



709|719|729
WASHINGTON AVE
MIAMI BEACH, FL 33139

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SCOPE OF WORK :

- Demolition of 2 non-contributing retail buildings
- Restoration of contributing building
- New retail buildings to replace demolished structures

REVISIONS

No.	DESCRIPTION	DATE

SUBMITTAL: HISTORIC PRESERVATION BOARD

1st SUBMITTAL: MARCH 18, 2016

2nd SUBMITTAL: -

Final SUBMITTAL: JUNE 27, 2016

COVER PAGE

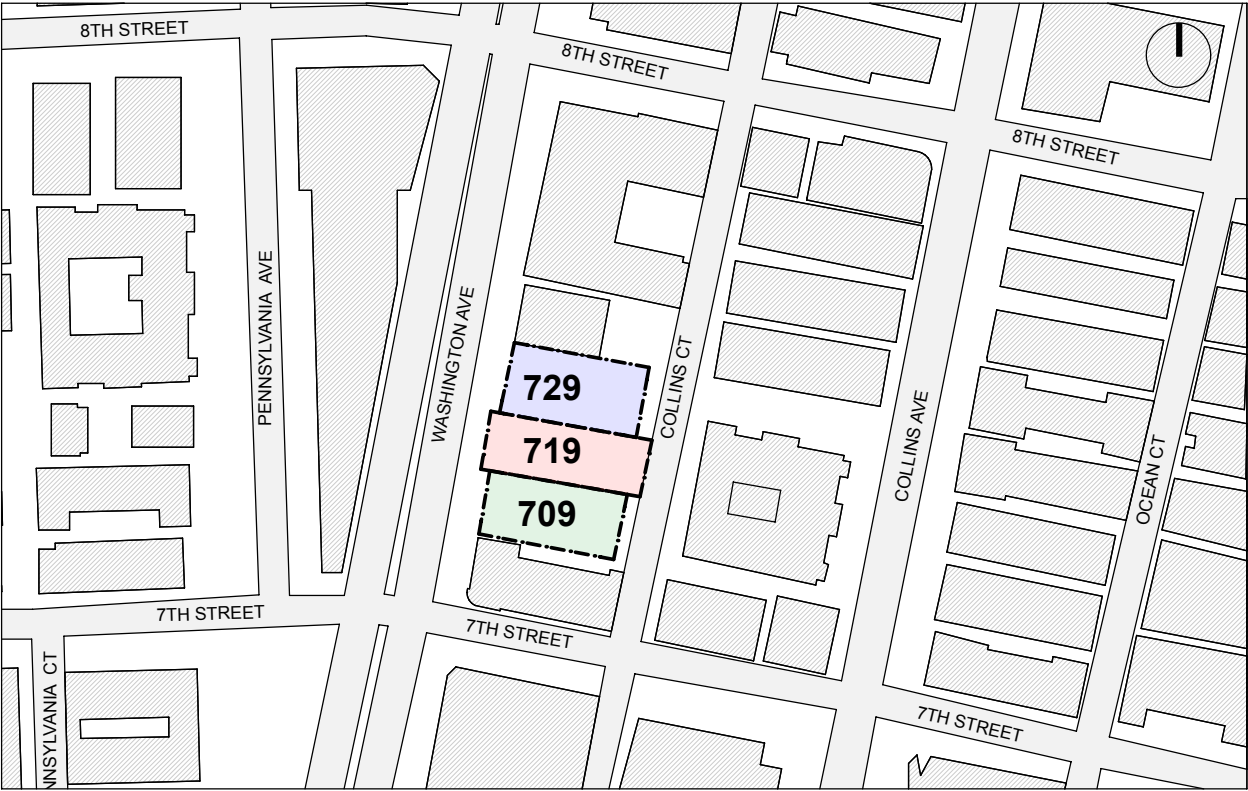
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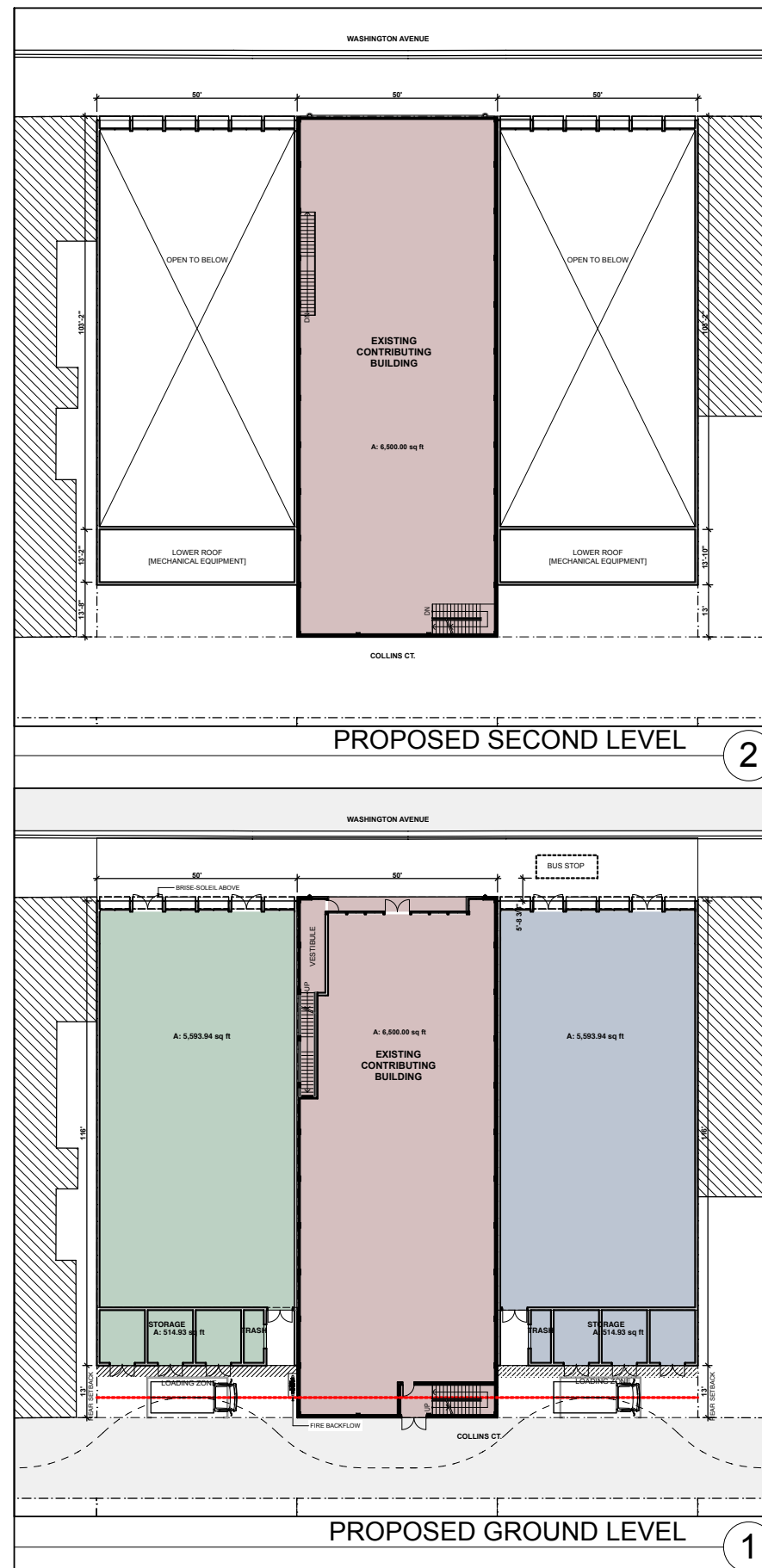
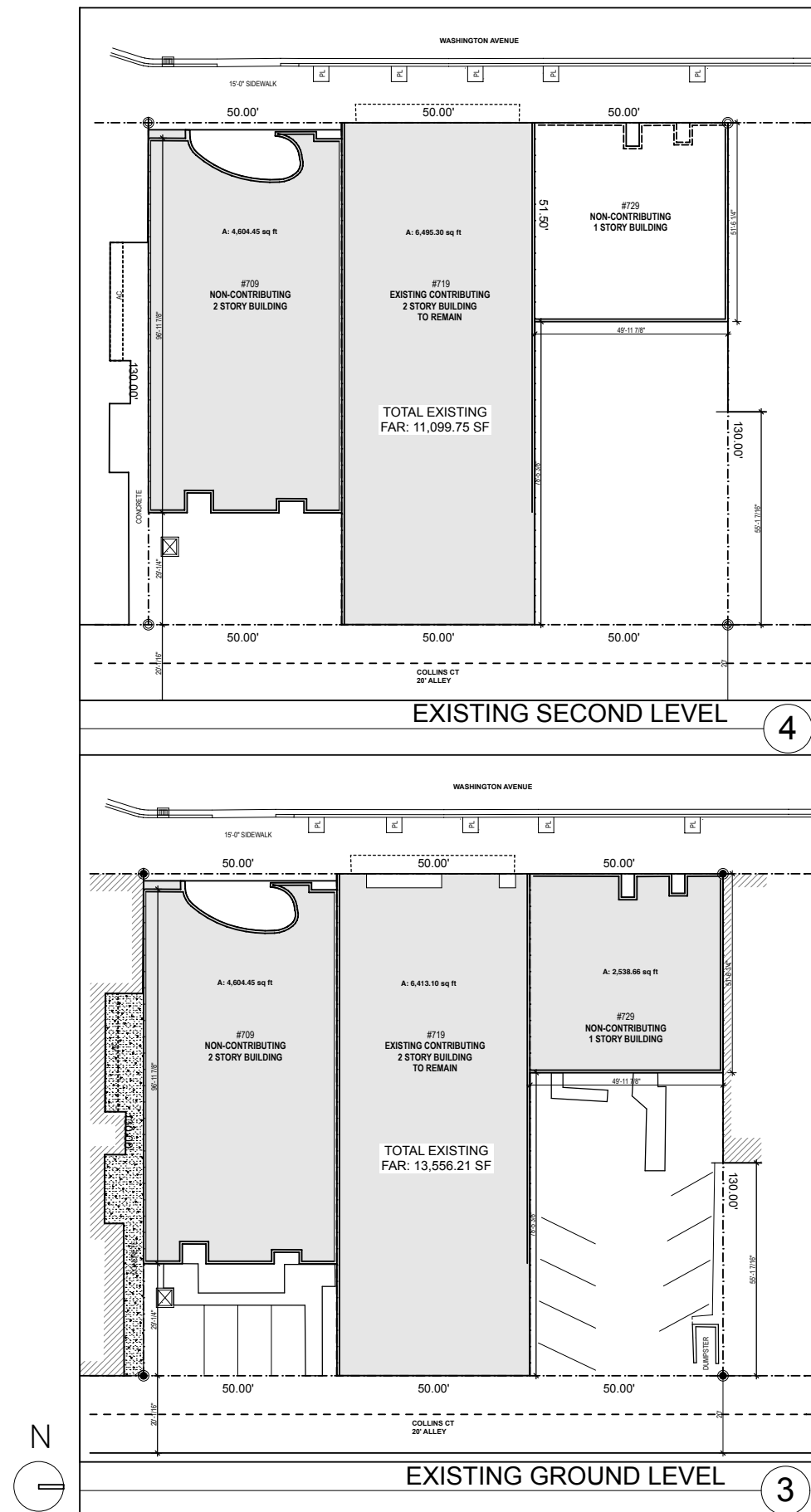
ZONING DATA 709 WASHINGTON AVE.		
FOLIO: 02-3233-08 6-001 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 10 BLK 33 LOT SIZE 50.000 X 130 OR 18122-0643/18170-3798 0598 1		
LOCATION 709 WASHINGTON AVE		
SITE DATA ZONING DISTRICT		CRITERIA CD-2 COMMERCIAL
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR: TOTAL LOT AREA: DEVELOPABLE AREA:	1.5 6,500 SF (50 X 130) 9,750 SF	0.52 6,500 SF (50 X 130) 5,040 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 1 STORY
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	13'-0"

ZONING DATA 719 WASHINGTON AVE. - CONTRIBUTING BUILDING		
FOLIO: 02-4203-004-0660 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 11 BLK 33 LOT SIZE 50.000 X 130 OR 15285-2521 1290 4 COC 23060-2978 01 2005 6		
LOCATION 719 WASHINGTON AVE		
SITE DATA ZONING DISTRICT		CRITERIA CD-2 COMMERCIAL
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR: TOTAL LOT AREA: DEVELOPABLE AREA:	1.5 6,500 SF (50 X 130) 9,750 SF	2.0 6,500 SF (50 X 130) 13,000 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 2 STORIES
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	0'-0"

ZONING DATA 729 WASHINGTON AVE.		
FOLIO: 02-4203-004-0670 3 54 42 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 12 BLK 33 LOT SIZE 50.000 X 130 OR 17736-4583 0697 4		
LOCATION 729 WASHINGTON AVE		
SITE DATA ZONING DISTRICT		CRITERIA CD-2 COMMERCIAL
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR: TOTAL LOT AREA: DEVELOPABLE AREA:	1.5 6,500 SF (50 X 130) 9,750 SF	0.52 6,500 SF (50 X 130) 5,040 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 1 STORY
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	13'-0"



KEY PLAN 1
NOT TO SCALE







FAR CALCS 709 WASH AVE	
FLOOR	AREA (SF)
LEVEL 01	5,593.94
	5,593.94 sq ft

FAR CALCS 719 WASH AVE	
FLOOR	AREA (SF)
LEVEL 01	6,500.00
LEVEL 02	6,500.00
13,000.00 sq ft	

FAR CALCS 729 WASH AVE	
FLOOR	AREA (SF)
LEVEL 01	5,593.94
	5,593.94 sq ft

KEY LEGEND

PLAN SYMBOLS

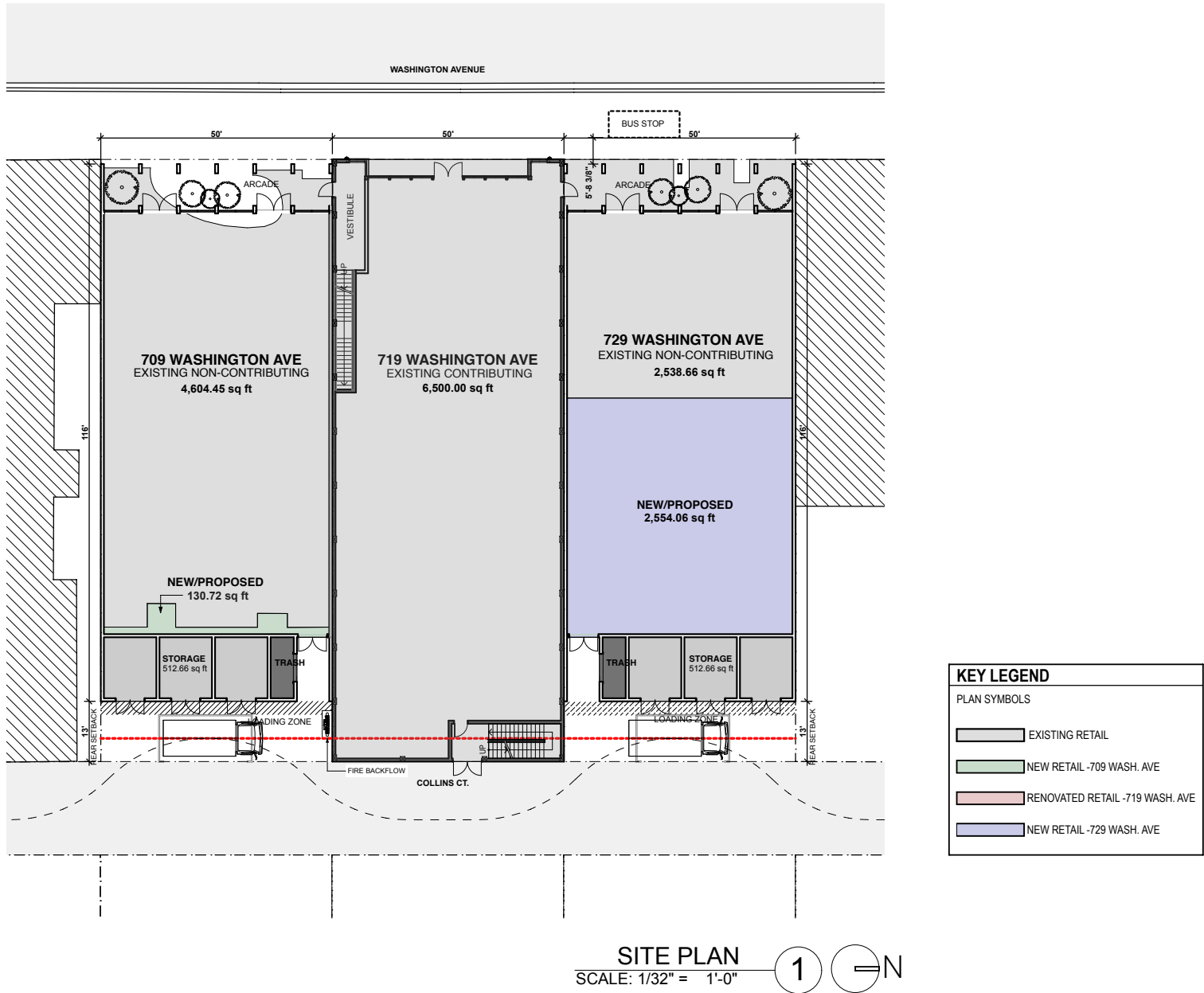
-  EXISTING RETAIL
-  NEW RETAIL - 709 WASH. AVE
-  RENOVATED RETAIL - 719 WASH. AVE
-  NEW RETAIL - 729 WASH. AVE

PARKING DATA - 709 WASHINGTON AVE			
PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
NEW RETAIL	130.72 SF	1 (1 PER 300 SF)	0
RETAIL LOADING	>2,000 & < 10,000	1	1
TOTAL		2	1 (LOADING)

PARKING DATA - 719 WASHINGTON AVE			
PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
RETAIL	13,000 SF (HISTORIC AREA)*	0	0
RETAIL LOADING	>2,000 & < 10,000	0	0
TOTAL		0	0

* CONTRIBUTION NOT REQUIRED

PARKING DATA - 729 WASHINGTON AVE			
PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
NEW RETAIL	2,554.06 SF	9 (1 PER 300 SF)	0
RETAIL LOADING	>2,000 & < 10,000	1	1
TOTAL		10	1 (LOADING)



SITE PLAN
SCALE: 1/32" = 1'-0"



1.



2.





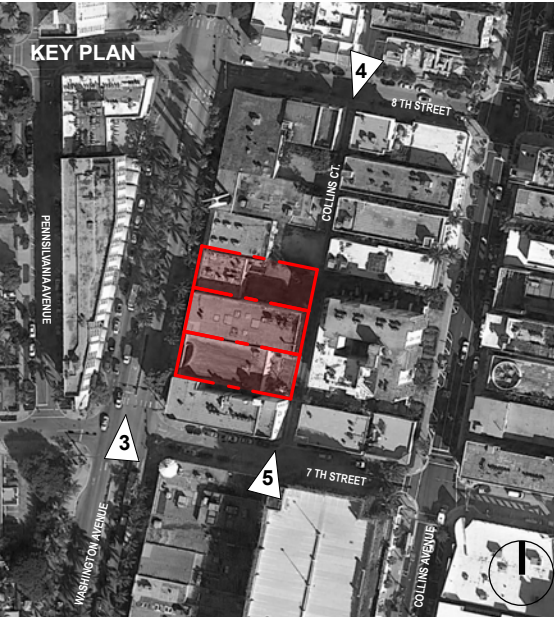
3.



4.



5.





NON-CONTRIBUTING BUILDING: 729 WASHINTON AVE



NON-CONTRIBUTING BUILDING: 709 WASHINTON AVE



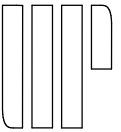
REAR ELEVATION AT COLLINS COURT: 709 WASHINGTON AVE



REAR ELEVATION AT COLLINS COURT: 719 WASHINGTON AVE

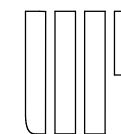


REAR ELEVATION AT COLLINS COURT: 729 WASHINGTON AVE





CONTRIBUTING BUILDING: 719 WASHINGTON AVE





LOBBY
GROUND FLOOR



HALLWAY TO STAIRS
GROUND FLOOR



SECOND FLOOR



SECOND FLOOR

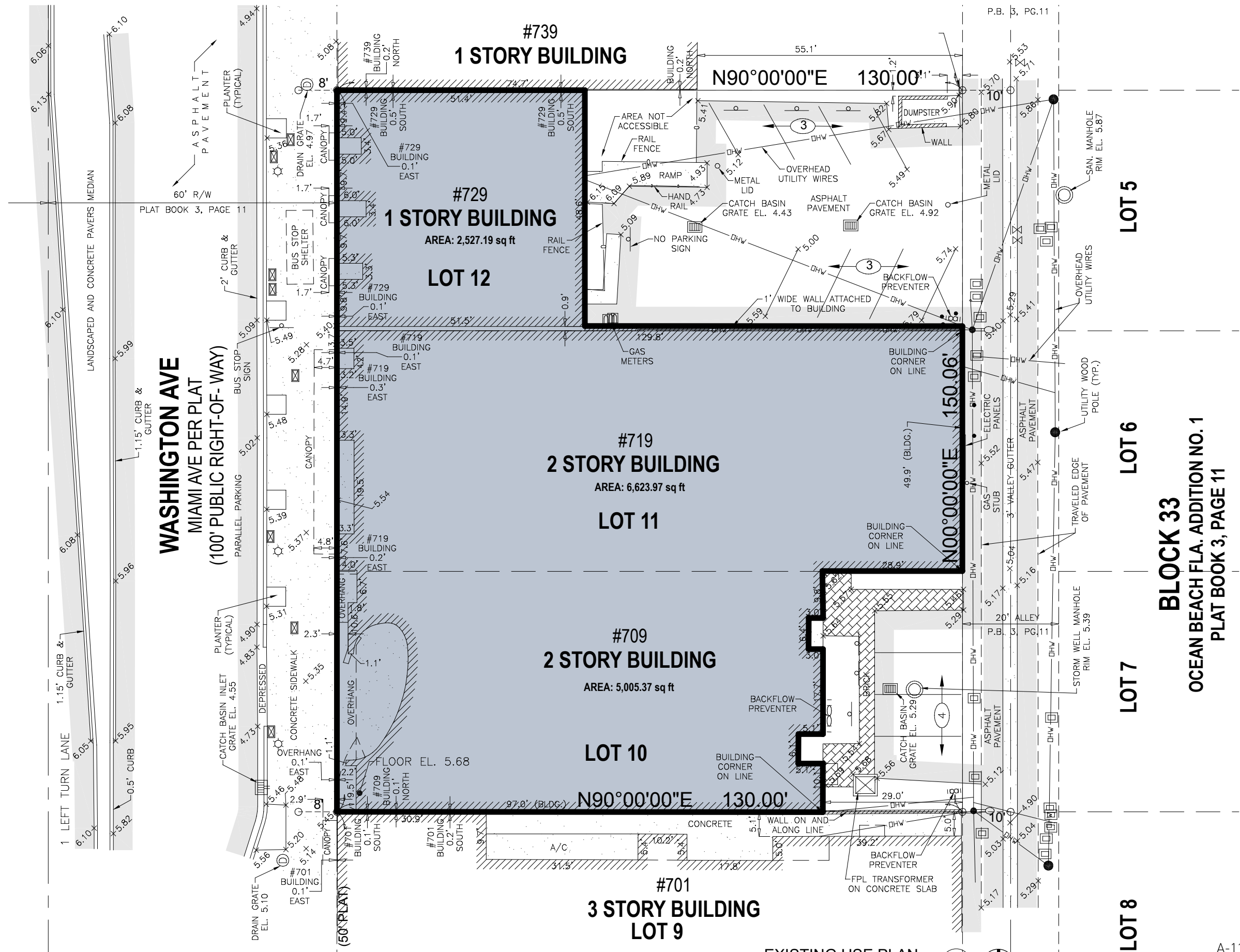


SECOND FLOOR



SECOND FLOOR

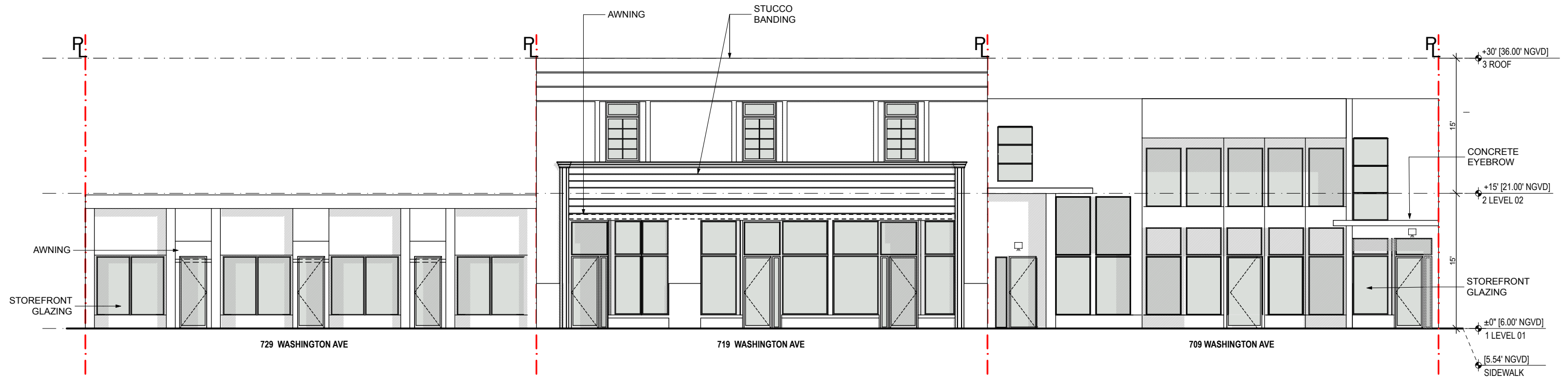
INTERIOR PHOTOS: CONTRIBUTING BUILDING: 719 WASHINGTON AVE



FOR REFERENCE ONLY

EXISTING USE PLAN
SCALE: 1" = 20'

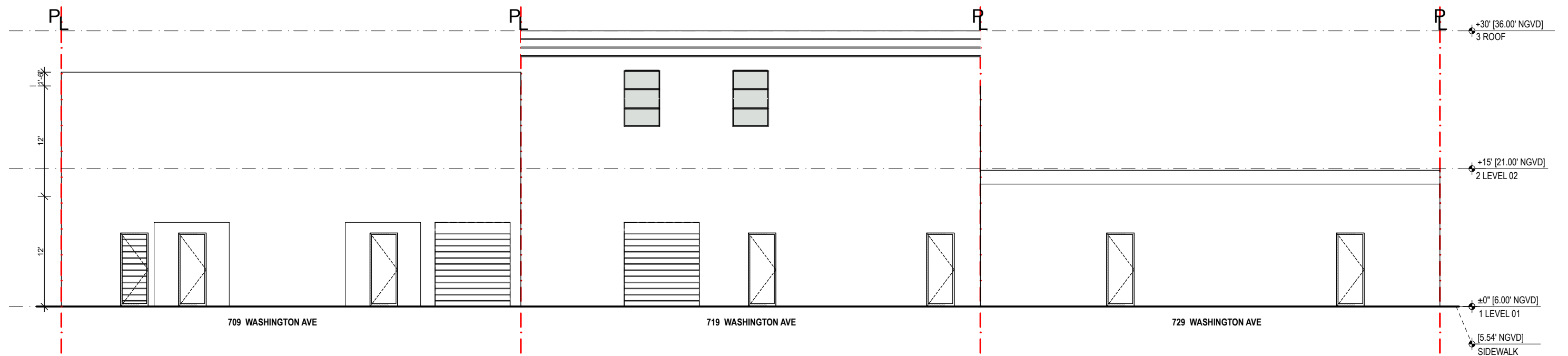
EXISTING USE PLAN



NOTE:
ALL GLAZING TO BE DEMOLISHED AND REPLACED WITH NEW GLAZING.

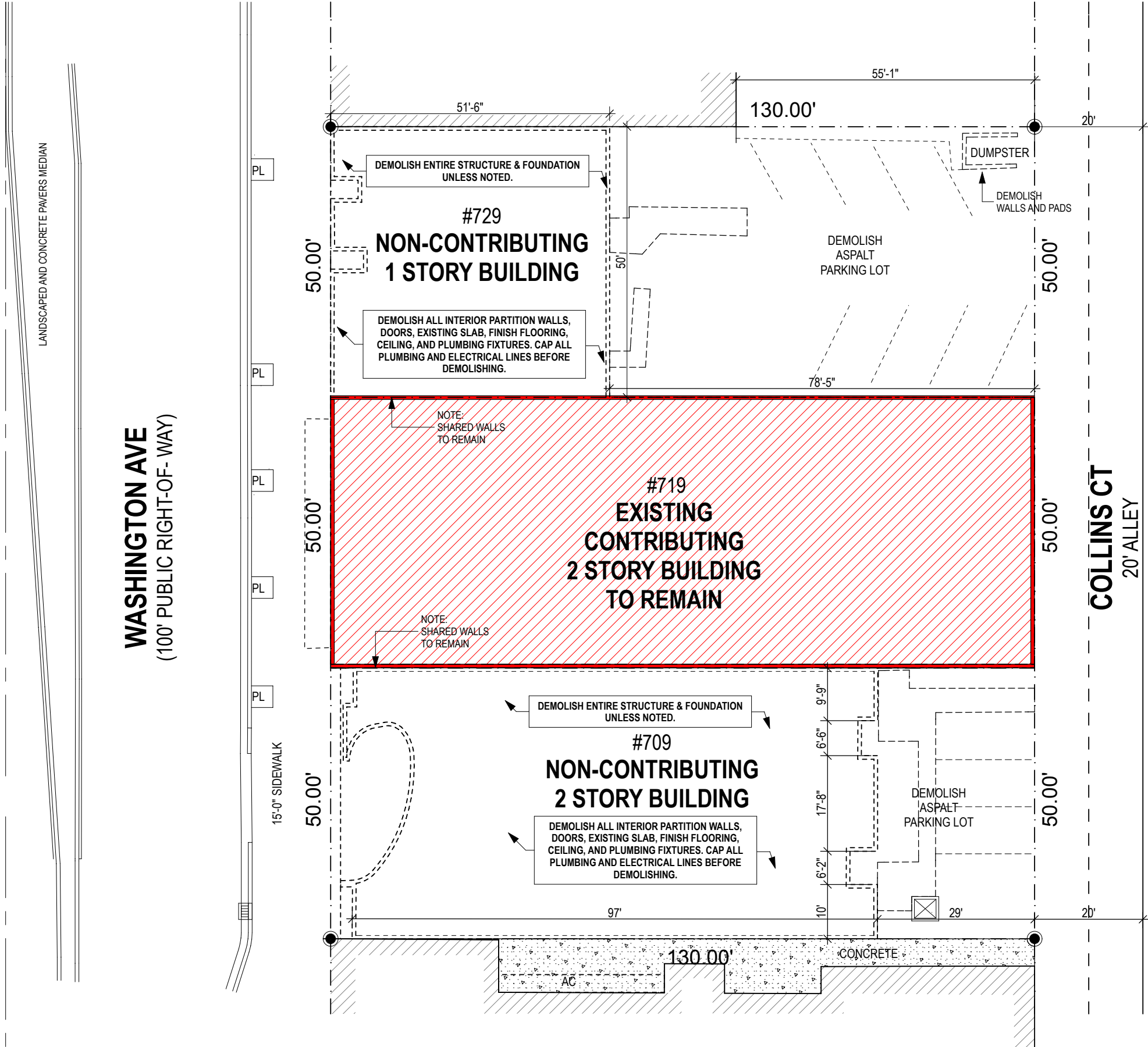
EXISTING FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1



EXISTING FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1



DEMOLITION KEY LEGEND	
PLAN SYMBOLS	
WALL TO REMAIN	TO REMAIN (REMOVE/REPLACE STOREFRONT GLASS)
BUILDING TO REMAIN	DEMOLISH
ELEVATION SYMBOLS	
TO REMAIN	
DEMOLISH	

NOTE:

1.) CONTRACTOR TO PROVIDE 10' HIGH CONSTRUCTION FENCE AND SECURE JOB-SITE AT ALL TIMES.

2.) CONTRACTOR SHALL BECOME FAMILIAR W/EXISTING BUILDING AND CONFIRM THAT INTERIOR PARTITIONS BEING REMOVED ARE NON-LOAD BEARING.

DEMOLITION GENERAL NOTES	
1.	THE CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF ALL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS SET. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REVIEW OF ALL PARTS OF THE CONTRACT DOCUMENTS AS A REQUIREMENT OF THIS PROJECT.
2.	THE COMPLETE SCOPE OF WORK FOR THIS PROJECT IS NOT LIMITED TO THE INFORMATION INDICATED IN THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND COORDINATING THE WORK OF OTHERS INCLUDING, BUT NOT LIMITED TO FIRE PROTECTION, STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS IN CONNECTION WITH DEMOLITION OF EXISTING APPLICABLE SYSTEMS.
3.	THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING BUILDING SYSTEMS INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO COMMENCEMENT OF WORK.
4.	THE CONTRACTOR SHALL REMOVE ALL FINISHES PRIOR TO DEMOLITION OF ANY PARTITIONS, CEILINGS, FLOORING ROOFS ETC... AND REQUEST AN INSPECTION FORM THE ARCHITECT, STRUCTURAL ENGINEER, AND ELECTRICAL ENGINEER PRIOR TO FURTHER DEMOLITION.
5.	THE CONTRACTOR SHALL COORDINATE THE TRADES OF OTHERS WITH EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS.
6.	THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCIES THAT ARISE FROM THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
7.	ALL WORK MATERIAL AND INSTALLATION SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAW AND ORDINANCES, INCLUDING THE MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS.
8.	THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INCORRECT CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
9.	THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SAFETY ITEMS REQUIRED TO PROTECT THE SAFETY OF WORKERS INCLUDING FIRE EXTINGUISHERS, EXIT SIGNS AND EMERGENCY EVACUATION DEVICES IN THE CORRECT LOCATION REQUIRED BY CODE AND LOCAL AGENCIES.
10.	ALL EXISTING HAZARDOUS MATERIALS SHALL BE REPORTED TO OWNER/ LANDLORD AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATES CODES. NO NEW OR EXISTING CONSTRUCTION SHALL CONTAIN HAZARDOUS OR PROHIBITED MATERIAL OF ANY KIND.
11.	ALL DIMENSIONS ARE TO BE AS INDICATED ON THE DRAWINGS OR AS CLARIFIED BY THE ARCHITECT. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR PART OF AN EXISTING FIELD CONDITION.
12.	DIMENSIONS ARE TO FACE OF FINISH, FACE OF COLUMN OR CENTERLINE OF WINDOW UNLESS OTHERWISE NOTED. ALL NEW FINISH IS TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION.
13.	ALL CLEAR DIMENSIONS ARE TO BE WITHIN 1/8" (+/-) ALONG FULL HEIGHTS AND WIDTH OF WALLS. THE CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "CLEAR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
14.	THE CONTRACTOR SHALL SCHEDULE ALL WORK IN COMPLIANCE WITH LOCAL ORDINANCES AND REQUIREMENTS.
15.	REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTORS OPERATION DAILY. KEEP PROJECT AREA BROOM CLEAN.
16.	THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AREAS ADJACENT TO DEMOLITION AND NEW CONSTRUCTION FROM NOISE, DEBRIS AND DUST THROUGHOUT THE PERFORMANCE OF THE WORK.
17.	THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL EXISTING FINISHES TO REMAIN, AND REPAIR ANY DAMAGES THAT OCCURS. PATCH AND FINISH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES. EXTEND PATCH TO THE NEAREST NATURAL BREAK POINT, INSIDE CORNER, EXISTING JOINT OR LOCATION APPROVED BY ARCHITECT. REPAIR FIREPROOFING ON FIRE RATED ASSEMBLIES TO MATCH EXISTING REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, AND STRUCTURAL SYSTEMS REQUIRED FOR THE INSTALLATION OF THE WORK.
18.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOB SITE PERSONNEL.
19.	CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INsofar AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING STANDARDS FOR CONSTRUCTION ACTIVITIES.
20.	VERIFY ACCESS TO THE JOB SITE PRIOR TO COMMENCEMENT OF THWE WORK. CONFIRM ACCESS ROUTE FOR DELIVERIES AS WELL AS ALL CONSTRUCTION ACTIVITIES.
21.	TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOB SITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSION OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND MANUFACTURER'S INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.
22.	BUILDING SHALL BE UNOCCUPIED DURING DEMOLITION

DEMOLITION PLAN
SCALE: 1" = 20'

1

1

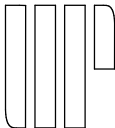
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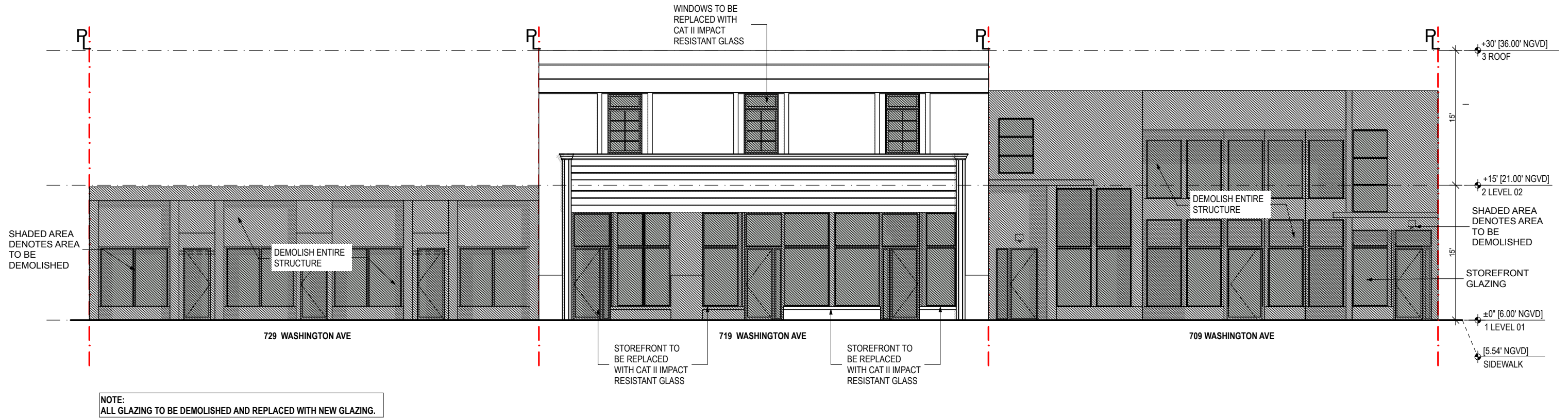
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DEMOLITION PLAN

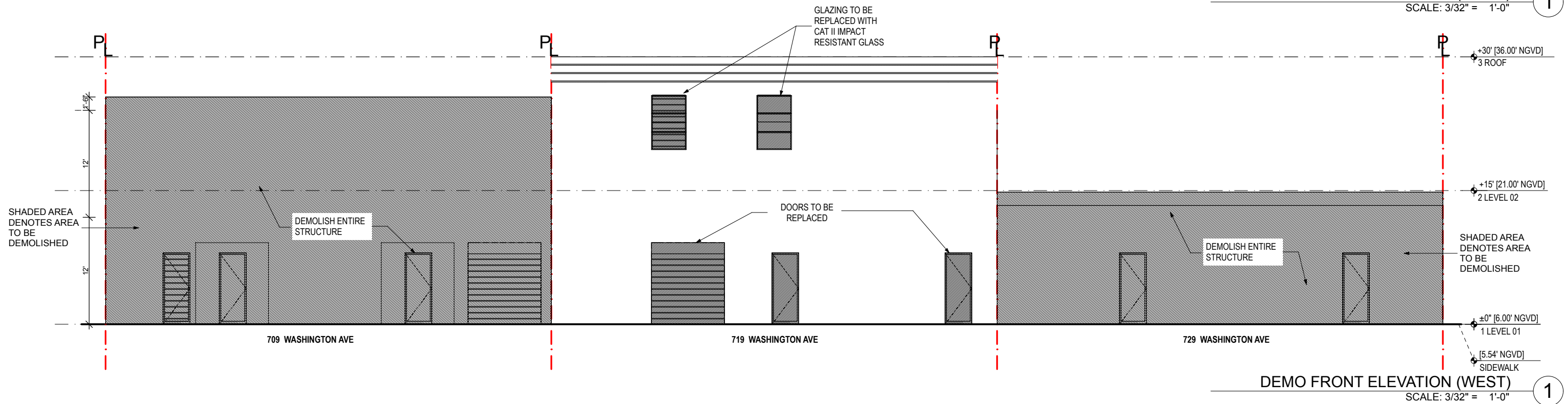
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DEMO FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1



DEMO FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1

A-14

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DEMOLITION ELEVATIONS



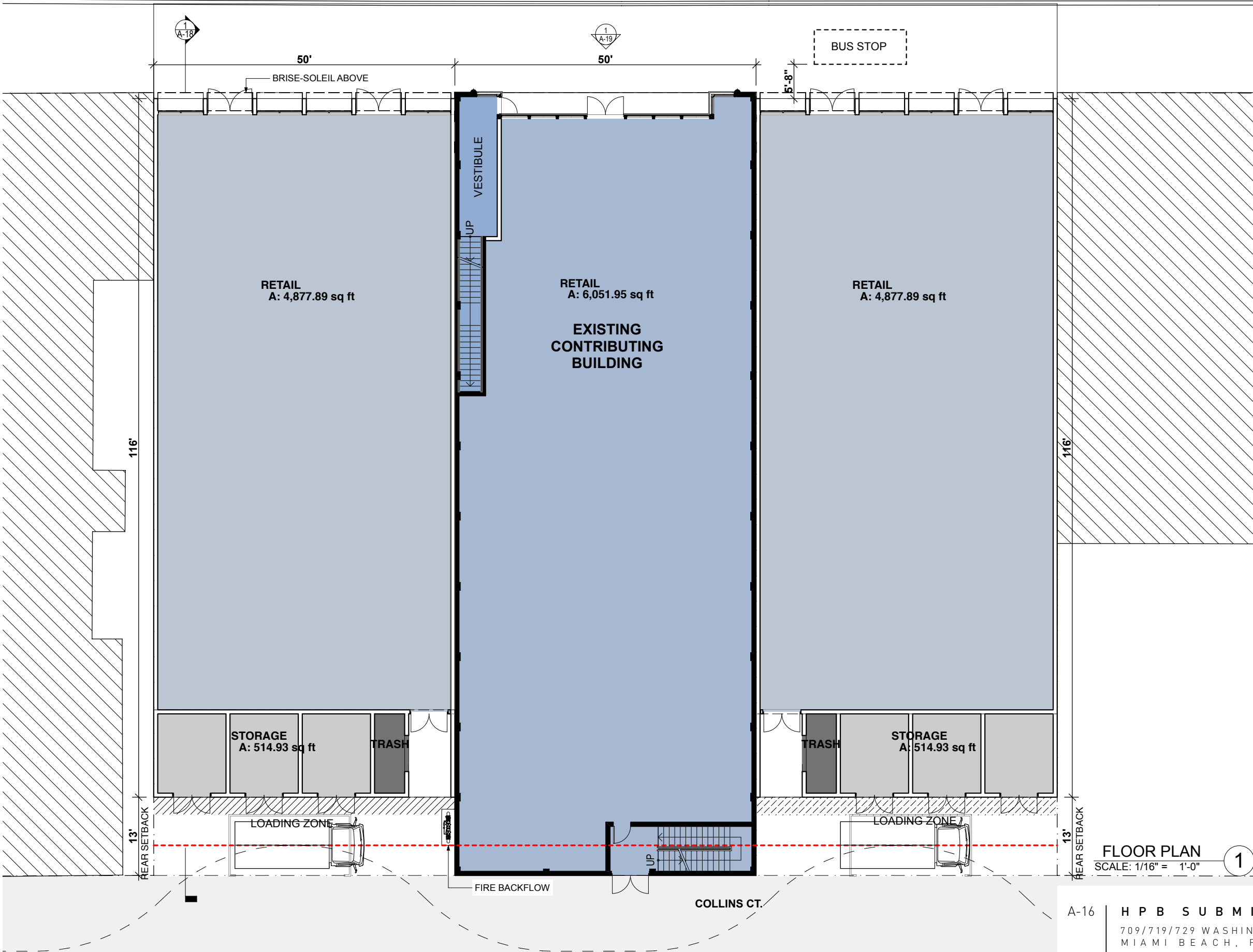
BUILDING INFORMATION
ARCHITECT: E. L. ROBERTSON
YEAR BUILT: 1936
DESIGNATION: 'CONTRIBUTING' - ART DECO

- PRESERVE RECESSED HORIZONTAL & VERTICAL STUCCO BANDING. UNIQUE CHARACTER LINES OF THIS BUILDING
- WINDOWS TO BE REPLACED BUT CONFIGURATION MAINTAINED AS IS BELIEVED ORIGINAL
- REMOVE AWNING
- PRESERVE ORIGINAL & UNIQUE ART MODERNE FLUTED PILASTER & CAPITAL
- PRESERVE STUCCO BASE ON EITHER SIDE OF BUILDING, AS IT ENGAGES SIDEWALK.



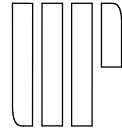
719 WASHINTON AVE

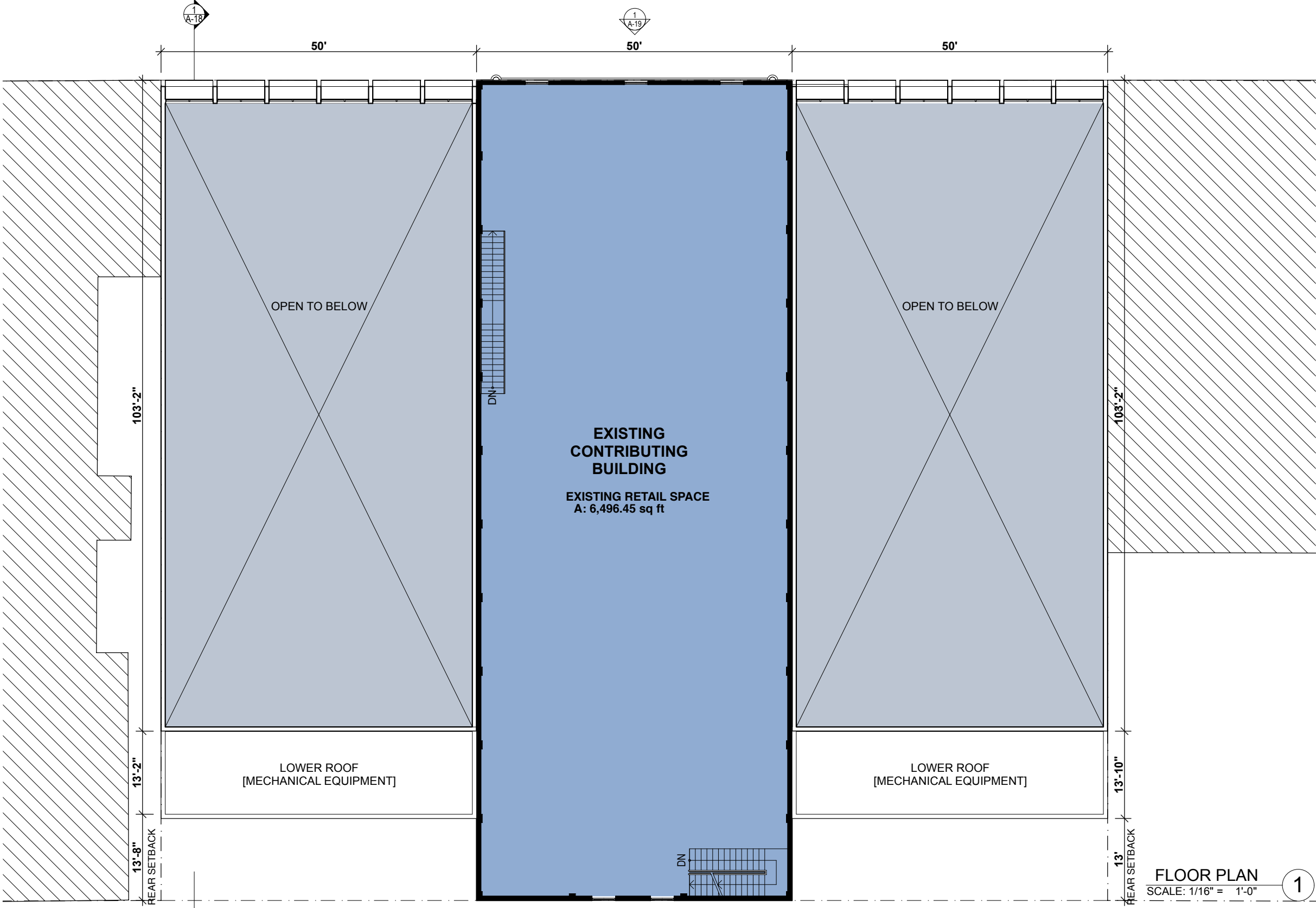
STOREFRONT WAS MODIFIED AS EARLY AS 1938 ACCORDING TO THE BUILDING CARD, AND MODIFIED FURTHER OVER THE YEARS. CURRENT STOREFRONT CONFIGURATION IS NOT CONSISTENT WITH THE SYMMETRICAL NATURE OF THE BUILDING AND IS PROPOSED TO BE RECONFIGURED TO A SYMMETRICAL LAYOUT



FLOOR PLAN 1
SCALE: 1/16" = 1'-0" N

PROPOSED GROUND FLOOR





COLLINS CT.

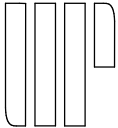
FLOOR PLAN
SCALE: 1/16" = 1'-0"

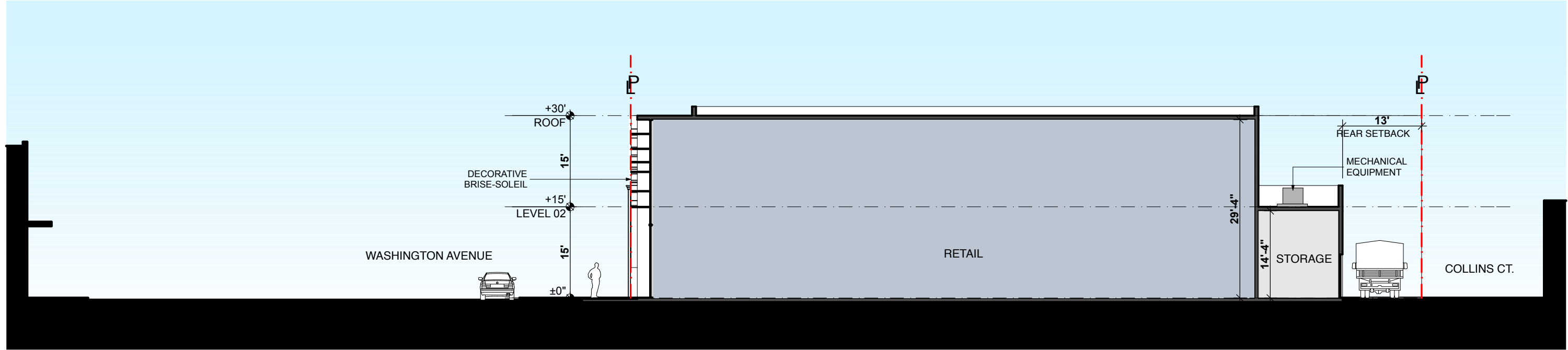
1

A-17

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PROPOSED SECOND FLOOR





SECTION 01
SCALE: 1/16" = 1'-0"

1

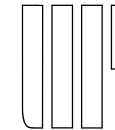
A-18

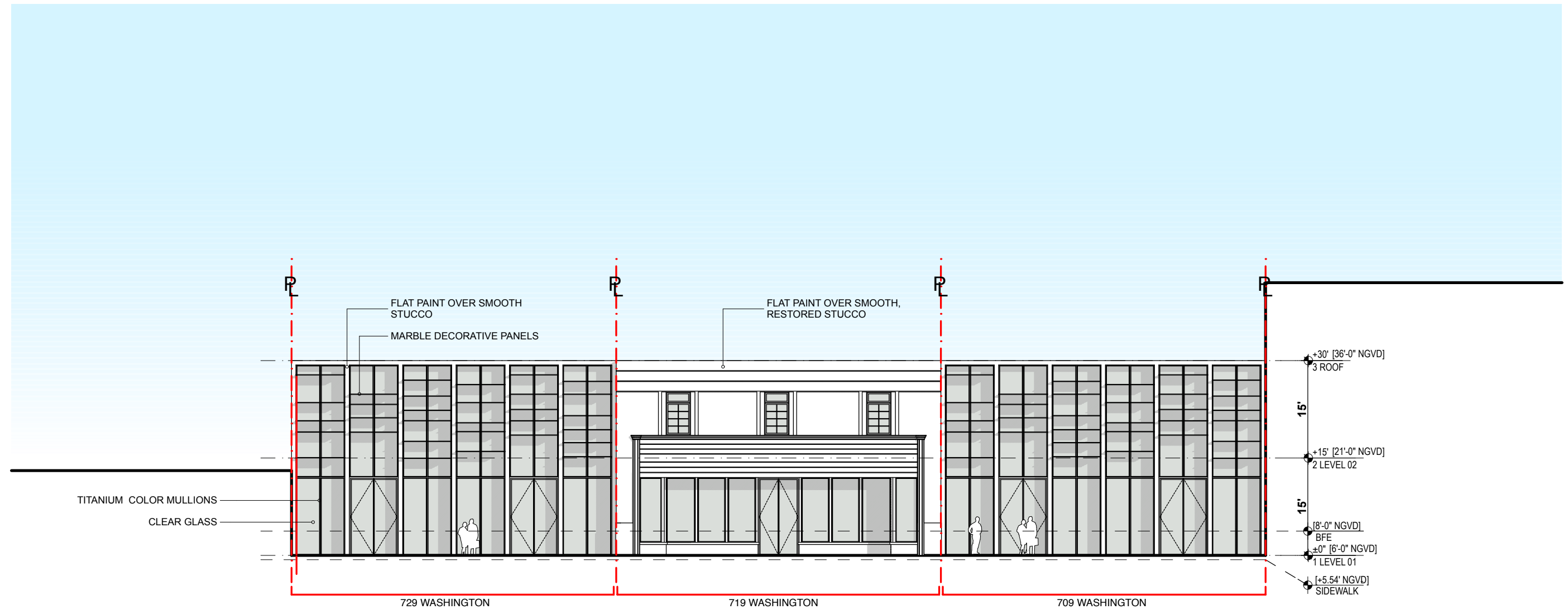
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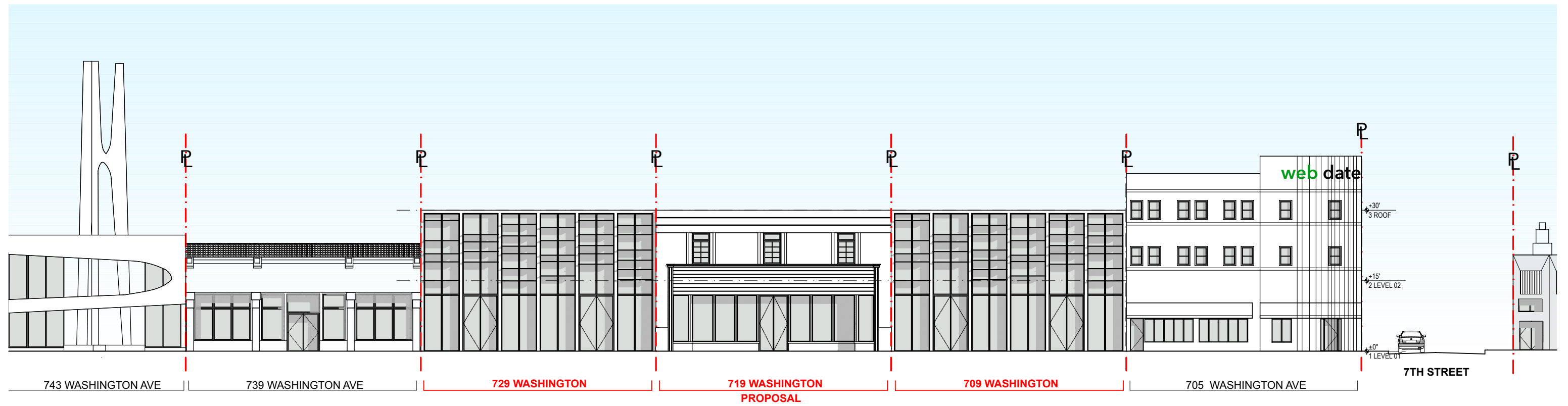
SECTION





FRONT ELEVATION
SCALE: 1/16" = 1'-0" 1

- FACADE PANEL NOTES:**
- FACADE DECORATIVE PANEL PATTERN RHYTHM TO ALTERNATE RANDOMLY AND BE UNIQUE ON EACH BAY.
 - SLABS ARE ANGLED AT MINIMUM 15 DEGREES FOR WATER DRAINAGE AND TO AVOID BIRD NESTING



CONTEXT ELEVATION (WEST)
SCALE: 1" = 20'

1

A-20

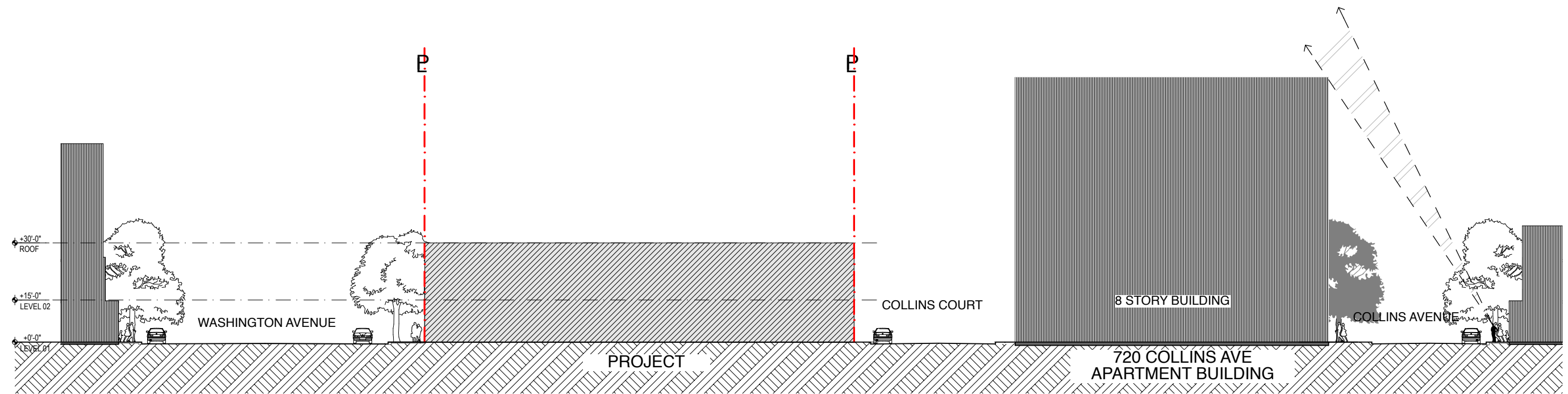
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CONTEXT ELEVATION



SECTION A-A
SCALE: 1/32" = 1'-0"

1



A-21

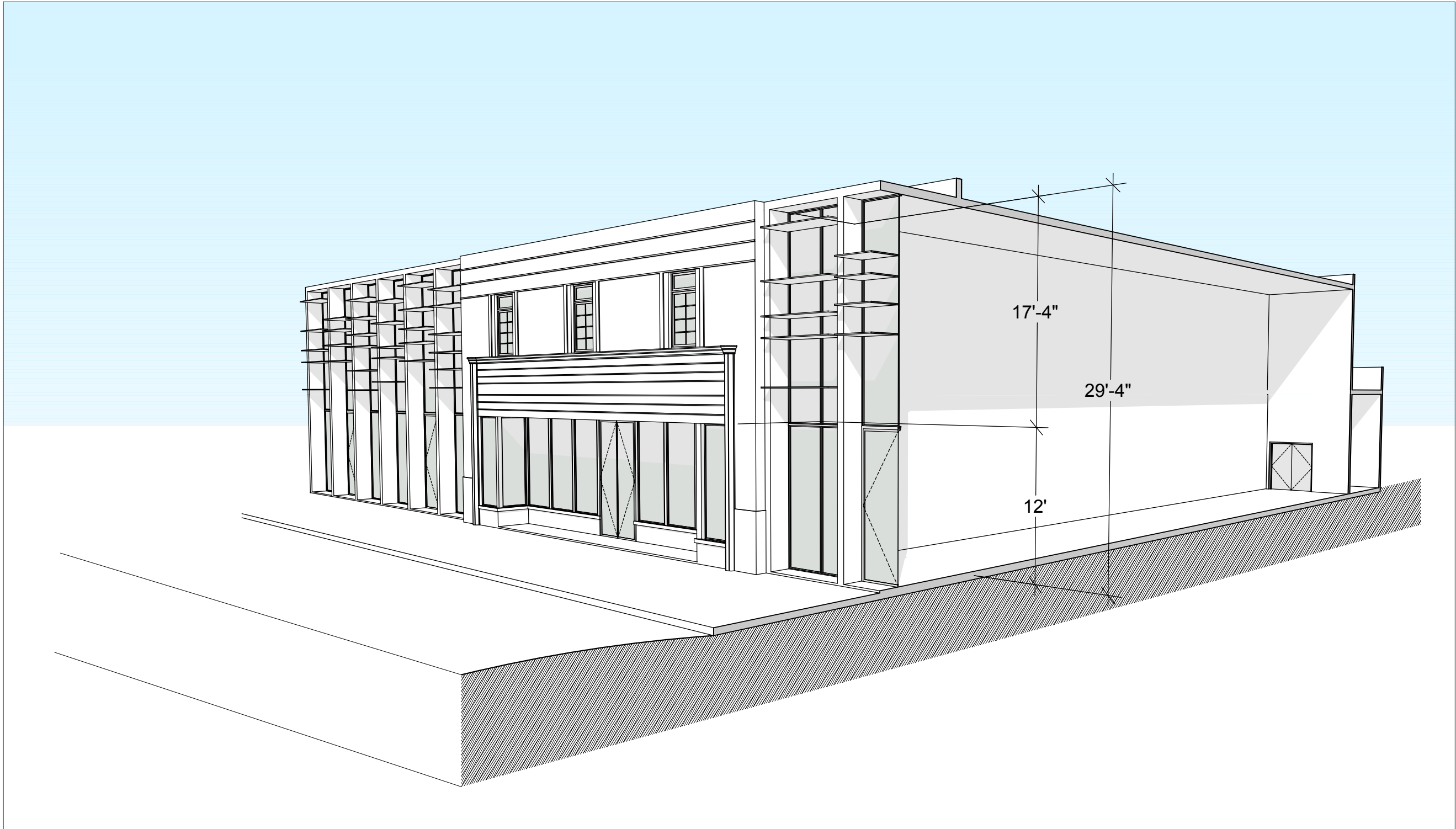
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LINE OF SIGHT



A-22

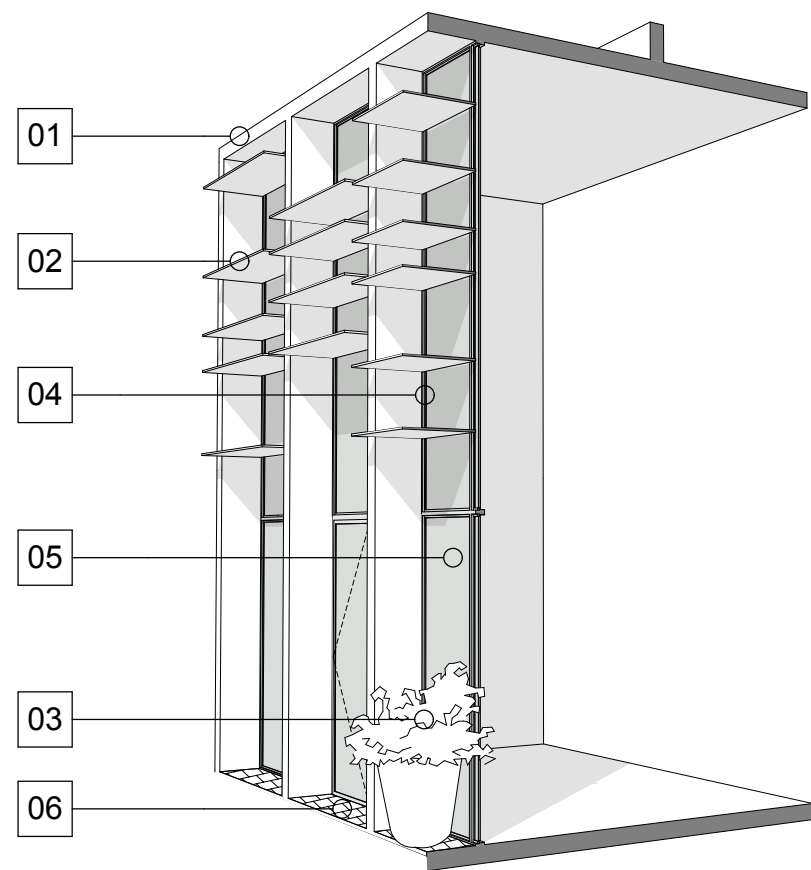
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3D SECTION





MATERIAL PALLETE



01 - PAINTED SMOOTH STUCCO



02 - CALACATTA MARBLE SLAB



03 - POTTED PLANTS



04 - CLEAR GLASS

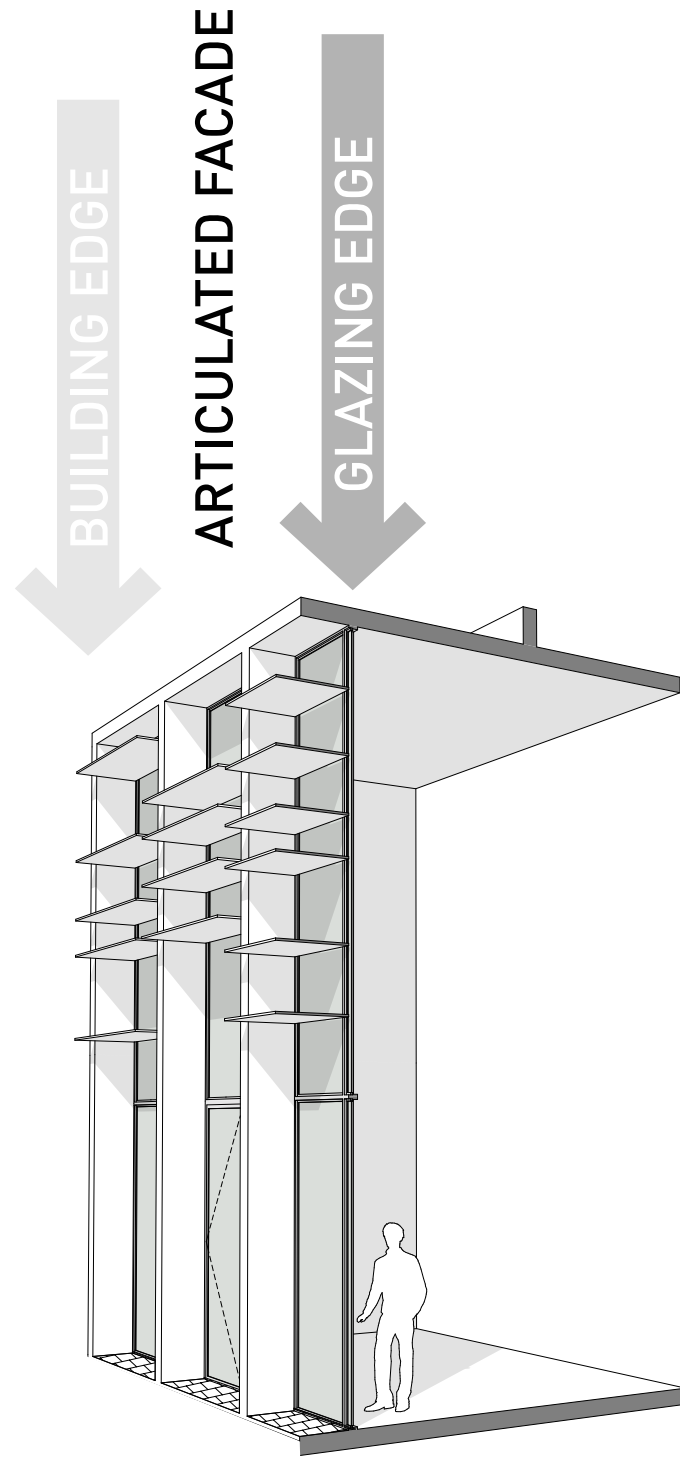


05 - POWDER COATED TITANIUM FINISH MULLIONS



06 - WHITE GRANITE COBBLES





PROPOSED HABITABLE BRISE-SOLEIL STRATEGY



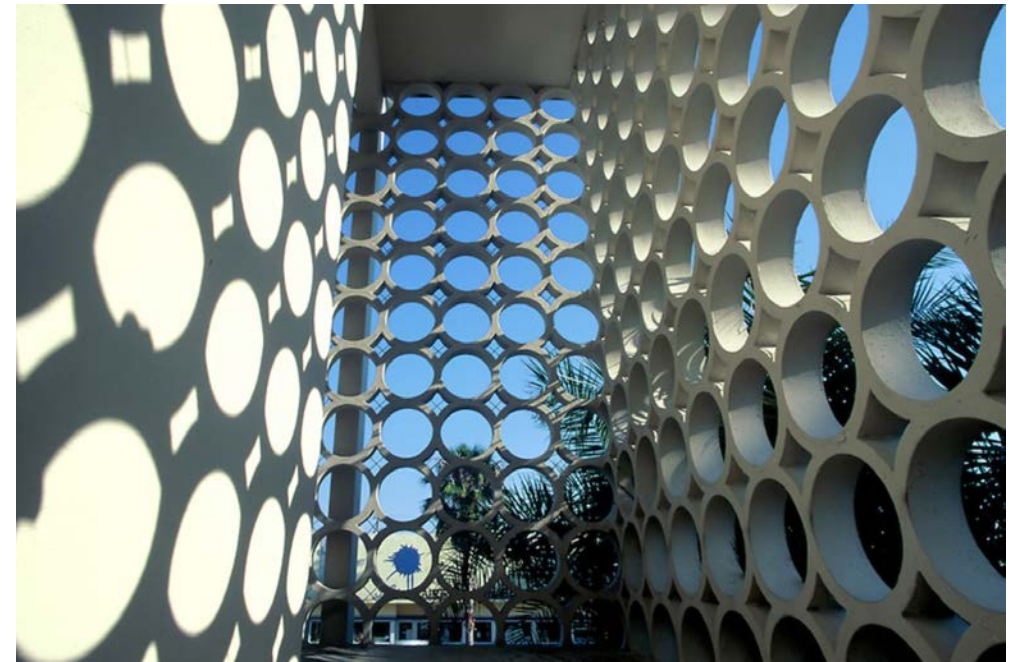
BRISE-SOLEIL PRECEDENT 01
1 LINCOLN ROAD
MORRIS LAPIDUS, 1953



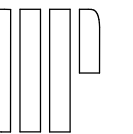
BRISE-SOLEIL PRECEDENT 02
1701 MERIDIAN AVE.



BRISE-SOLEIL PRECEDENT 03
REGIONS BANK, 1133 NORMANDY DR, NORTH BEACH
FRANCIS HOFFMAN, 1958

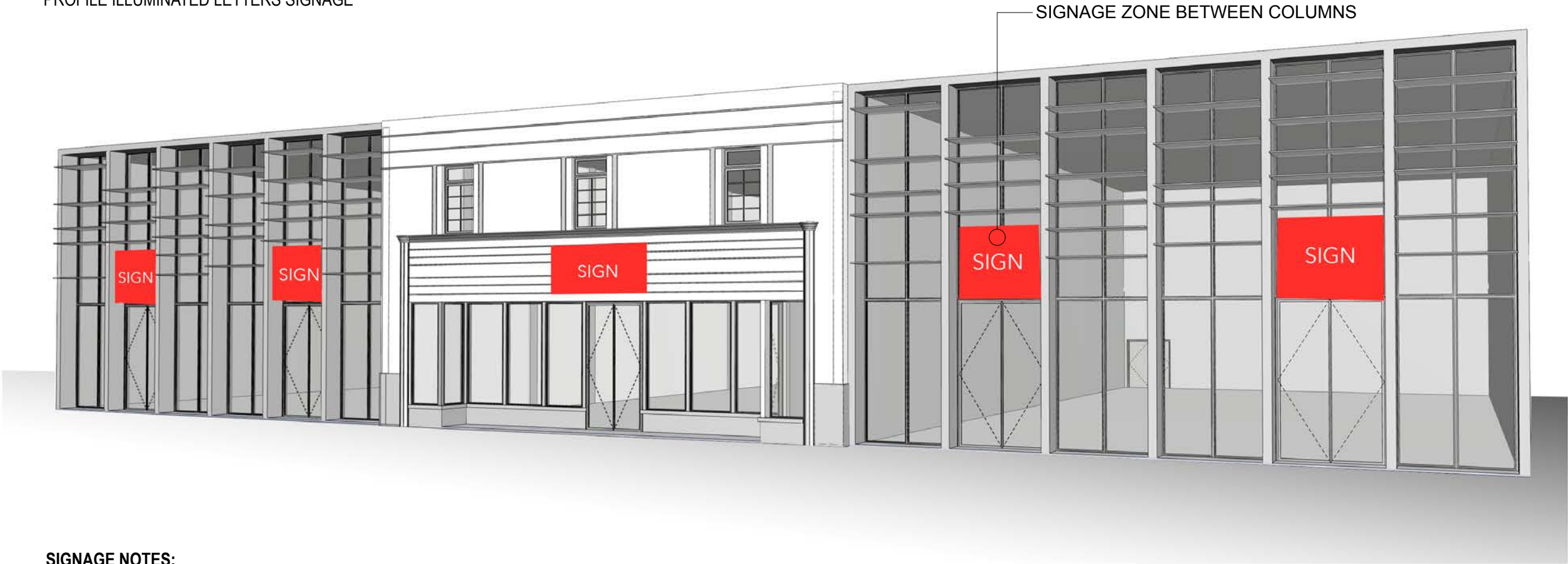


BRISE-SOLEIL PRECEDENT 03
REGIONS BANK, 1133 NORMANDY DR, NORTH BEACH
FRANCIS HOFFMAN, 1958

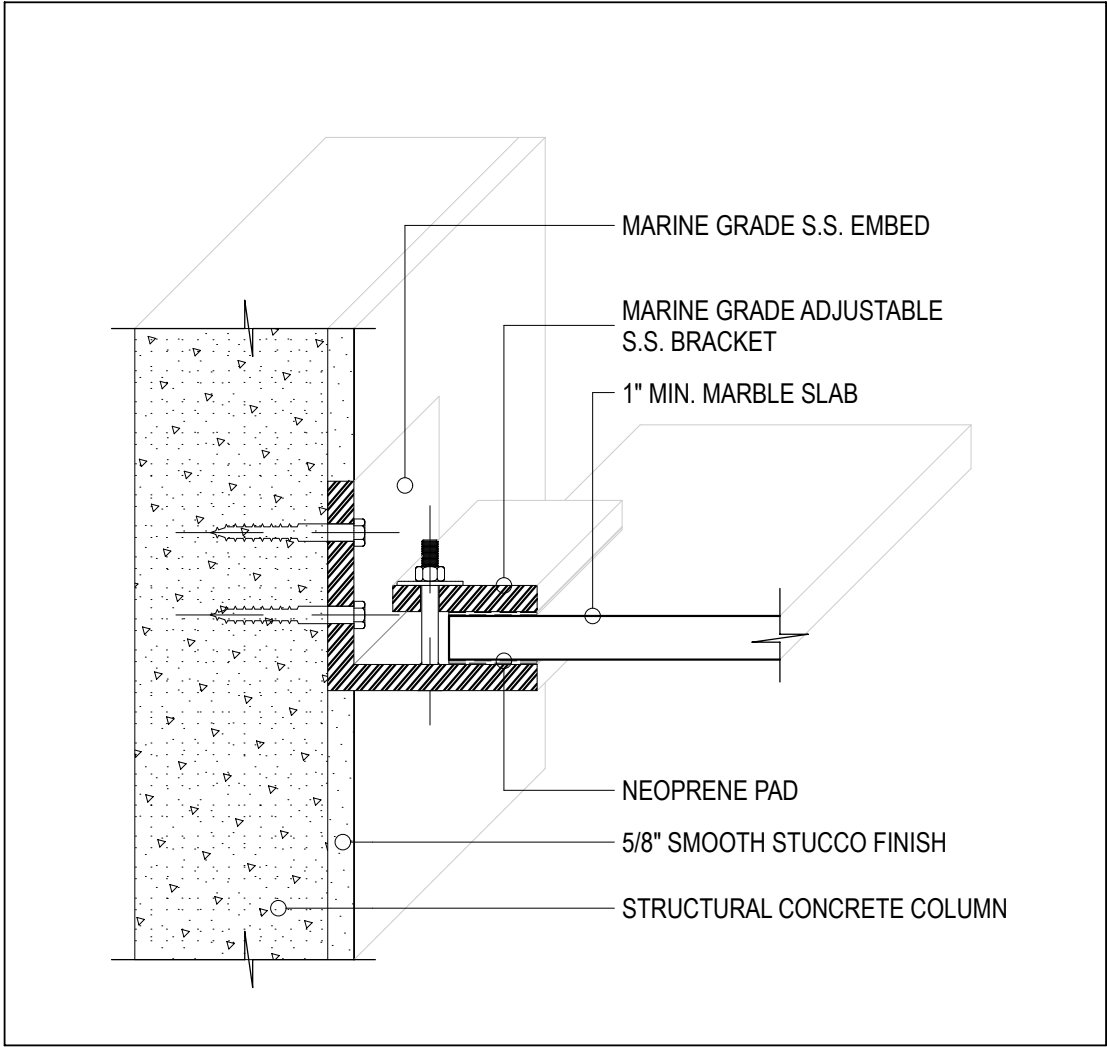




PROFILE ILLUMINATED LETTERS SIGNAGE



- SIGNAGE NOTES:**
- ALL TENANTS TO ADOPT THE SAME SIGNAGE PROGRAM AS OUTLINED.
 - SIGNAGE TO CONFORM TO AND BE APPROVED BY THE CITY OF MIAMI BEACH SIGNAGE REGULATIONS AND SHALL CONFORM TO LANDLORD CRITERIA.



MARBLE PANEL EMBED

1



CALACATTA MARBLE SLABS

2



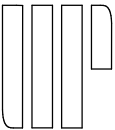
EXTERIOR STONE SEALER

PRODUCT: DuPont StoneTech Professional Heavy Duty Exterior Sealer

EXPECTED WEAR: Up to 10 years

PRODUCT BENEFITS:

- Heavy duty protection against water-based stains
- Weather resistant
- Minimizes efflorescence
- Preserves natural look
- Solvent-based formula
- Exterior use





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RENDERING

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TREE DISPOSITION SCHEDULE

No.	Botanical Name	Common Name	DBH	Spread	Ht.	Remain	Remove	Relocate	Reason / Notes
001	<i>Swietenia mahagoni</i>	Mahogany Tree	32"	25'	40'	✓			street tree in good condition
002	<i>Cocos nucifera</i>	Coconut Palm	8"	18'	28'	✓			street tree in good condition
003	<i>Cocos nucifera</i>	Coconut Palm	8"	18'	35'	✓			street tree in good condition
004	<i>Cocos nucifera</i>	Coconut Palm	8"	20'	35'	✓			street tree in good condition
005	<i>Cocos nucifera</i>	Coconut Palm	9"	20'	35'	✓			street tree in good condition
006	<i>Cocos nucifera</i>	Coconut Palm	9"	15'	25'	✓			street tree in good condition
007	<i>Bursera simaruba</i>	Gumbo Limbo	12"	5'	16'		✓		hatracked
008	<i>Bursera simaruba</i>	Gumbo Limbo	12"	6'	18'		✓		hatracked

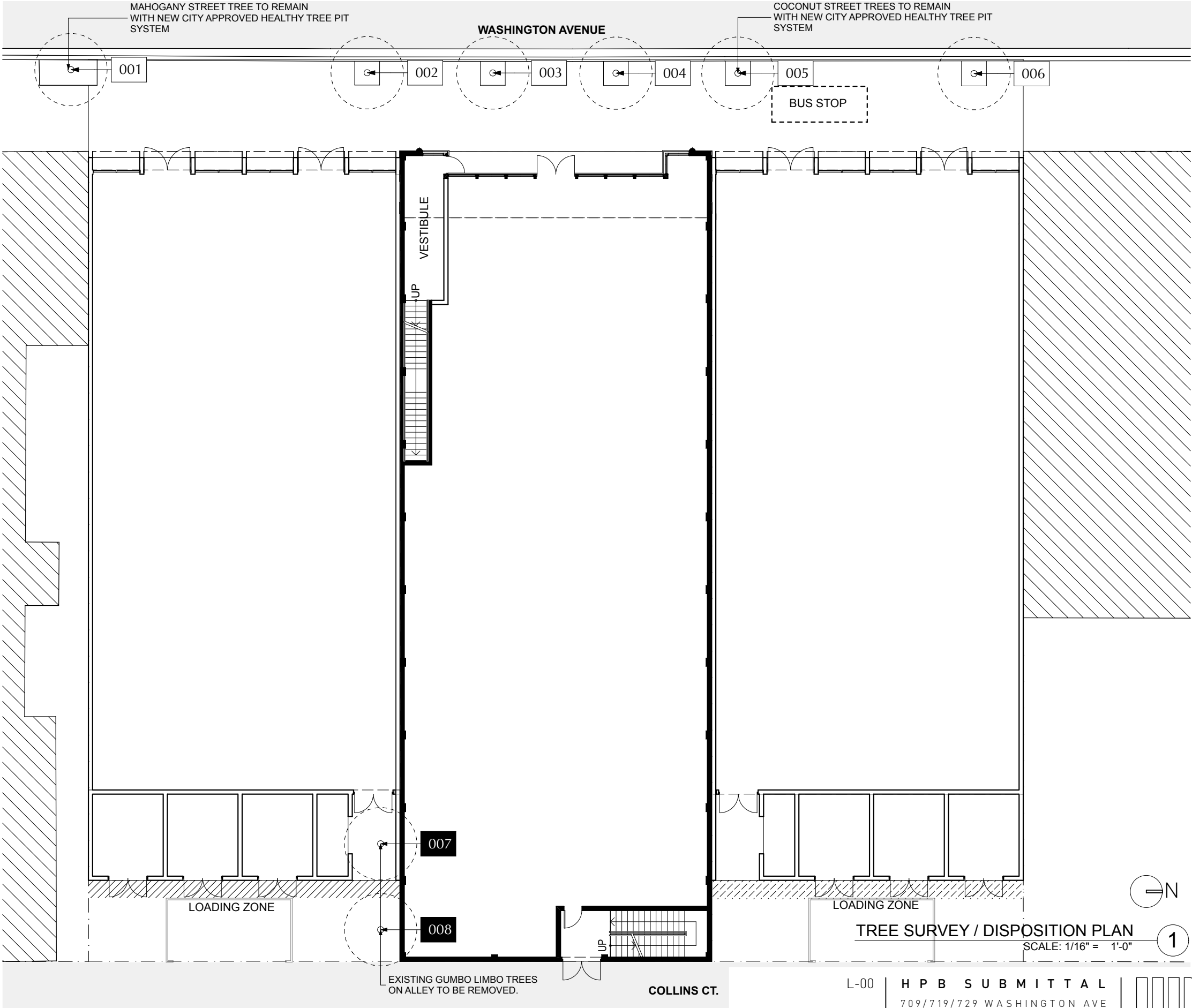


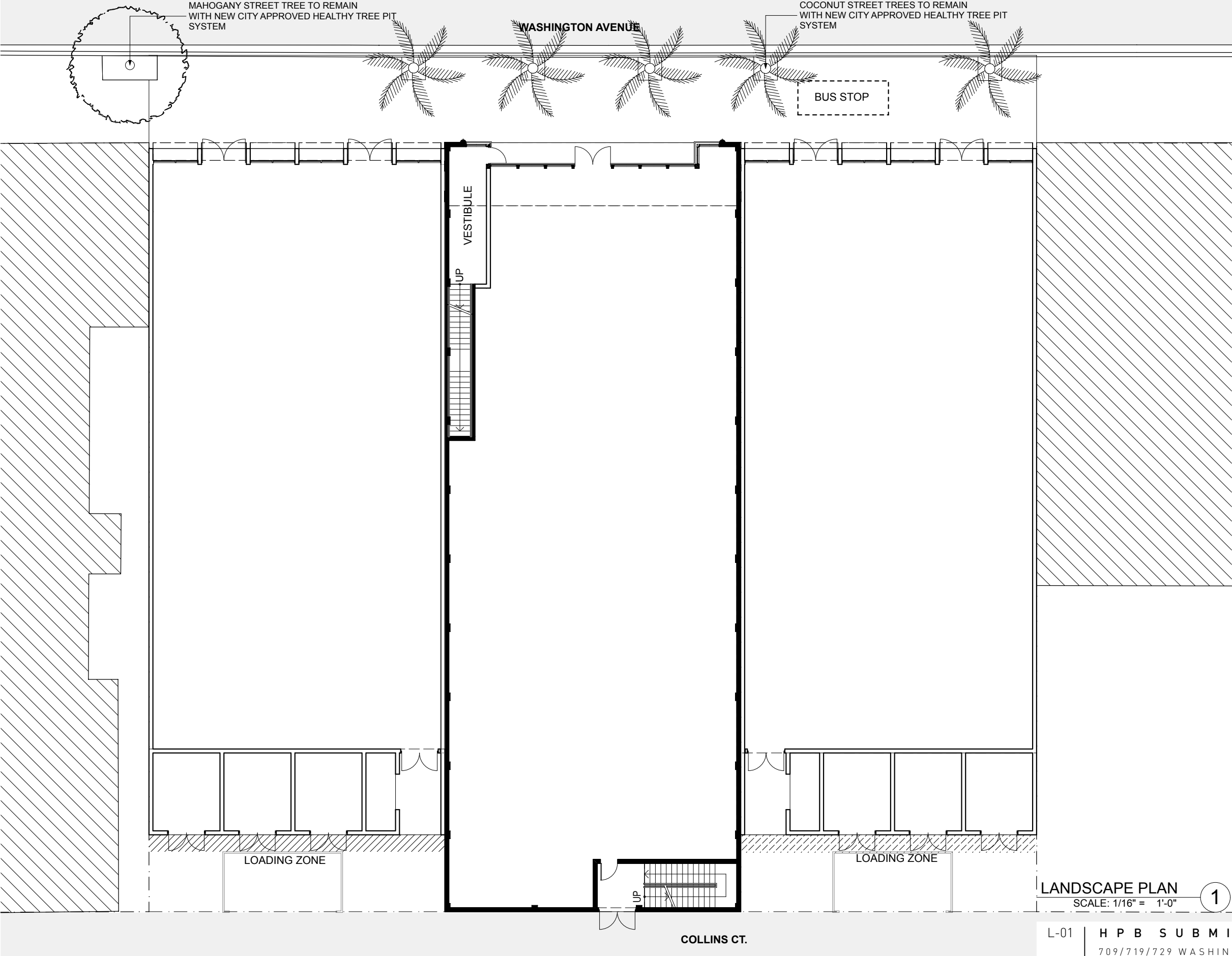
KEY LEGEND

-  000 EXISTING TREE TO REMAIN
-  000 EXISTING TREE TO RELOCATE
-  000 EXISTING TREE TO REMOVE

TREE REMOVAL NOTES

GUMBO LIMBO TREES IN ALLEY PORTION OF 709 WASHINGTON PROPERTY WILL REQUIRE A TREE REMOVAL PERMIT FROM THE CITY OF MIAMI BEACH URBAN FORESTRY DIVISION PRIOR TO CONSTRUCTION.





GROUND FLOOR LANDSCAPE PLAN

