

Historic Preservation Submission FOR :

828 4TH STREET

MIAMI BEACH, FL, 33019

SANKOWSKI RESIDENCE

GARAGE ADDITION & INTERIOR RENO. TO EXISTING SINGLE FAMILY RESIDENCE



PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 5TH EDITION 2014
5TH EDITION FLORIDA FIRE PREVENTION CODE, 2016 BROWARD FIRE AMENDMENTS
FLORIDA ADMINISTRATIVE CODE 63A-40

JURISDICTION:

CITY OF MIAMI BEACH
MIAMI DADE COUNTY
STATE OF FLORIDA

PROJECT TEAM

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LANDSCAPE

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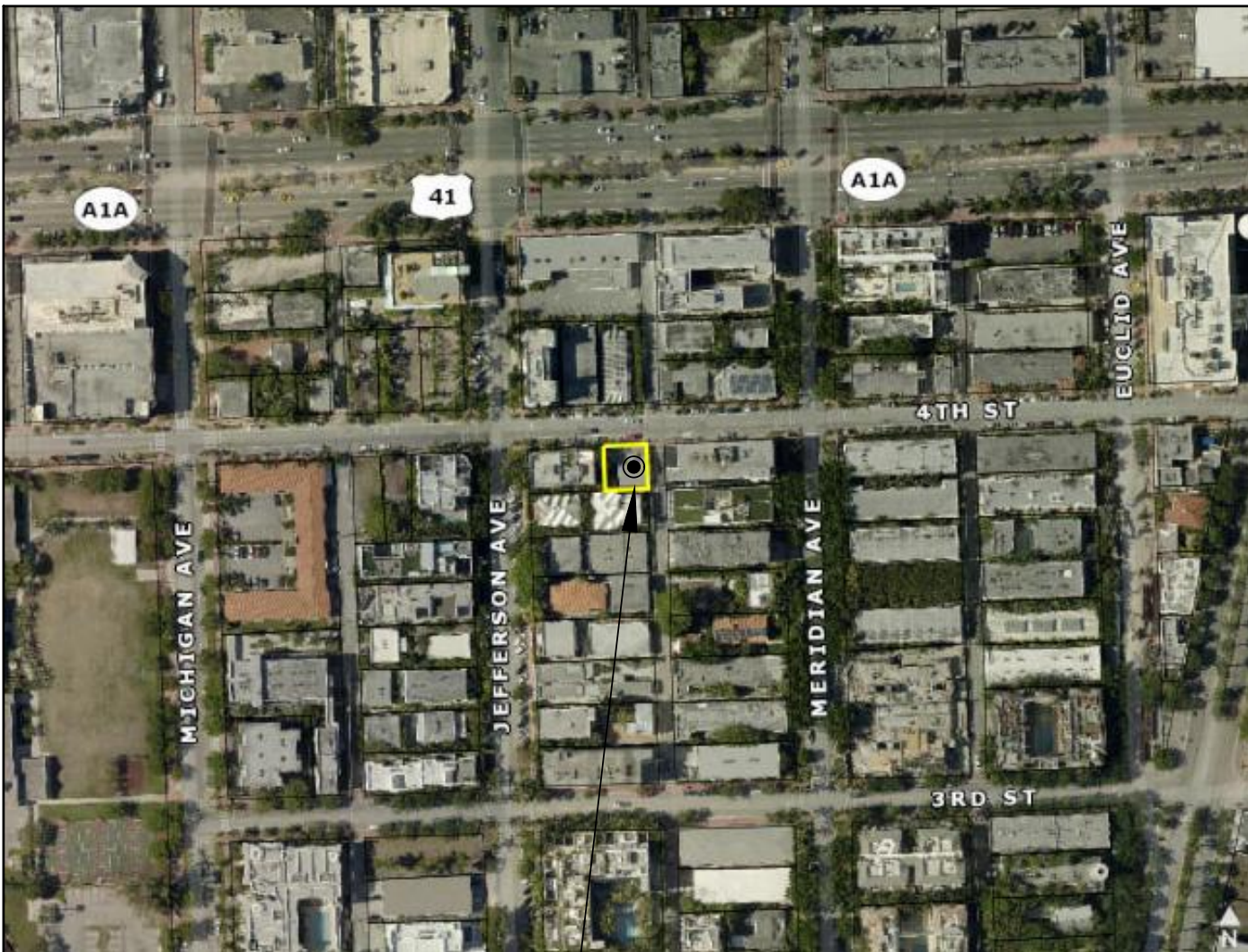
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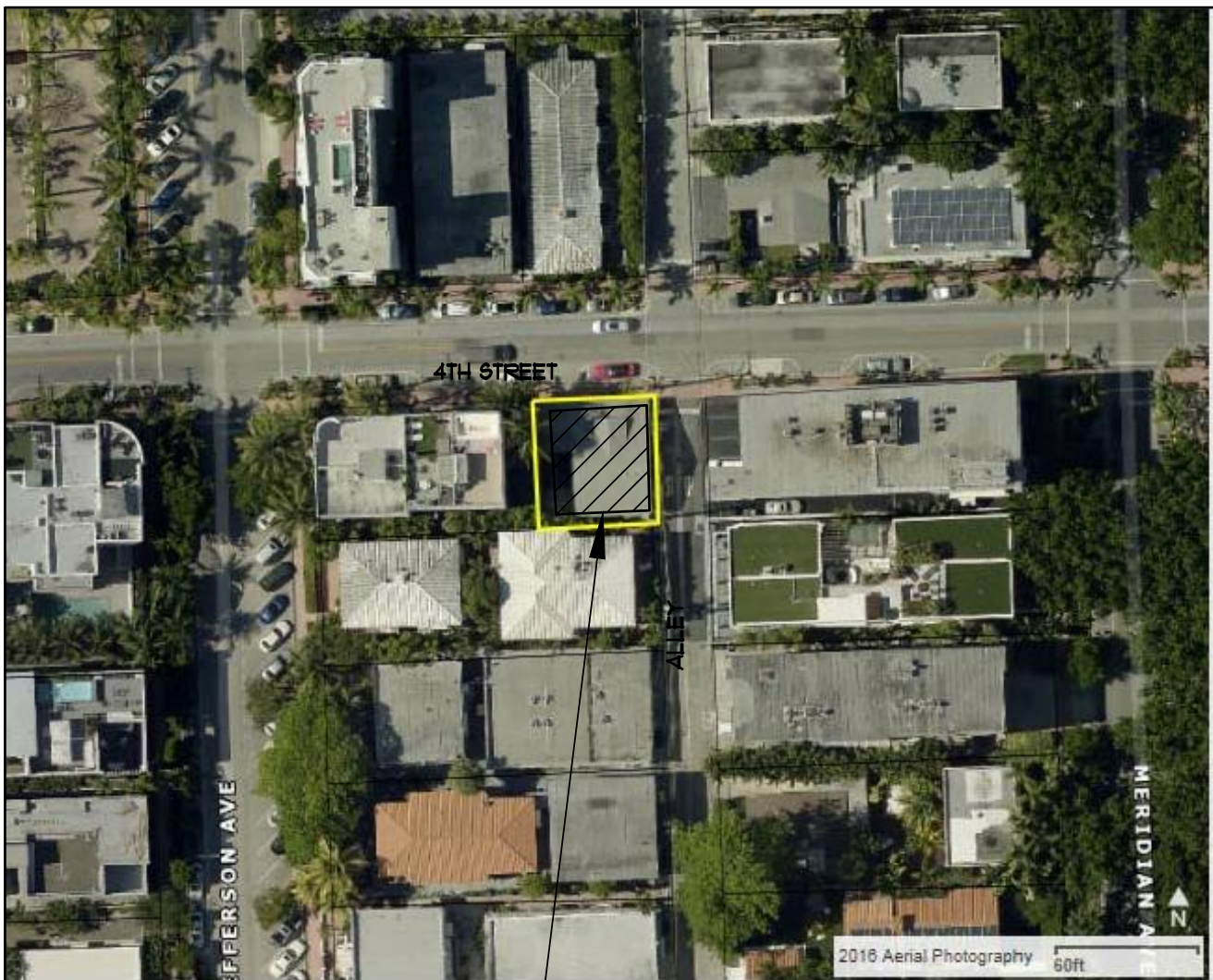
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SITE

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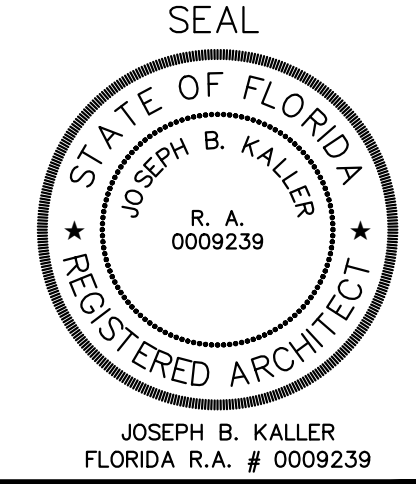
SITE

KA

KallerArchitecture

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PROJECT TITLE
**SANKOWSKI RESIDENCE
GARAGE ADD. & RENO.**
828 4ST
MIAMI BEACH, FL 33139

SHEET TITLE
TITLE SHEET
FIRST SUBMITTAL

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
08.10.20		RPS COMMENTS

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the written consent of the Architect.

PROJECT No.: 20089
DATE: 07.02.20
DRAWN BY: GMV
CHECKED BY: GMV

SHEET

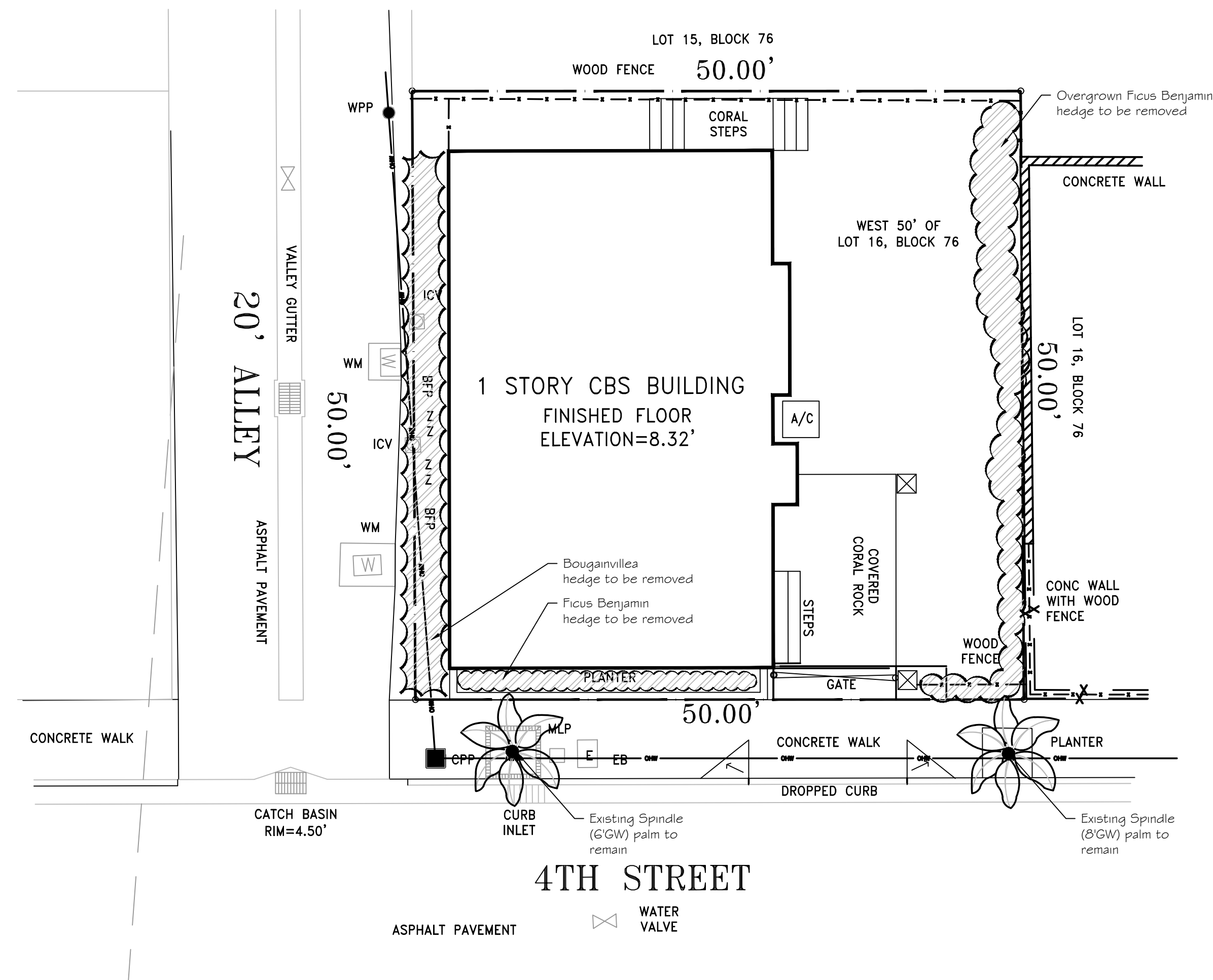
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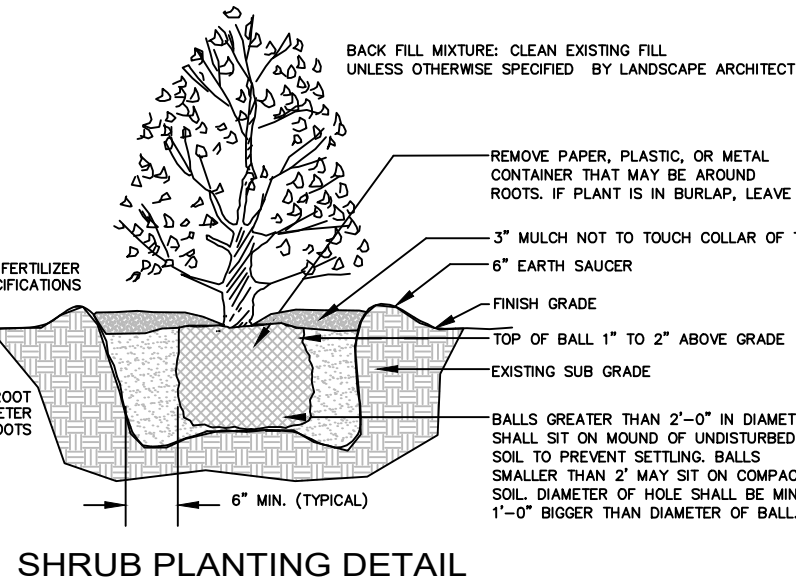
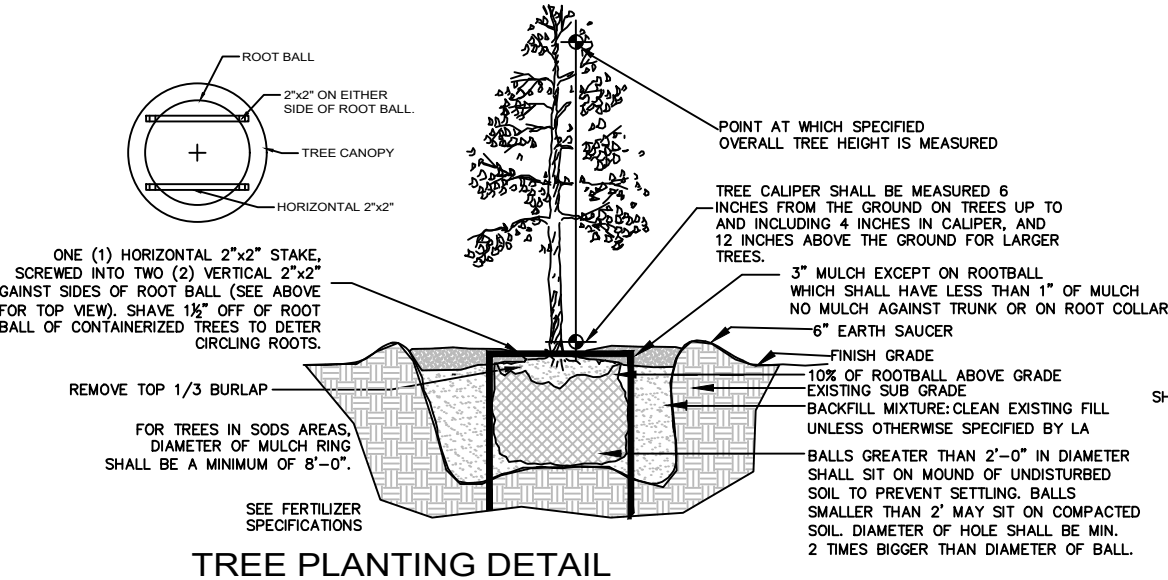
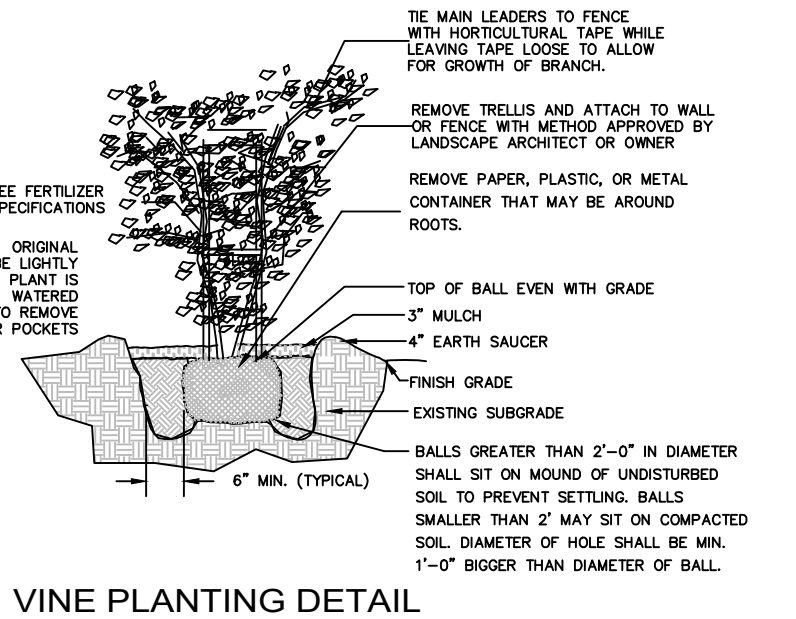
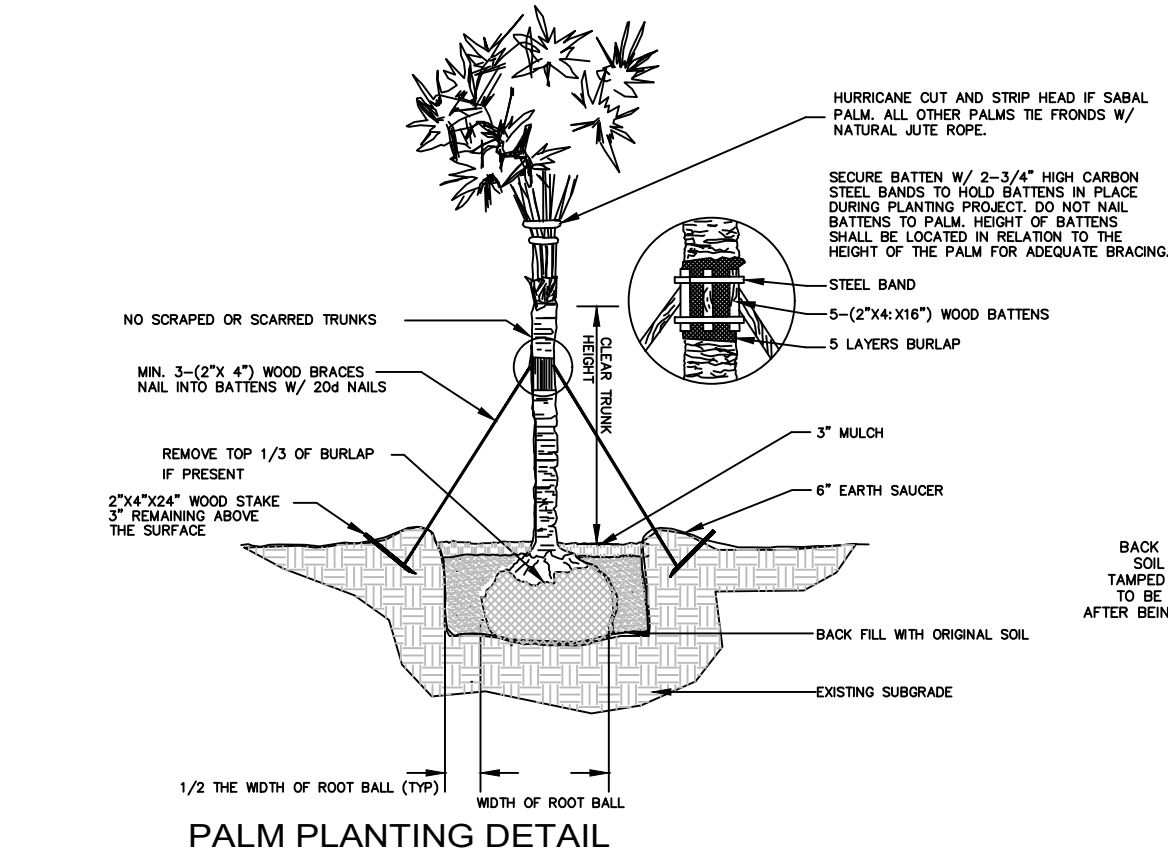
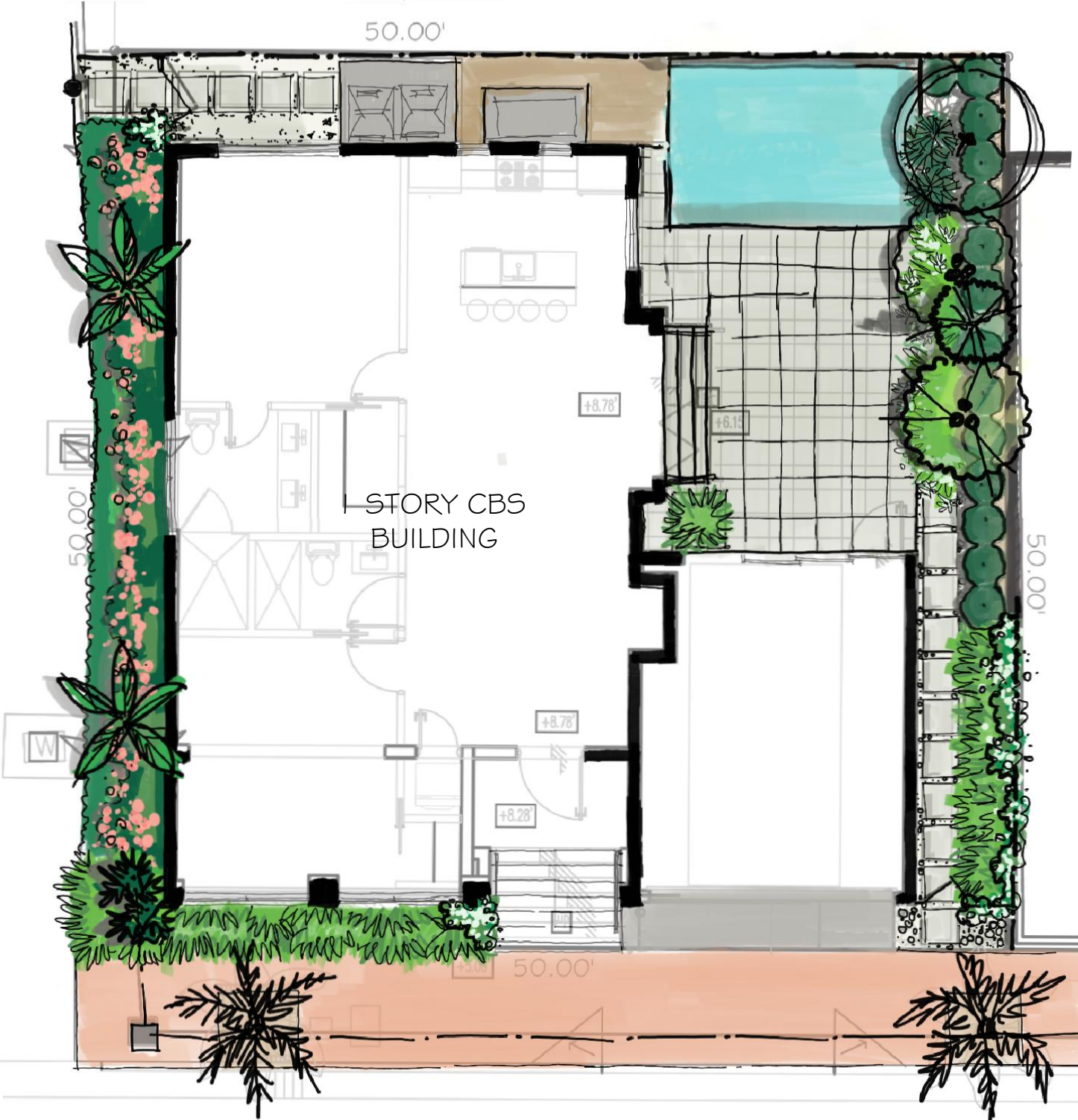
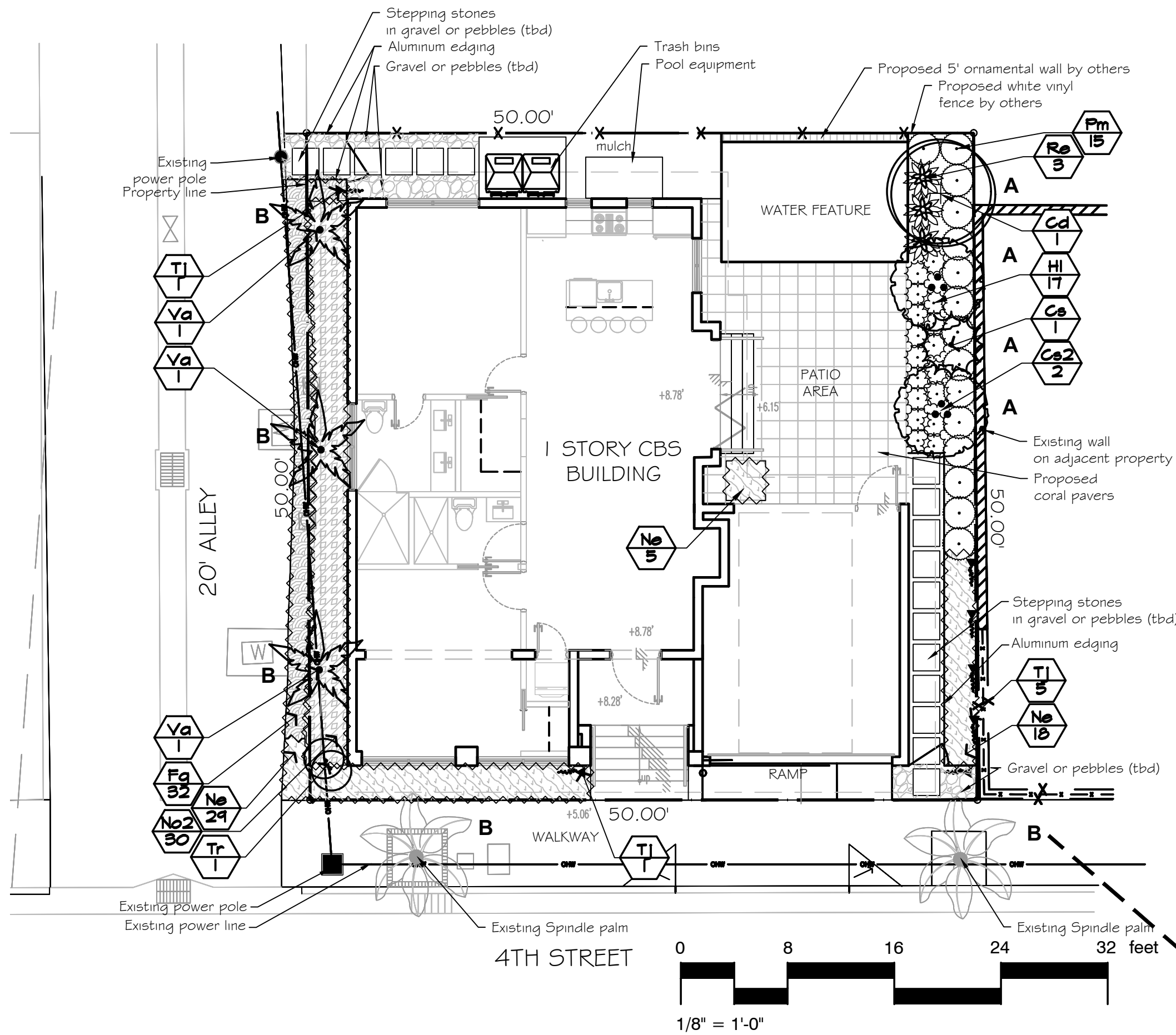


828 4th street
Miami, Florida

REMOVAL PLAN

DT -1 OF 1





PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Cd	1	Coccoloba diversifolia / Pigeon Plum	10'-12' OA, 6' spr, matched, 2" cal	AS SHOWN	YES	HIGH
Cs2	2	Conocarpus erectus sericeus / Silver Buttonwood	12' OA, multitrunk, tot. 2" cal	AS SHOWN	YES	HIGH
Cs	1	Cupressus sempervirens / Italian Cypress	12' O.A.	AS SHOWN	NO	HIGH
Va	3	Veitchia arecina / Montgomery Palm	15' CT, matched	AS SHOWN	NO	HIGH
ACCENT PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Tr	1	Thrinax radiata / Florida Thatch Palm	6' OA double	AS SHOWN	YES	HIGH
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Hi	17	Hymenocallis latifolia / Spider Lily	3 gal	24" O.C.	YES	HIGH
Pm	15	Podocarpus macrophyllus / Yew Pine	6' OA	30" OC	NO	HIGH
Re	3	Rhapis excelsa / Lady Palm	15 gal	AS SHOWN	NO	MODERATE
Tj	7	Trachelospermum jasminoides / Chinese Star Jasmine	7 gal trellis	AS SHOWN	NO	HIGH
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Fg	32	Ficus microcarpa 'Green Island' / Green Island Fig	3 gal	18" O.C.	NO	HIGH
Ne	52	Nephrolepis exaltata / Boston Fern	3 gal	18" O.C.	YES	MODERATE
No2	30	Nerium oleander dwarf / Dwarf Oleander	3 gal	24" O.C.	NO	HIGH

Mulch as indicated

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil. Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect. Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted. Site water shall be verified by Contractor prior to submission of bids. The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting. At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for cocoanuts. Cocoanuts shall be certified Malaysian Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4". Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage. Flush cuts, crinkles, shorter or taller than specified height, girdling roots, underside loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect. No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable. Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height. Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade. Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass. Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head. Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

LANDSCAPE CODE REQUIREMENTS - RPS-2

Code letter	Code requirement	Required	Existing	Proposed	Provided
A	Lot trees: 22 x acre of lot area (22 x .18=3.96)	4 trees		4	provided
B	Street trees: 1/20lf of street front (100/20=5)	5 trees	2 palms	3 palms (space limitation)	provided
	Shrubs (18-24'OA): 12 shrubs x each required tree (9 x 12)	108 shrubs		108(+)	provided
	Large shrubs or small trees: 10% of required shrubs	11		1 palm+10(+) podocarpus	provided
	Min. 30% of required trees to be native (can be smaller)	min. 3 native		3 natives (space limitation)	provided
	Min. 50% of required trees to be salt and drought resistant	min. 5 salt/drought resist.		3 trees + 2 ex palms	provided
	Min. species required for 9 trees	min. 3 species		5	provided
	Min. 50% of required shrubs to be native (108+11/2)	min. 60 native		65	provided
	Min. 20% of lot to be planting space (2,500 sf x .2=500)	min.500 sf		599 sf	provided

IRRIGATION PLAN WILL BE PROVIDED WITH THE SECOND SUBMITTAL

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. No overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

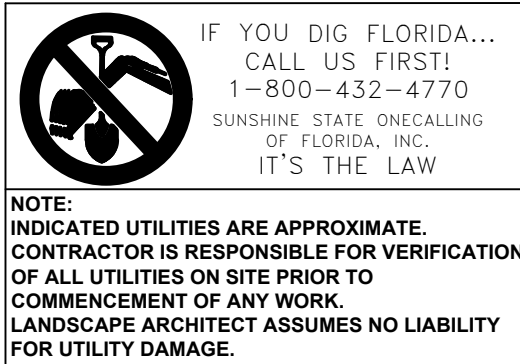
Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance or completion with regards to plant material and workmanship according to Contract.



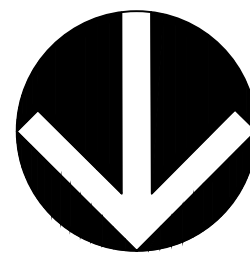
NOTE: INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



Gabriela Fojt

The Mirror of Paradise

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SCALE	1/8"=1'-0"
DESIGNED BY	GF
DRAWN BY	GF
CHECKED BY	GF
CAD DWG.	
DATE	08.10.20
REVISIONS	

Sankowski Residence

828 4th street
Miami, Florida

LANDSCAPE PLAN, PLANT LIST, NOTES, DETAILS

1. CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.
2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL PROVIDE FOR SAFE CONVEYANCE OF MATERIALS TO BE REMOVED AND THE PROPER COORDINATION WITH UTILITY WORK OF OTHERS TO BE COMPLETED IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.
3. PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.
4. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SURROUNDING AREA. USE OF WATER OR OTHER PERMITTED MEDIA IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
5. PROTECTION OF EXISTING BUILDING.

- a. EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
- b. COVER ITEMS AS NECESSARY TO PROTECT FROM DUST. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
- c. DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE WORK AREA.
6. ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS.
7. EXPLOSIVE AND BURNING:
 - a. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
 - b. USE OF FIRE FOR DEMOLITION OR DISPOSAL OF MATERIAL OR ANY OTHER SITUATION INTENTIONAL OR ACCIDENTAL WILL NOT BE PERMITTED.
8. EXISTING UTILITIES
 - a. CONTACT ALL UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES.
 - b. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF PROJECT.
 - c. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED. WHERE UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO.
 - d. IN ORDER TO PREVENT DAMAGE TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER, WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER.
 - e. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE SITE.
 - f. DISPOSING OF MATERIAL.
 - e. TITLE TO MATERIALS, TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR.

AT START OF PROJECT, THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED:

- a. DISPOSE OF PROJECT CONTROL, REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.
- b. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.

10. PREPARATION:

- a. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF EXISTING PORTION OF PROJECT FROM DAMAGE.
- b. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
- c. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

11. PERFORMANCE:

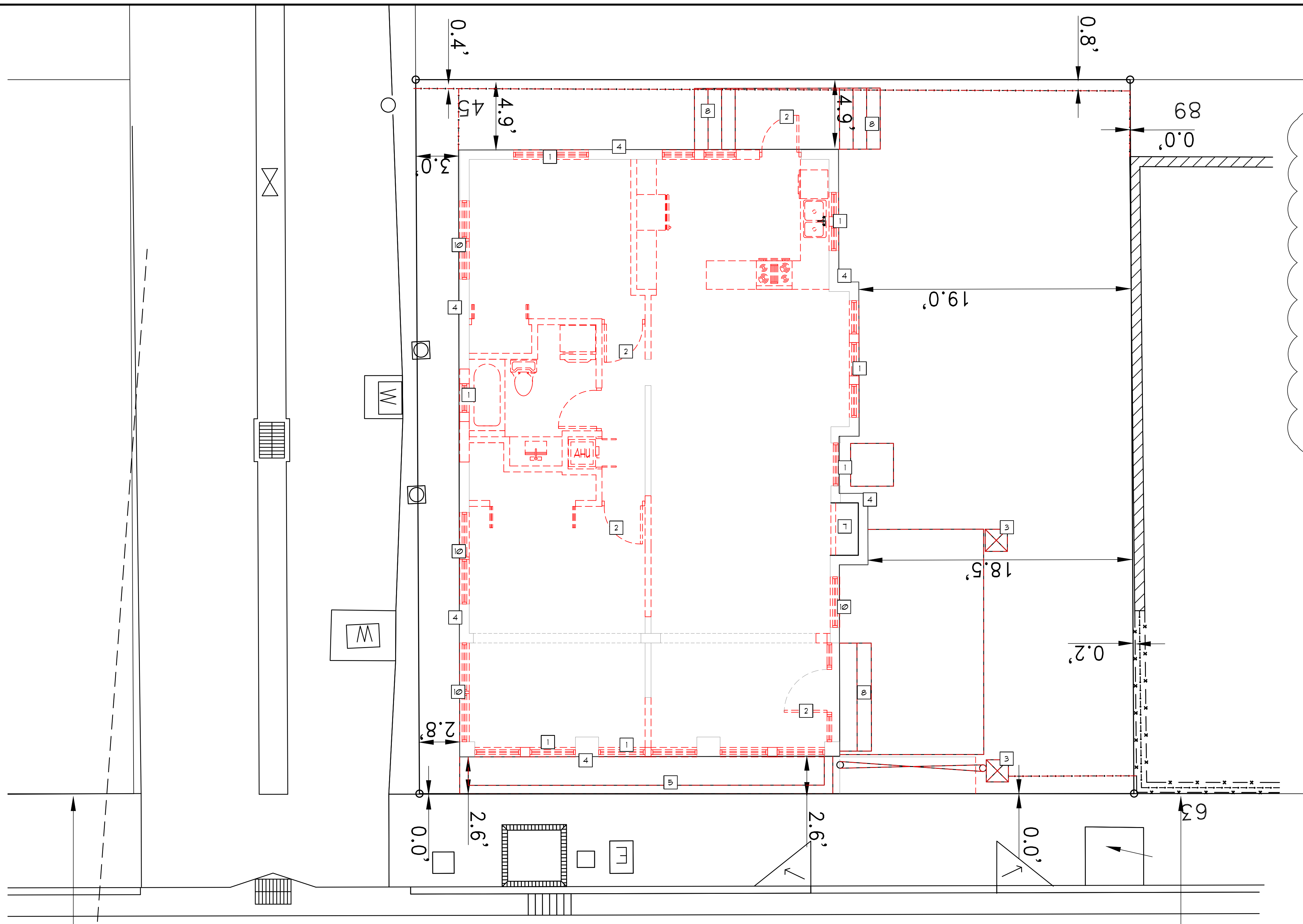
- a. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS.
- b. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCT TOLERANCES, TOLERANCES, AND FINISHES.
- c. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED, INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
- d. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
- e. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
- f. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION.
- g. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

12. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER OF RECORD SHOULD A CONFLICT OCCUR BETWEEN THE EXISTING CONDITIONS AND THE CONDITIONS SHOWN ON THE PLANS.

13. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING & STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING & ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUY'S OR TIEDOWNS.

EXISTING PARTITION
TO REMAIN

1



- 1 EXIST. WINDOW TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW WINDOW. SEE WINDOW SCHEDULE..
STORE/DISPOSE AS PER OWNER DIRECTIONS. TYP.
- 2 EXIST. DOOR AND FRAME TO BE REMOVED.
STORE/DISPOSE/RELOCATE AS PER OWNER DIRECTIONS. TYP.
- 3 REMOVE AND DISPOSE OF EXISTING COLUMN. GC SHALL SEE STRUCTURAL DGBUS BEFORE COMMENCING ANY DEMO WORK. TYP.
- 4 EXISTING EXTERIOR WALL TO REMAIN. REMOVE AND DISPOSE EXISTING PLANTER. TAKE OUT TYP. FOR ALL EXTERIOR WALLS. STRUCTURAL ELEMENTS TO REMAIN. GC SHALL SEE STRUCTURAL DGBUS BEFORE COMMENCING DEMO.
- 5 EXISTING PLANTER TO BE DEMO
- 6 REMOVE AND DISPOSE OF EXISTING ROOF IN THE AREA INDICATED BY THE HATCH. GC SHALL SEE STRUCTURAL DRAWINGS BEFORE COMMENCING ANY DEMO WORK.
- 7 EXISTING CHIMNEY TO REMAIN
- 8 REMOVE AND DISPOSE OF EXISTING STAIRS
- 9 EXISTING ROOF TO BE REPLACED FOR NEW
- 10 EXISTING OPENING TO BE BLOCKED UP (SEE STRUCTURAL)

OBJECT TITLE
**SANKOWSKI RESIDENCE
GARAGE ADD. & RENO.**
828 45T
MIAMI BEACH, FL 33139

Contract Documents is to include all items

SHEET	TITLE
1	DEMO PLAN

REVISIONS	
DATE	DESCRIPTION

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DATE: 07.02.20
DRAWN BY: GMV
CHECKED BY: GMV

SHEET

D-1

1	DEMOLITION PLAN 1/4" = 1'-0"
---	---------------------------------

1

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ONE CALL CENTER OF FLORIDA

GENERAL NOTES:

- THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING AGENCIES AND ANY OTHERS SERVING THE AREA:
 - FLORIDA POWER AND LIGHT CO.
 - SOUTHERN BELL TELEPHONE AND TELECOMMUNICATIONS CO
 - CABLE CONSTRUCTION BUREAU
 - LOCAL CITY/ COUNTY ENGINEERING AND UTILITY DEPARTMENTS
 - F.D.O.T. AS APPLICABLE
 - UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PROPERTY ADDRESS:

828 4 ST, MIAMI BEACH, FL 33139

LEGAL DESCRIPTION:

3-4 54 42 34 53 42, OCEAN BEACH ADD NO 3 PB 2-81
E50FT LOT 16 BLK 76 LOT SIZE 2500 SQUARE FEET
OR 19556-4523 03 2001 1 COC 25847-4782 07 2007 1

BUILDING CODES:

FLORIDA BUILDING CODE 6TH ED 2017
FBC RESIDENTIAL 6TH ED 2017
FBC ACCESSIBILITY 6TH ED 2017
NFPA 101 LIFE SAFETY CODE 5TH ED
FLORIDA FIRE PREVENTION CODE 5TH ED
CITY OF MIAMI BEACH CODE

JURISDICTION:

CITY OF MIAMI BEACH
MIAMI DADE COUNTY
STATE OF FLORIDA

SITE INFORMATION:

ZONING	RPS-2 / HISTORIC STRUCTURE		
LAND USE DESIGNATION	MULTI-FAMILY		
FLOOD ZONE	AE	BASE FLOOD ELEVATION	8.0'
NET LOT AREA	2,500 (0.18 ACRES)		

SETBACKS:

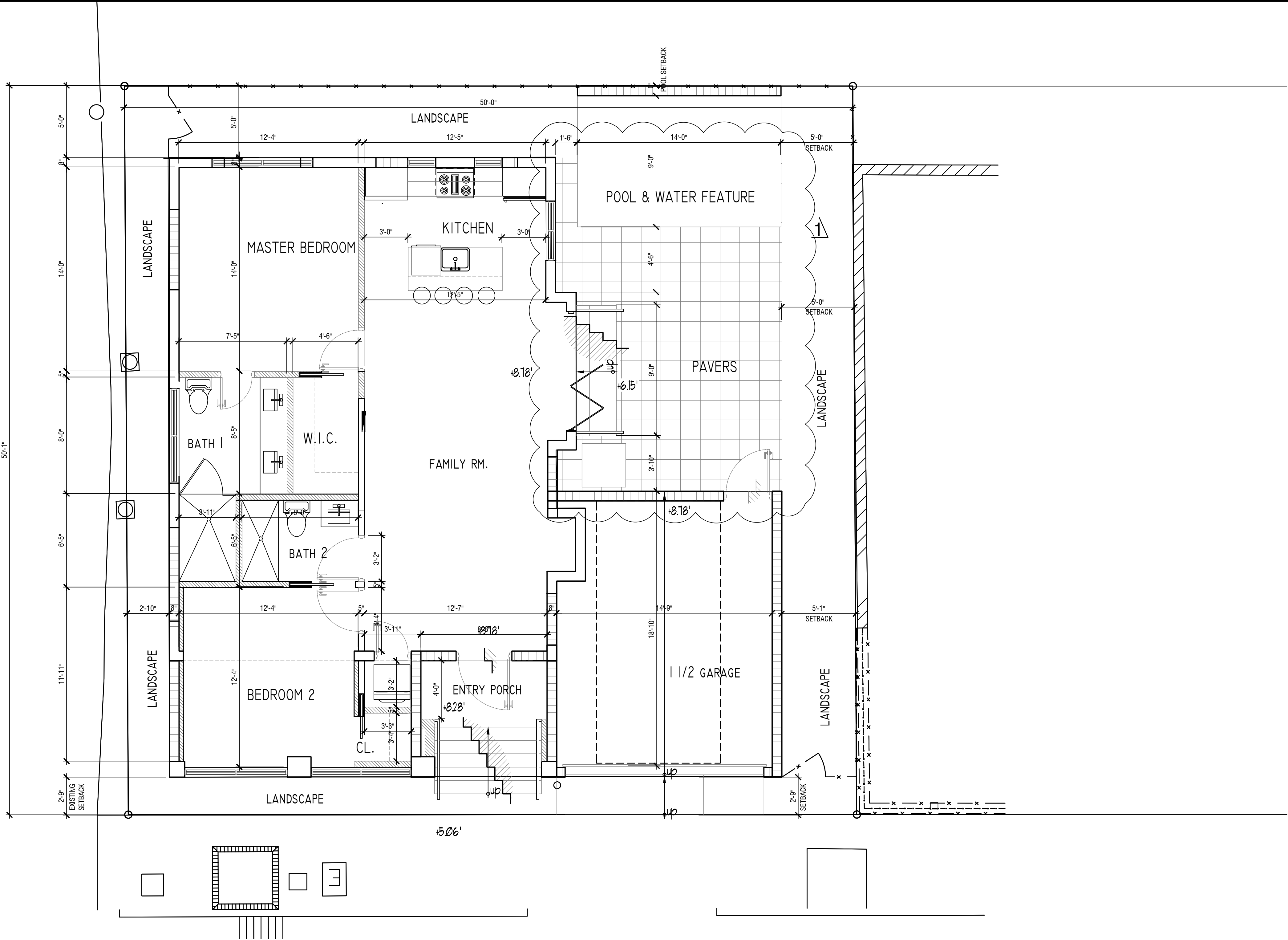
	REQUIRED	EXISTING	PROVIDED	REMARKS
FRONT - (N)	5'-0"	2'-9"	2'-9"	VARIANCE REQUEST
SIDE INTERIOR - (W)	5'-0"	18'-6"	5'-0"	N/A
SIDE INTERIOR - STREET	5'-0"	3'-0"	3'-0"	NEW ROOF OVERHANG VARIANCE
REAR - (S)	10% OF 50'-0"	5'-0"	5'-0"	NO CHANGE

	REQUIRED / ALLOWED	PROVIDED	REMARKS
LOT AREA	5,750 S.F.	2,500 S.F. (0.18 ACRE)	NO CHANGE
LOT WIDTH	50'-0"	50'-0"	NO CHANGE
OPEN SPACE	1,625 SF (0.65 ACRE)	1,055 SF (0.65 ACRE)	VARIANCE REQUEST
FAR	(MAX) 1.50 (3,750 S.F.)	(1,445 S.F.)	VARIANCE REQUEST
POOL	6'-0" FROM R.O.W.	0'-0"	VARIANCE REQUEST
PARKING	EXEMPT		

BUILDING :

	ALLOWED / REQUIRED	EXISTING	PROVIDED	REMARKS
HEIGHT	4 STORIES 40'-0"	2 STORIES 25'-0"	2 STORIES 25'-0"	NO CHANGE
FOOTPRINT		1,155 S.F.	1,445 S.F.	GARAGE ADD.

1 GENERAL NOTES



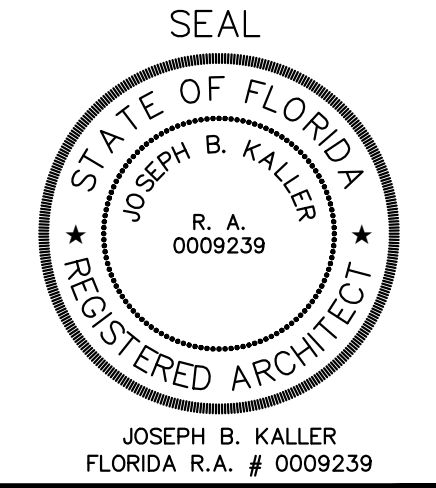
1 SITE PLAN
1/4" = 1'-0"



KallerArchitecture

AA# 26001212
2417 Hollywood Blvd.
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joseph@kallerarchitects.com

www.kallerarchitects.com



PROJECT TITLE
**SANKOWSKI RESIDENCE
GARAGE ADD. & RENO.**
828 4ST
MIAMI BEACH, FL 33139

SHEET TITLE
**PROPOSED
SITE PLAN AND FLOOR PLAN**

REVISIONS		
No.	DATE	DESCRIPTION

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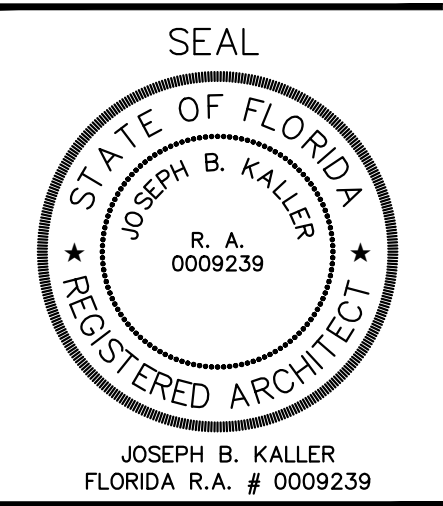
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SHEET

SP-1



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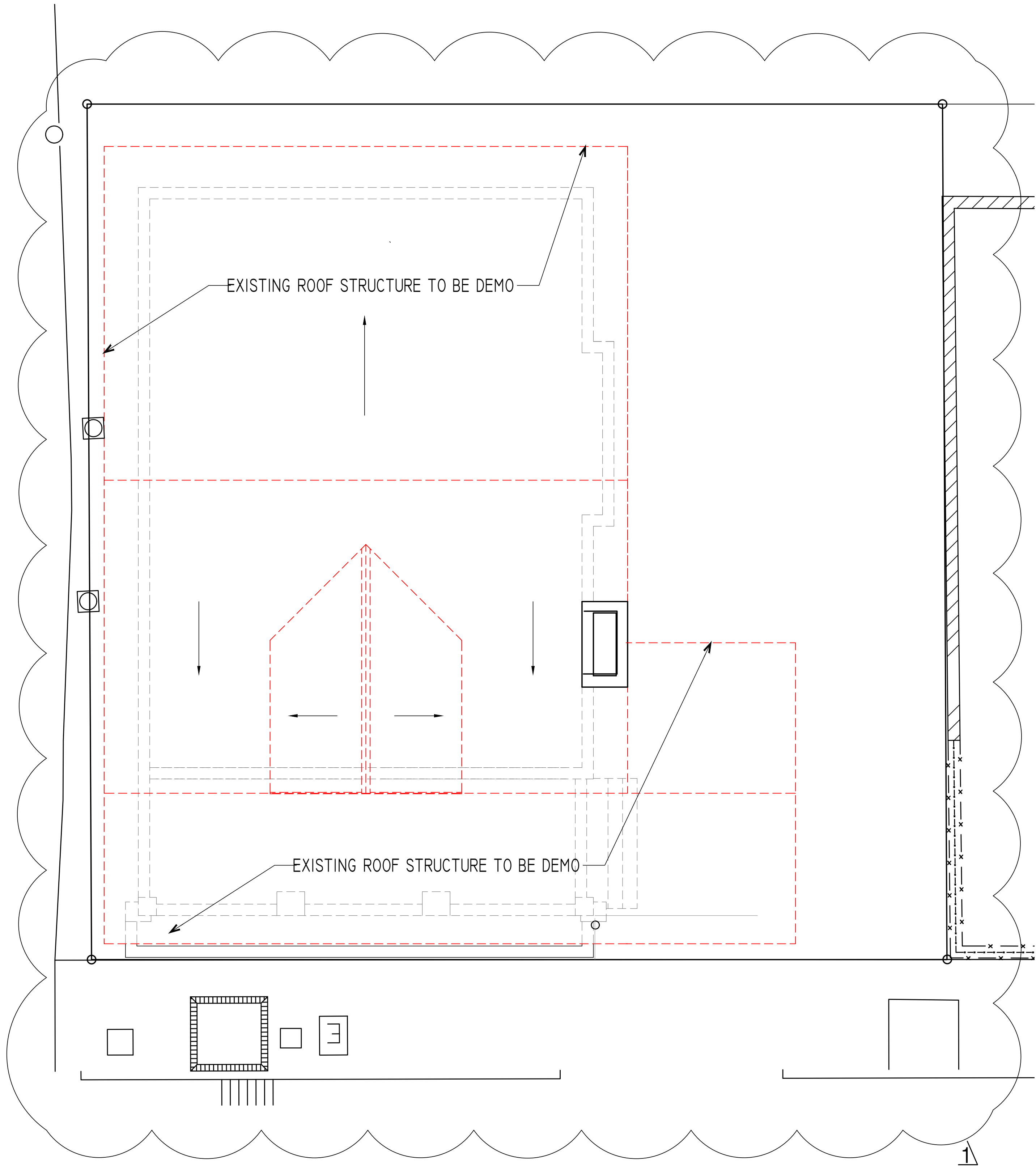
SHEET TITLE
**DEMO ROOF PLAN
PROPOSED ROOF PLAN**

REVISIONS		
No.	DATE	DESCRIPTION
1	08.10.20	ISS COMMENTS
2	12.26.20	CITY COMMENTS

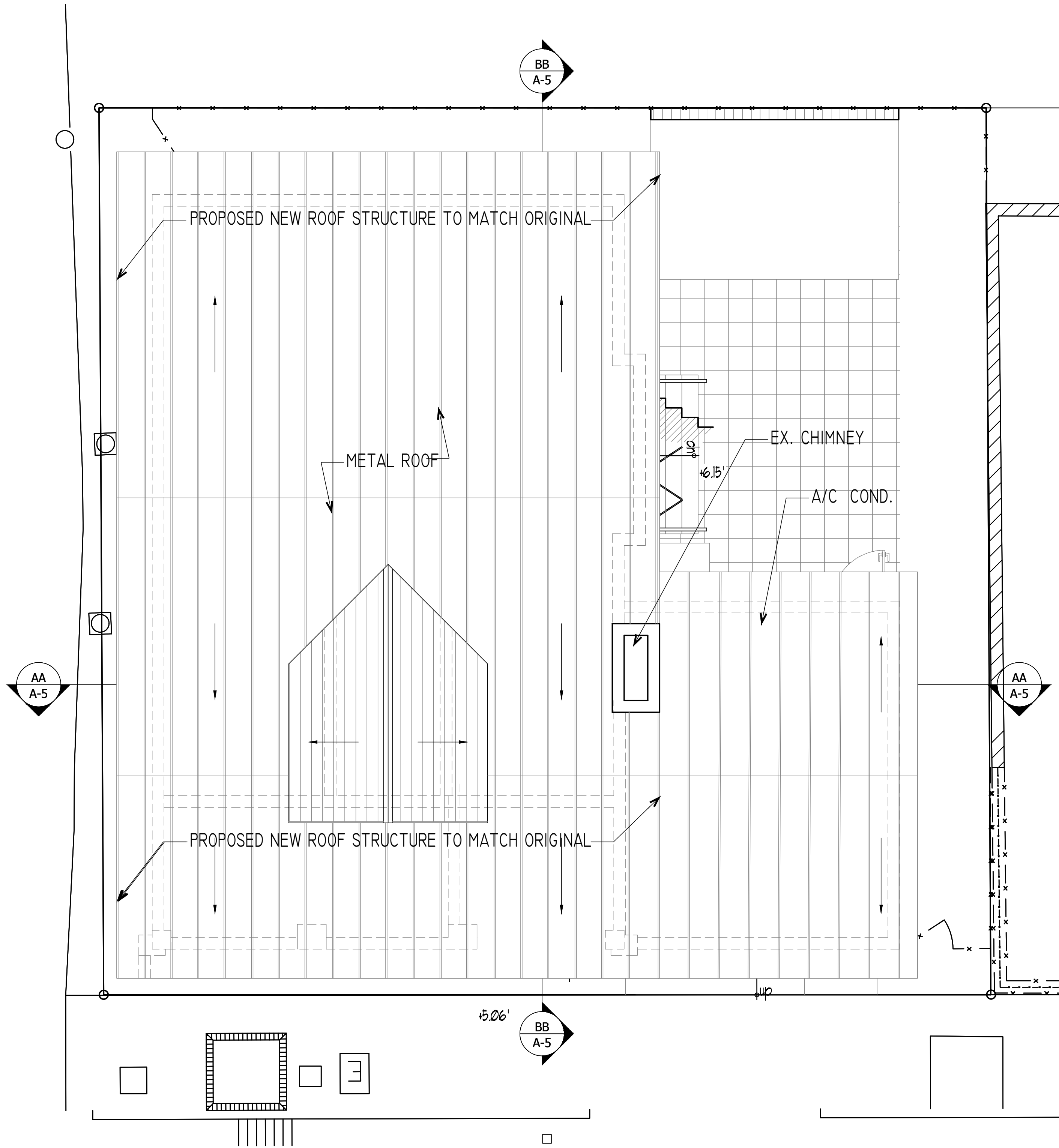
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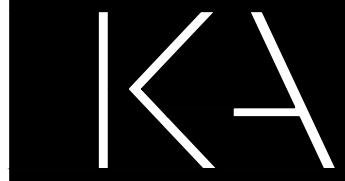
SHEET
SP-2



1 EXISTING ROOF (DEMO)
1/4" = 1'-0"



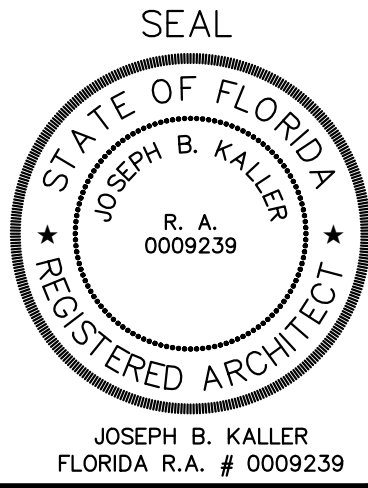
2 PROPOSED ROOF
1/4" = 1'-0"



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828 45T
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SHEET TITLE
FLOOR AREA RATIO CALCS.
OPEN SPACE CALCS.

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
08.10.20	HPB COMMENTS	

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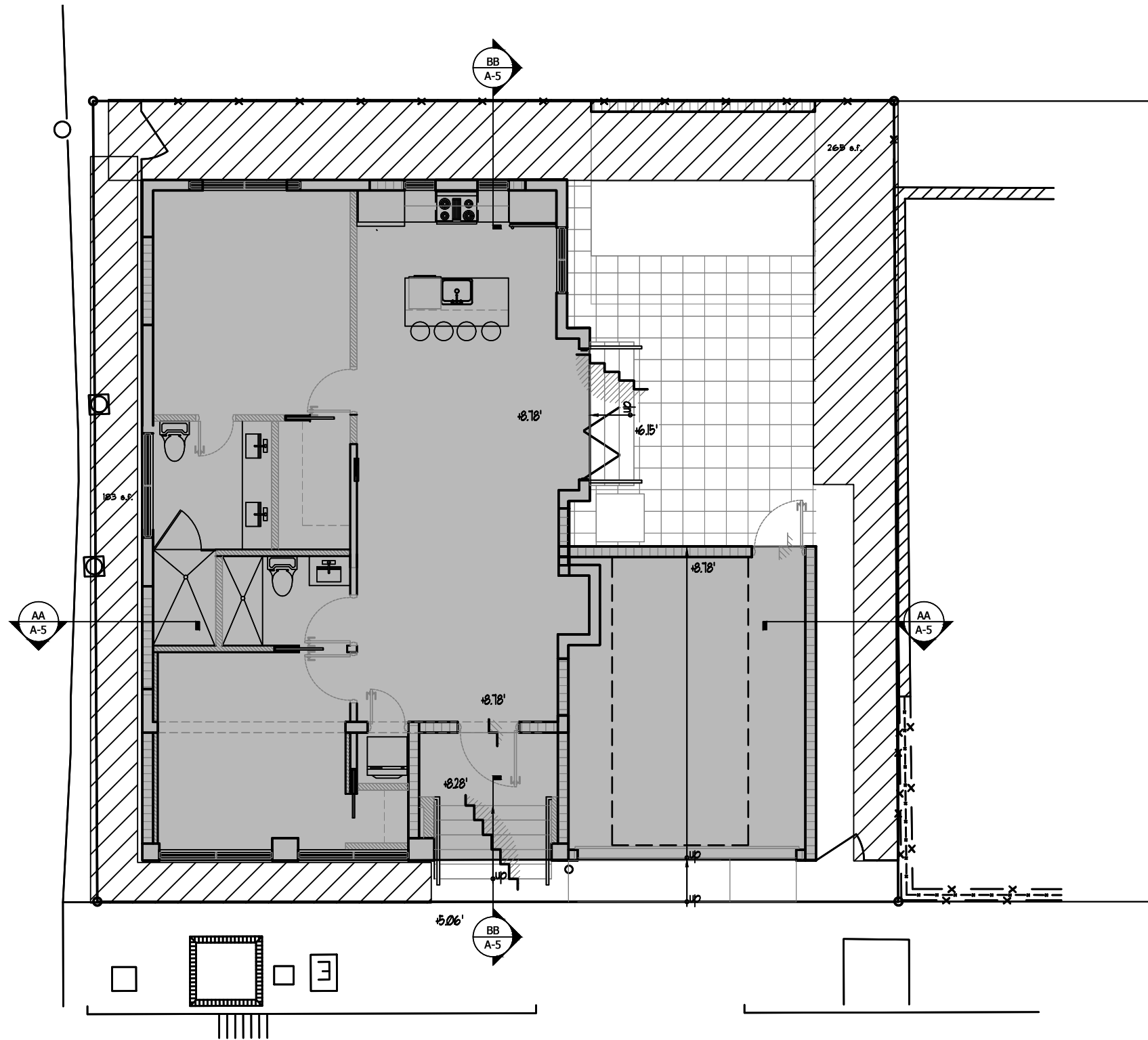
SP-3

FLOOR AREA RATIO

	REQUIRED / ALLOWED	EXISTING	PROVIDED / PROPOSED	REMARKS
LOT AREA	5,750 S.F.	2,500 S.F. (0.18 ACRE)	N/A	NO CHANGE
LOT WIDTH	50'-0"	50'-0"	N/A	NO CHANGE
FAR	(MAX) 1.50 (3,750 S.F.)	(1,155 S.F.)	1,445 S.F.	GARAGE ADDITION

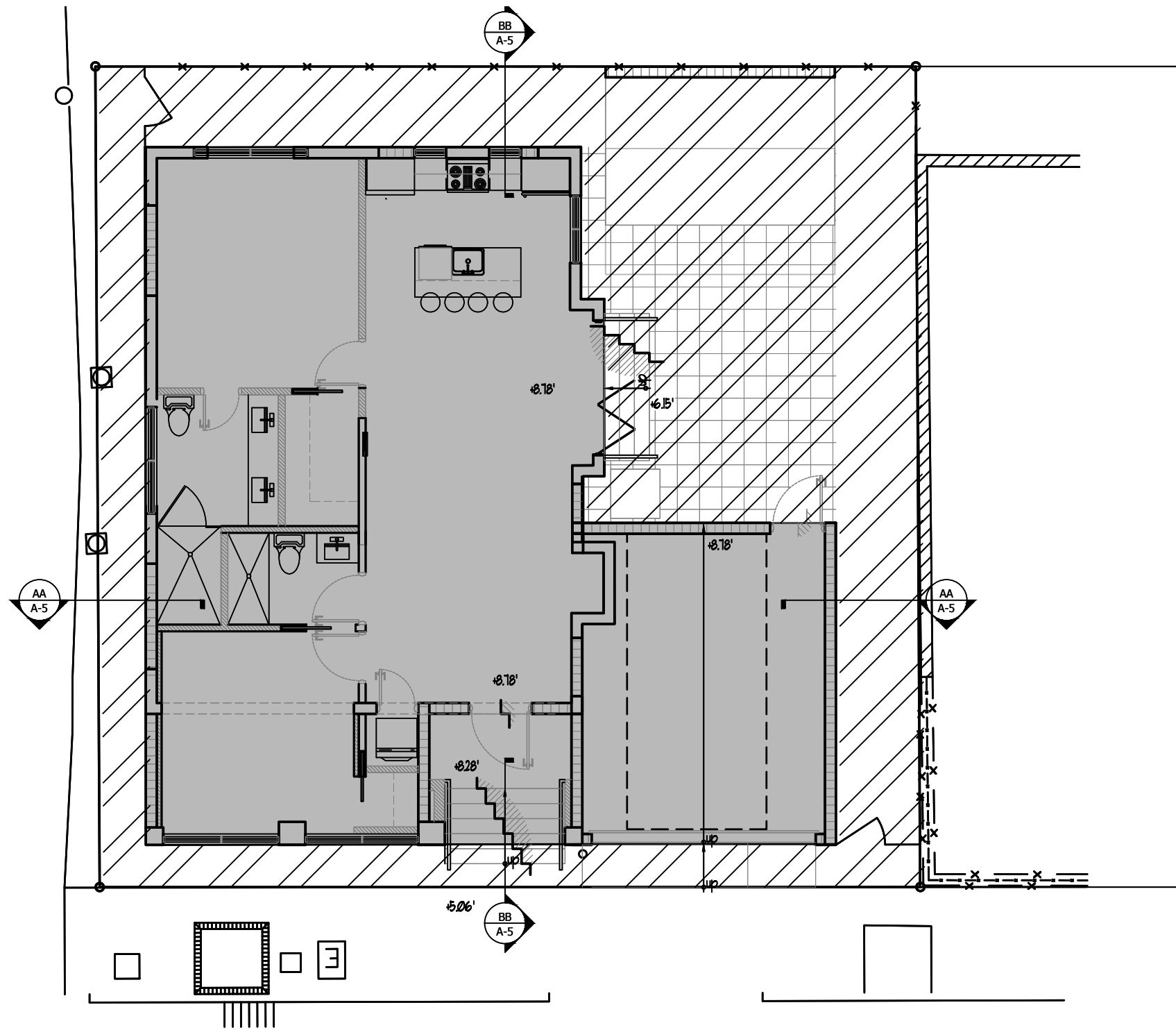
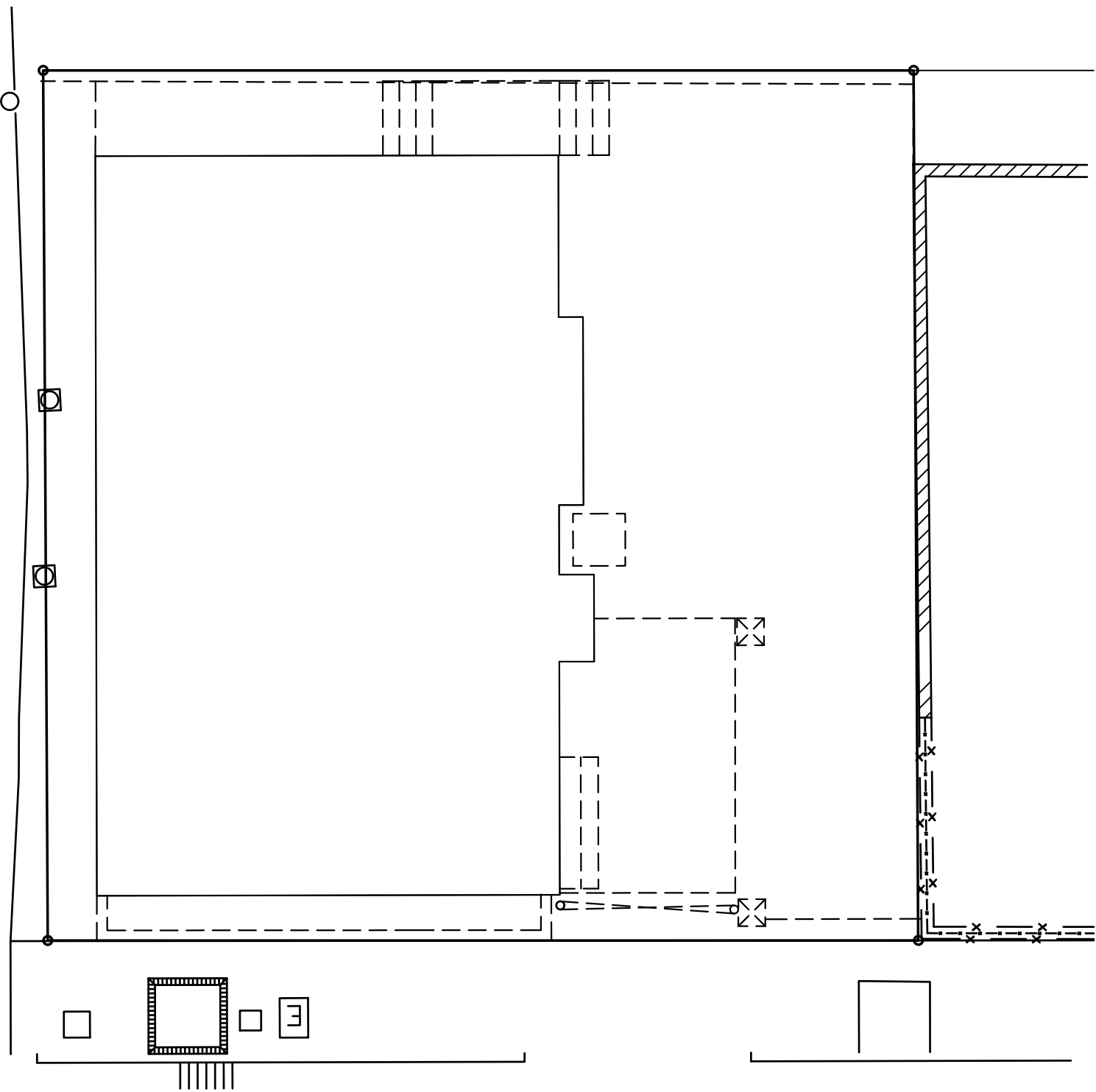
OPEN SPACE AND PLANTING

	REQUIRED / ALLOWED	EXISTING	PROVIDED / PROPOSED	REMARKS
OPEN SPACE	1,625 SF (0.65 ACRE)	1,344 SF	1,049 SF (0.41 ACRE)	South Pointe Streetscape Fund.
PLANTING	500 SF		599 SF	



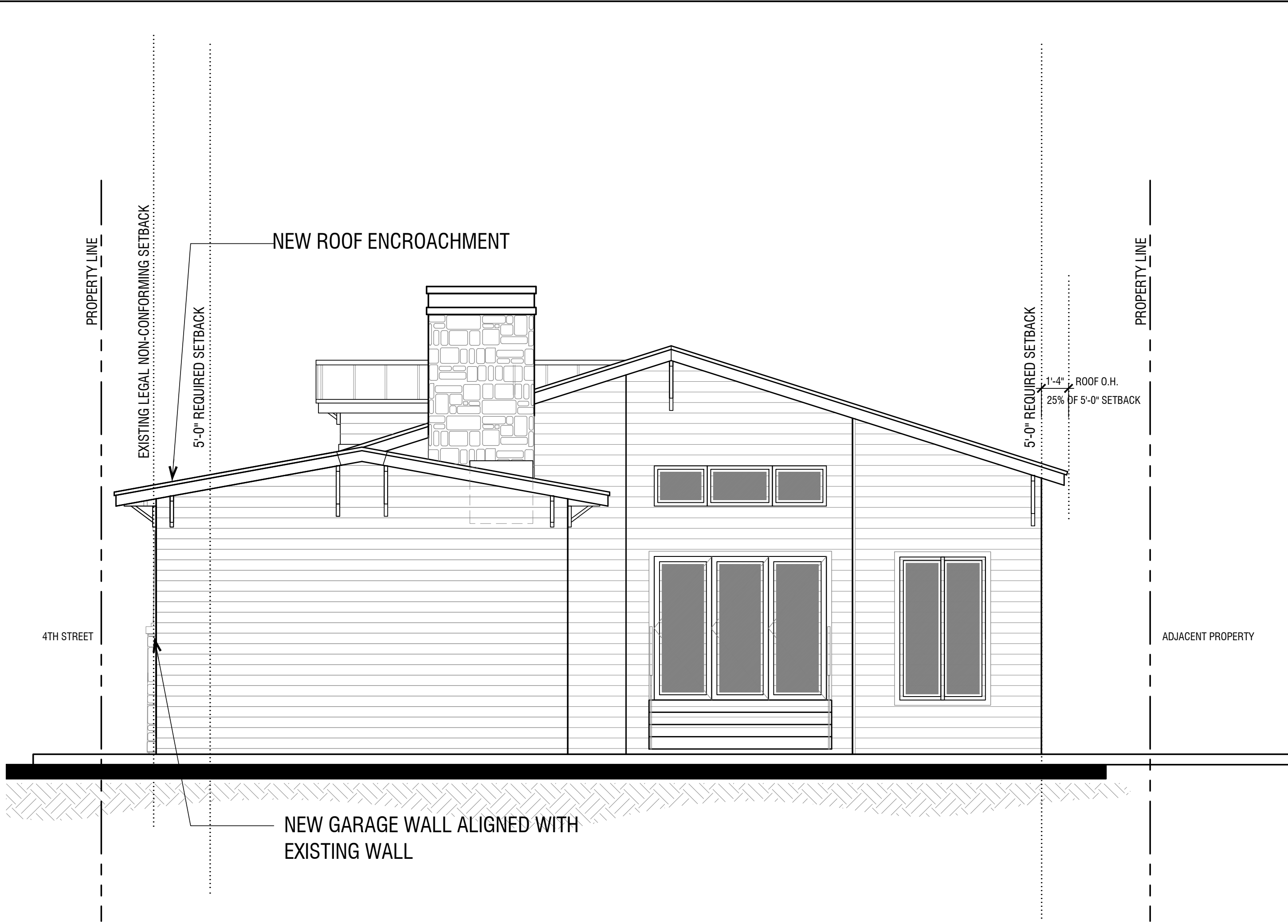
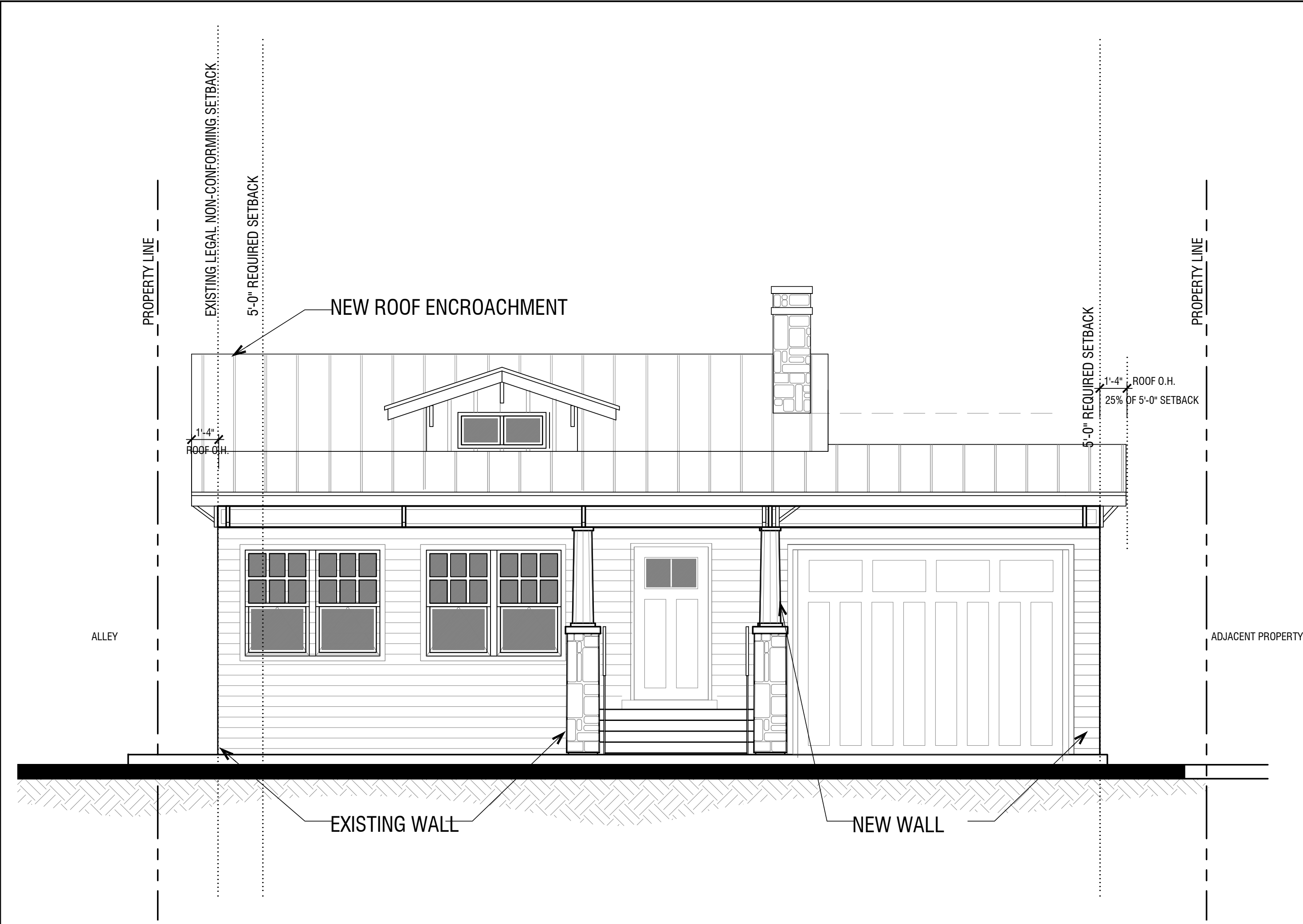
1 TABULATION
N.T.S.

2 PROPOSED PLANTING SPACE (653 SQFT)
1/8" = 1'-0"



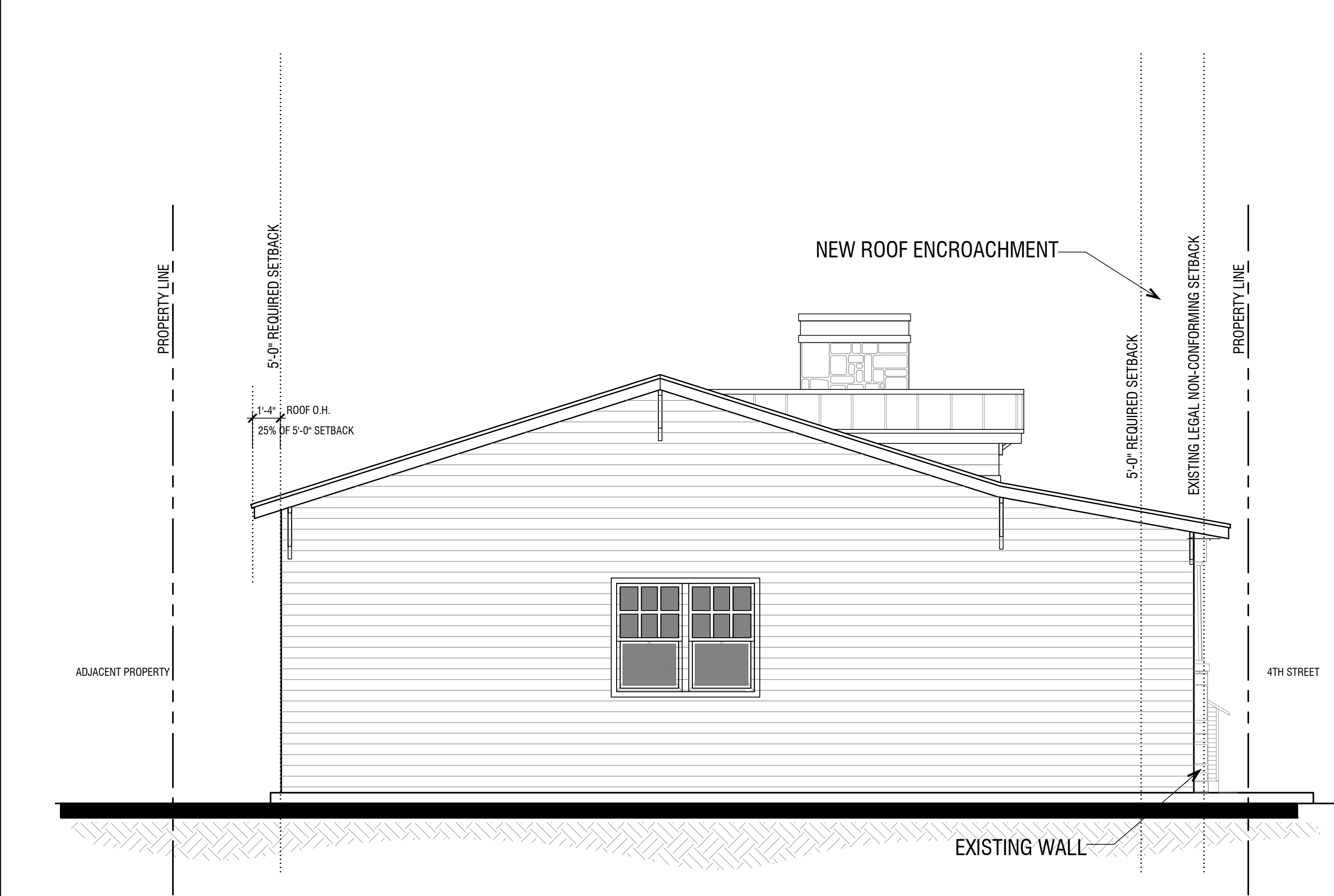
3 EXISTING OPEN SPACE (1,344 SQFT)
1/8" = 1'-0"

4 PROPOSED OPEN SPACE (1,049 SQFT)
1/8" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

2 WEST ELEVATION
1/4" = 1'-0"

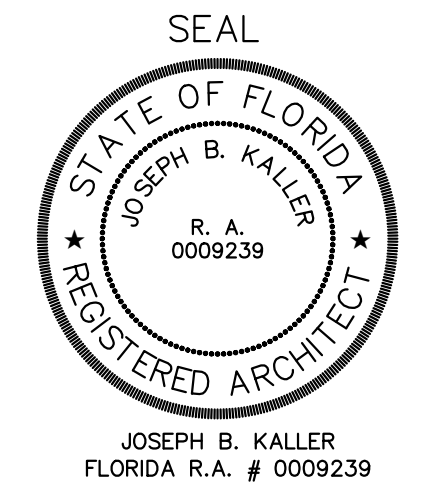


3 EAST ELEVATION
1/4" = 1'-0"

4 SOUTH ELEVATION
1/4" = 1'-0"



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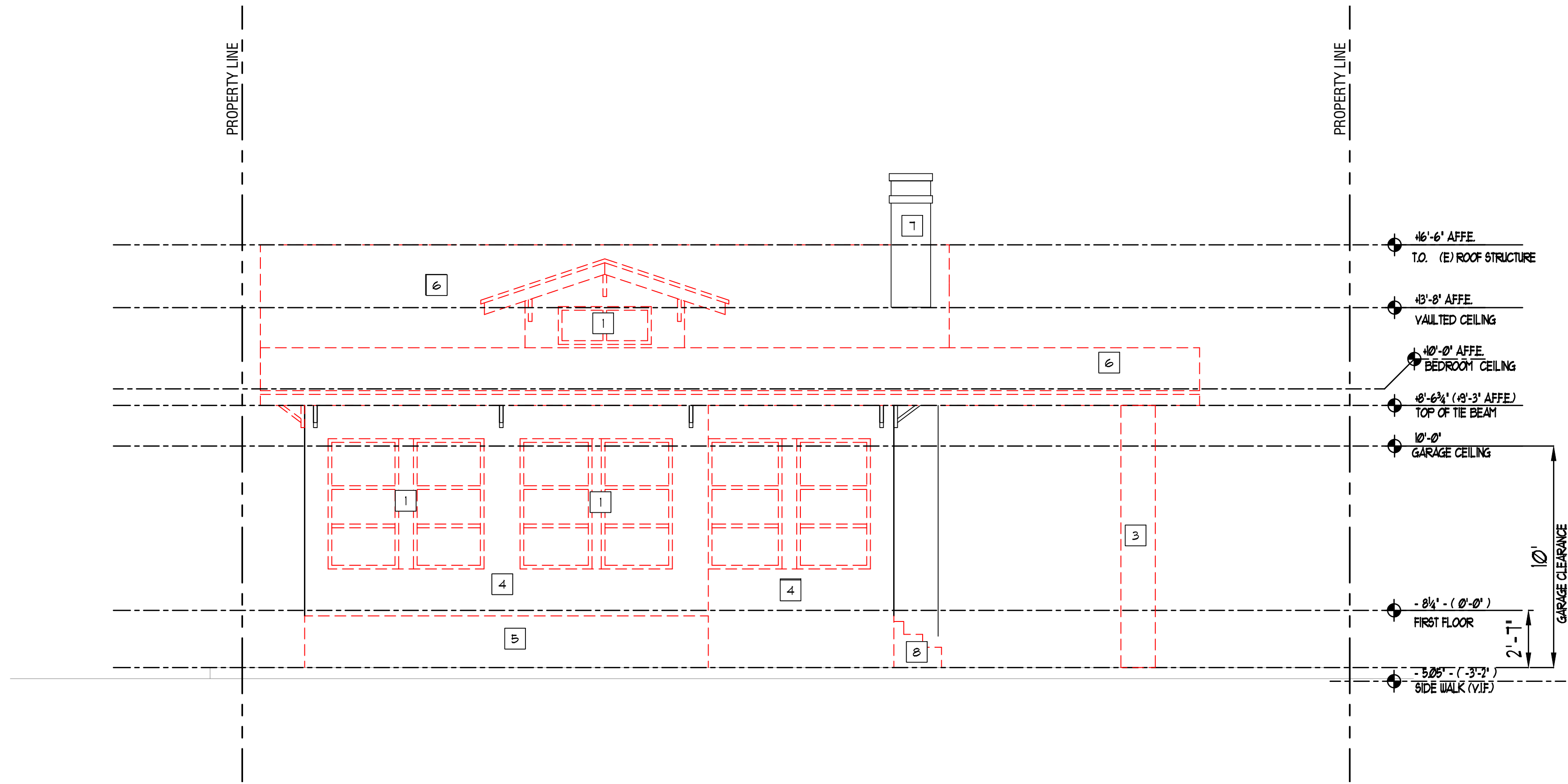
SHEET TITLE
**DIAGRAM
SETBACK VARIANCE**

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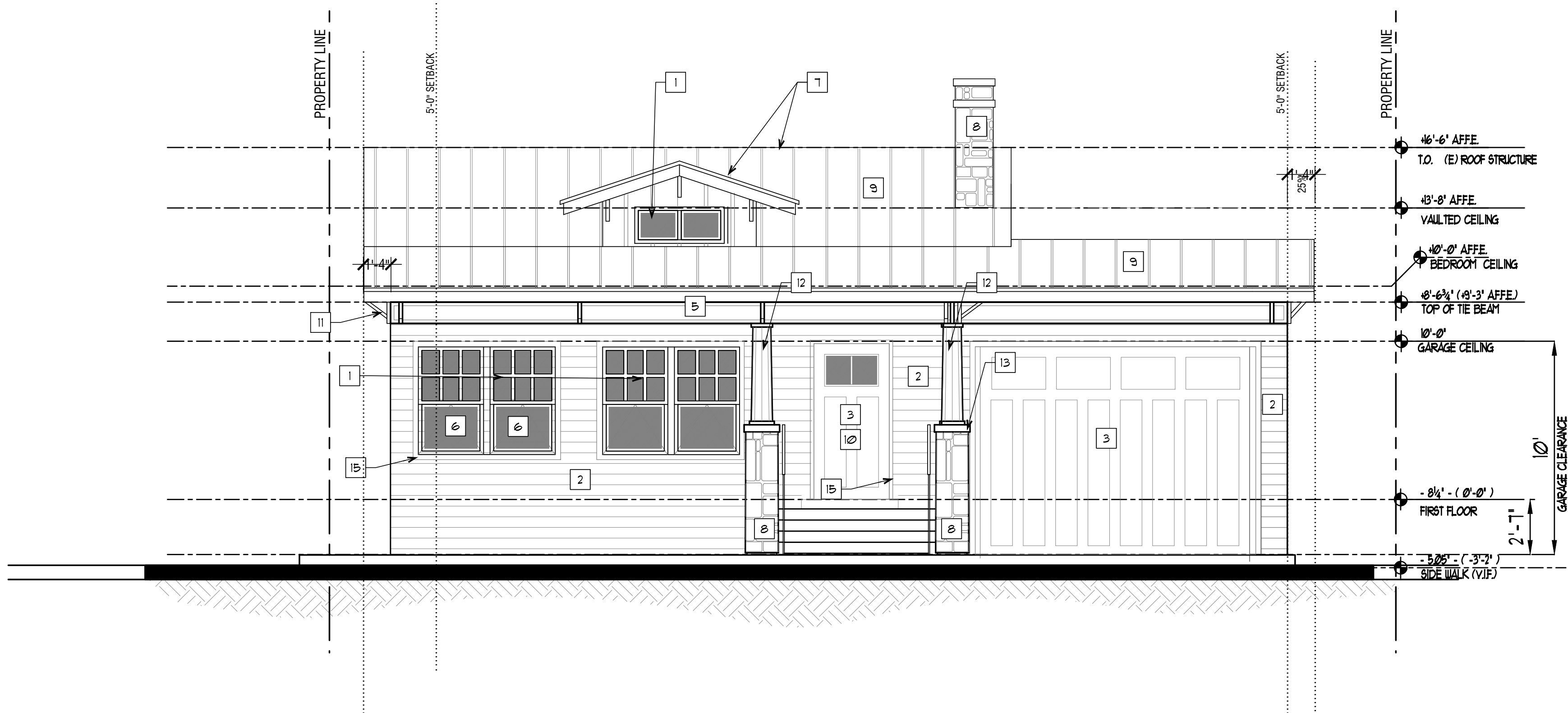
SHEET
SP-4



- DEMOLITION KEYNOTES
- EXIST. WINDOW TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW WINDOW. SEE WINDOW SCHEDULE. STORE/DISPOSE AS PER OWNER DIRECTIONS. TYP.
 - EXIST. DOOR AND FRAME TO BE REMOVED. STORE/DISPOSE/RELOCATE AS PER OWNER DIRECTIONS. TYP.
 - REMOVE AND DISPOSE OF EXISTING COLUMN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING ANY DEMO WORK. TYP.
 - EXISTING EXTERIOR WALL TO REMAIN. REMOVE AND DISPOSE OF EXISTING PERLSTONE FINISH THROUGHOUT. TYP FOR ALL EXTERIOR WALLS. STRUCTURAL ELEMENTS TO REMAIN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING DEMO.
 - EXISTING PLANTER TO BE DEMO
 - REMOVE AND DISPOSE OF EXISTING ROOF IN THE AREA INDICATED BY THE HATCH. GC SHALL SEE STRUCTURAL DRAWINGS BEFORE COMMENCING ANY DEMO WORK.
 - EXISTING CHIMNEY TO REMAIN
 - REMOVE AND DISPOSE OF EXISTING STAIRS
 - EXISTING ROOF TO BE REPLACED FOR NEW
 - EXISTING OPENING TO BE BLOCKED UP (SEE STRUCTURAL)

1 DEMOLITION FRONT ELEVATION (NORTH)

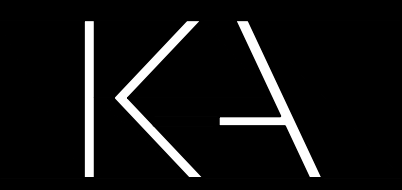
1/4" = 1'-0"



- NEW IMPACT RESISTANT WINDOW CG TO PROVIDE NOA. SEE WINDOW SCHEDULE.
- NEW 6" WIDE COMPOSITE WOOD HORIZONTAL SIDING ON EXTERIOR WALLS. COLOR WHITE. SEE CATALOG ATTACHED.
- NEW IMPACT RESISTANT WEATHER SEALED DOOR. FRAME AND HARDWARE TO BE SELECTED BY OWNER / D.O.R. (SEE DOOR SCHEDULE)
- BLOCKED UP EXISTING OPENING. SEE STRUCTURAL DGWS.
- NEW FASCIA. SEE SECTIONS
- NEW WINDOW SHALL BE OPERABLE FOR EGRESS
- EXISTING ROOF LINE TO BE MAINTAINED BY NEW PROPOSED ROOF STRUCTURE (SEE SECTIONS)
- NEW NATURAL STONE TO BE SELECTED BY OWNER / D.O.R.
- NEW METAL ROOF
- IMPACT RESISTANT PAINTED GLASS AND WOOD 'CRAFTSMAN' STYLE DOOR
- PAINTED DECORATIVE WOOD BRACKETS (TYP)
- PAINTED DECORATIVE WOOD COLUMNS
- STONE CAP
- IMPACT RESISTANT POWDER COATED STEEL GARAGE DOOR COLOR TO BE SELECTED BY OWNER / D.O.R.
- COMPOSITE WOOD TRIM AT OPENINGS.
- IMPACT RESISTANT TINTED FIXED TRANSOMS
- EXISTING CMU WALL TO REMAIN

2 PROPOSED FRONT ELEVATION (NORTH)

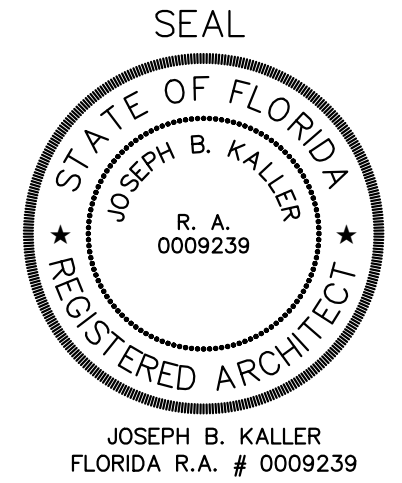
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SHEET TITLE
**EXTERIOR ELEVATIONS
NORTH**

REVISIONS
No. DATE DESCRIPTION

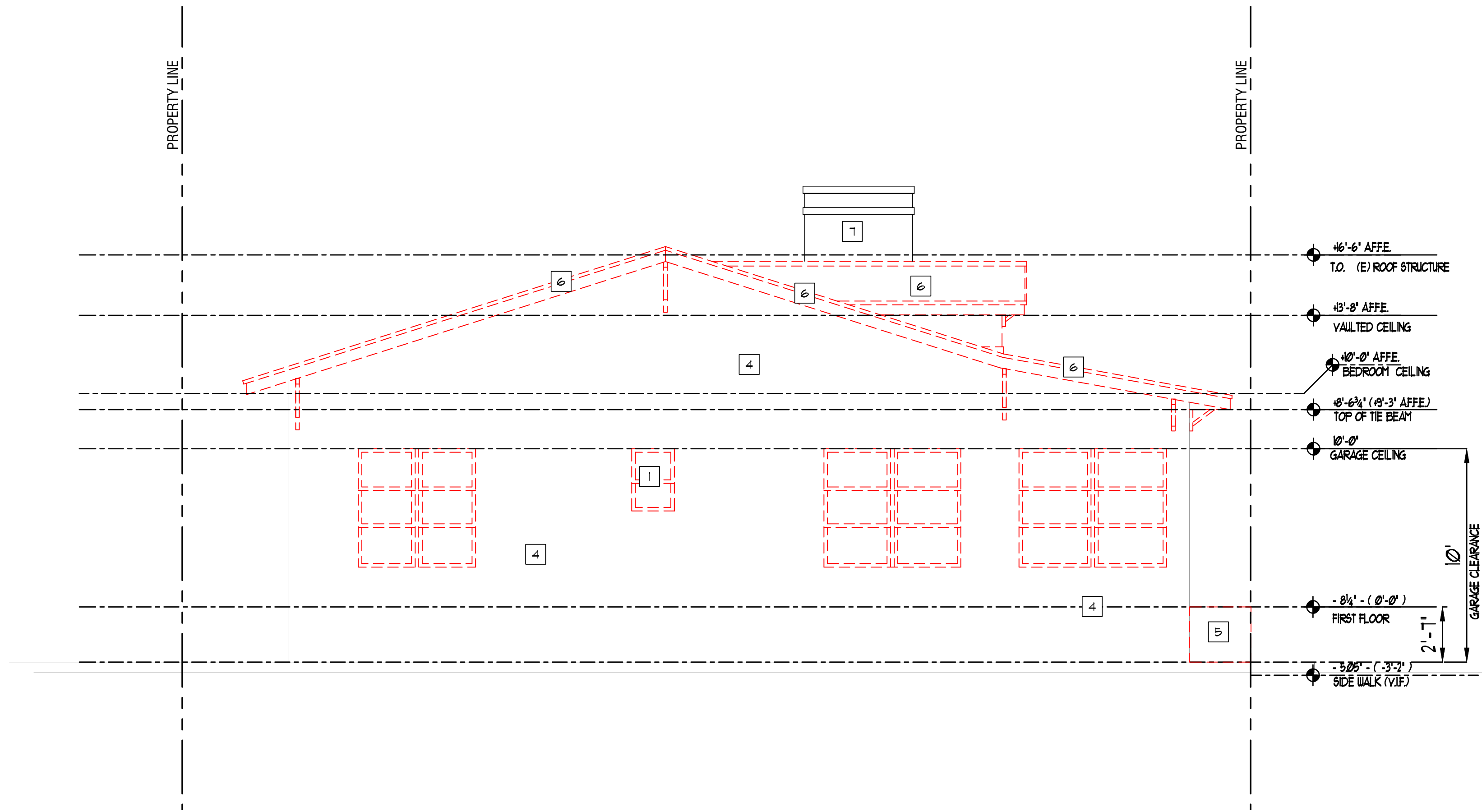
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SHEET

A-1

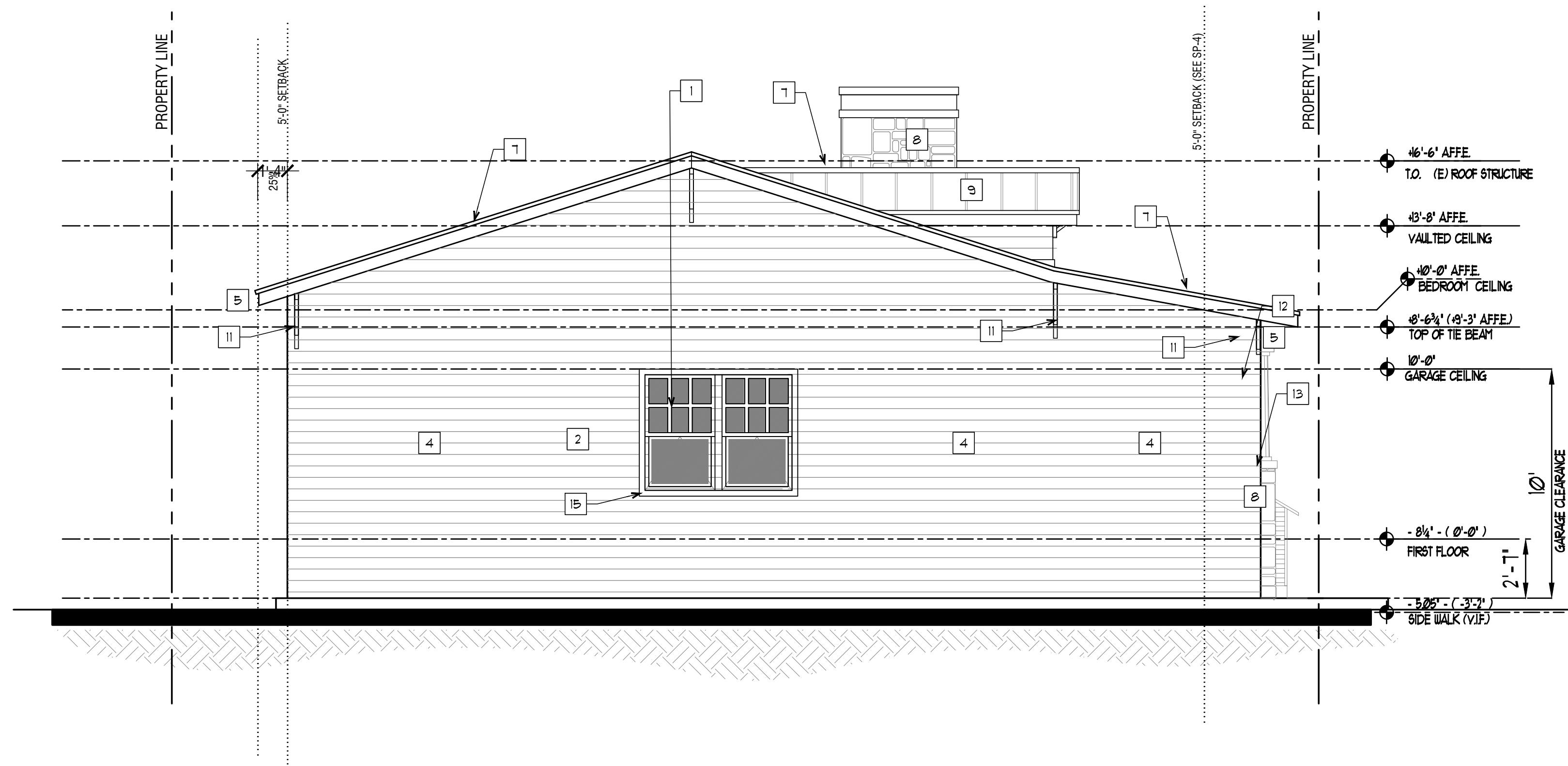


DEMOLITION KEYNOTES

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- EXIST. DOOR AND FRAME TO BE REMOVED. STORE/DISPOSE/RELOCATE AS PER OWNER DIRECTIONS. TYP.
- REMOVE AND DISPOSE OF EXISTING COLUMN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING ANY DEMO WORK. TYP.
- EXISTING EXTERIOR WALL TO REMAIN. REMOVE AND DISPOSE OF EXISTING PERMASTONE FINISH THROUGHOUT. TYP FOR ALL EXTERIOR WALLS. STRUCTURAL ELEMENTS TO REMAIN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING DEMO.
- EXISTING PLANTER TO BE DEMO
- REMOVE AND DISPOSE OF EXISTING ROOF IN THE AREA INDICATED BY THE HATCH. GC SHALL SEE STRUCTURAL DRAWINGS BEFORE COMMENCING ANY DEMO WORK.
- EXISTING CHIMNEY TO REMAIN
- REMOVE AND DISPOSE OF EXISTING STAIRS
- EXISTING ROOF TO BE REPLACED FOR NEW
- EXISTING OPENING TO BE BLOCKED UP (SEE STRUCTURAL)

1 DEMOLITION SIDE ELEVATION (EAST)

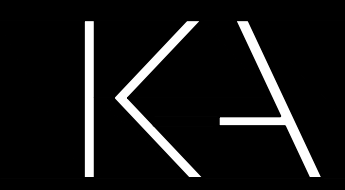
1/4" = 1'-0"



- NEW IMPACT RESISTANT WINDOW CG TO PROVIDE NOA. SEE WINDOW SCHEDULE.
- NEW 6" WIDE COMPOSITE WOOD HORIZONTAL SIDING ON EXTERIOR WALLS. COLOR/TYPE SEE CATALOG ATTACHED.
- NEW IMPACT RESISTANT WEATHER SEALED DOOR. FRAME AND HARDWARE TO BE SELECTED BY OWNER / D.O.R. (SEE DOOR SCHEDULE)
- BLOCKED UP EXISTING OPENING. SEE STRUCTURAL DGWS.
- NEW FASCIA, SEE SECTIONS
- NEW WINDOW SHALL BE OPERABLE FOR EGRESS
- EXISTING ROOF LINE TO BE MAINTAINED BY NEW PROPOSED ROOF STRUCTURE (SEE SECTIONS)
- NEW NATURAL STONE TO BE SELECTED BY OWNER / D.O.R.
- NEW METAL ROOF
- IMPACT RESISTANT PAINTED GLASS AND WOOD 'CRAFTSMAN' STYLE DOOR
- PAINTED DECORATIVE WOOD BRACKETS (TYP)
- PAINTED DECORATIVE WOOD COLUMNS
- STONE CAP
- IMPACT RESISTANT POWDER COATED STEEL GARAGE DOOR COLOR TO BE SELECTED BY OWNER / D.O.R.
- COMPOSITE WOOD TRIM AT OPENINGS.
- IMPACT RESISTANT TINTED FIXED TRANSOME
- EXISTING CMU WALL TO REMAIN

2 PROPOSED SIDE ELEVATION (EAST)

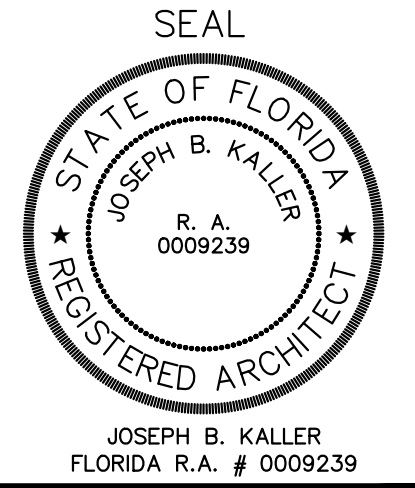
1/4" = 1'-0"



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PROJECT TITLE

SHEET TITLE
EXTERIOR ELEVATIONS
EAST

REVISIONS
No. DATE DESCRIPTION

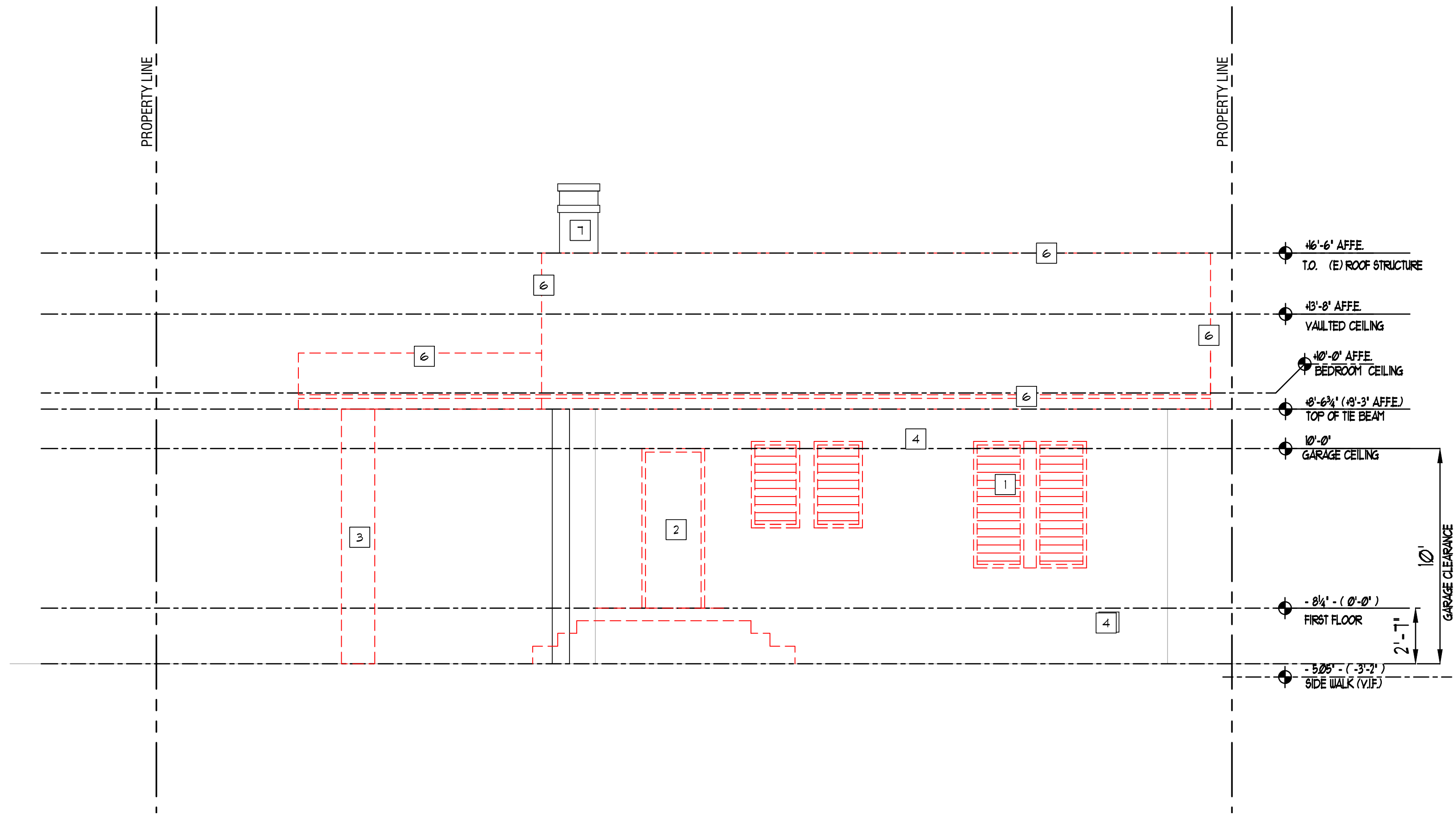
No.	DATE	DESCRIPTION
1	08.10.20	HPB COMMENTS

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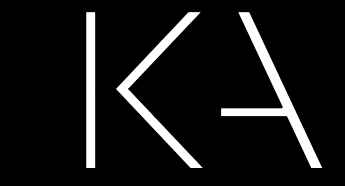
PROJECT No.: 20089
DATE: 07.02.20
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CHECKED BY: GMV

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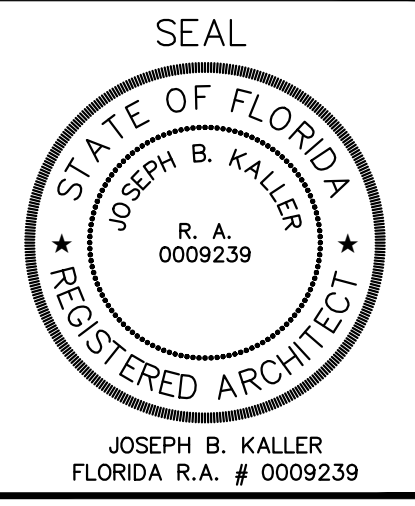
A-2



- DEMOLITION KEYNOTES
- EXIST. WINDOW TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW WINDOW. SEE WINDOW SCHEDULE. STORE/DISPOSE AS PER OWNER DIRECTIONS. TYP.
 - EXIST. DOOR AND FRAME TO BE REMOVED. STORE/DISPOSE/RELOCATE AS PER OWNER DIRECTIONS. TYP.
 - REMOVE AND DISPOSE OF EXISTING COLUMN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING ANY DEMO WORK. TYP.
 - EXISTING EXTERIOR WALL TO REMAIN. REMOVE AND DISPOSE OF EXISTING PERMASTONE FINISH THROUGHOUT. TYP FOR ALL EXTERIOR WALLS. STRUCTURAL ELEMENTS TO REMAIN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING DEMO.
 - EXISTING PLANTER TO BE DEMO
 - REMOVE AND DISPOSE OF EXISTING ROOF IN THE AREA INDICATED BY THE HATCH. GC SHALL SEE STRUCTURAL DRAWINGS BEFORE COMMENCING ANY DEMO WORK.
 - EXISTING CHIMNEY TO REMAIN
 - REMOVE AND DISPOSE OF EXISTING STAIRS
 - EXISTING ROOF TO BE REPLACED FOR NEW
 - EXISTING OPENING TO BE BLOCKED UP (SEE STRUCTURAL)

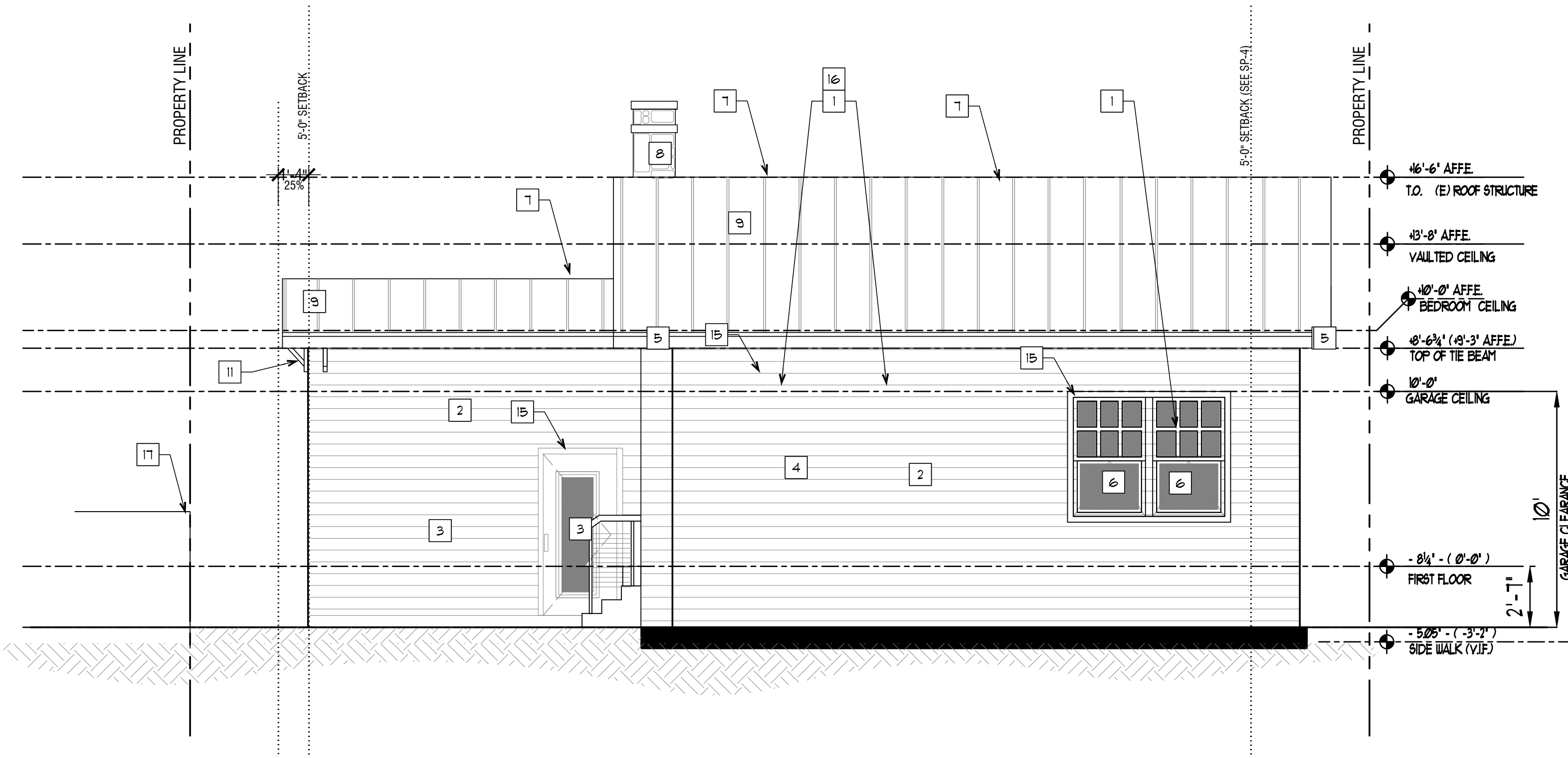


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1 DEMOLITION REAR ELEVATION (SOUTH)
 1/4" = 1'-0"



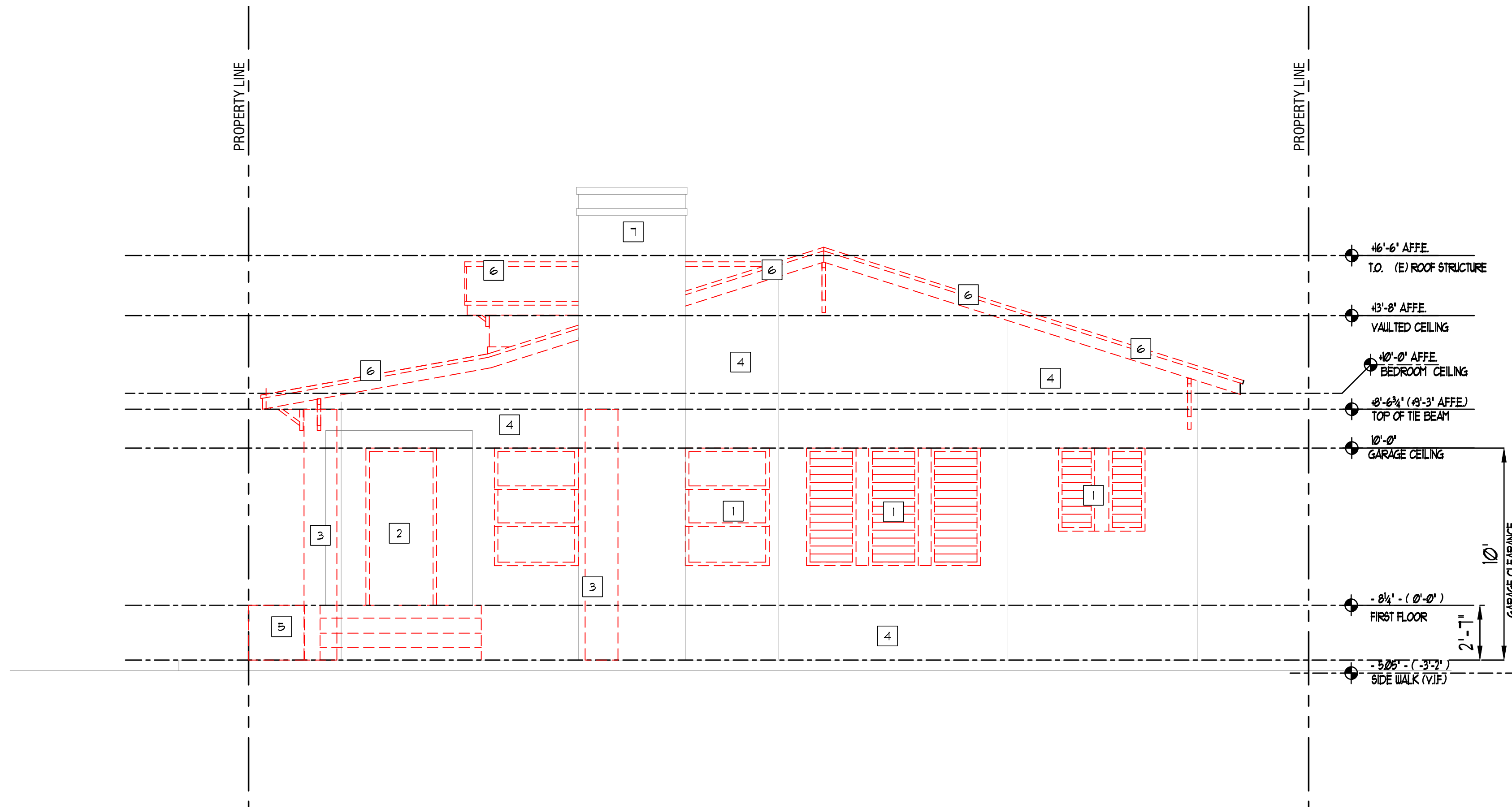
- NEW IMPACT RESISTANT WINDOW CG TO PROVIDE NOA. SEE WINDOW SCHEDULE
- NEW 6' WIDE COMPOSITE WOOD HORIZONTAL SIDING ON EXTERIOR WALLS. COLOR: WHITE. SEE CATALOG ATTACHED.
- NEW IMPACT RESISTANT WEATHER SEALED DOOR. FRAME AND HARDWARE TO BE SELECTED BY OWNER / D.O.R. (SEE DOOR SCHEDULE)
- BLOCKED UP EXISTING OPENING. SEE STRUCTURAL DGWS.
- NEW FASCIA, SEE SECTIONS
- NEW WINDOW SHALL BE OPERABLE FOR EGRESS
- EXISTING ROOF LINE TO BE MAINTAINED BY NEW PROPOSED ROOF STRUCTURE (SEE SECTIONS)
- NEW NATURAL STONE TO BE SELECTED BY OWNER / D.O.R.
- NEW METAL ROOF
- IMPACT RESISTANT PAINTED GLASS AND WOOD 'CRAFTSMAN' STYLE DOOR
- PAINTED DECORATIVE WOOD BRACKETS (TYP)
- PAINTED DECORATIVE WOOD COLUMNS
- STONE CAP
- IMPACT RESISTANT POWDER COATED STEEL GARAGE DOOR COLOR TO BE SELECTED BY OWNER / D.O.R.
- COMPOSITE WOOD TRIM AT OPENINGS.
- IMPACT RESISTANT TINTED FIXED TRANSOME
- EXISTING CMU WALL TO REMAIN

**EXTERIOR ELEVATIONS
 SOUTH**

REVISIONS		
No.	DATE	DESCRIPTION
1	08.10.20	HPB COMMENTS

PROJECT No.: 20089
 DATE: 07.02.20
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A-3

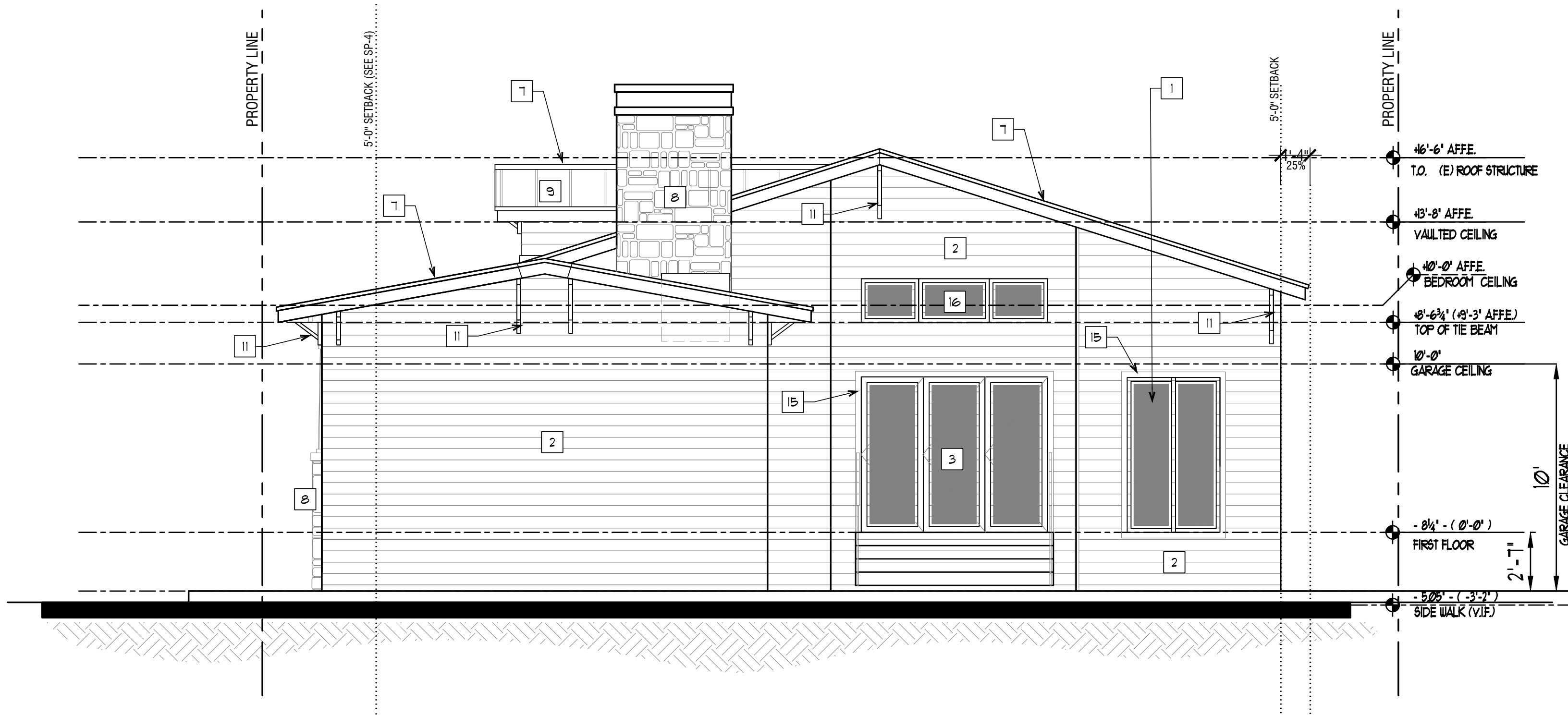


DEMOLITION KEYNOTES

- EXIST. WINDOW TO BE REMOVED, PREPARE OPENING TO RECEIVE NEW WINDOW. SEE WINDOW SCHEDULE. STORE/DISPOSE AS PER OWNER DIRECTIONS. TYP.
- EXIST. DOOR AND FRAME TO BE REMOVED. STORE/DISPOSE/RELOCATE AS PER OWNER DIRECTIONS. TYP.
- REMOVE AND DISPOSE OF EXISTING COLUMN. GC SHALL SEE STRUCTURAL DGWS BEFORE COMMENCING ANY DEMO WORK. TYP.
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- EXISTING CHIMNEY TO REMAIN
- REMOVE AND DISPOSE OF EXISTING STAIRS
- EXISTING ROOF TO BE REPLACED FOR NEW
- EXISTING OPENING TO BE BLOCKED UP (SEE STRUCTURAL)

1 DEMOLITION SIDE ELEVATION (WEST)

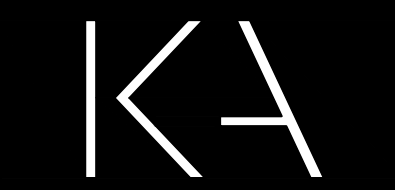
1/4" = 1'-0"



- NEW IMPACT RESISTANT WINDOW CG TO PROVIDE NOA. SEE WINDOW SCHEDULE.
- NEW 6" WIDE COMPOSITE WOOD HORIZONTAL SIDING ON EXTERIOR WALLS. COLOR WHITE. SEE CATALOG ATTACHED.
- NEW IMPACT RESISTANT WEATHER SEALED DOOR. FRAME AND HARDWARE TO BE SELECTED BY OWNER / D.O.R. (SEE DOOR SCHEDULE)
- BLOCKED UP EXISTING OPENING. SEE STRUCTURAL DGWS.
- NEW FASCIA, SEE SECTIONS
- NEW WINDOW SHALL BE OPERABLE FOR EGRESS
- EXISTING ROOF LINE TO BE MAINTAINED BY NEW PROPOSED ROOF STRUCTURE (SEE SECTIONS)
- NEW NATURAL STONE TO BE SELECTED BY OWNER / D.O.R.
- NEW METAL ROOF
- IMPACT RESISTANT PAINTED GLASS AND WOOD 'CRAFTSMAN' STYLE DOOR
- PAINTED DECORATIVE WOOD BRACKETS (TYP)
- PAINTED DECORATIVE WOOD COLUMNS
- STONE CAP
- IMPACT RESISTANT POWDER COATED STEEL GARAGE DOOR COLOR TO BE SELECTED BY OWNER / D.O.R.
- COMPOSITE WOOD TRIM AT OPENINGS.
- IMPACT RESISTANT TINTED FIXED TRANSOME
- EXISTING CMU WALL TO REMAIN

2 PROPOSED SIDE ELEVATION (WEST)

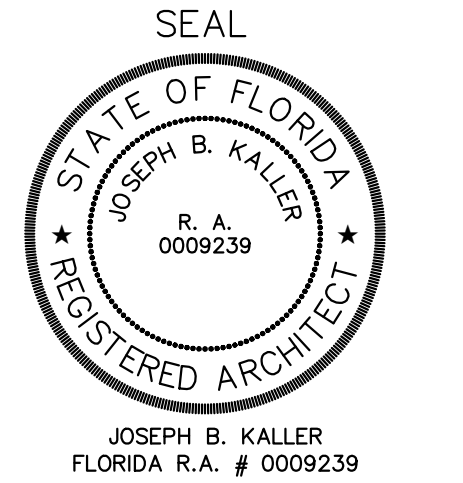
1/4" = 1'-0"



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PROJECT TITLE
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SHEET TITLE
**EXTERIOR ELEVATIONS
WEST**

REVISIONS
No. DATE DESCRIPTION

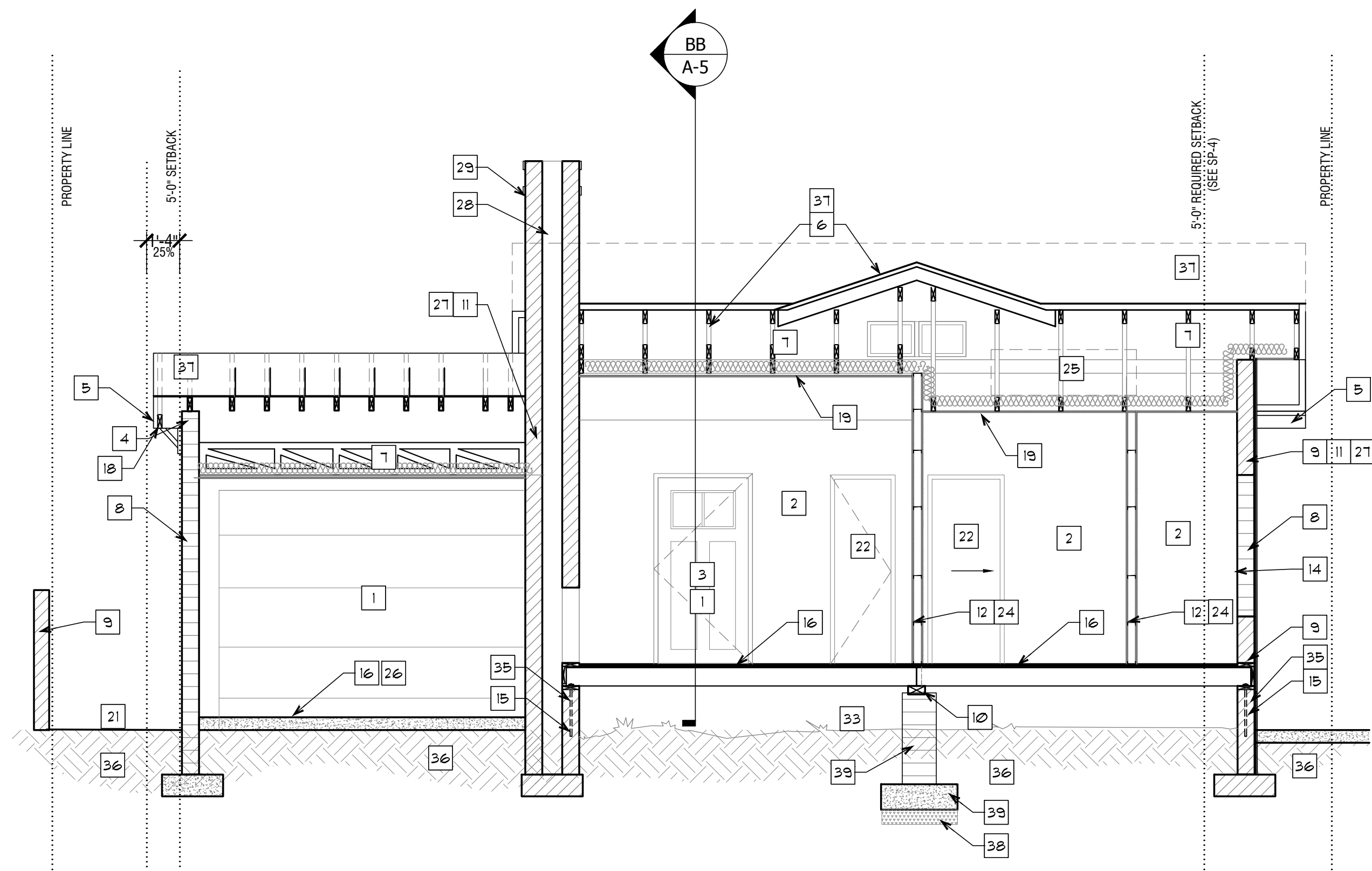
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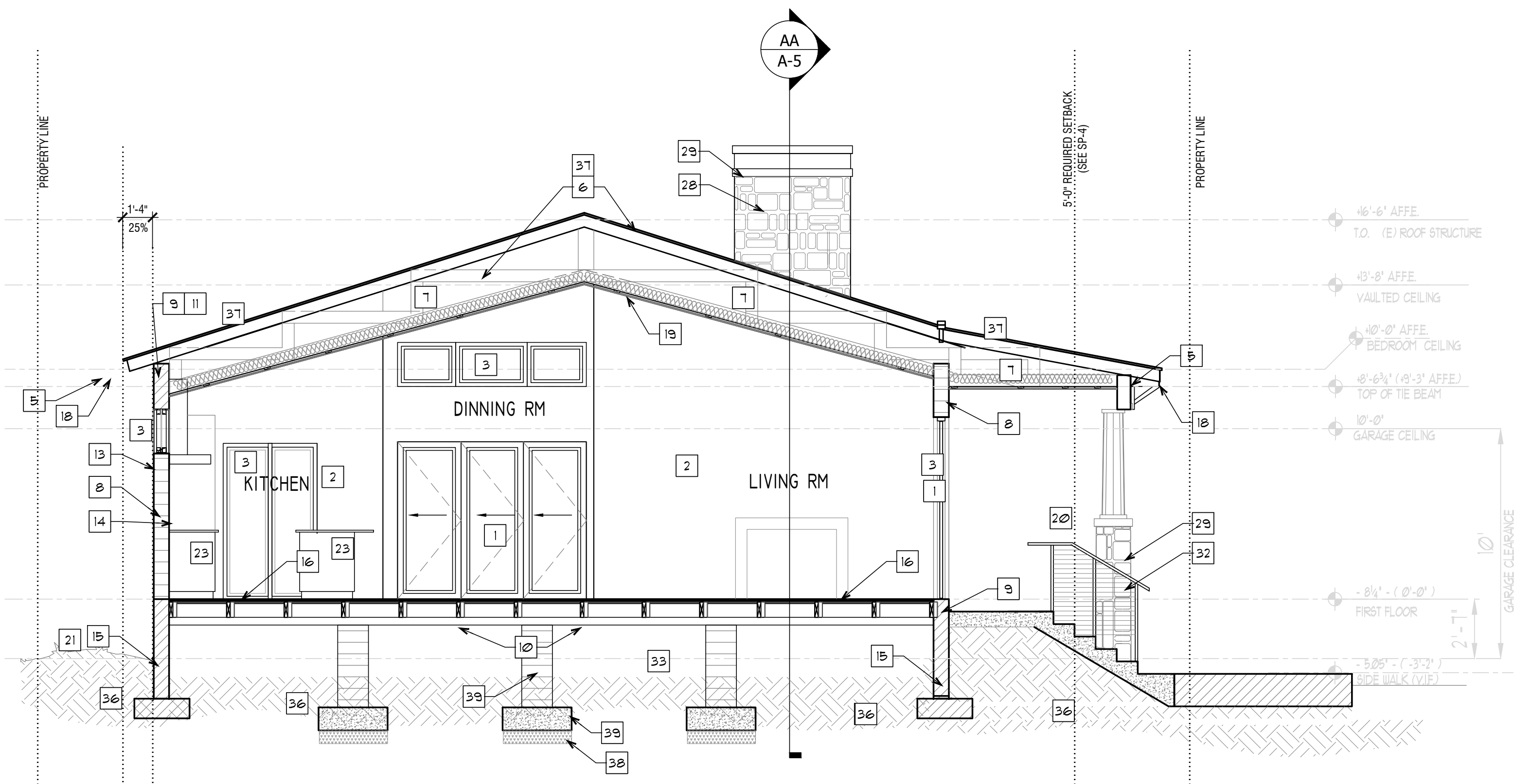
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SHEET

A-4



1 SECTION AA
1/4" = 1'-0"



2 SECTION BB
1/4" = 1'-0"

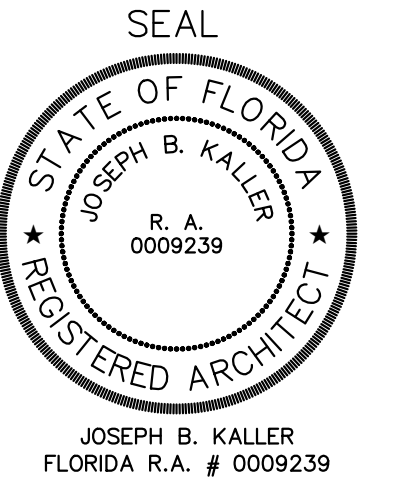
- 1 NEW IMPACT RESISTANT WEATHER SEALED DOOR, FRAME AND HARDWARE TO MATCH NEW DOORS. SEE DOOR SCHEDULE.
- 2 NEW PAINT FINISH ON WALLS. PAINT COLOR TO BE SELECTED BY OWNER/D.O.R.
- 3 NEW IMPACT RESISTANT WINDOW CG TO PROVIDE NOA. SEE WINDOW SCHEDULE.
- 4 NEW CMU PARAPET, SEE STRUCTURAL DGWS.
- 5 NEW FASCIA
- 6 EXISTING ROOF TRUSSES TO BE REPLACED FOR NEW TO MATCH EXISTING ROOF LINES OF EXISTING ROOF DESIGN.
- 7 PRE-ENG'd ROOF WOOD TRUSSES @ 24"OC. GC TO PROVIDE SHOP DWGS PRIOR TO FABRICATION FOR STRUCTURAL ENG'S APPROVAL (TYP). SEE STRUCTURAL NOTES AND DRAWINGS FOR PRE ENGINEERED TRUSS REQUIREMENTS.
- 8 NEW WALL TO MATCH EXISTING STRUCTURE SYSTEM
- 9 EXISTING HAND FRAMED WALL (G.C. TO V.I.F.)
- 10 REPAIR EXISTING 4"x8' WOOD BEAM AS NEEDED.
- 11 EXISTING CONCRETE TIE BEAM (GC TO V.I.F.)
- 12 5/8" GUB ON METAL FURRING @ 16" OC. SEE PARTITION TYPES
- 13 WINDOW RE-ENFORCEMENT (SEE STRUCTURAL)
- 14 MIN. R-5 INSULATION
- 15 EXISTING CMU WALL W/ INVERTED 'T' SHAPE FOUNDATION. GC TO V.I.F.
- 16 PLYWOOD SLAB FLOOR W/ FINISH FLOOR TO BE SELECTED BY OWNER/D.O.R.
- 17 EXISTING A/C CONDENSER RELOCATED, SEE MECHANICAL DWGS
- 18 CONTINUOUS DRIP EDGE TROUGH ALL NEW FASCIAS (TYP)
- 19 NEW GYP CEILING
- 20 36" HIGH STAIR RAILS SHOP DRAWINGS TO BE APPROVED BY ARCHITECT
- 21 NEW PAVERS OVER WELL COMPACTED GRADE OR FILL (SEE LANDSCAPE DWGS)
- 22 NEW INTERIOR DOOR SEE DOOR SCHEDULE
- 23 MILLWORK BY OTHERS
- 24 NEW GYP WALL, SEE FLOOR PLAN
- 25 TRUSS SHOP DWGS TO REFLECT SPACE FOR A/C HANDLER SEE RCP AND MECHANICAL SHEET
- 26 MONOLITHIC POUR WITH 2 #5 @ 16" O.C. HORIZONTAL AND 2 #5 @ 32" O.C. VERTICAL.
- 27 NOT USED
- 28 EXISTING CHIMNEY TO REMAIN
- 29 NEW STONE FINISH TO BE SELECTED BY OWNER / D.O.R.
- 30 NEW FLOOR TRUSSES (SEE STRUCTURAL)
- 31 NEW WINDOW SHALL BE OPERABLE FOR EGRESS
- 32 36" (H) MIN. WOOD RAILING
- 33 CRAWL SPACE
- 34 SILL PLATE
- 35 ANCHOR BOLT
- 36 GRADE
- 37 NEW METAL ROOF
- 38 WELL COMPACTED FILL
- 39 CONCRETE PAD (SEE STRUCTURAL)
- 40 CMU BLOCK W RE-ENFORCED DOUELS (SEE STRUCTURAL)

KA

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PROJECT TITLE

SHEET TITLE

SECTIONS

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No. DATE DESCRIPTION

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A-5

WOOD COLUMNS / STONE ACCENTS

METAL ROOF



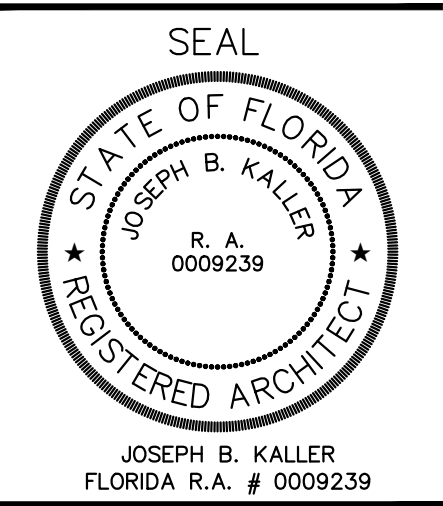
OUTDOOR WATER FEATURE AT POOL



INTERIOR FEEL



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MIAMI BEACH, FL 33139

SHEET TITLE
MATERIALS AND INSPIRATION
1

REVISIONS		
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