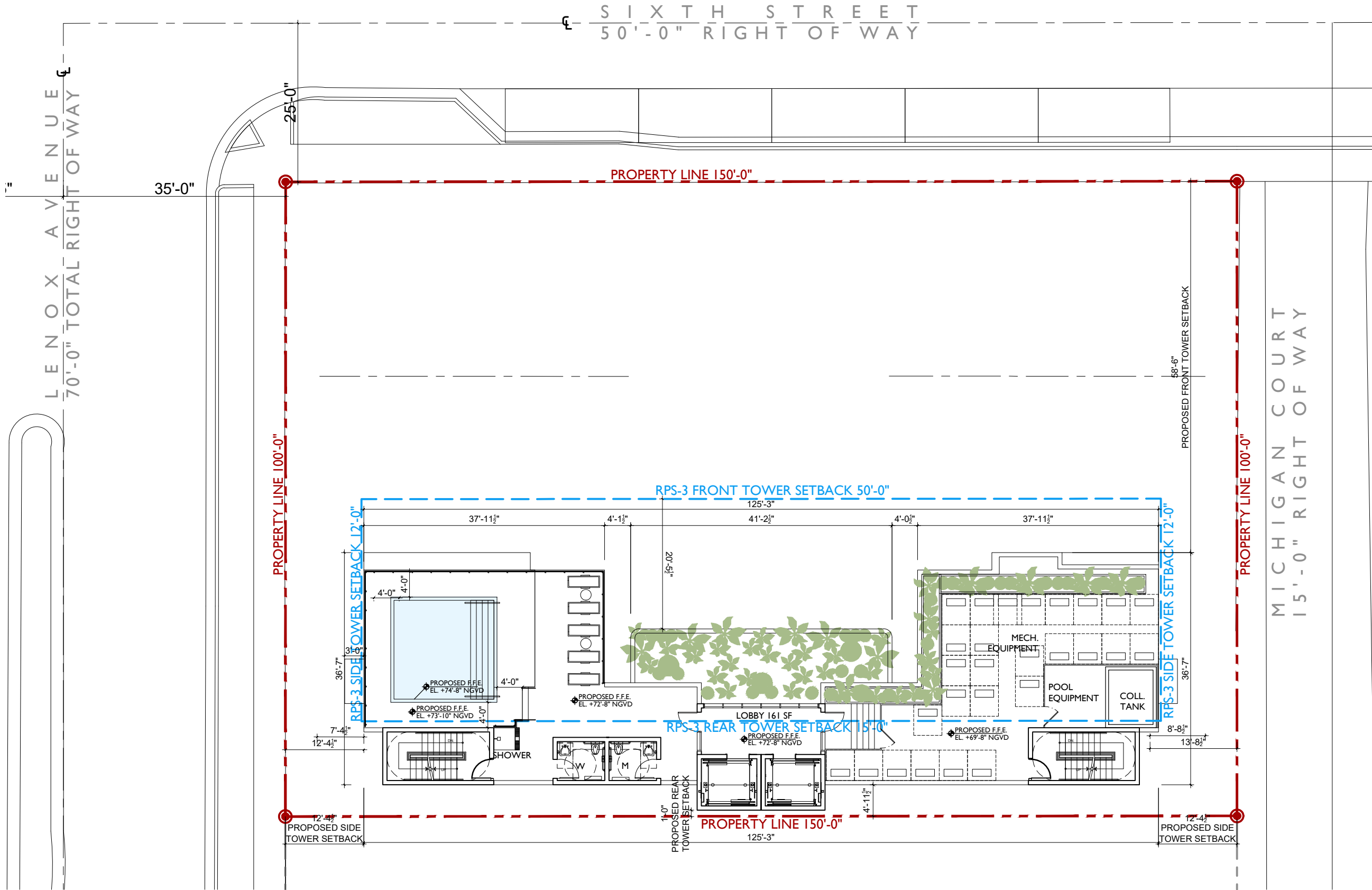
LENOX AVENUE
70'-0" TOTAL RIGHT OF WAY

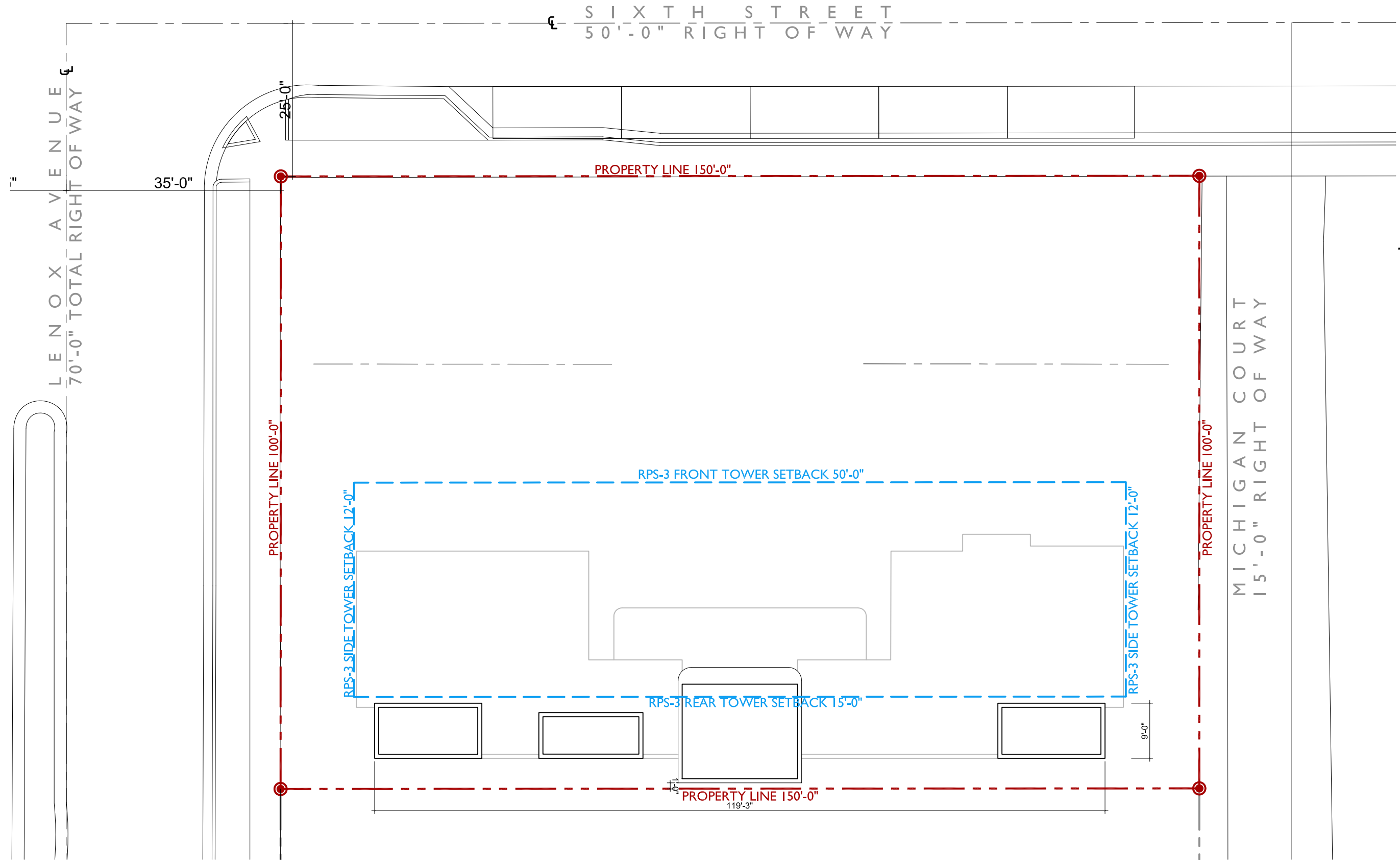
MICHIGAN COURT
15'-0" RIGHT OF WAY











ELEVATION LEGEND:

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.
- ② WOOD FASCIA
- ③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ WHITE STUCCO
- ⑤ STUCCO FASCIA
- ⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL
- ⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER
- ⑩ STUCCO EYEBROW
- ⑪ STEEL GUARDRAILS
- ⑫ CONCRETE STAIRS
- ⑬ BREEZEBLOCK TO MATCH ORIGINAL
- ⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL
- ⑮ WHITE STUCCO
- ⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ⑰ WHITE ALUMINUM SCREEN
- ⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS
- ⑳ GLASS JULIET BALCONIES
- ㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM
- ㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING
- ㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS
- ㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS
- ㉕ STUCCO SCORING
- ㉖ BACKLIT ALUMINUM SIGN

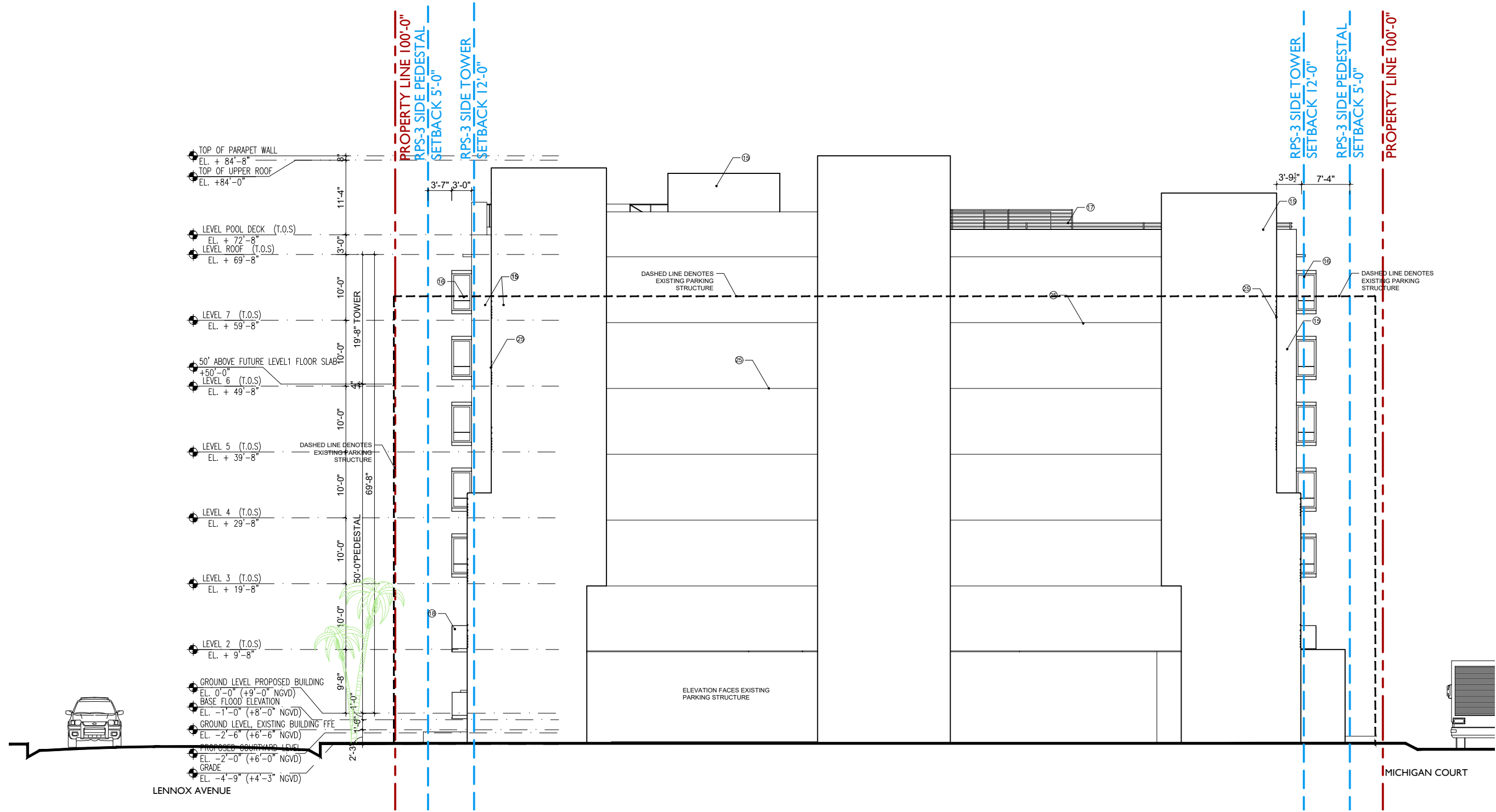


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SOUTH ELEVATION 1/16" = 1'-0"

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㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS

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㉖ BACKLIT ALUMINUM SIGN



6TH STREET

EAST ELEVATION 1/8" = 1'-0"

A3.02

ELEVATION LEGEND:

① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.

② WOOD FASCIA

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㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM

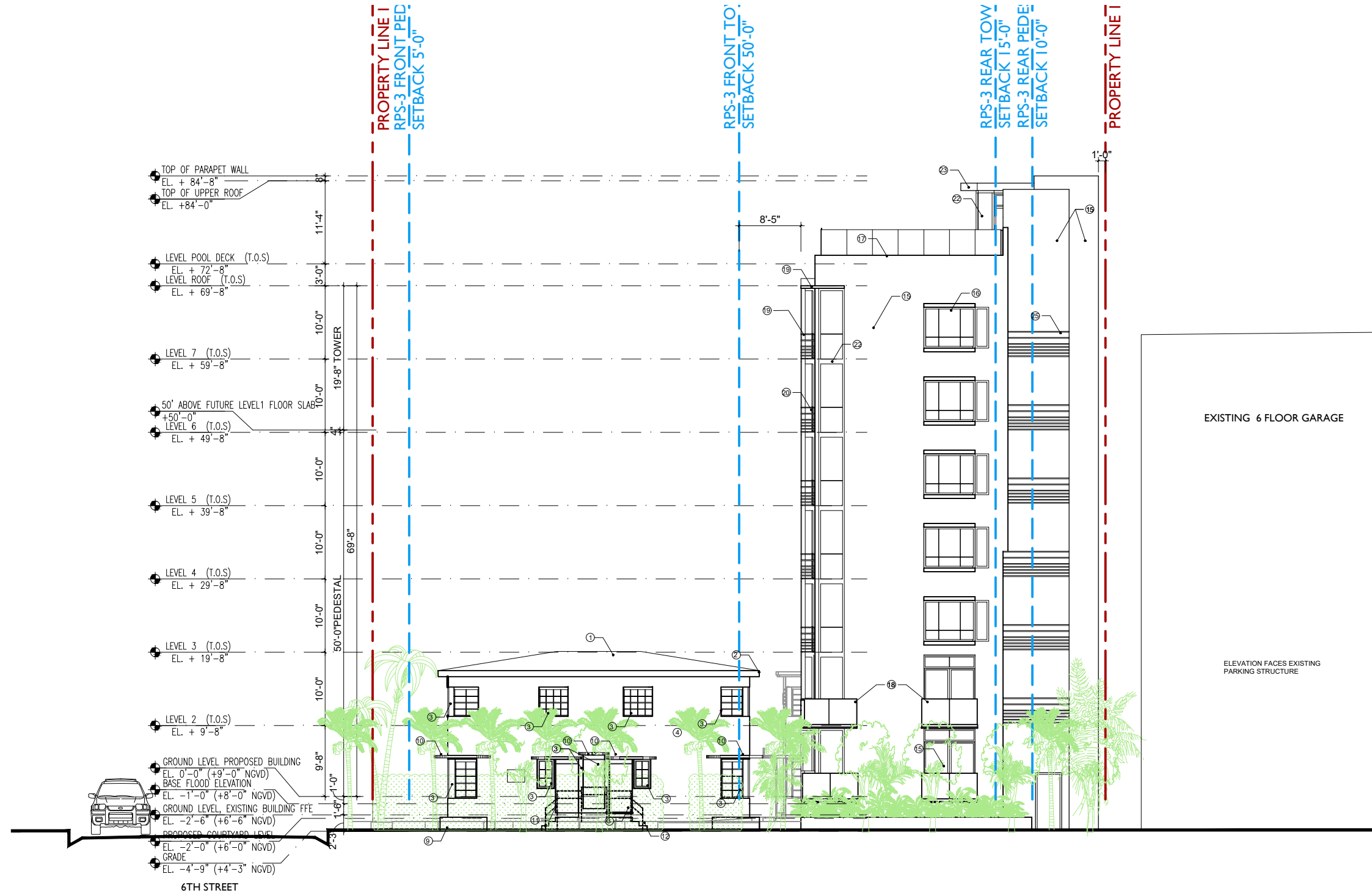
㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

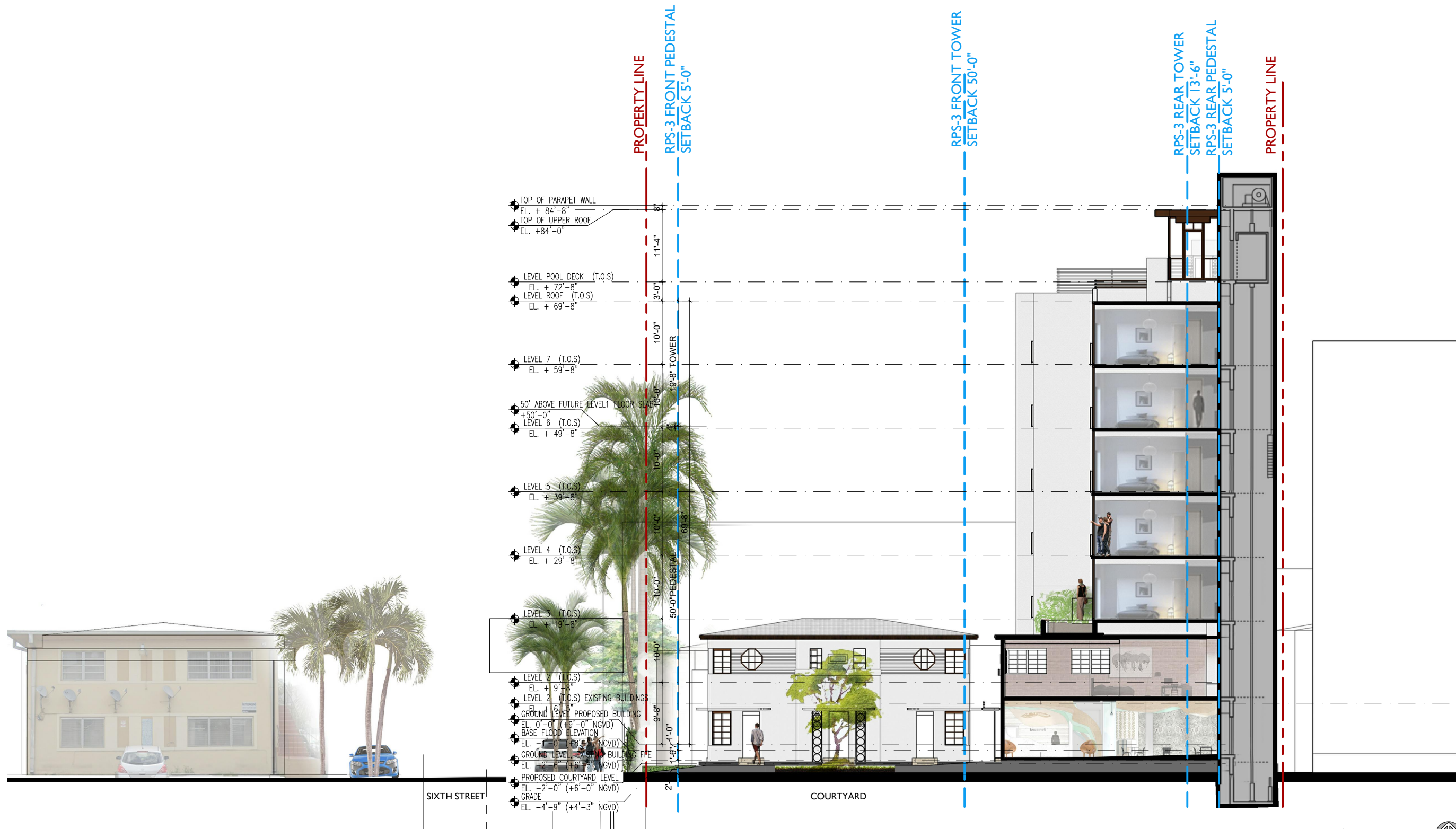
㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS

㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS

㉕ STUCCO SCORING

㉖ BACKLIT ALUMINUM SIGN





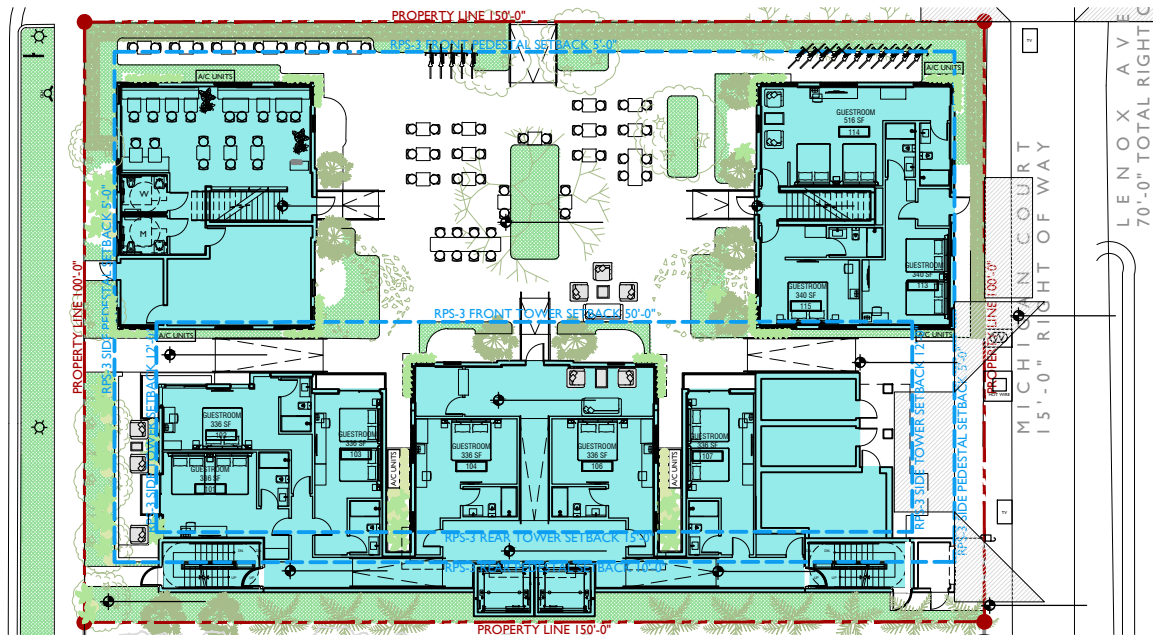
SECTION 1/8" = 1'-0"



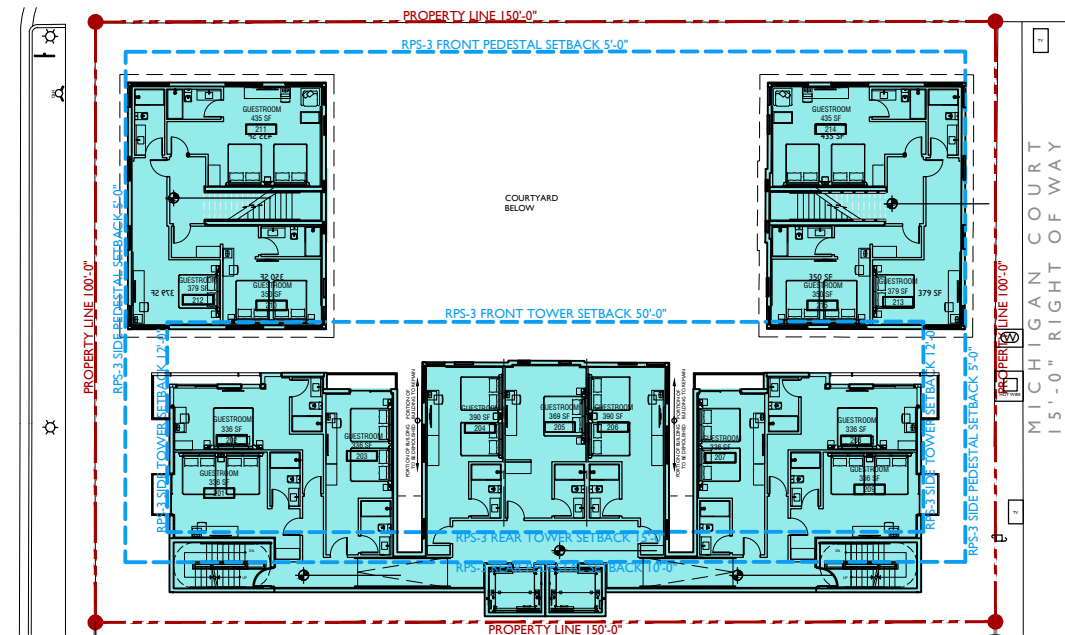
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SECTION
NORTH-SOUTH

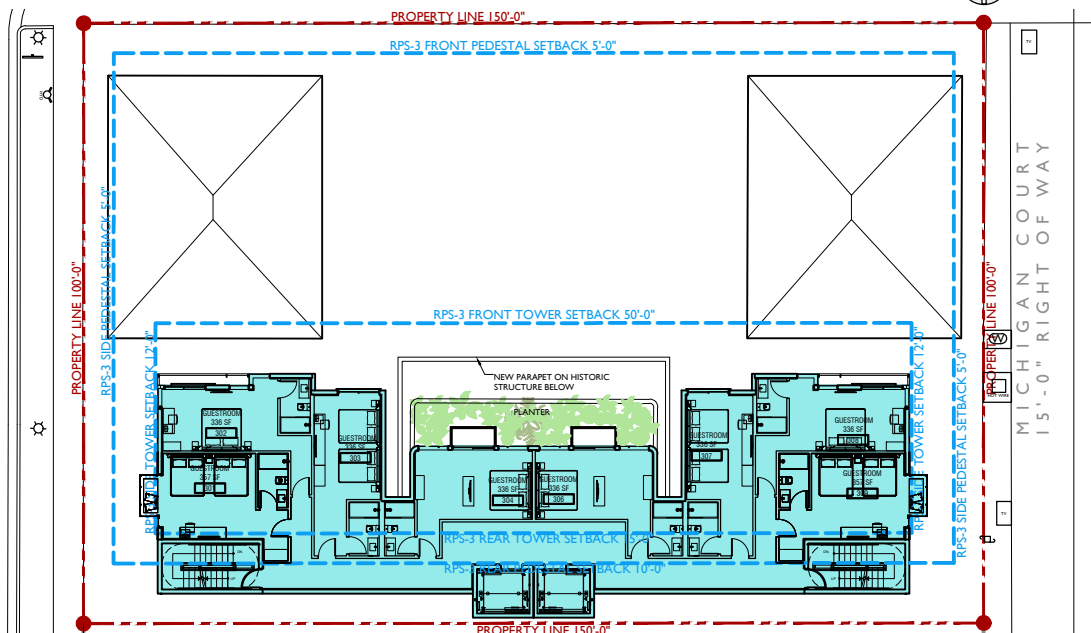




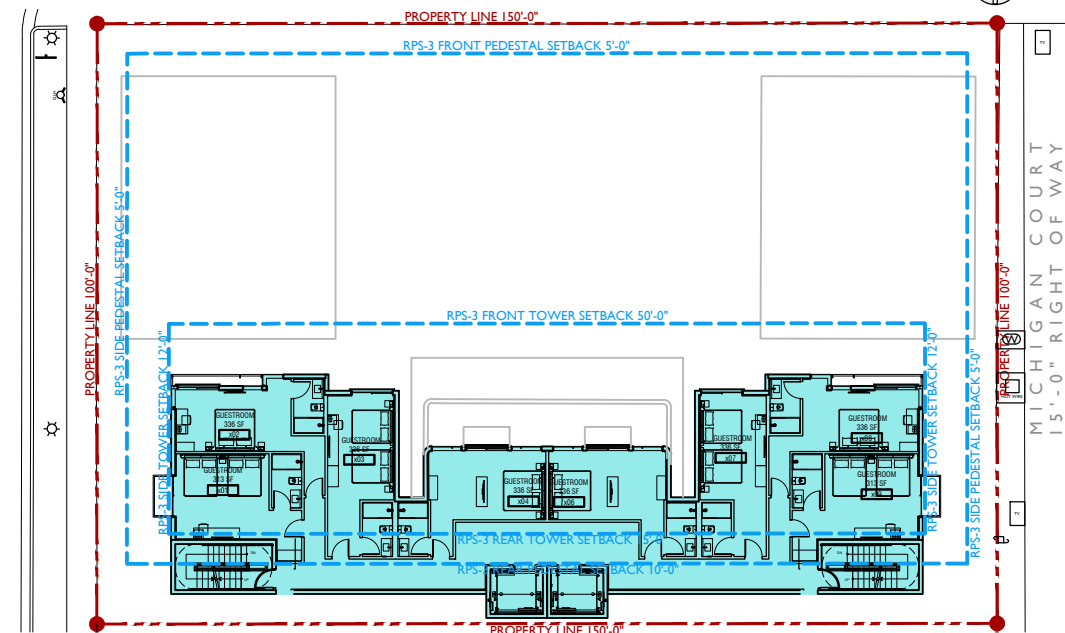
FAR LEVEL 1 PLAN 1/32"=1'-0"



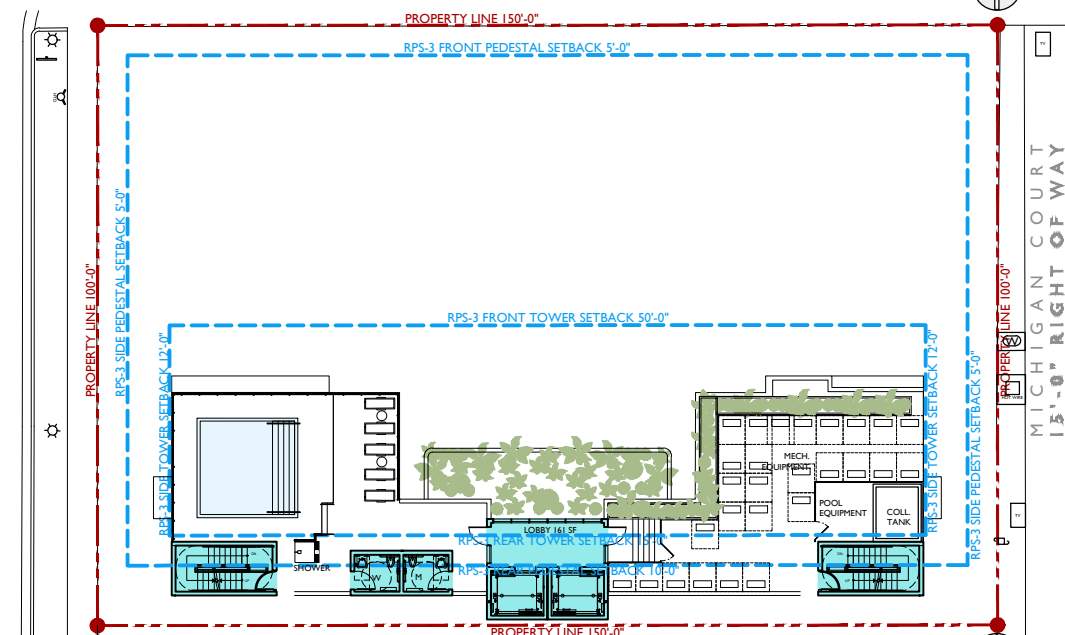
FAR LEVEL 2 PLAN 1/32"=1'-0"



FAR LEVEL 3 PLAN 1/32"=1'-0"



FAR LEVEL 4-7 PLAN 1/32"=1'-0"



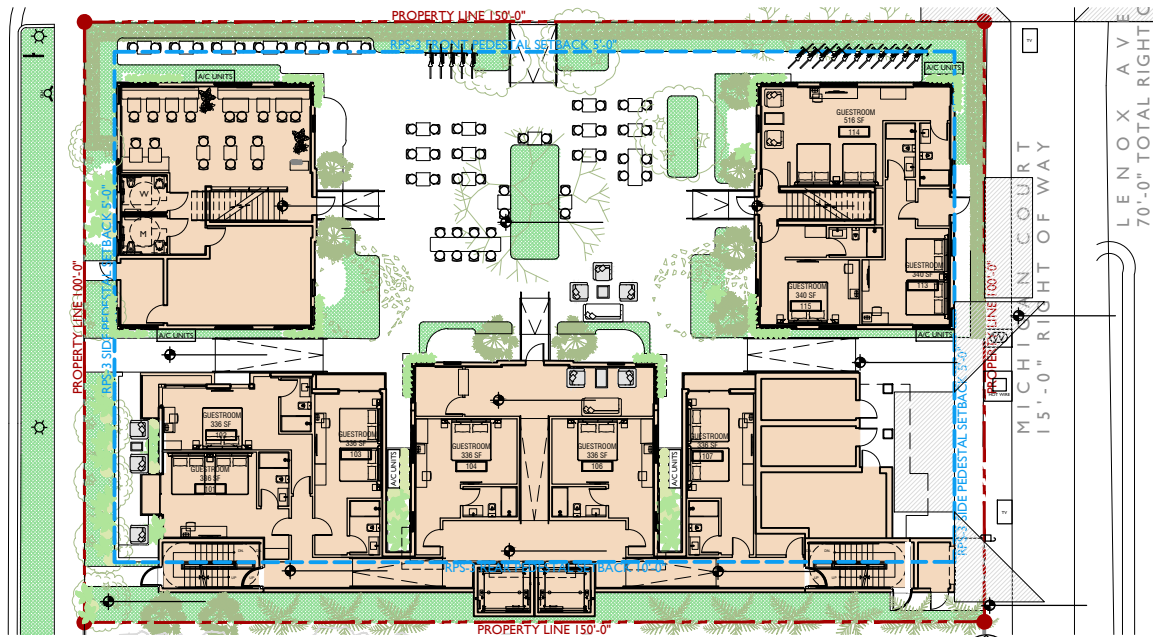
FAR LEVEL POOLDECK, MECH PLAN 1/32"=1'-0"

FAR AREA CALCULATIONS

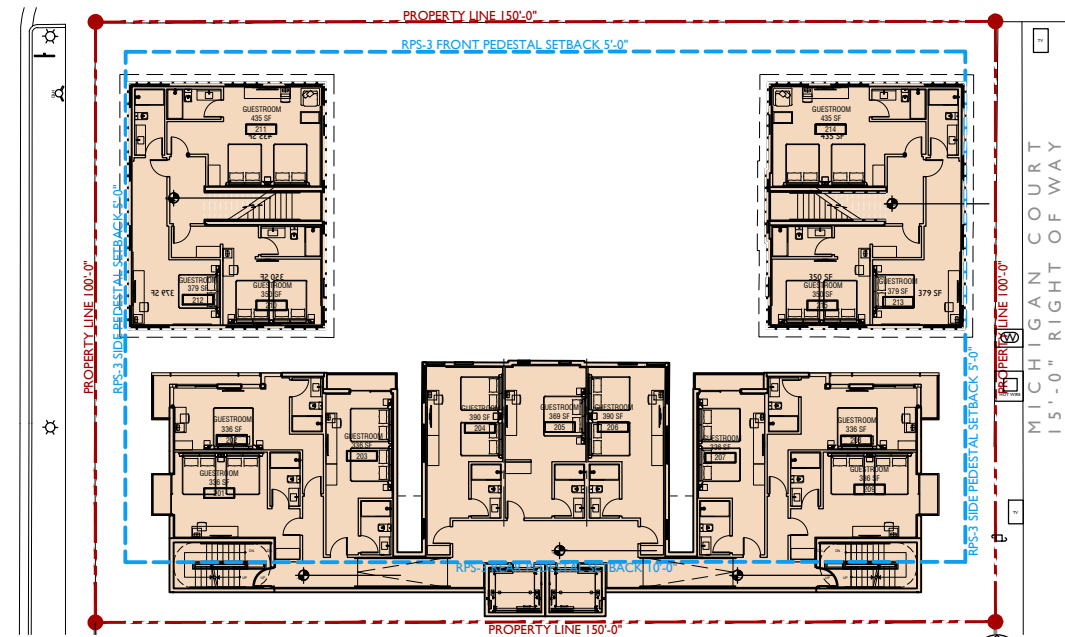
LEVEL	FAR AREA
LEVEL 1	
NEW BUILDING	3,821 SF
EXISTING WEST BUILDING	1,360 SF
EXISTING EAST BUILDING	1,360 SF
LEVEL 1 TOTAL	6,541 SF
LEVEL 2	
NEW BUILDING	3,817 SF
EXISTING WEST BUILDING	1,360 SF
EXISTING EAST BUILDING	1,360 SF
LEVEL 2 TOTAL	6,537 SF
LEVEL 3	3,223 SF
LEVEL 4	3,223 SF
LEVEL 5	3,223 SF
LEVEL 6	3,223 SF
LEVEL 7	3,223 SF
LEVEL 8 POOL DECK	777 SF
GRAND TOTAL	29,970 SF

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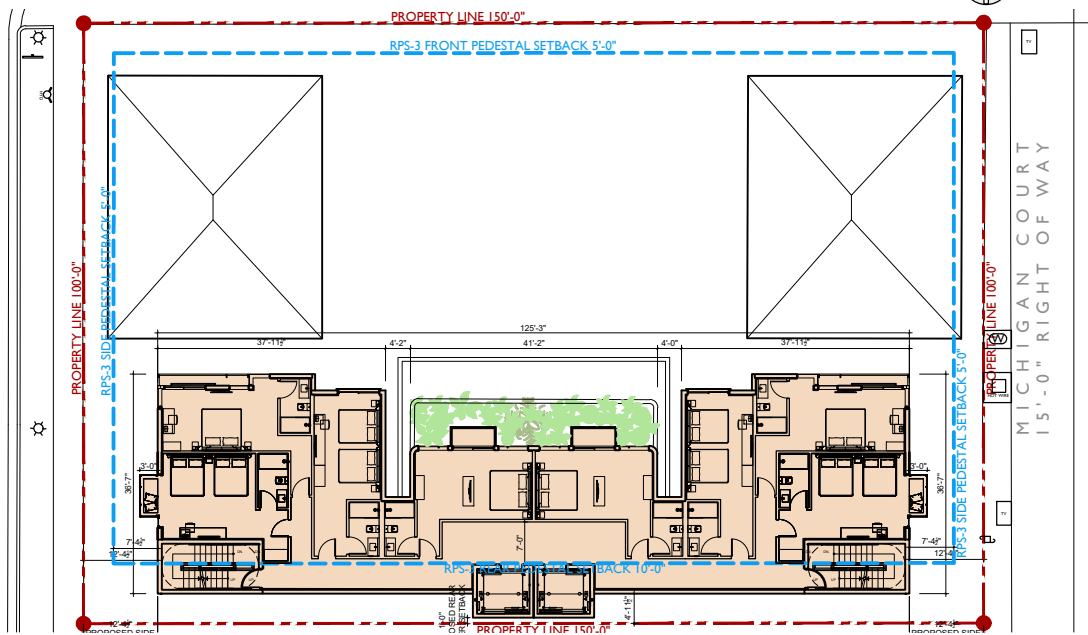
SCALE: 1/32"=1'-0"
CHECK: JMcG
DATE: 08/10/2020
SHEET NUMBER



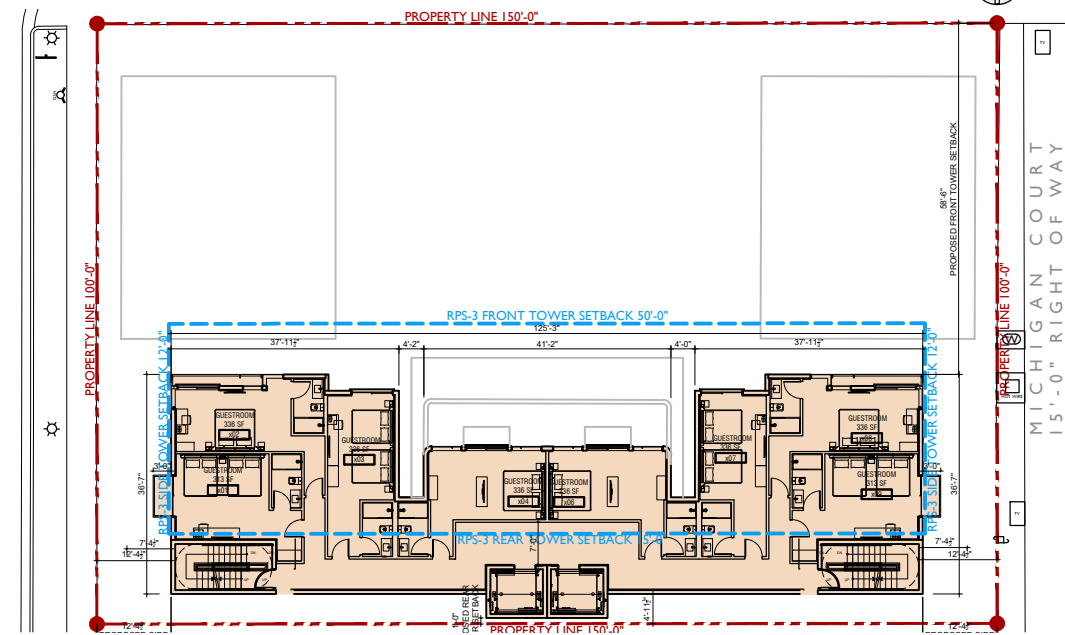
FAR LEVEL 1 PLAN 1/32"=1'-0"



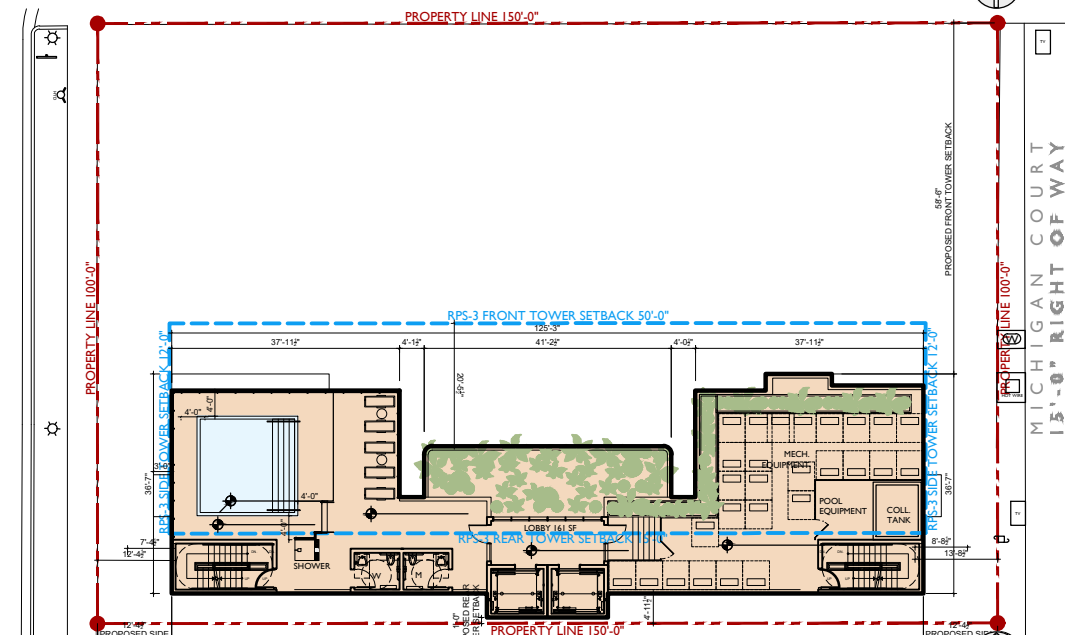
FAR LEVEL 2 PLAN 1/32"=1'-0"



FAR LEVEL 3 PLAN 1/32"=1'-0"



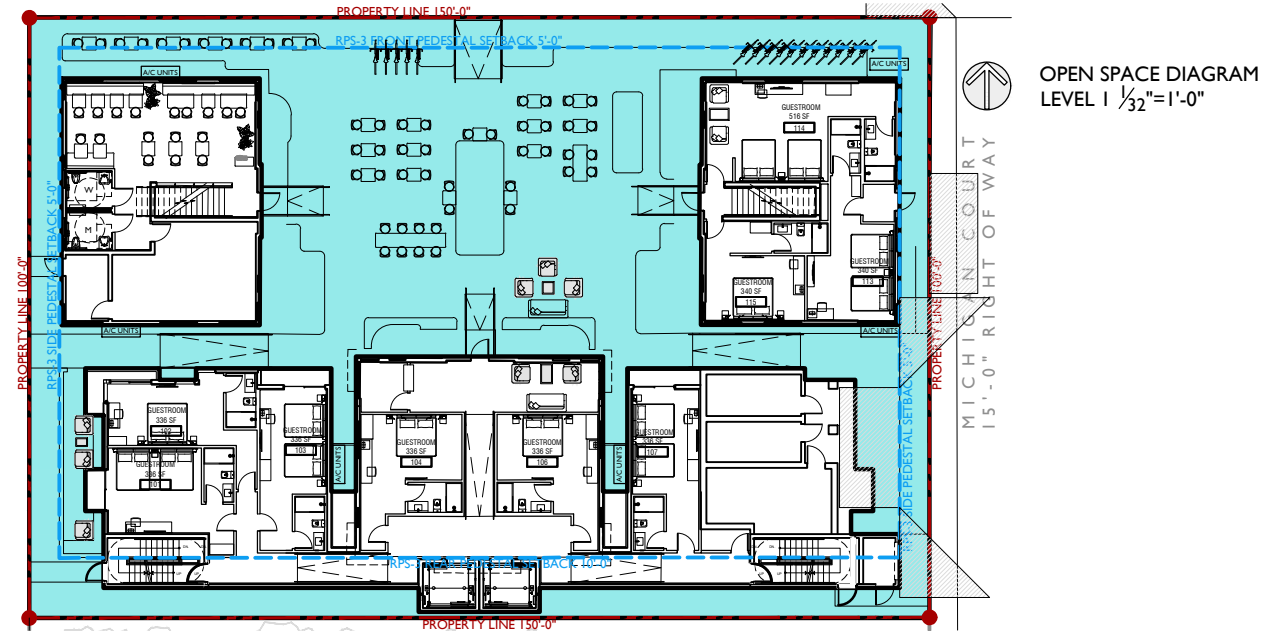
FAR LEVEL 4-7 PLAN 1/32"=1'-0"



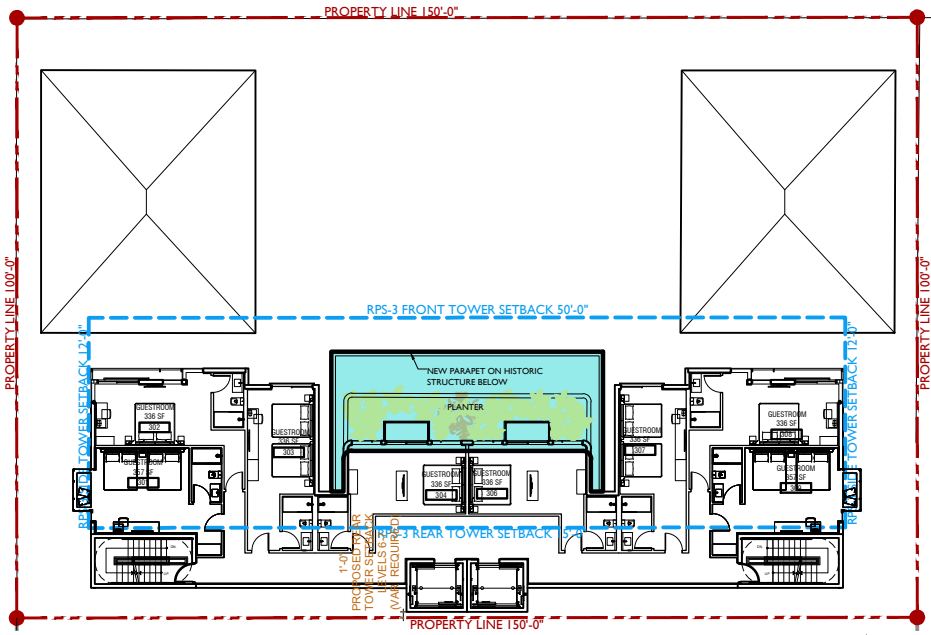
FAR LEVEL 8 POOLDECK, MECH PLAN 1/32"=1'-0"

GROSS AREA CALCULATIONS

LEVEL	GROSS AREA																										
LEVEL 1																											
NEW BUILDING	4,413 SF																										
EXISTING WEST BUILDING	1,360 SF																										
EXISTING EAST BUILDING	1,360 SF	LEVEL 1 TOTAL	7,133 SF	LEVEL 2		NEW BUILDING	4,581 SF	EXISTING WEST BUILDING	1,360 SF	EXISTING EAST BUILDING	1,360 SF	LEVEL 2 TOTAL	7,301 SF	LEVEL 3	4,027 SF	LEVEL 4	3,977 SF	LEVEL 5	3,977 SF	LEVEL 6	3,977 SF	LEVEL 7	3,977 SF	LEVEL 8 POOL DECK	3,835 SF	GRAND TOTAL	38,204 SF
LEVEL 1 TOTAL	7,133 SF																										
LEVEL 2																											
NEW BUILDING	4,581 SF																										
EXISTING WEST BUILDING	1,360 SF																										
EXISTING EAST BUILDING	1,360 SF	LEVEL 2 TOTAL	7,301 SF	LEVEL 3	4,027 SF	LEVEL 4	3,977 SF	LEVEL 5	3,977 SF	LEVEL 6	3,977 SF	LEVEL 7	3,977 SF	LEVEL 8 POOL DECK	3,835 SF	GRAND TOTAL	38,204 SF										
LEVEL 2 TOTAL	7,301 SF																										
LEVEL 3	4,027 SF																										
LEVEL 4	3,977 SF																										
LEVEL 5	3,977 SF																										
LEVEL 6	3,977 SF																										
LEVEL 7	3,977 SF																										
LEVEL 8 POOL DECK	3,835 SF																										
GRAND TOTAL	38,204 SF																										

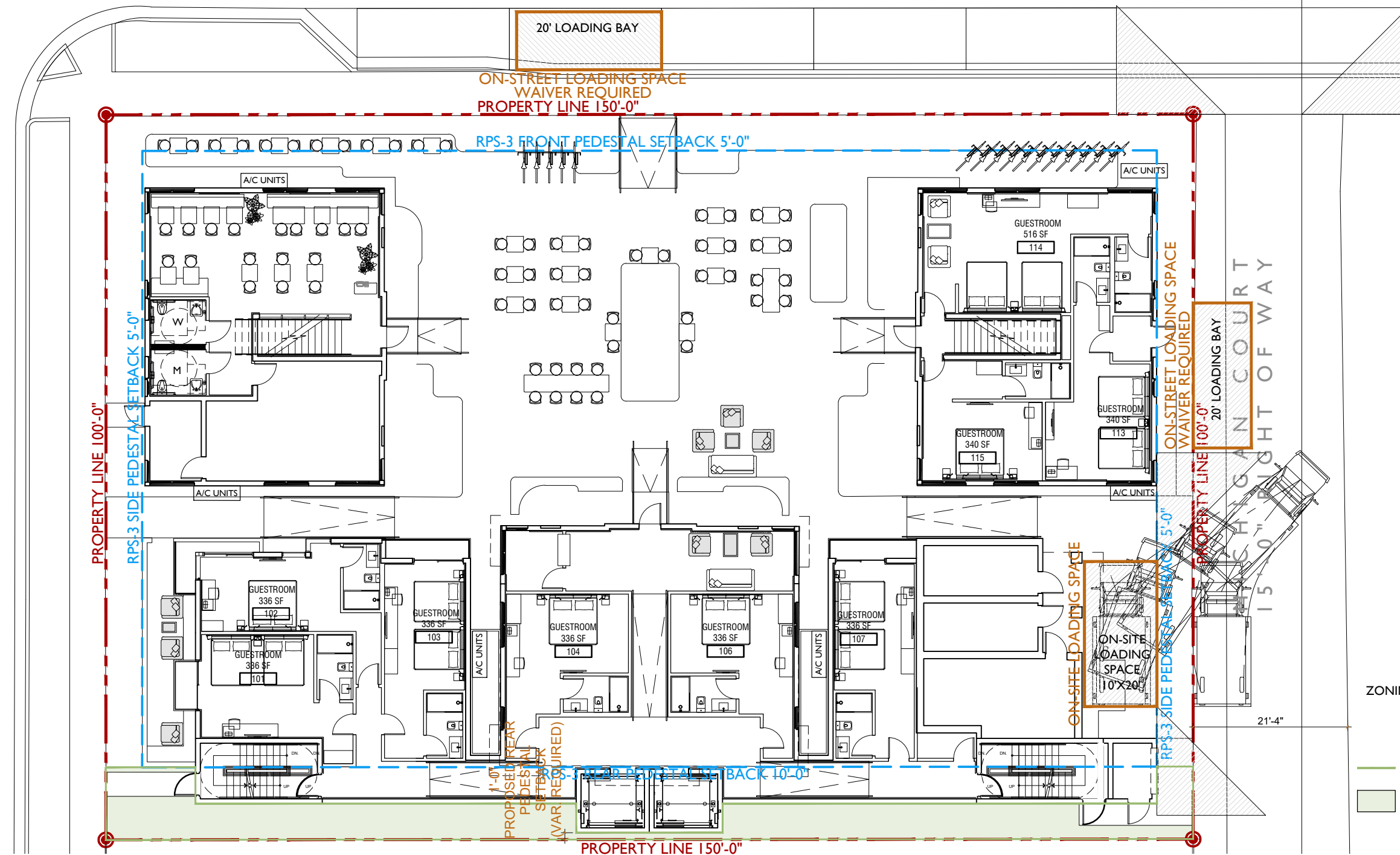


OPEN SPACE DIAGRAM
LEVEL 1 1/32"=1'-0"



OPEN SPACE DIAGRAM
LEVEL 3 1/32"=1'-0"

OPEN SPACE LEVEL 1 -	7,616 SF
OPEN SPACE LEVEL 3 EXISTING BUILDING'S ROOFTOP -	777 SF
OPEN SPACE TOTAL - (56% OF LOT AREA)	8,393 SF



ZONING DIAGRAM LEVEL 1 1/16"=1'-0"

- REAR YARD (749 SF)
- LANDSCAPED REAR YARD
(636 SF OR 84.91%)



VIEW FACING SOUTH ON 6TH STREET-PROPOSED



VIEW FACING SOUTH ON 6TH STREET-EXISTING

THE HOHAUSER

PERSPECTIVE
COMPARISON