

PARIS THEATER RESTAURANT- 550 WASHINGTON AVE

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

△ DATE REVISION

DWG. TITLE

COVER

SCALE

N.T.S

PROJECT NO.

2020-02

DATE

05-11-20

SHEET NUMBER

A-000

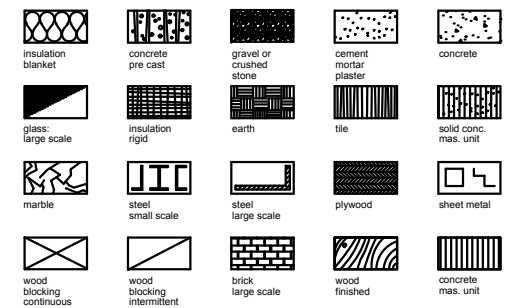
HPB FIRST SUBMITTAL 05-11-2020

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ABBREVIATIONS

A	ACOUS. A.C. A.D. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	C	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD	R	R. RAD. R.D. REF. REFL. REFR. RF. RGTR. REINF. REQ. RESIL. RM. R.O. R.WD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM	H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	S	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D. S.N.R. SPEC. SQ. S.ST. S.SK. STA. STD. STL. STOR. STR. SUSP. SYM.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPEND SYMMETRICAL
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER	I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT	J	JAN. JST. JT.	JANITOR JOIST JOINT
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING	K	KIT.	KITCHEN	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT
E	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S. E.W.C. EXST. EXP0. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION	T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE THICK TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. FT. FTG. FURR. FUT. F.V. F.V.C.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE FIELD VERIFY FIRE VALVE CABINET	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	U	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
G	G.A. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE	V	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER
H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTIC PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE	W	W. WT. W/ W.C. WD. W/O WP. WSCST.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT
I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT	Q	Q.T.	QUARRY TILE			

MATERIAL LEGEND



CLIENT:
550 LANDLORD LLC
999 BRICKELL AVENUE, SUITE 600
MIAMI FL 33131

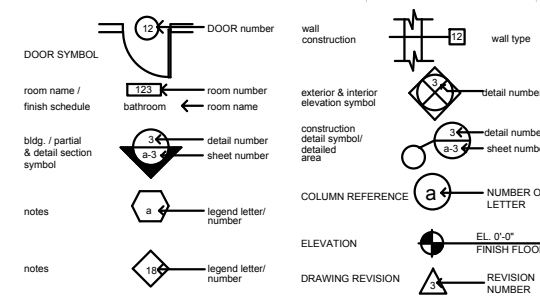
DESIGN/PROJECT ARCHITECT:
BEILINSON GOMEZ ARCHITECTS PA
JOSE L. GOMEZ AR0015416 8101
BISCAYNE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 559-1250
FAX. (305) 551-1740

DRAWING INDEX
ARCHITECTURAL

A-000	COVER SURVEY & ELEVATION CERTIFICATE PROJECT INFORMATION INDEX DISTRICT MAP SITE LOCATION AND ZONING AERIAL VIEWS SITE PHOTOGRAPHS EXTERIOR BUILDING PRESERVATION DETAILS INTERIOR BUILDING PRESERVATION DETAILS EXISTING AREA CALCULATION FLOOR PLAN PROPOSED AREA CALCULATION FLOOR PLAN PROPOSED FACADE IMAGES PROPOSED 3D IMAGES EXISTING SITE PLAN EXISTING GROUND FLOOR PLAN EXIST-101 EXIST-102 EXIST-103 EXIST-104 EXIST-105 EXIST-201 EXIST-202 EXIST-203 EXIST-204 EXIST-205 EXIST-206 EXIST-301 D-101 D-102 D-103 D-104 D-105 D-106 D-201 D-301 D-302 A-100 A-101 A-102 A-103 A-104 A-105 A-106 A-107 A-108 A-109 A-110 A-111 A-112 A-113 A-114 A-115 A-116 A-117 A-200 A-201 A-202 A-203 A-301 A-302 A-303 A-304 A-305	EXISTING WEST ELEVATION EXISTING EAST ELEVATION EXISTING SOUTH ELEVATION EXISTING NORTH ELEVATION EXISTING NORTH ELEVATION EXISTING SECTIONS DEMOLITION GROUND FLOOR PLAN ENLARGE DEMOLITION GROUND FLOOR PLAN ENLARGE DEMOLITION GROUND FLOOR PLAN DEMOLITION 2ND FLOOR PLAN ENLARGE DEMOLITION 2ND FLOOR & MEZZANINE 1 FLOOR PLAN DEMOLITION 3RD FLOOR & MEZZANINE 2 FLOOR PLAN DEMOLITION SOUTH ELEVATION DEMOLITION SECTIONS PROPOSED SITE PLAN PROPOSED GROUND FLOOR PLAN ENLARGE PROPOSED GROUND FLOOR PLAN ENLARGE PROPOSED GROUND FLOOR PLAN PROPOSED 2ND FLOOR PLAN ENLARGE PROPOSED 2ND FLOOR PLAN PROPOSED MEZZANINE 1 & MECHANICAL ROOF PLAN ENLARGED PROPOSED MEZZANINE 1 & MECHANICAL ROOF PLAN PROPOSED MEZZANINE 2 & 3RD FLOOR PLAN ENLARGED PROPOSED MEZZANINE 2 & 3RD FLOOR PLAN PROPOSED ROOF STORAGE PLAN ENLARGED PROPOSED ROOF STORAGE PLAN PROPOSED ROOF PLAN ENLARGED PROPOSED ROOF PLAN ENLARGE PROPOSED GROUND FLOOR REFLECTED CEILING PLAN ENLARGE PROPOSED GROUND FLOOR REFLECTED CEILING PLAN PROPOSED 2ND FLOOR & MEZZANINE 1 REFLECTED CEILING PLAN PROPOSED MEZZANINE 2 & 3RD FLOOR REFLECTED CEILING PLAN PROPOSED EAST ELEVATION PROPOSED WEST ELEVATION PROPOSED SOUTH ELEVATION PROPOSED SOUTH ELEVATION PROPOSED SECTION PROPOSED SECTION PROPOSED SECTION PROPOSED SECTION
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ARCHITECTURE AAC01082
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beilinsonarchitectspa.com

SYMBOL LEGEND



APPLICABLE CODES

GOVERNING ZONING CODE:	CITY OF MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2017
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2017
STRUCTURAL:	FLORIDA BUILDING CODE 2017
PLUMBING:	FLORIDA BUILDING CODE 2017 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2017 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2017 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2017 - CHAPTER 11 FACBC
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2017 EDITION

PROJECT INFORMATION

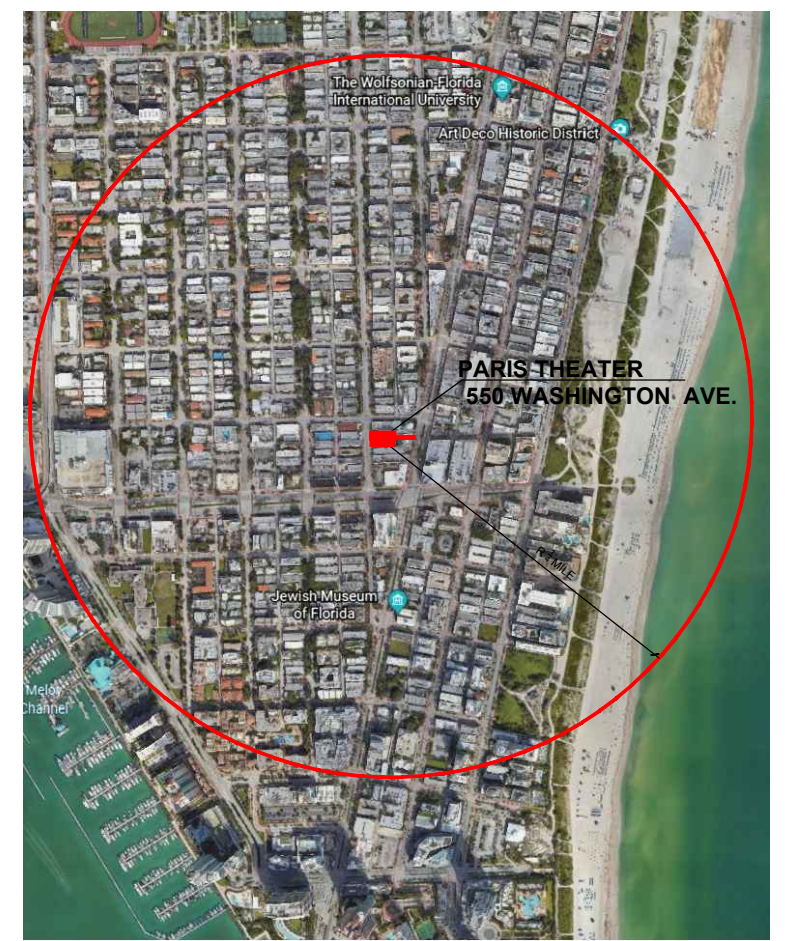
SCOPE OF WORK
RENOVATE AND REHABILITATE AN EXISTING HISTORIC BUILDING WITH OCCUPANCY CLASSIFICATION GROUP A2

OCCUPANCY CLASSIFICATION
ASSEMBLY - GROUP A2

ALTERATION CLASSIFICATION
ALTERATION LEVEL 3 - (AS PER FBC 2017 6th ED CHAPTER 5)

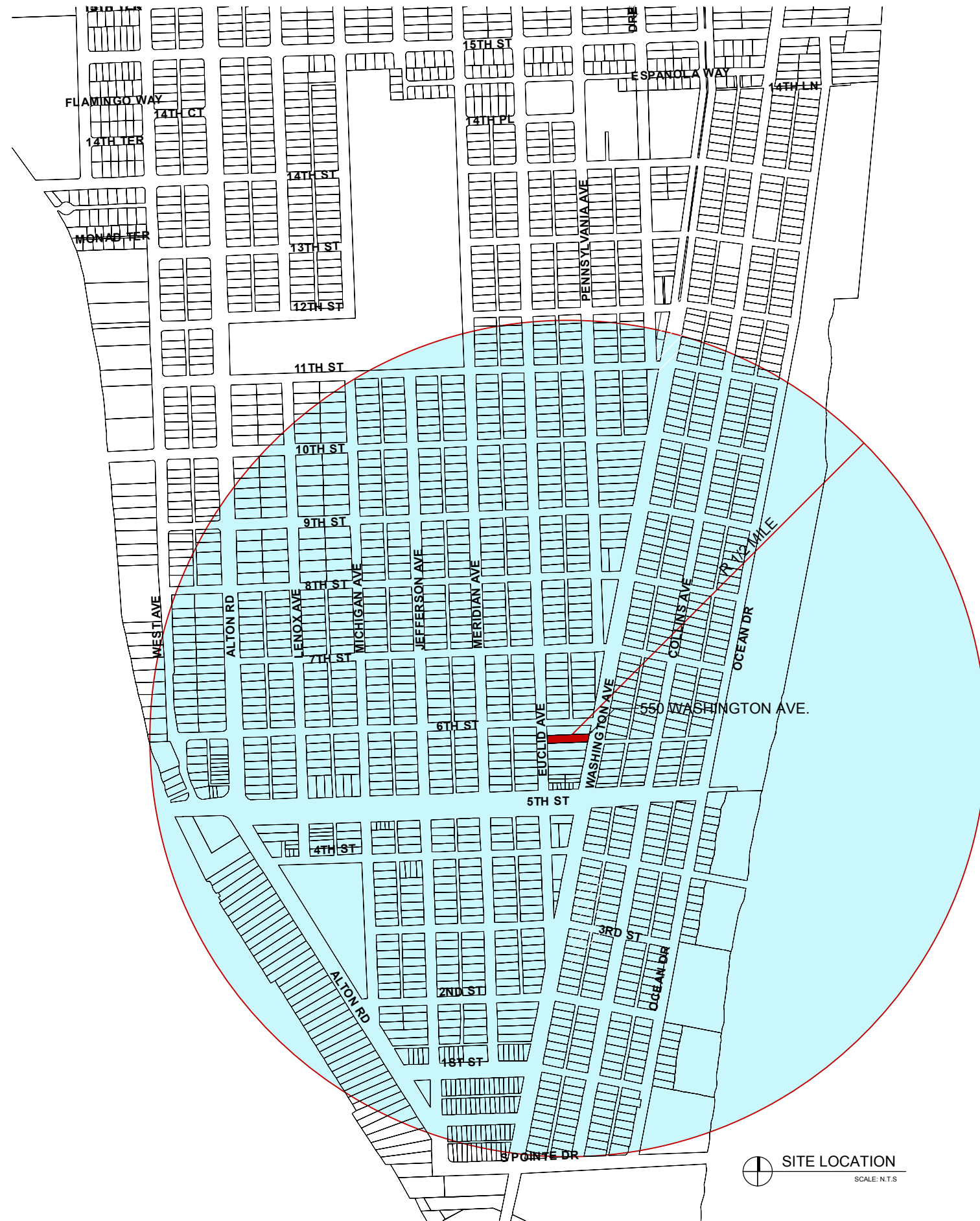
CLASSIFICATION OF REHABILITATION WORK CATEGORIES
(AS PER FFPC 101 6TH EDITION CHAPTER 43)
(AS PER 2015 EDITION NFPA 101, CHAPTER 43.6)
(AS PER FBC 2017 6th ED CHAPTER 11)

LEGAL DESCRIPTION
ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 87, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 37.22 FEET MORE OR LESS IN THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.S.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.S.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.S.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.S.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.S.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.S.S. BUILDING AND ITS NORTHERLY EXTENSION A DISTANCE OF 23.66 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.S.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.86 FEET, MORE OR LESS TO THE POINT OF BEGINNING.
AND THE WEST 135 FEET OF LOT 3 AND THE EAST 9.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AK/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33739

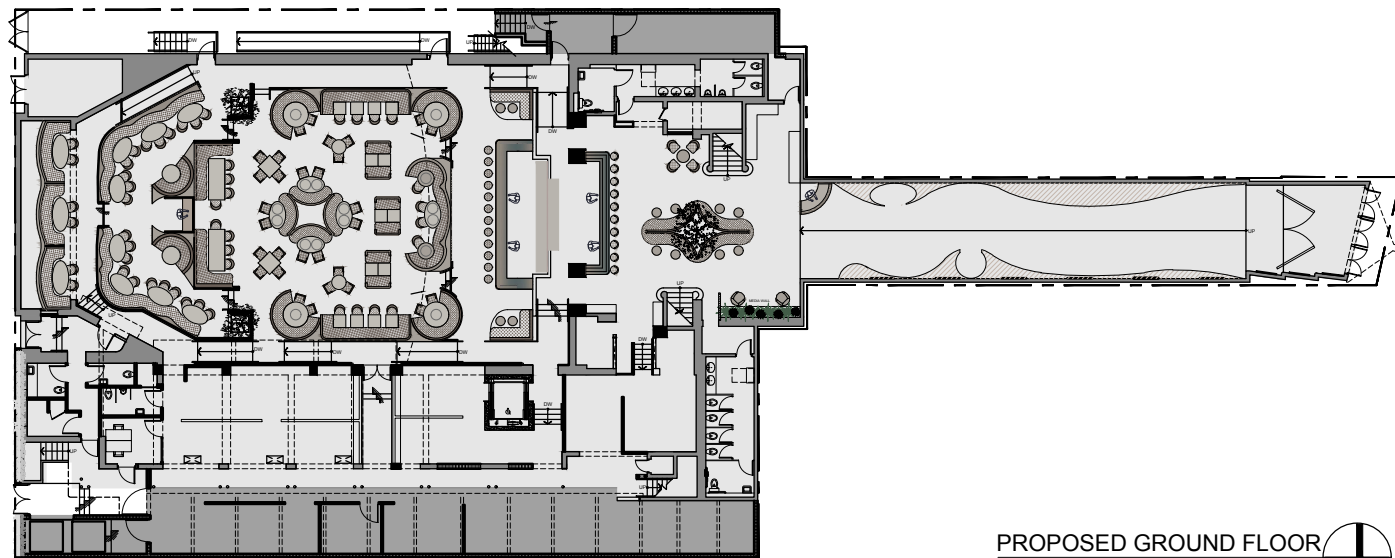


PARIS THEATER RESTAURANT-550 WASHINGTON AVE
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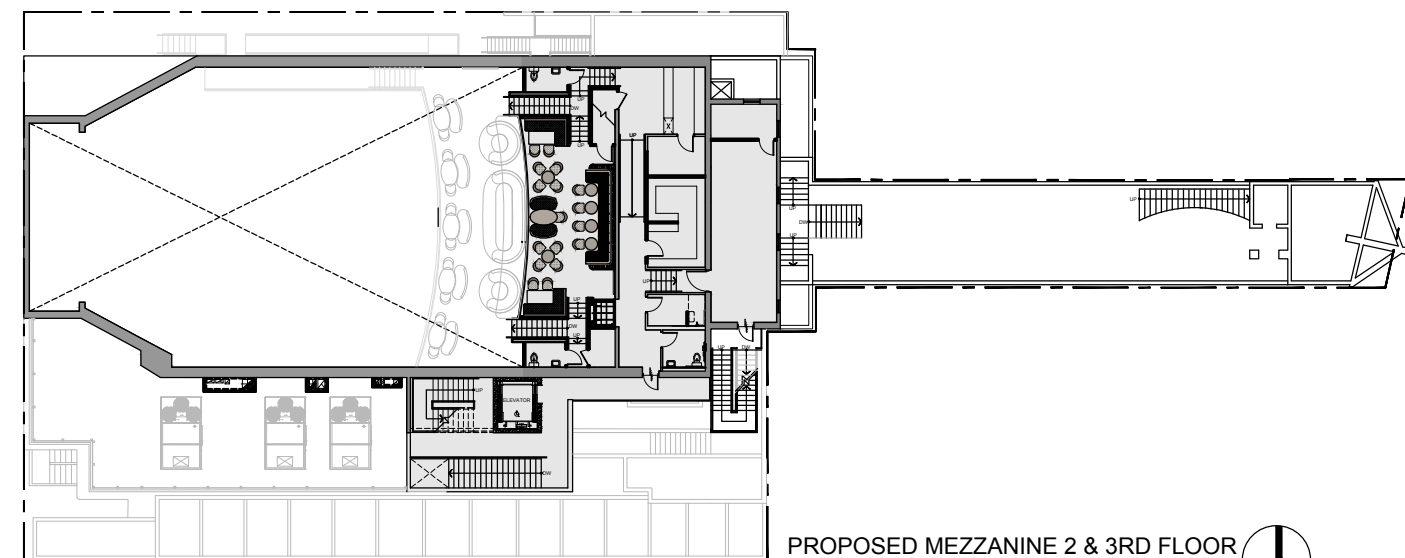
DATE	REVISION
DWG. TITLE	PROJECT INFORMATION INDEX
SCALE	N.T.S.
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	A-001



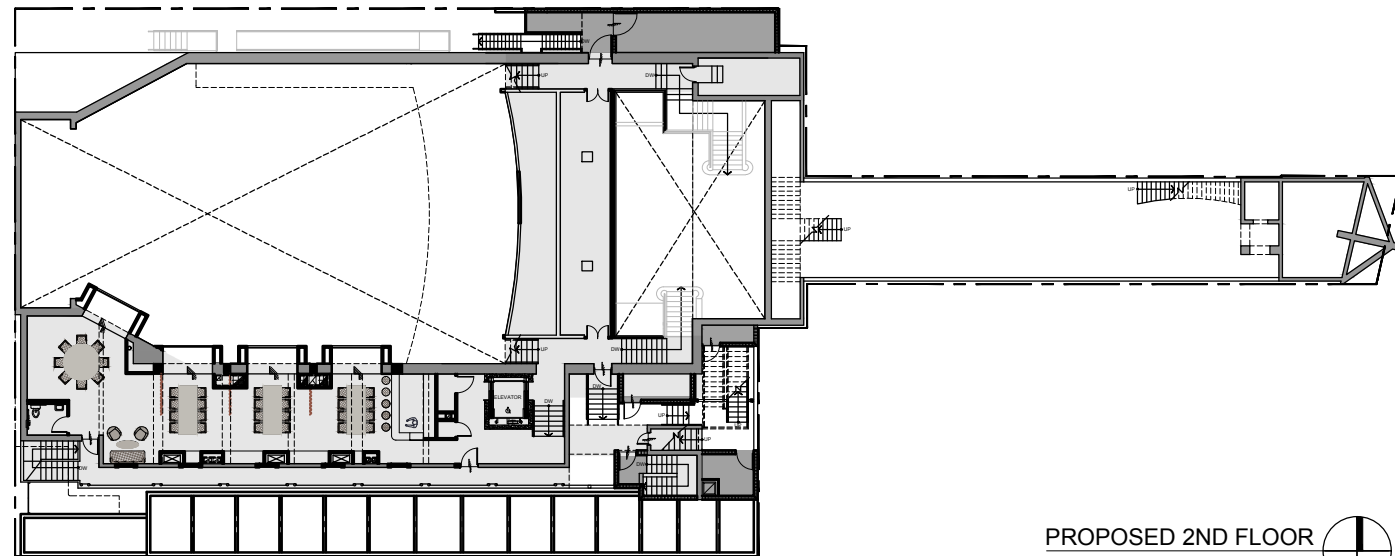
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	550 WASHINGTON AVE. MIAMI BEACH, FL. 33139			
2	Board and file numbers:				
3	Folio number(s):	02-4203-009-1900			
4	Year constructed:	1945	Zoning District:	C-PS2 (COMMERCIAL GENERAL MIXED USE)	
5	Base Flood Elevation:	AE-8.0	Grade value in NGVD:	5.50'	
6	Adjusted grade (Flood+Grade/2):	6.75'	Lot Area (SF):	13586	
7	Lot width (FT):	50	Lot Depth (FT):	140	
8	Minimum Unit Size(SF):	N/A	Average Unit Size:	N/A	
9	Existing use:	ENTERTAINMENT ESTABLISHMENT (ASSEMBLY- GROUP A2)	Proposed use:	RESTAURANT (ASSEMBLY- GROUP A2)	
		Maximum	Existing	Proposed	Deficiencies
10	Height:	50'-0"	61'-4" existing elevator bulkhead pursuant to Section 141-1161(A)(5)	53'-2" for proposed storage room addition	Seeking variance of 3'-2" for proposed storage room
11	Number of Stories:	5	4	4	
12	FAR:	2	1.76	1.90	
13	Gross square footage:	27,172	23,919	25,876	
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal:				
14	Front Setback:	0'-0"	0'-0"	0'-0"	
15	Side / Interior Setback:				
16	Left Side Setback:	0'-0"	0'-0"	0'-0"	
17	Right Side Setback:	0'-0"	0'-0"	0'-0"	
18	Rear Setback:	5'-0"	0'-0";1'-8"	0'-0";1'-8";5'-0"	
	Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1				
20	Total # of parking spaces:		0	0	0
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of use:			RESTAURANT/ NIGHT CLUB	
22	Total # of seats:			377	
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
24	Total occupant load:			1499	
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A	
26					
27	Is this a contributing building?		Yes or no		
28	Located within a Local Historic District?		Yes or no		



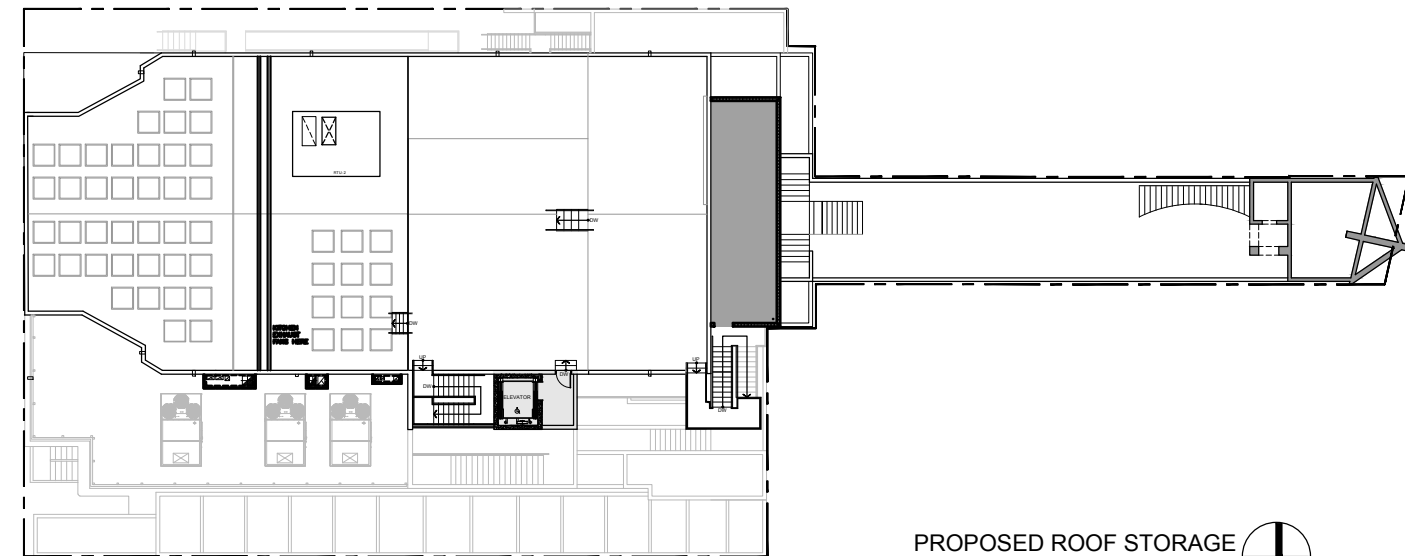
PROPOSED GROUND FLOOR
SCALE: 1/16" = 1'-0"



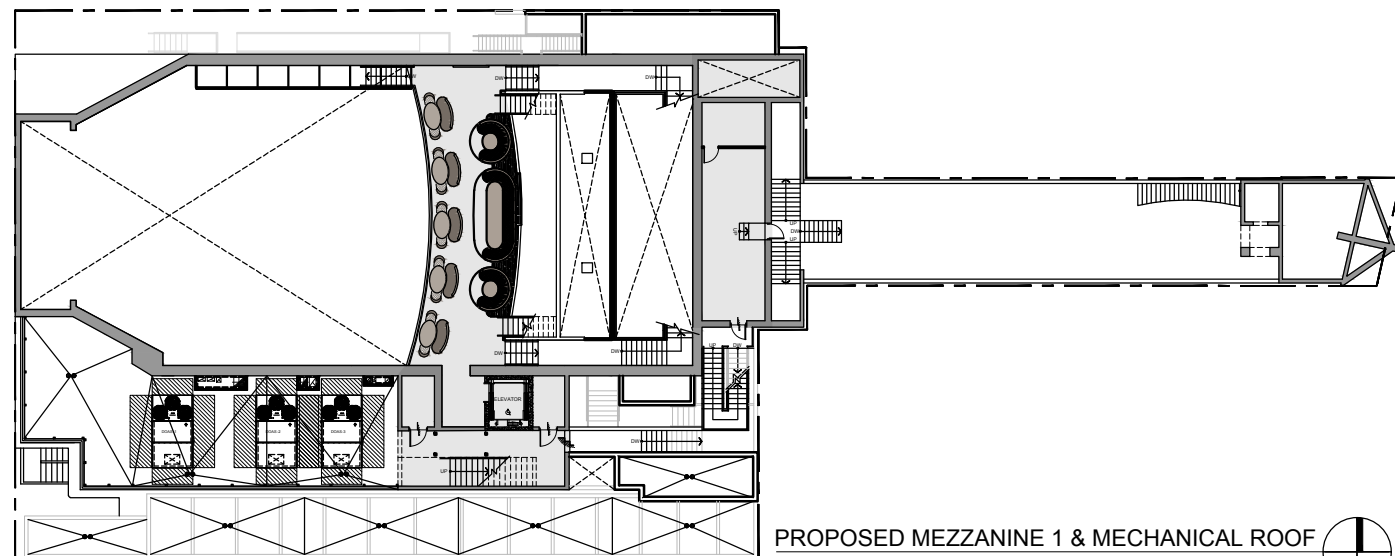
PROPOSED MEZZANINE 2 & 3RD FLOOR
SCALE: 1/16" = 1'-0"



PROPOSED 2ND FLOOR
SCALE: 1/16" = 1'-0"



PROPOSED ROOF STORAGE
SCALE: 1/16" = 1'-0"



PROPOSED MEZZANINE 1 & MECHANICAL ROOF
SCALE: 1/16" = 1'-0"

EXISTING AREA CALCULATION	
LEVEL	GROSS AREA
GROUND FLOOR	12,926 SQ. FT.
2ND FLOOR	4,241 SQ. FT.
MEZZANINE 1 & MECH. ROOF	2,333 SQ. FT.
MEZZANINE 2 & 3RD FLOOR	3,262 SQ. FT.
ROOF	157 SQ. FT.
TOTAL GROSS AREA: 23,919 SQ. FT.	

PROPOSED AREA CALCULATION	
LEVEL	GROSS AREA
GROUND FLOOR	14,835 SQ. FT.
2ND FLOOR	4,762 SQ. FT.
MEZZANINE 1 & MECH. ROOF	2,333 SQ. FT.
MEZZANINE 2 & 3RD FLOOR	3,262 SQ. FT.
ROOF	684 SQ. FT.
TOTAL GROSS AREA: 25,876 SQ. FT.	

ZONING DISTRICT: C-PS2 USE: RESTAURANT & NIGHT CLUB				
	LOT AREA	BUILDING FLOOR AREA	F.A.R.	MAXIMUM F.A.R.
EXISTING	13,586 SQ. FT.	23,919 SQ. FT.	1.76	2.0
PROPOSED	13,586 SQ. FT.	25,876 SQ. FT.	1.90	2.0

EXISTING FLOOR AREA	
PROPOSED FLOOR AREA	

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DATE	REVISION

DWG. TITLE	PROPOSED AREA CALCULATION FLOOR PLAN
SCALE	AS SHOWN
PROJECT NO.	
DATE	2020-02
SHEET NUMBER	05-11-20
	A-009



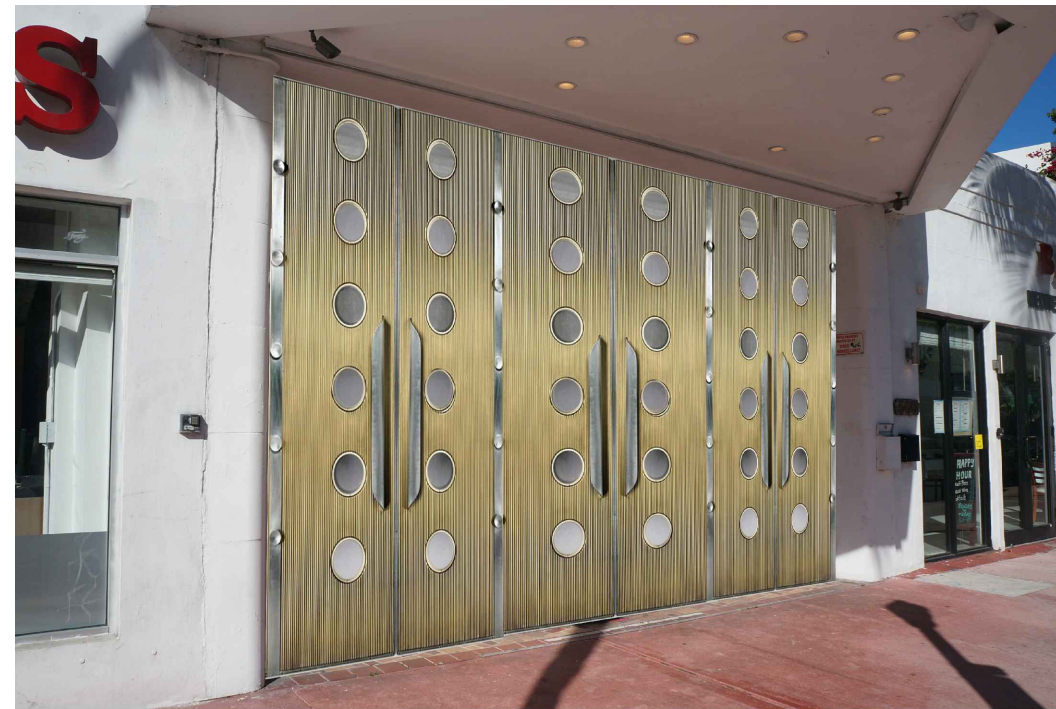
EXISTING FACADE



EXISTING STOREFRONT



PROPOSED FACADE



PROPOSED STOREFRONT

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
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MIAMI BEACH

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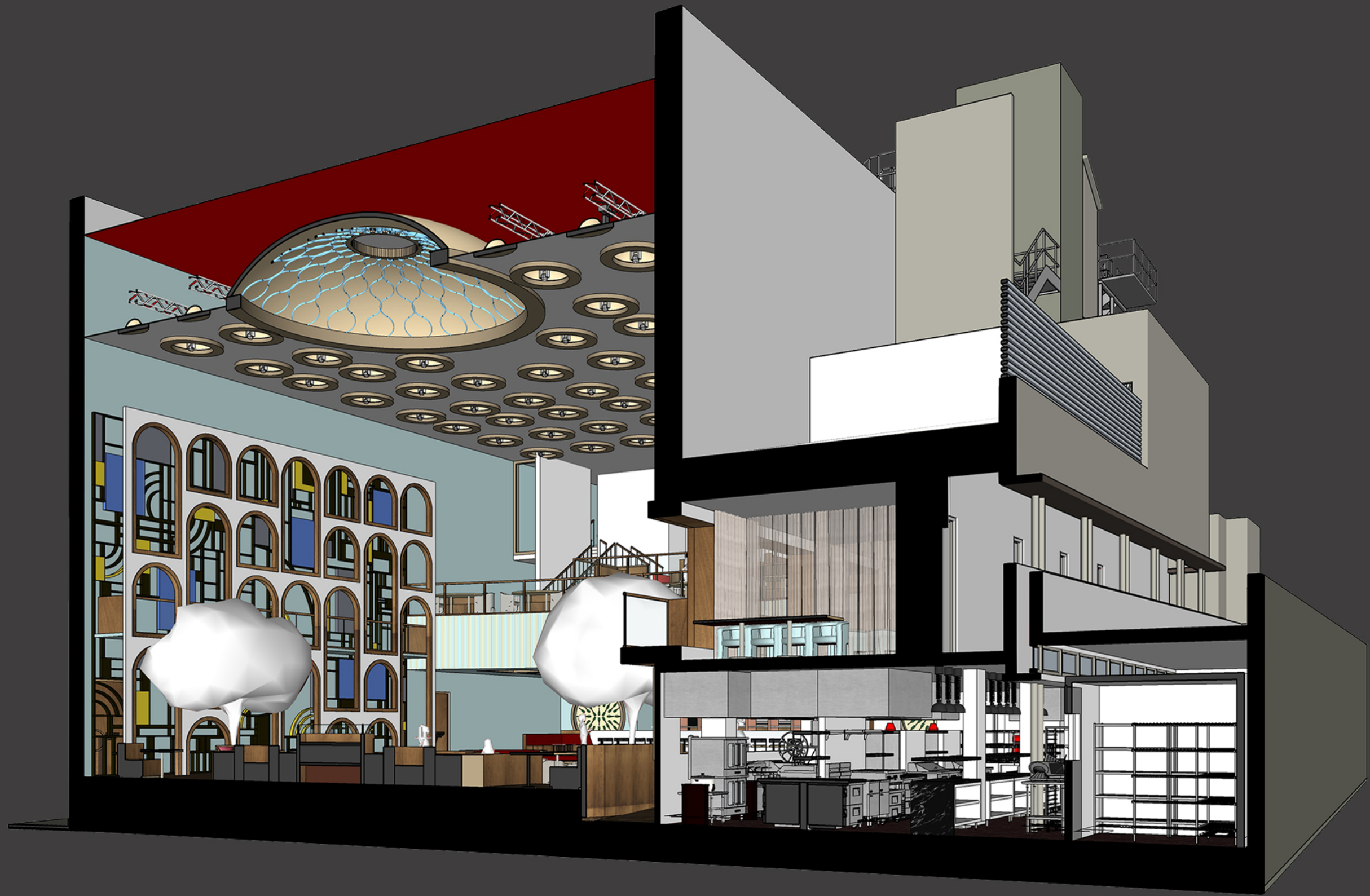
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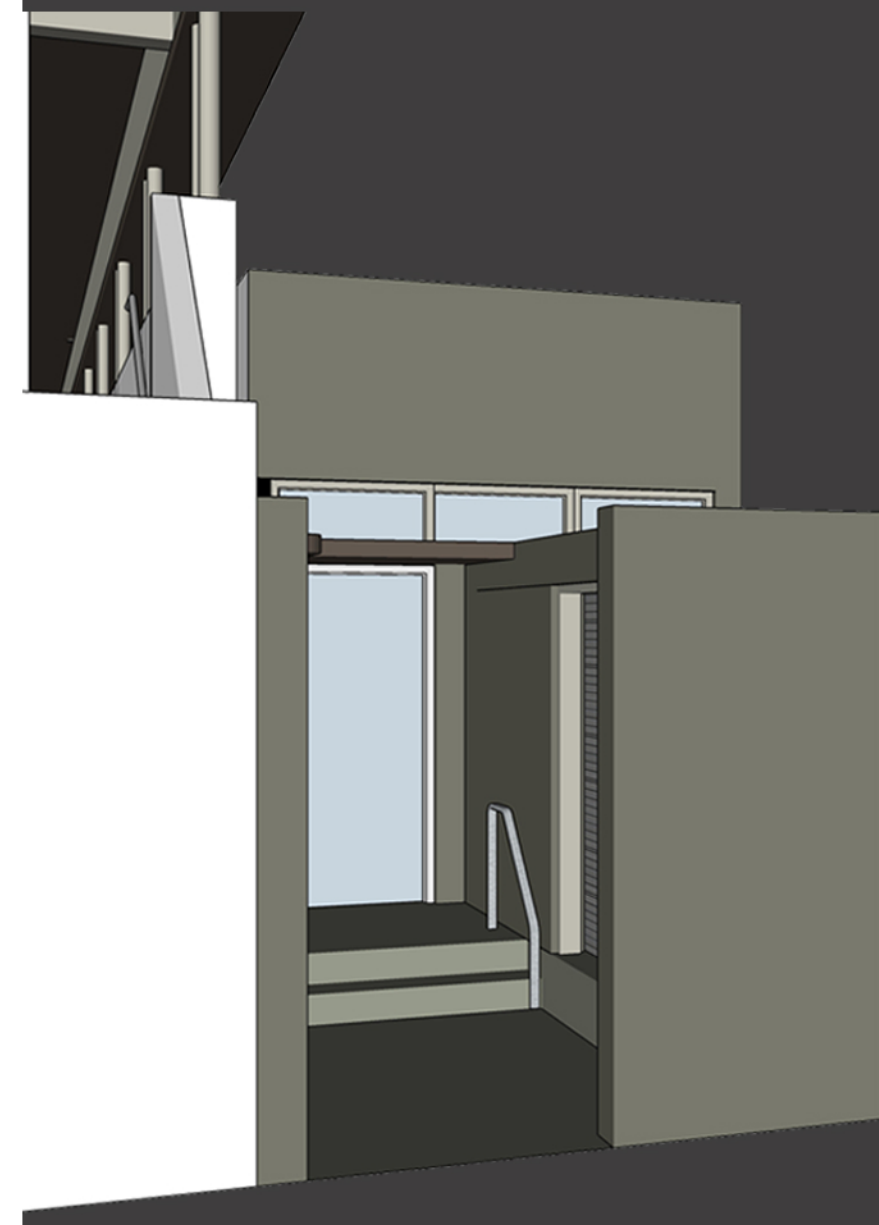
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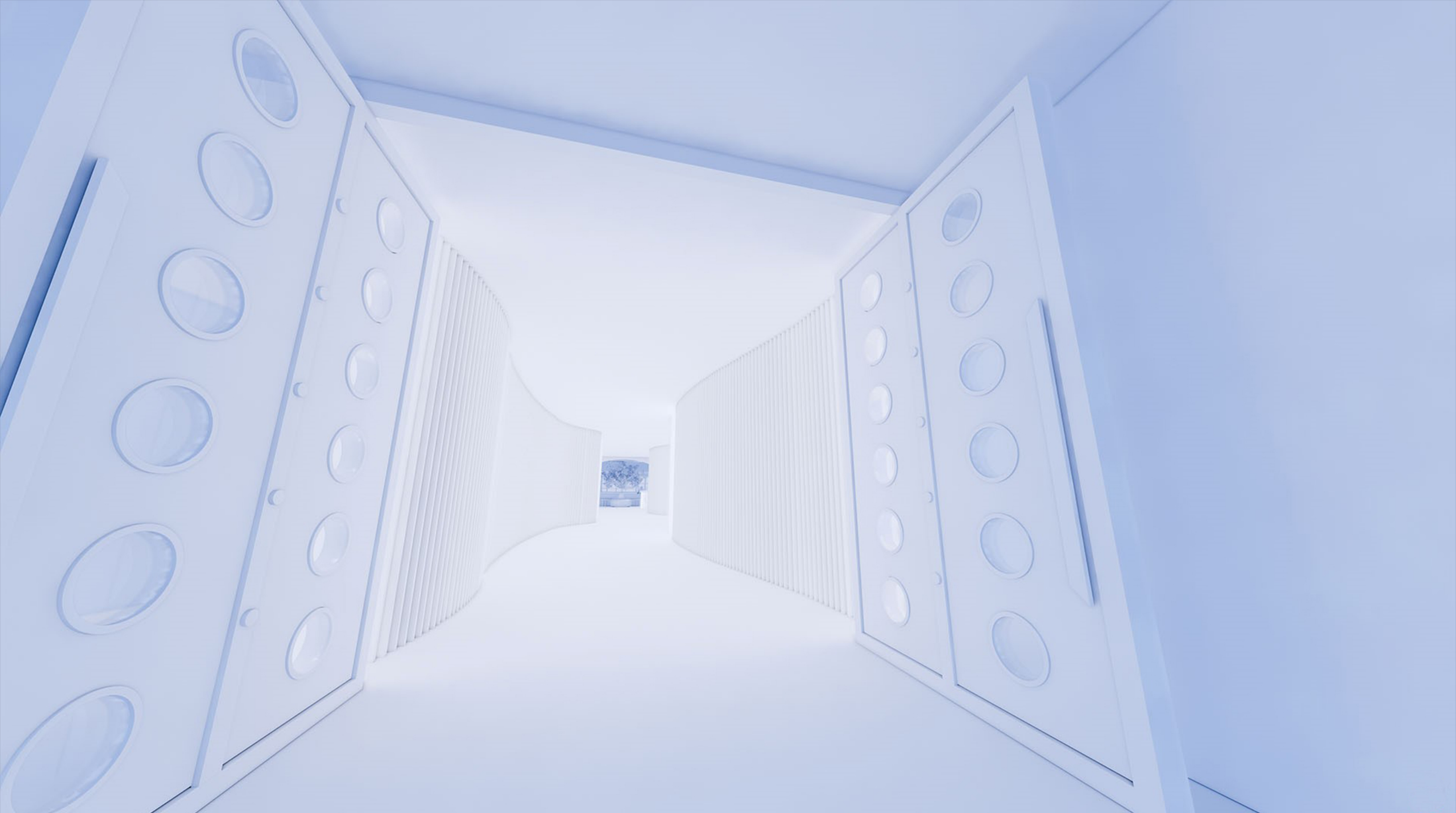
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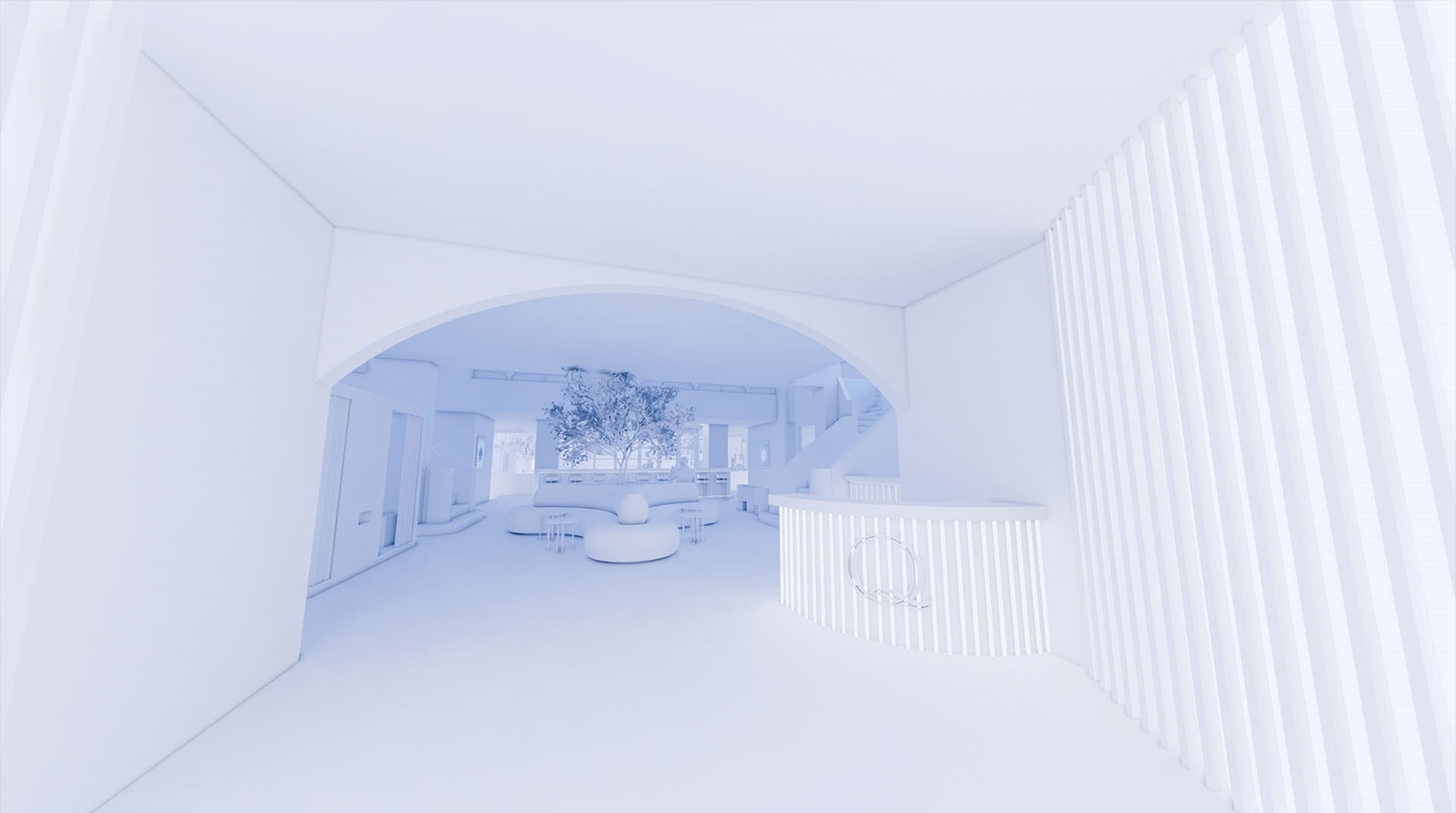
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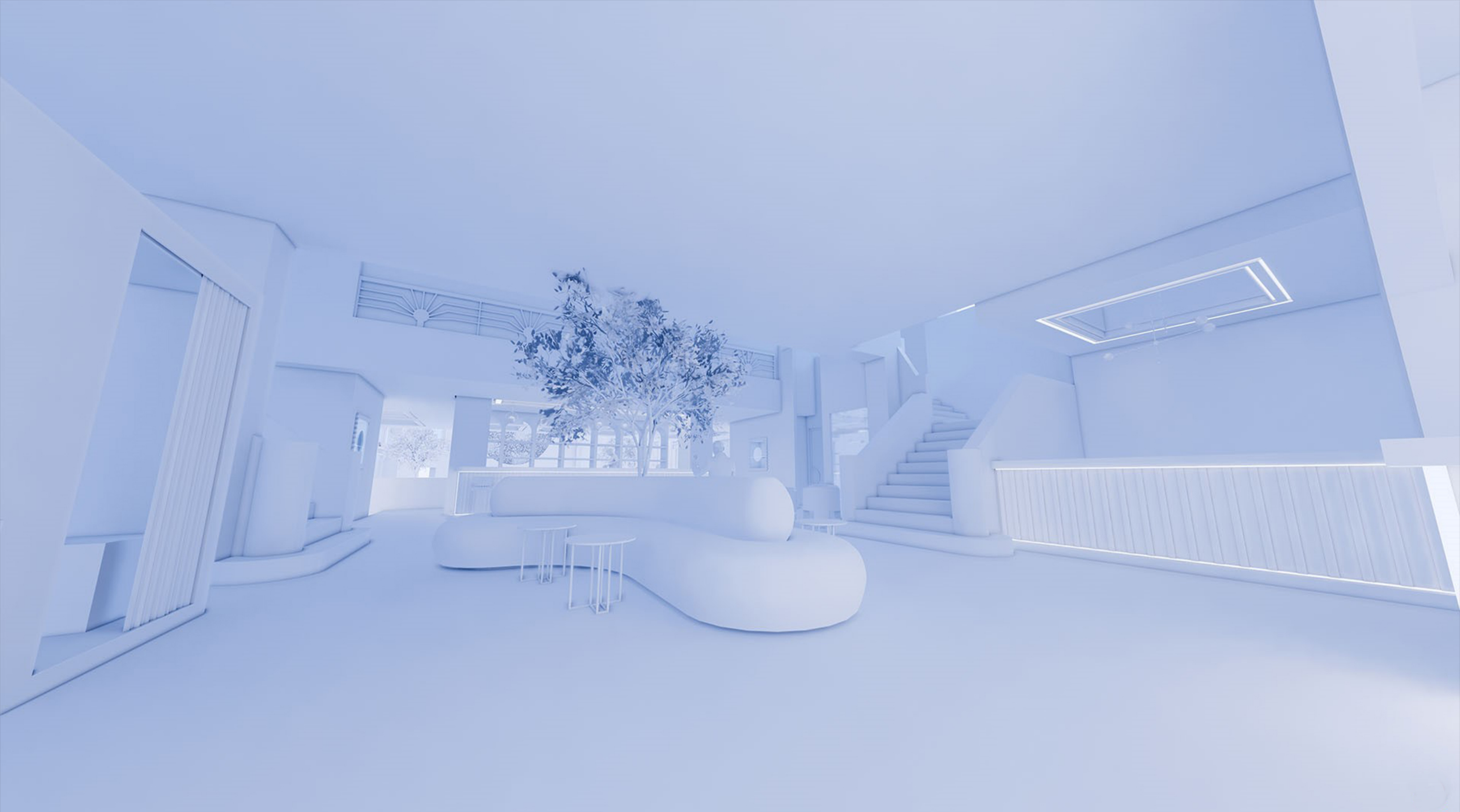
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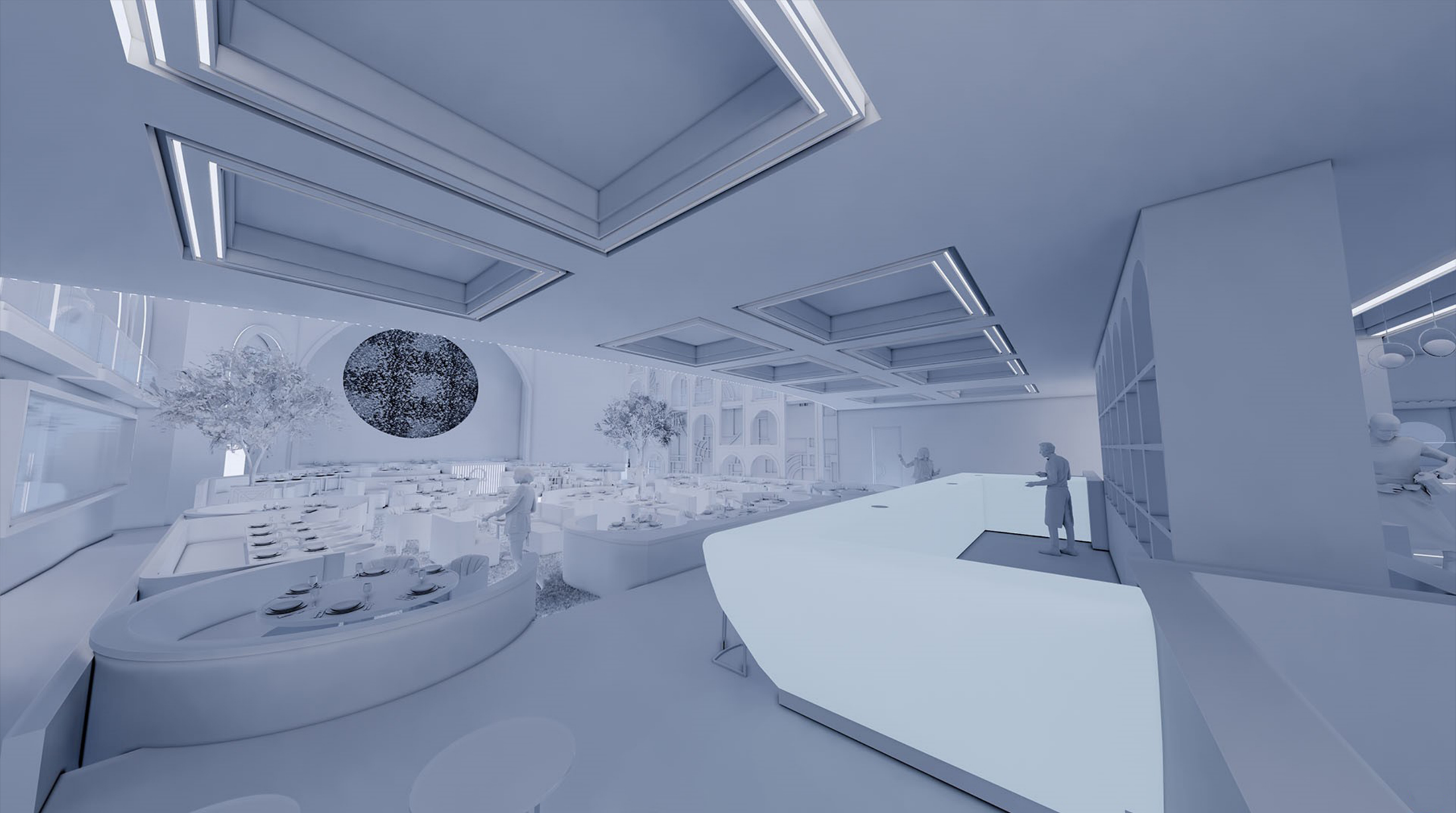






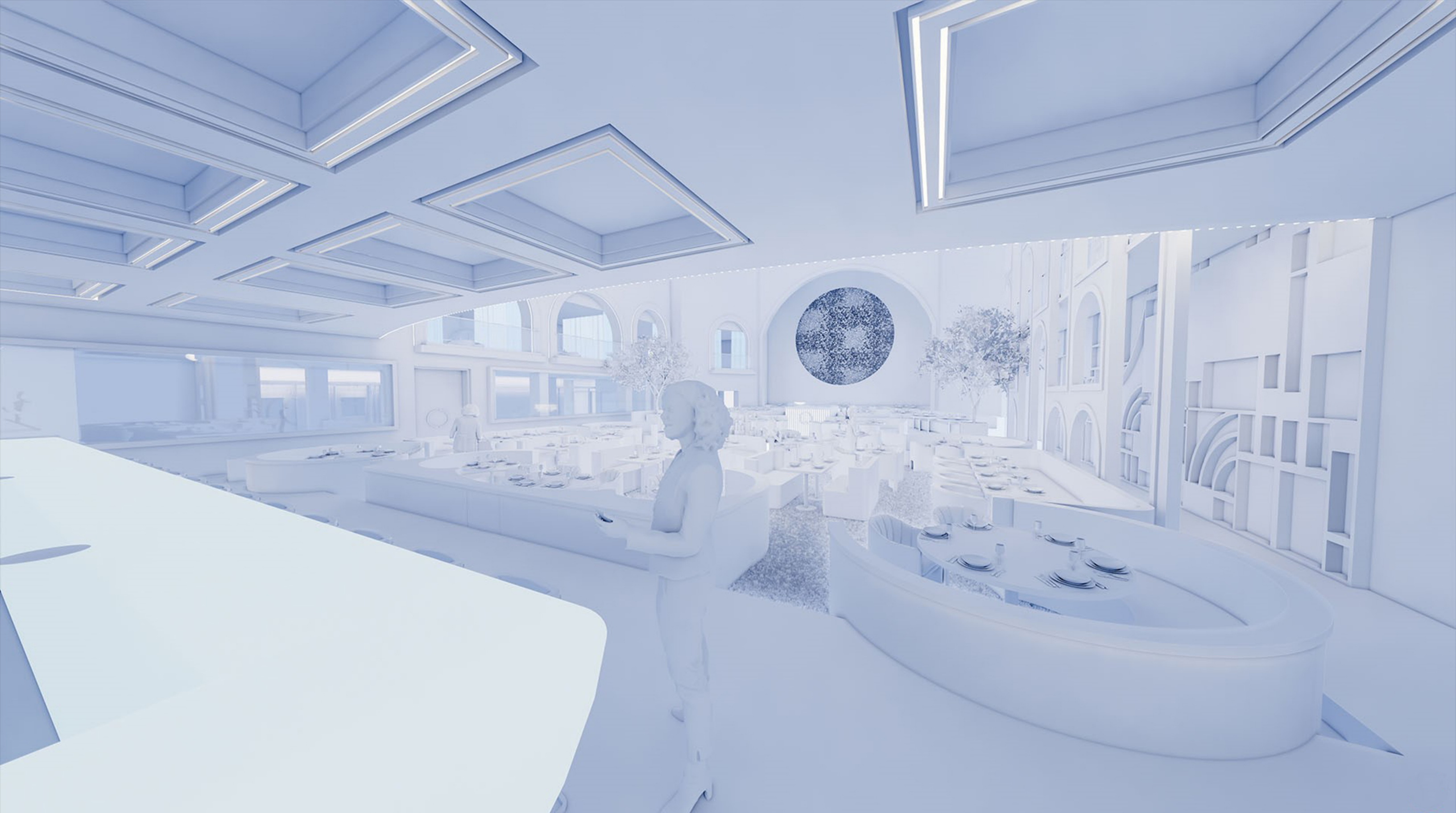


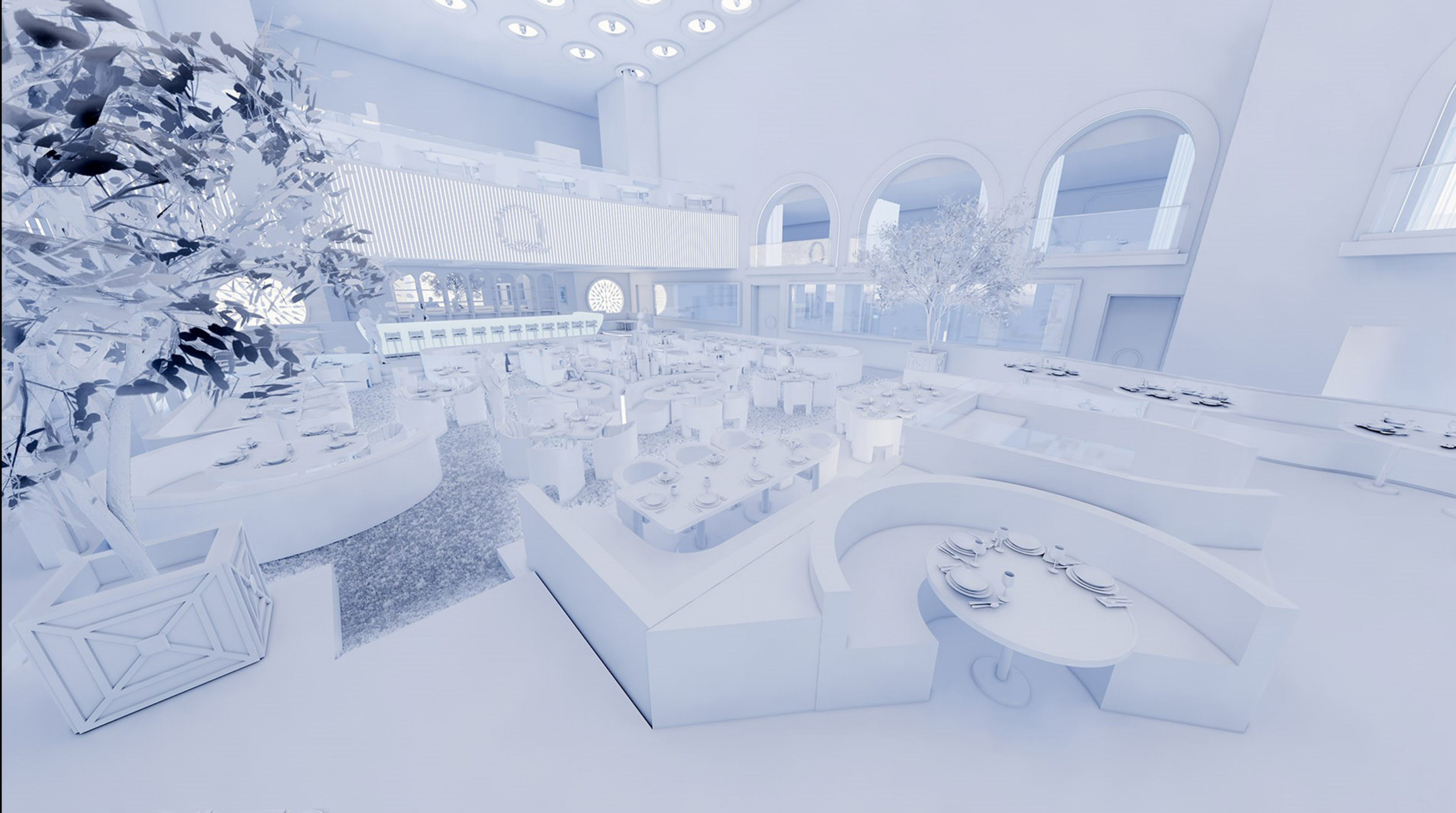


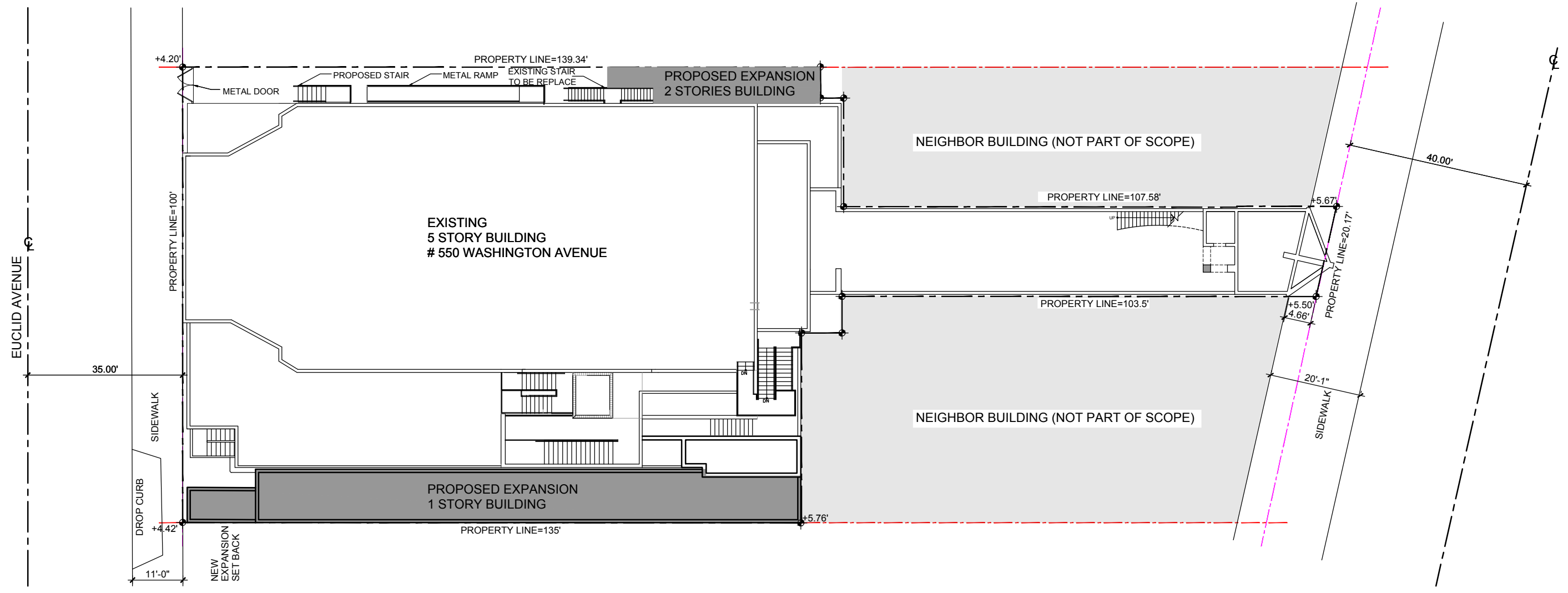






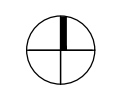






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550 WASHINGTON AVE
MIAMI BEACH

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DATE	REVISION

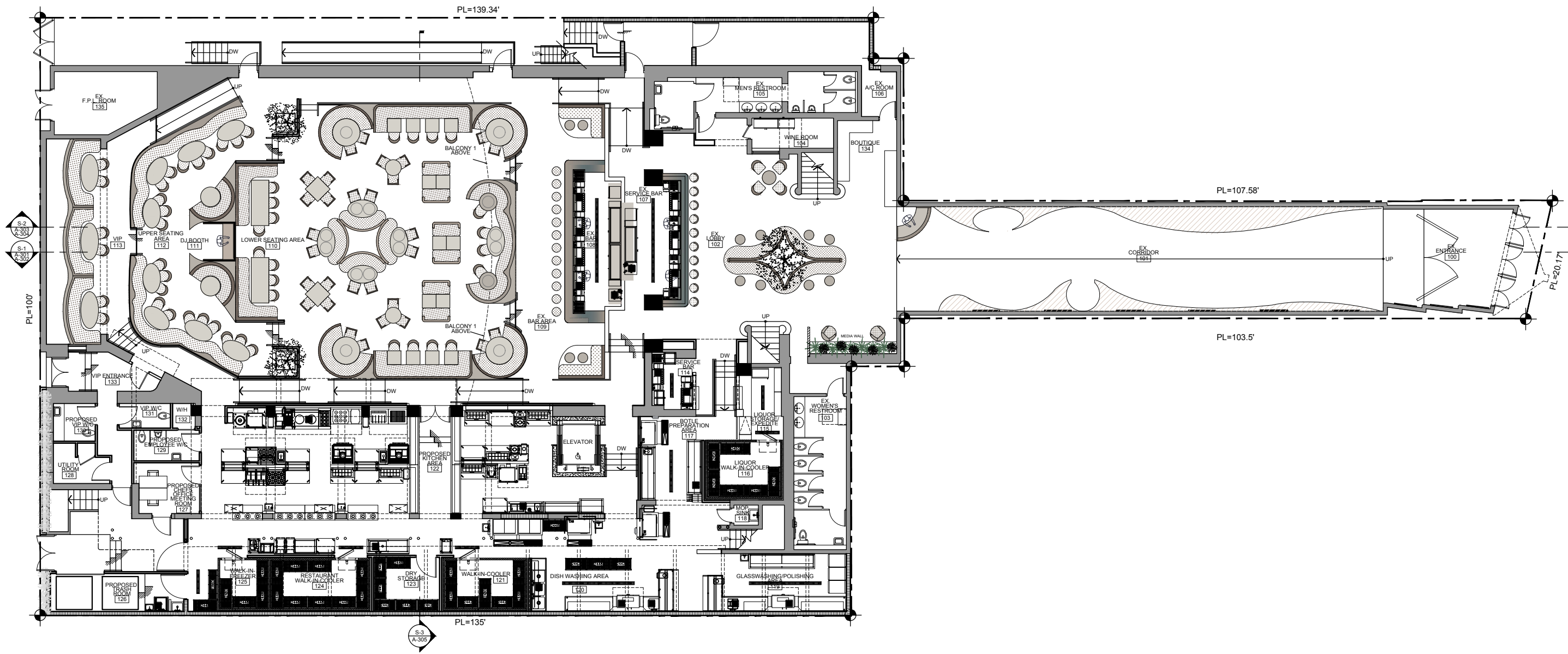
DWG. TITLE
PROPOSED SITE PLAN

SCALE
3/32" = 1'-0"





PROJECT NO.
2020-02

DATE
05-11-20

SHEET NUMBER
A-100



LEGEND

-  EXISTING INTERIOR PARTITION TO REMAIN
-  EXISTING CMU WALL TO REMAIN
-  NEW CMU PARTITION
-  EXISTING COLUMN

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION

DWG. TITLE
PROPOSED GROUND FLOOR PLAN

SCALE
1/8" = 1'-0"

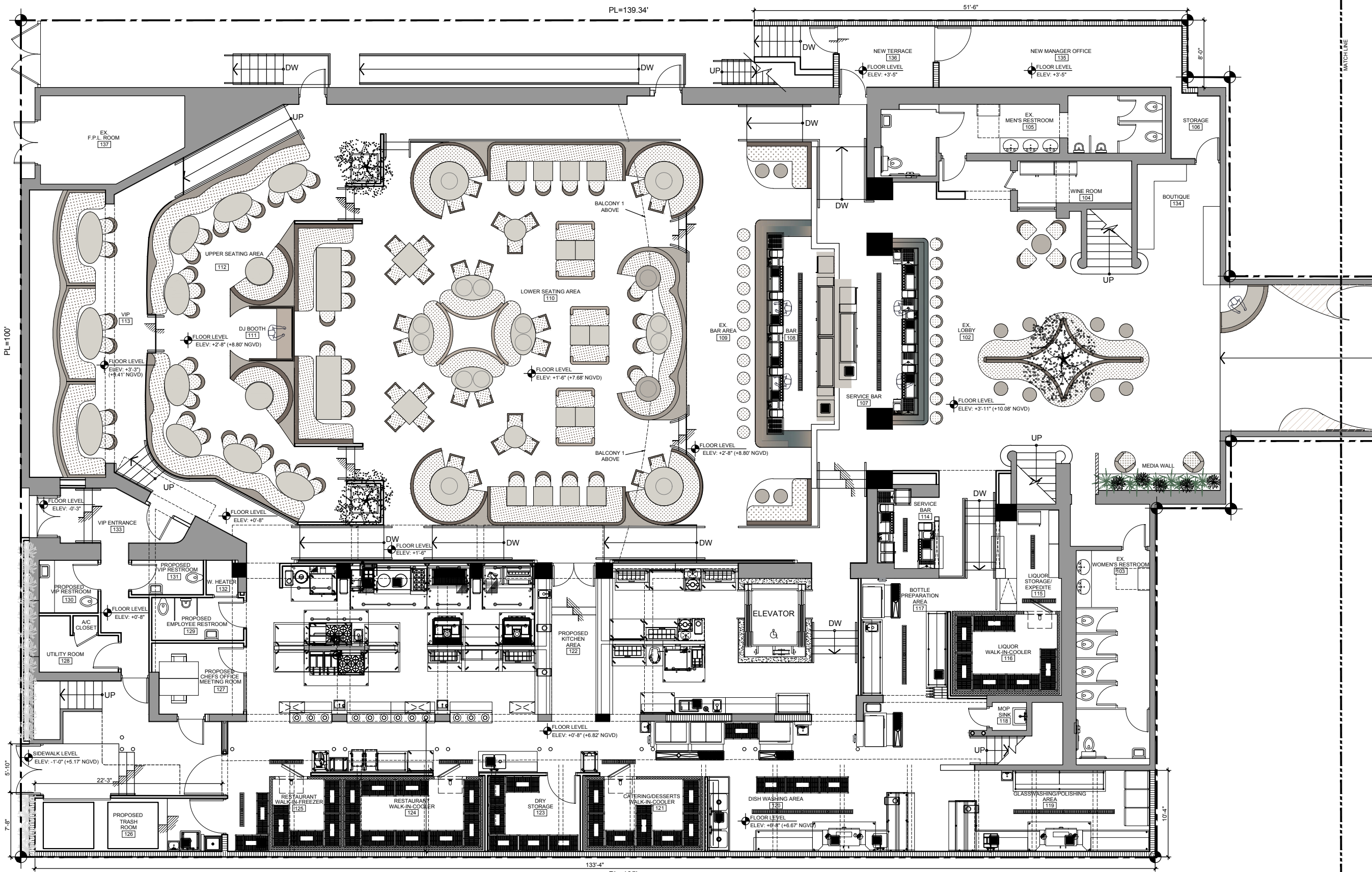
PROJECT NO.
2020-02

DATE
05-11-20

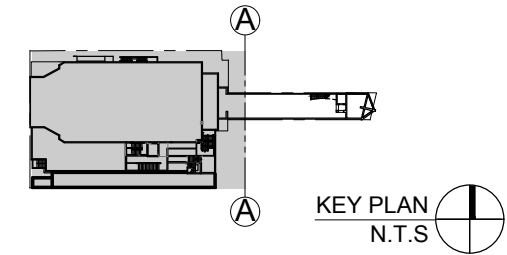
SHEET NUMBER
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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
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MIAMI BEACH



- LEGEND**
- EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING CMU WALL TO REMAIN
 - NEW CMU PARTITION
 - EXISTING COLUMN



DATE	REVISION

DWG. TITLE
ENLARGED PROPOSED
GROUND FLOOR PLAN

SCALE
3/16" = 1'-0"

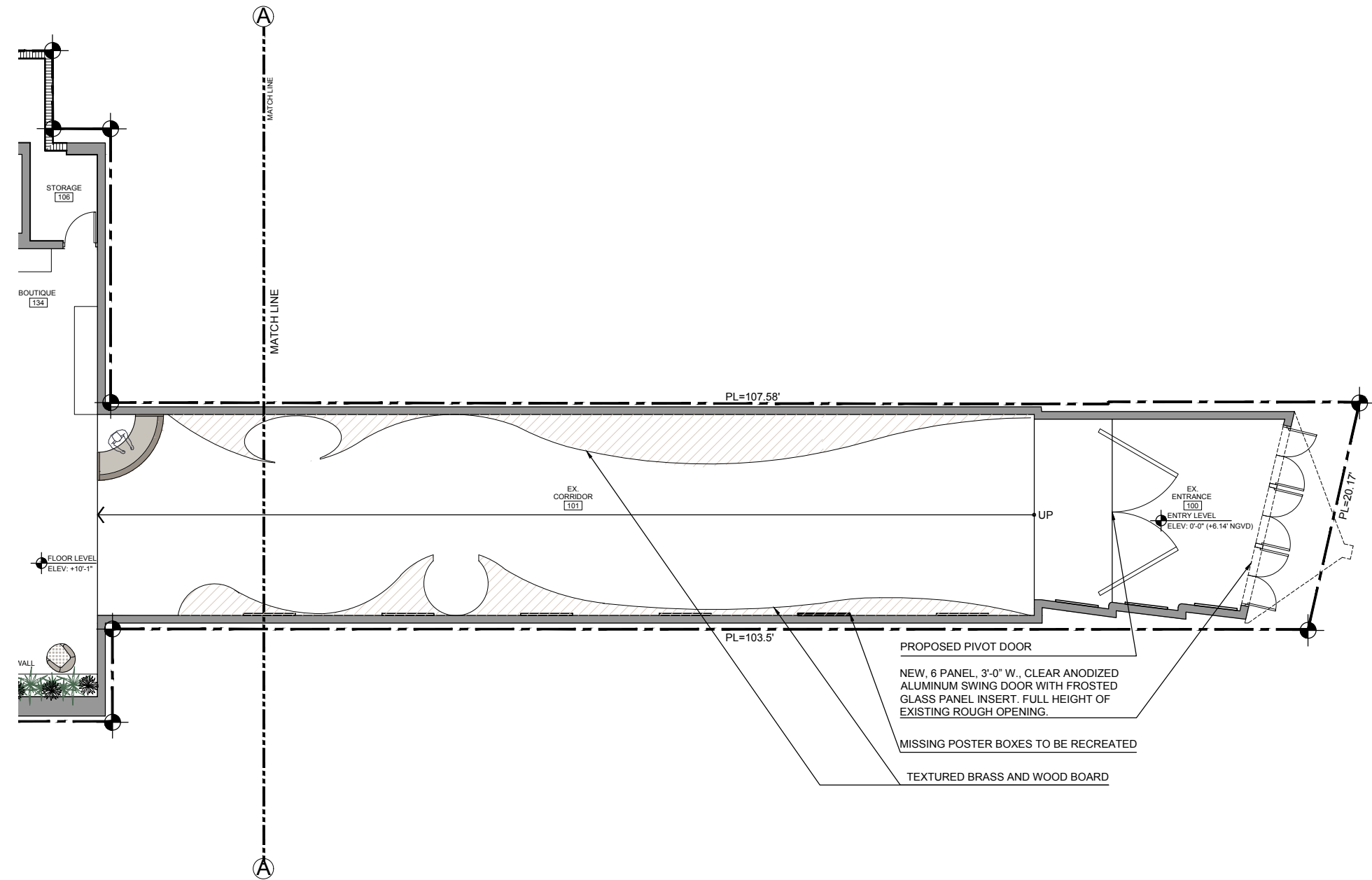
PROJECT NO.
2020-02

DATE
05-11-20

SHEET NUMBER
A-102

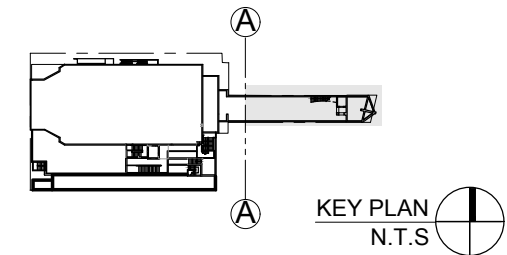
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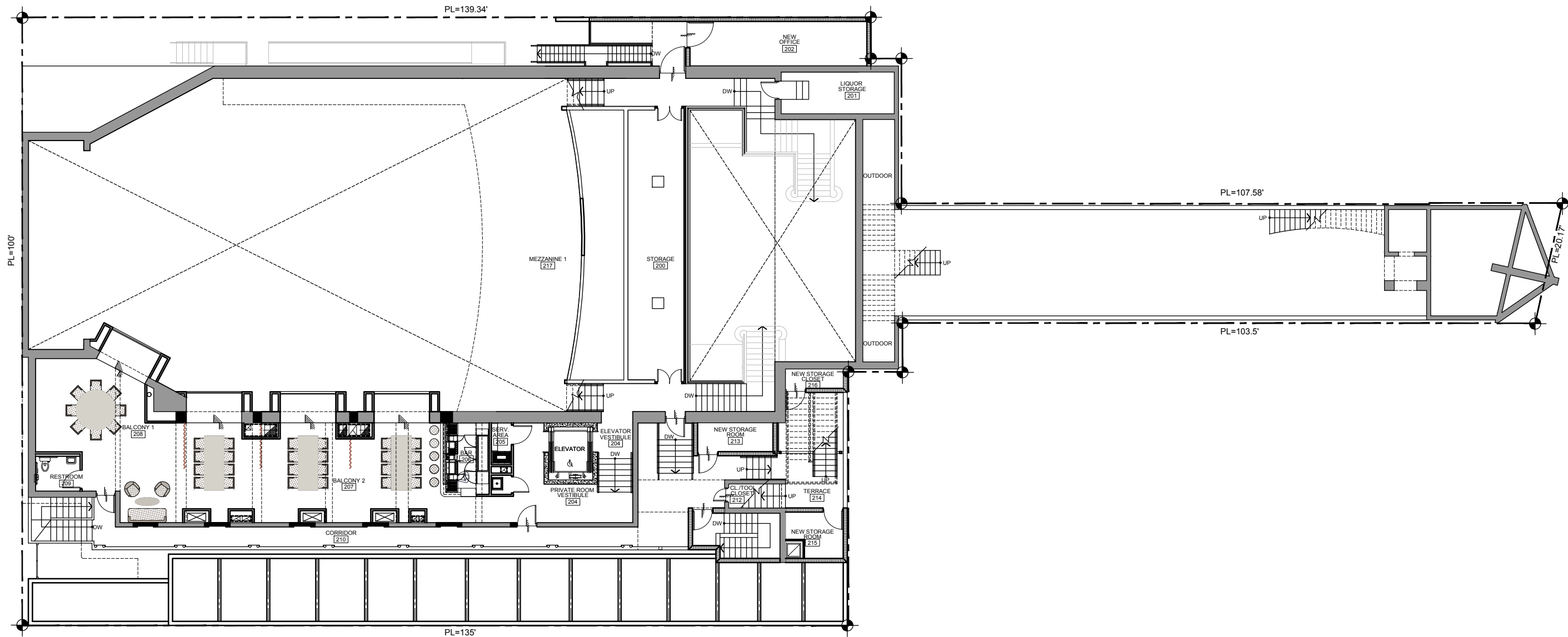


PROPOSED PIVOT DOOR
 NEW, 6 PANEL, 3'-0" W., CLEAR ANODIZED ALUMINUM SWING DOOR WITH FROSTED GLASS PANEL INSERT. FULL HEIGHT OF EXISTING ROUGH OPENING.
 MISSING POSTER BOXES TO BE RECREATED
 TEXTURED BRASS AND WOOD BOARD

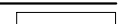



- LEGEND**
- EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING CMU WALL TO REMAIN
 - NEW CMU PARTITION
 - EXISTING COLUMN



△	DATE	REVISION
DWG. TITLE		
ENLARGED PROPOSED GROUND FLOOR PLAN		
SCALE		
3/16" = 1'-0"		
PROJECT NO.		
2020-02		
DATE		
05-11-20		
SHEET NUMBER		
A-103		



LEGEND

-  EXISTING INTERIOR PARTITION TO REMAIN
-  EXISTING CMU WALL TO REMAIN
-  NEW CMU PARTITION
-  EXISTING COLUMN

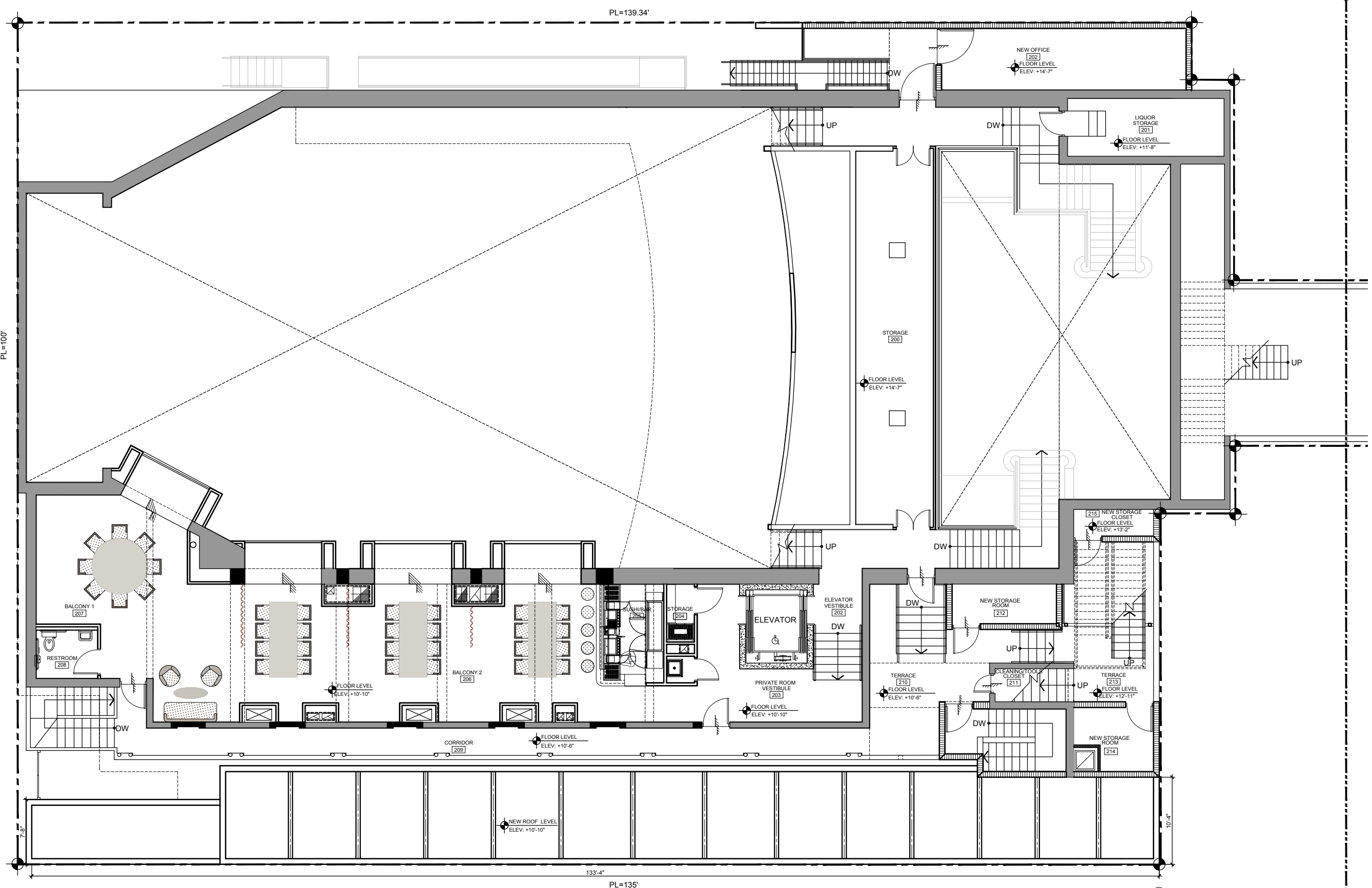


DATE	REVISION

DATE	REVISION
DWG. TITLE	
PROPOSED 2ND FLOOR PLAN	
SCALE	
1/8" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
05-11-20	
SHEET NUMBER	
A-104	

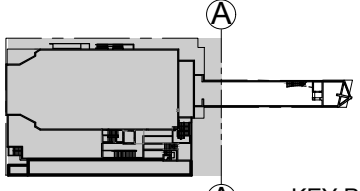
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LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW CMU PARTITION
- EXISTING COLUMN



KEY PLAN
N.T.S.

DATE	REVISION

DWG. TITLE	ENLARGED PROPOSED 2ND FLOOR PLAN
SCALE	3/16" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	A-105

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