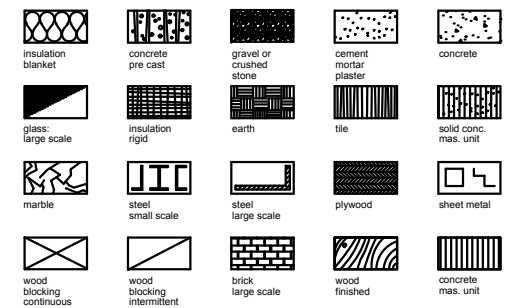


ABBREVIATIONS

A	ACOUS. A.C. A.D. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	C	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD	R	R. RAD. R.D. REF. REFL. REFR. RF. RGTR. REINF. REQ. RESIL. RM. R.O. R.WD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM	H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	S	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D. S.N.R. SPEC. SQ. S.ST. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPEND SYMMETRICAL
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER	I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT	J	JAN. JST. JT.	JANITOR JOIST JOINT
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING	K	KIT.	KITCHEN	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT
E	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S. E.W.C. EXST. EXP0. EXP. EXT.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION	T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE THICK TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. FT. FTG. FURR. FUT. F.V. F.V.C.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE FIELD VERIFY FIRE VALVE CABINET	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	U	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
G	GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE	V	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER
H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTIC PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE	W	W. WT. W/ W.C. WD. W/O WP. WSCST.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT
I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT	Q	Q.T.	QUARRY TILE			

MATERIAL LEGEND



CLIENT: 550 LANDLORD LLC
999 BRICKELL AVENUE, SUITE 600
MIAMI FL 33131

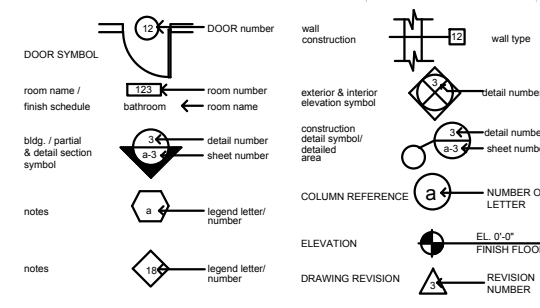
DESIGN/PROJECT ARCHITECT: BEILINSON GOMEZ ARCHITECTS PA
JOSE L. GOMEZ AR0015416 8101
BISCAYNE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 559-1250
FAX. (305) 551-1740

DRAWING INDEX ARCHITECTURAL

A-000	COVER SURVEY & ELEVATION CERTIFICATE PROJECT INFORMATION INDEX DISTRICT MAP SITE LOCATION AND ZONING AERIAL VIEWS SITE PHOTOGRAPHS EXTERIOR BUILDING PRESERVATION DETAILS INTERIOR BUILDING PRESERVATION DETAILS EXISTING AREA CALCULATION FLOOR PLAN PROPOSED AREA CALCULATION FLOOR PLAN PROPOSED FACADE IMAGES PROPOSED 3D IMAGES EXISTING SITE PLAN EXISTING GROUND FLOOR PLAN EXIST-101 EXIST-102 EXIST-103 EXIST-104 EXIST-105 EXIST-201 EXIST-202 EXIST-203 EXIST-204 EXIST-205 EXIST-206 EXIST-301 D-101 D-102 D-103 D-104 D-105 D-106 D-201 D-301 D-302 A-100 A-101 A-102 A-103 A-104 A-105 A-106 A-107 A-108 A-109 A-110 A-111 A-112 A-113 A-114 A-115 A-116 A-117 A-200 A-201 A-202 A-203 A-301 A-302 A-303 A-304 A-305	EXISTING WEST ELEVATION EXISTING EAST ELEVATION EXISTING SOUTH ELEVATION EXISTING NORTH ELEVATION EXISTING SECTION DEMOLITION GROUND FLOOR PLAN ENLARGE DEMOLITION GROUND FLOOR PLAN DEMOLITION 2ND FLOOR PLAN ENLARGE DEMOLITION 2ND FLOOR & MEZZANINE 1 FLOOR PLAN DEMOLITION 3RD FLOOR & MEZZANINE 2 FLOOR PLAN DEMOLITION SOUTH ELEVATION DEMOLITION SECTIONS PROPOSED SITE PLAN PROPOSED GROUND FLOOR PLAN ENLARGE PROPOSED GROUND FLOOR PLAN ENLARGE PROPOSED GROUND FLOOR PLAN PROPOSED 2ND FLOOR PLAN ENLARGE PROPOSED 2ND FLOOR PLAN PROPOSED MEZZANINE 1 & MECHANICAL ROOF PLAN ENLARGED PROPOSED MEZZANINE 1 & MECHANICAL ROOF PLAN PROPOSED MEZZANINE 2 & 3RD FLOOR PLAN ENLARGED PROPOSED MEZZANINE 2 & 3RD FLOOR PLAN PROPOSED ROOF STORAGE PLAN ENLARGED PROPOSED ROOF STORAGE PLAN PROPOSED ROOF PLAN ENLARGED PROPOSED ROOF PLAN ENLARGE PROPOSED GROUND FLOOR REFLECTED CEILING PLAN ENLARGE PROPOSED GROUND FLOOR REFLECTED CEILING PLAN PROPOSED 2ND FLOOR & MEZZANINE 1 REFLECTED CEILING PLAN PROPOSED MEZZANINE 2 & 3RD FLOOR REFLECTED CEILING PLAN PROPOSED WEST ELEVATION PROPOSED EAST ELEVATION PROPOSED SOUTH ELEVATION PROPOSED SECTION PROPOSED SECTION PROPOSED SECTION PROPOSED SECTION
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ARCHITECTURE AAC01082
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beilinsonarchitectspa.com

SYMBOL LEGEND



APPLICABLE CODES

GOVERNING ZONING CODE:	CITY OF MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2017
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2017
STRUCTURAL:	FLORIDA BUILDING CODE 2017
PLUMBING:	FLORIDA BUILDING CODE 2017 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2017 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2017 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2017 - CHAPTER 11 FACBC
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2017 EDITION

PROJECT INFORMATION

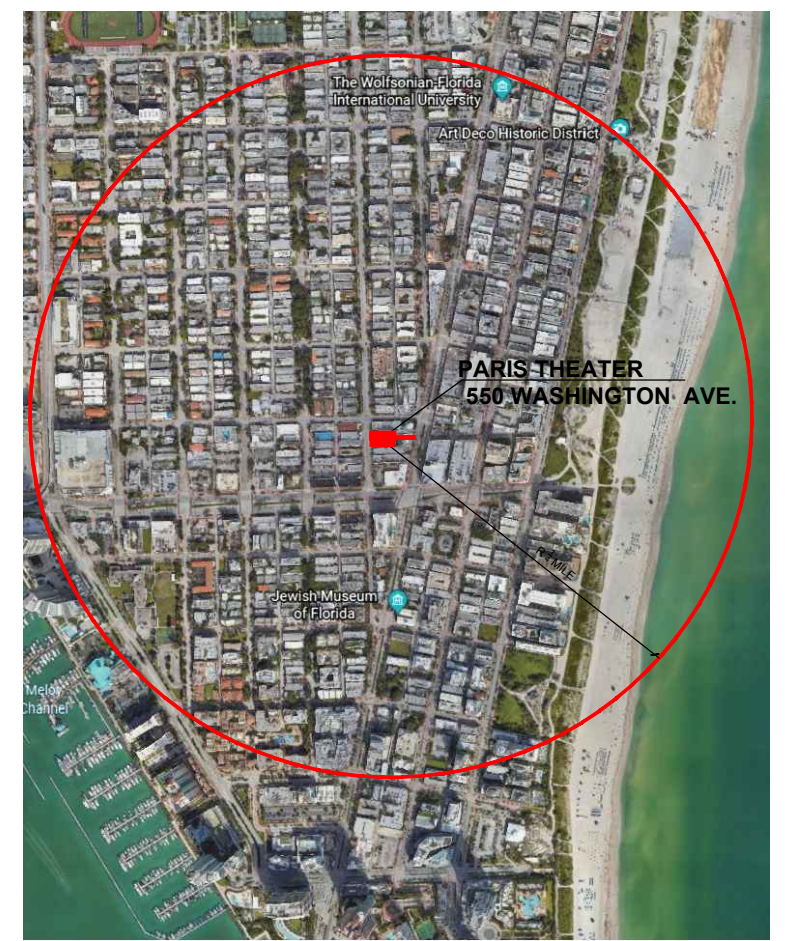
SCOPE OF WORK
RENOVATE AND REHABILITATE AN EXISTING HISTORIC BUILDING WITH OCCUPANCY CLASSIFICATION GROUP A2

OCCUPANCY CLASSIFICATION
ASSEMBLY - GROUP A2

ALTERATION CLASSIFICATION
ALTERATION LEVEL 3 - (AS PER FBC 2017 6th ED CHAPTER 5)

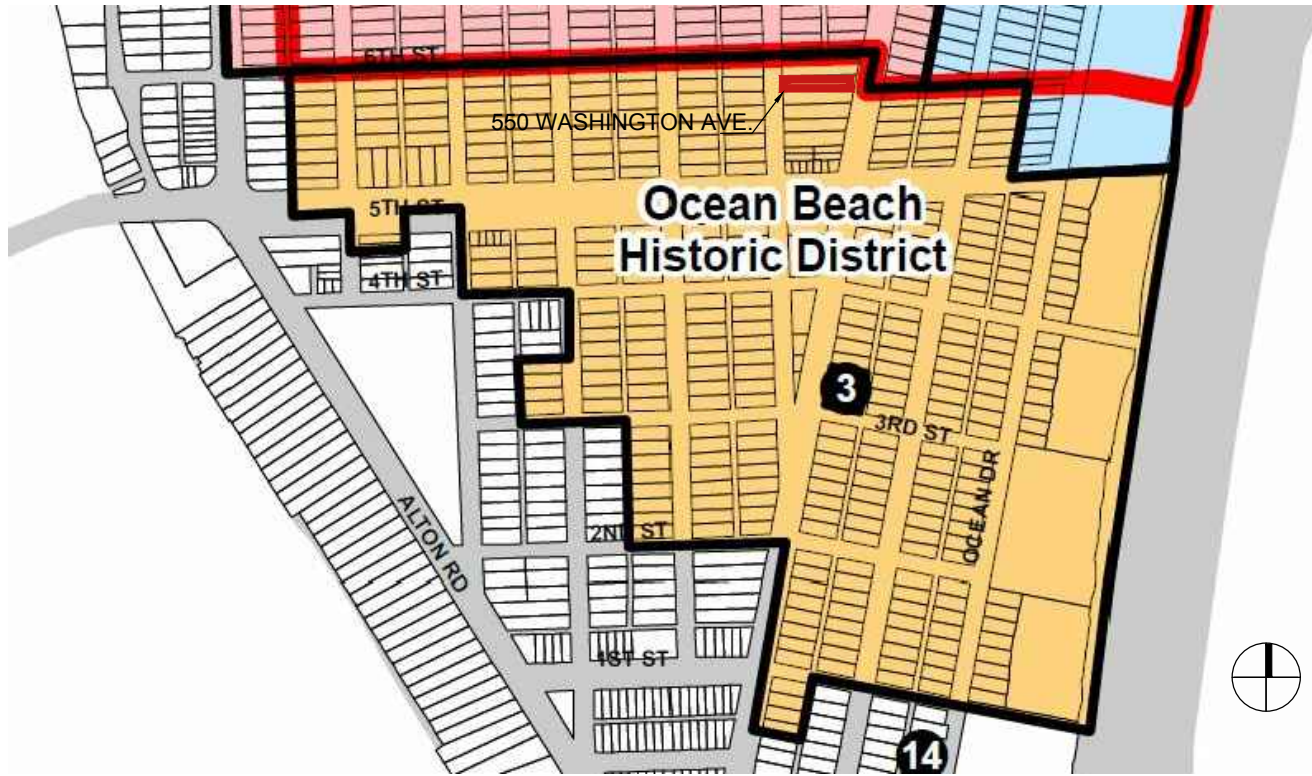
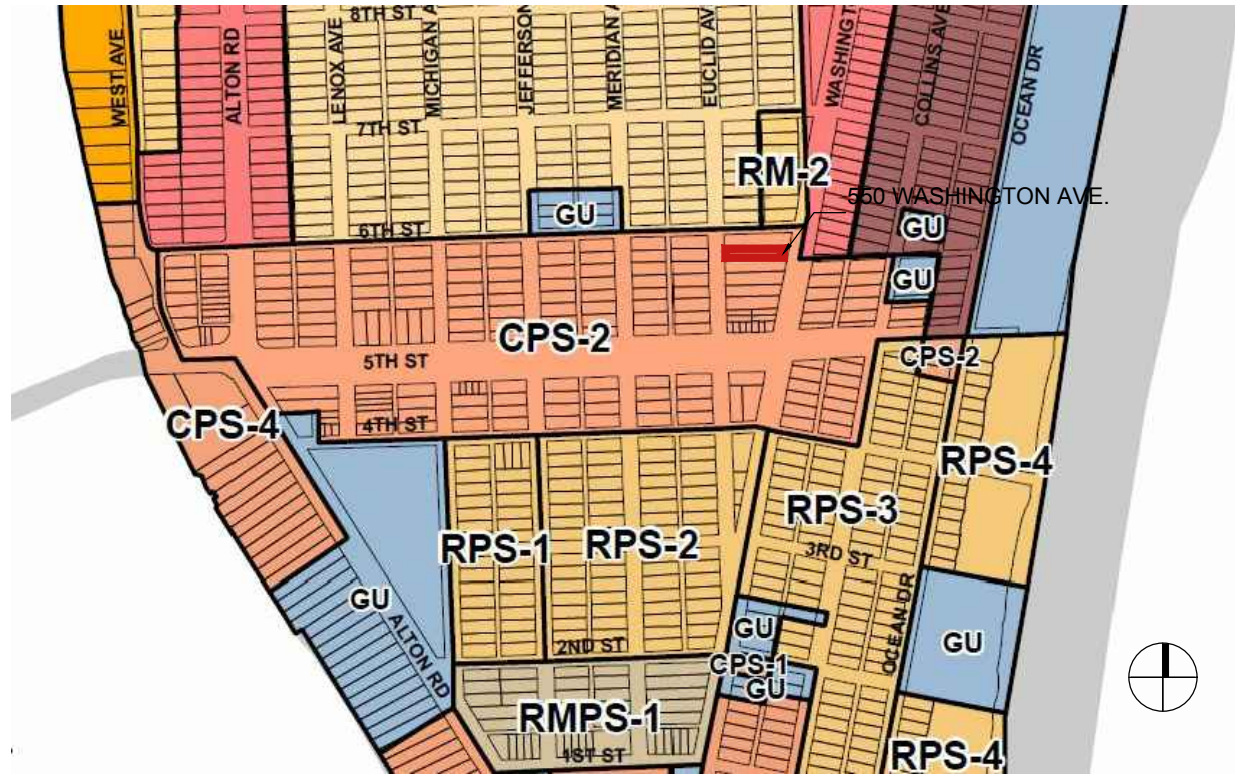
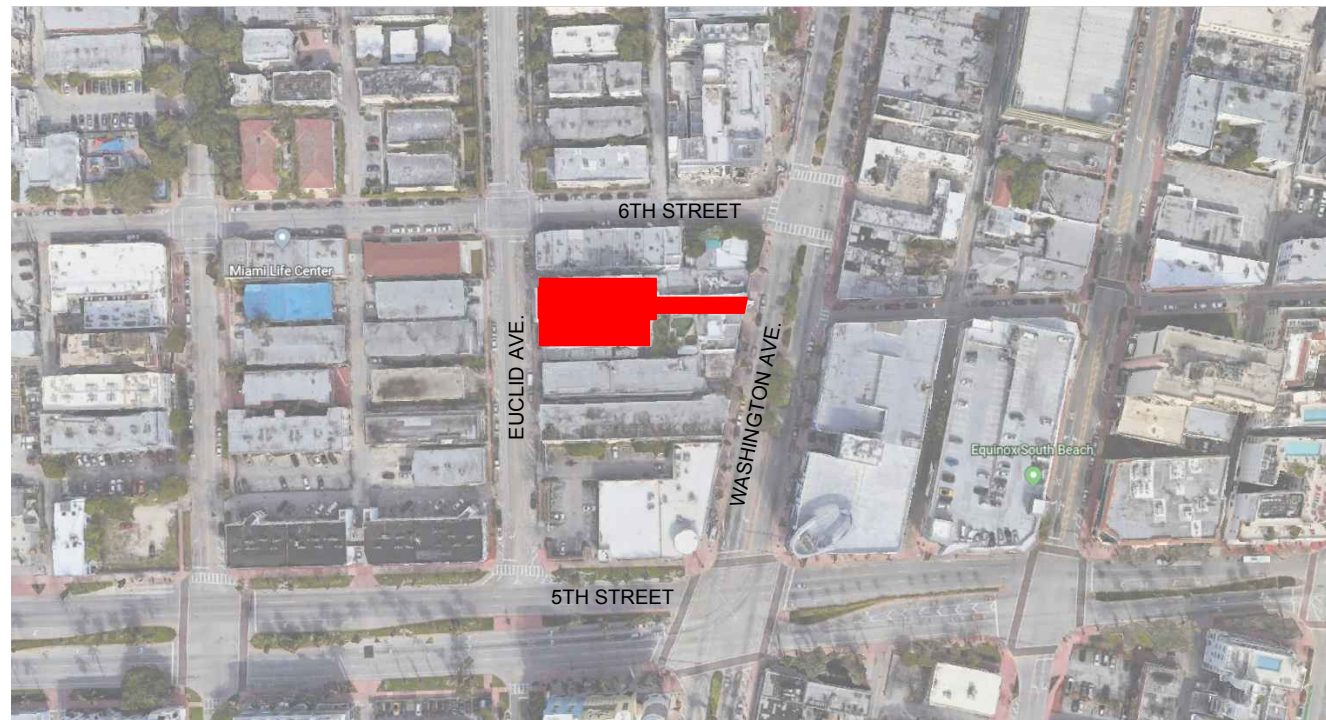
CLASSIFICATION OF REHABILITATION WORK CATEGORIES
(AS PER FFPC 101 6TH EDITION CHAPTER 43)
(AS PER 2015 EDITION NFPA 101, CHAPTER 43.6)
(AS PER FBC 2017 6th ED CHAPTER 11)

LEGAL DESCRIPTION
ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 87, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 37.22 FEET MORE OR LESS IN THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.S.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.S.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.S.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.S.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.S.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.S.S. BUILDING AND ITS NORTHERLY EXTENSION A DISTANCE OF 23.66 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.S.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.86 FEET, MORE OR LESS TO THE POINT OF BEGINNING.
AND THE WEST 135 FEET OF LOT 3 AND THE EAST 9.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
AK/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33739



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
DWG. TITLE	
PROJECT INFORMATION INDEX	
SCALE	N.T.S.
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	A-001



- ZONING DISTRICTS**
- | | | | |
|--|--|---|---|
| RS-1 Single family residential | CD-3 Commercial, high intensity | WD-2 Waterway district | CPS-4 Commercial performance standard, intensive phased bayside |
| RS-2 Single family residential | I-1 Urban light industrial | RO Residential office | RMPS-1 Residential mixed use performance standard |
| RS-3 Single family residential | MXE Mixed use entertainment | GC Golf course | SPE Special public facilities educational district |
| RS-4 Single family residential | HD Hospital district | RPS-1 Residential performance standard, medium-low density | TC-1 North Beach Town Center core |
| TH Townhome residential | MR Marine recreational | RPS-2 Residential performance standard, medium density | TC-2 North Beach Town Center mixed use |
| RM-1 Residential multifamily, low intensity | GU Civic and government use | RPS-3 Residential performance standard, medium-high density | TC-3 North Beach Town Center residential/office |
| RM-2 Residential multifamily, medium intensity | CCC Convention center district | RPS-4 Residential performance standard, high density | TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial |
| RM-3 Residential multifamily, high intensity | RM-PRD Multifamily, planned residential development district | CPS-1 Commercial performance standard, limited mixed use | |
| CD-1 Commercial, low intensity | RM-PRD-2 Multifamily, planned residential development district | CPS-2 Commercial performance standard, general mixed use | |
| CD-2 Commercial, medium intensity | WD-1 Waterway district | CPS-3 Commercial performance standard, intensive mixed use | |
- FOR AN OFFICIAL ZONING DETERMINATION
 PLEASE CONTACT THE PLANNING DEPARTMENT.

- LOCAL HISTORIC DISTRICTS**
- | | |
|--|---|
| Esplanola Way Historic District | Palm View Historic District |
| Allos del Mar Historic District | Collins Waterfront Historic District |
| Flamingo Park Historic District | North Beach Resort Historic District |
| Ocean Drive/Collins Avenue Historic District | Flamingo Waterway Historic District |
| Museum Historic District | Morris Lapidus/Mid 20th Century Historic District |
| Ocean Beach Historic District | North Shore Historic District |
| Harding Townsite Historic District | Normandy Isles Historic District |

- NATIONAL REGISTER HISTORIC DISTRICTS**
- Miami Beach Architectural District
 - Normandy Isles Historic District
 - North Shore Historic District
 - Collins Waterfront Architectural District

- LOCAL HISTORIC SITES**
- 1 Old City Hall Historic Site
 - 2 1st St Recreation Center Historic Site
 - 3 Congregation Beth Jacob Historic Site
 - 4 Venetian Causeway Historic Site
 - 5 Miami Beach Woman's Club Historic Site
 - 6 Sunset Island Bridges Historic Structures
 - 7 The Bath Club Historic Site
 - 8 Dade Blvd Fire Station Historic Site
 - 9 PineTree Dr Historic Roadway
 - 10 Flagler Memorial and Monument Island Historic Site
 - 11 69th St Fire Station Historic Site
 - 12 28th St Obelisk and Pumping Station Historic Structure
 - 13 1600 Lenox Ave Historic Site
 - 14 36 Ocean Dr Historic Site
 - 15 1700 Alton Rd Historic Site

DATE	REVISION

DWG. TITLE: DISTRICT MAPS

SCALE: N.T.S.

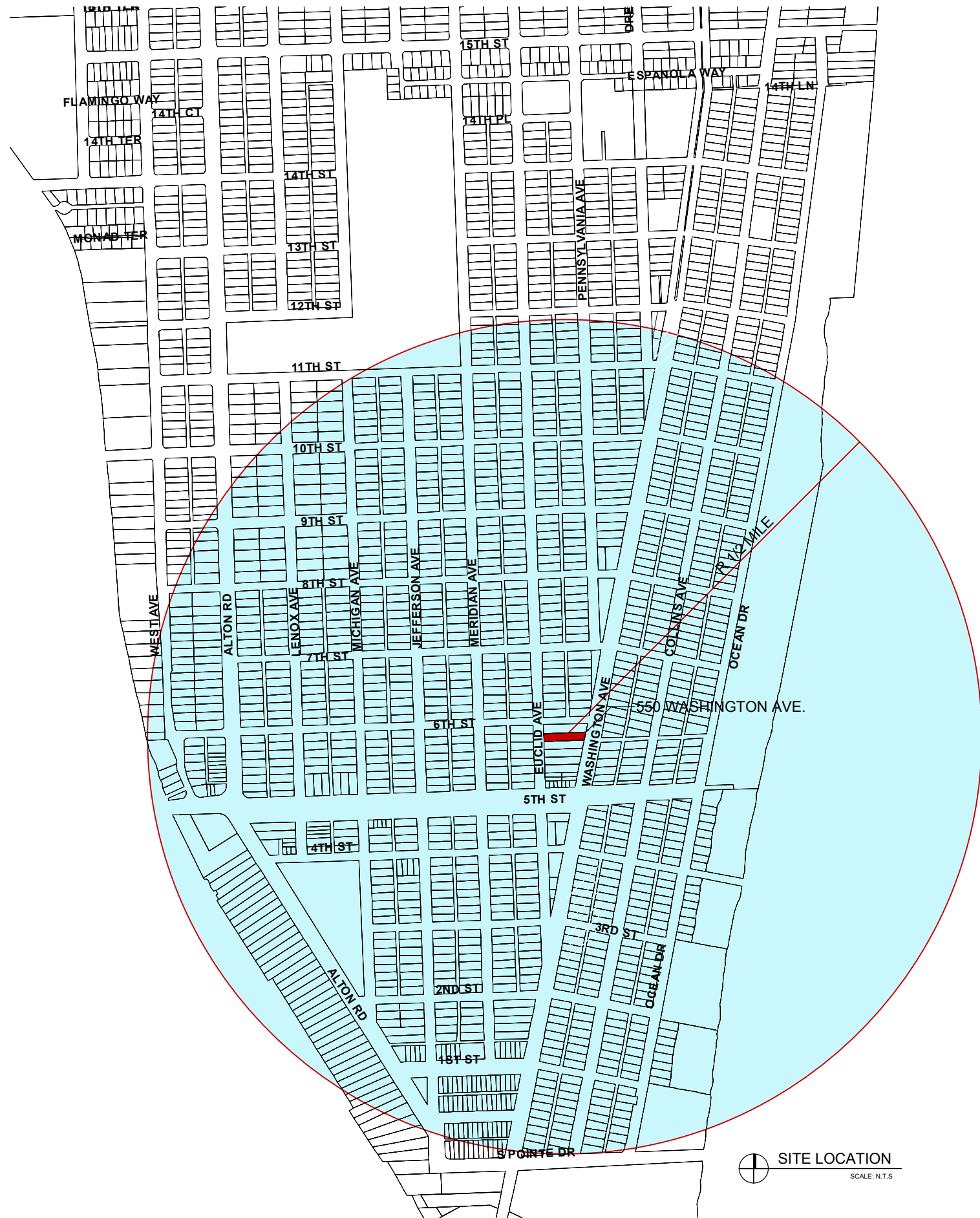
PROJECT NO.: 2020-02

DATE: 05-11-20

SHEET NUMBER: A-002

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
 550 WASHINGTON AVE
 MIAMI BEACH

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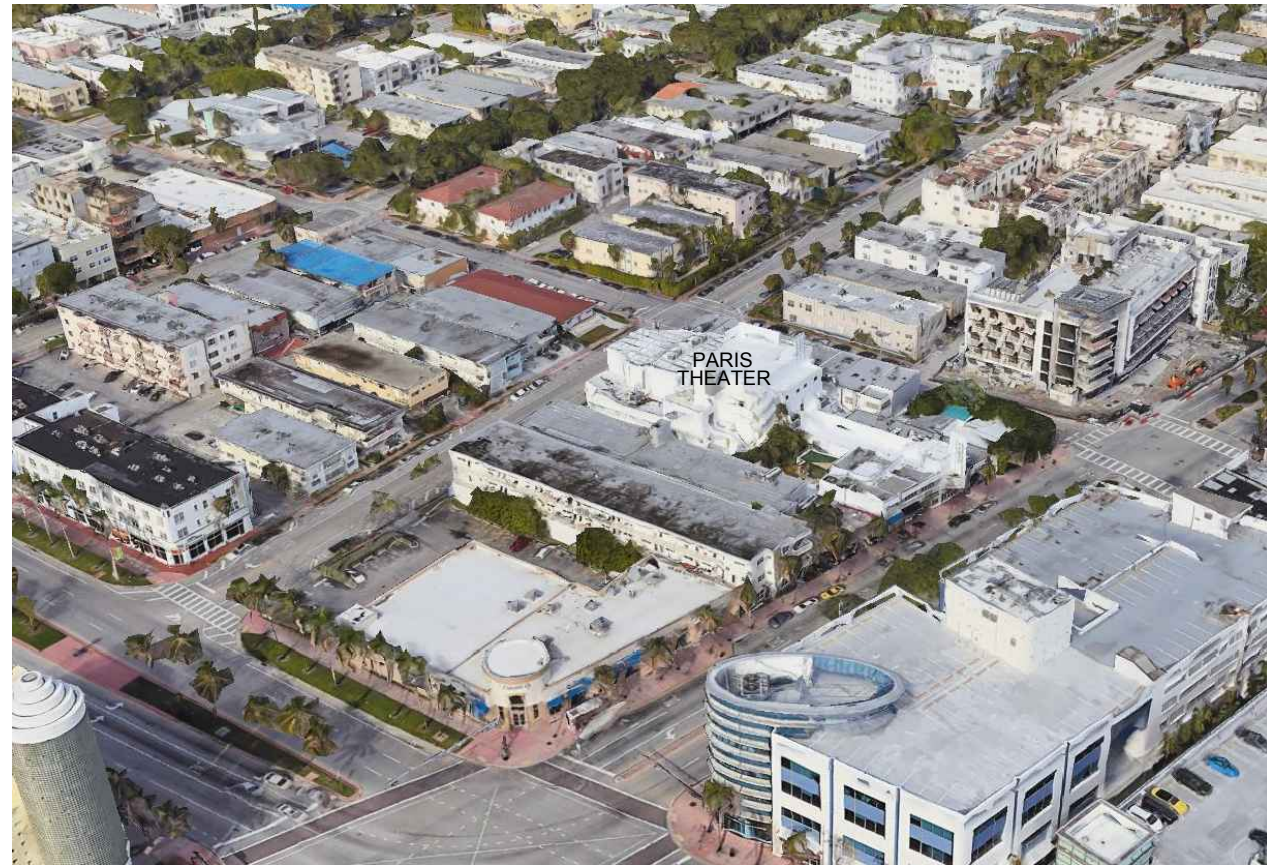
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET						
ITEM #	Zoning Information					
1	Address:	550 WASHINGTON AVE. MIAMI BEACH, FL. 33139				
2	Board and file numbers:					
3	Folio number(s):	02-4203-009-1900				
4	Year constructed:	1945	Zoning District:	C-PS2 (COMMERCIAL GENERAL MIXED USE)		
5	Base Flood Elevation:	AE-8.0	Grade value in NGVD:	5.50'		
6	Adjusted grade (Flood+Grade/2):	6.75'	Lot Area (SF):	13586		
7	Lot width (FT):	50	Lot Depth (FT):	140		
8	Minimum Unit Size(SF):	N/A	Average Unit Size:	N/A		
9	Existing use:	ENTERTAINMENT ESTABLISHMENT (ASSEMBLY- GROUP A2)	Proposed use:	RESTAURANT (ASSEMBLY- GROUP A2)		
		Maximum	Existing	Proposed	Deficiencies	
10	Height:	50'-0"	61'-4" existing elevator bulkhead pursuant to Section 141-1161(A)(5)	53'-2" for proposed storage room addition	Seeking variance of 3'-2" for proposed storage room	
11	Number of Stories:	5	4	4		
12	FAR:	2	1.76	1.90		
13	Gross square footage:	27,172	23,919	25,876		
		Setbacks	Required	Existing	Proposed	Deficiencies
		Pedestal:				
14	Front Setback:	0'-0"	0'-0"	0'-0"		
15	Side / Interior Setback:					
16	Left Side Setback:	0'-0"	0'-0"	0'-0"		
17	Right Side Setback:	0'-0"	0'-0"	0'-0"		
18	Rear Setback:	5'-0"	0'-0";1'-8"	0'-0";1'-8";5'-0"		
		Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1					
20	Total # of parking spaces:		0	0	0	
		Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of use:			RESTAURANT/ NIGHT CLUB		
22	Total # of seats:			377		
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A		
24	Total occupant load:			1499		
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A		
26						
27	Is this a contributing building?		— Yes or no			
28	Located within a Local Historic District?		— Yes or no			

BEILLINSON GOMEZ ARCHITECTS
 ARCHITECTURE AAC01082
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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
 550 WASHINGTON AVE
 MIAMI BEACH

DATE	REVISION

DWG. TITLE
 SCALE: N.T.S.
 PROJECT NO.
 DATE: 2020-02
 SHEET NUMBER



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

△	DATE	REVISION
DWG. TITLE		
AERIAL VIEWS		
SCALE		
N.T.S.		
PROJECT NO.		
2020-02		
DATE		
05-11-20		
SHEET NUMBER		
A-004		

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PHOTO 01 (12-03-19)



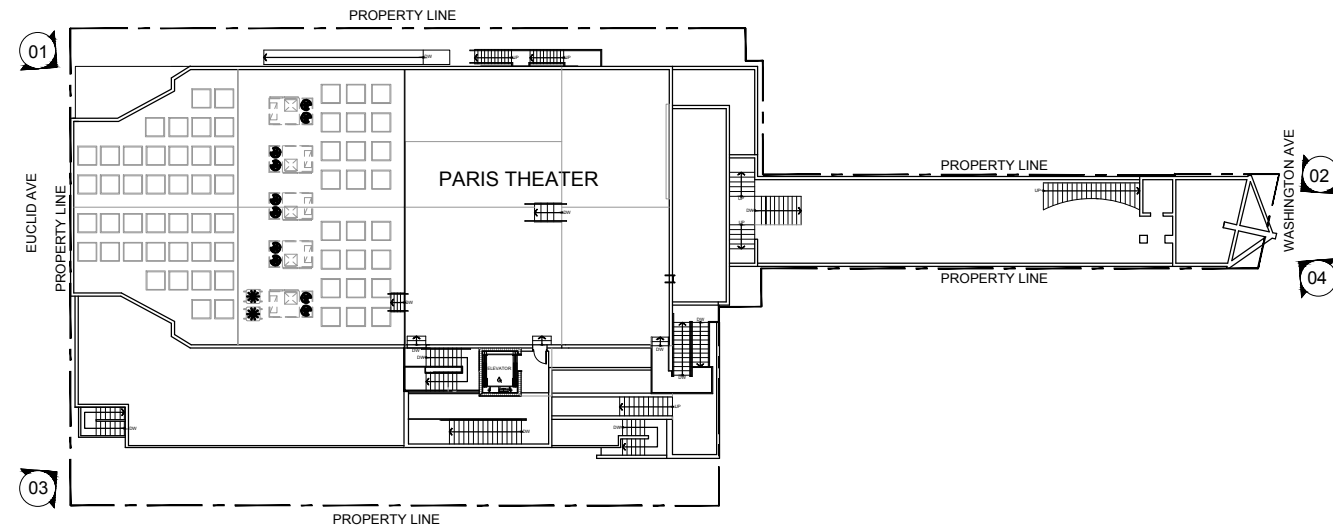
PHOTO 02 (12-03-19)



PHOTO 03 (12-03-19)



PHOTO 04 (12-03-19)



DATE REVISION

DWG. TITLE

SITE PHOTOGRAPHS

SCALE

N.T.S.

PROJECT NO.

2020-02

DATE

05-11-20

SHEET NUMBER

A-005

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1 2 3



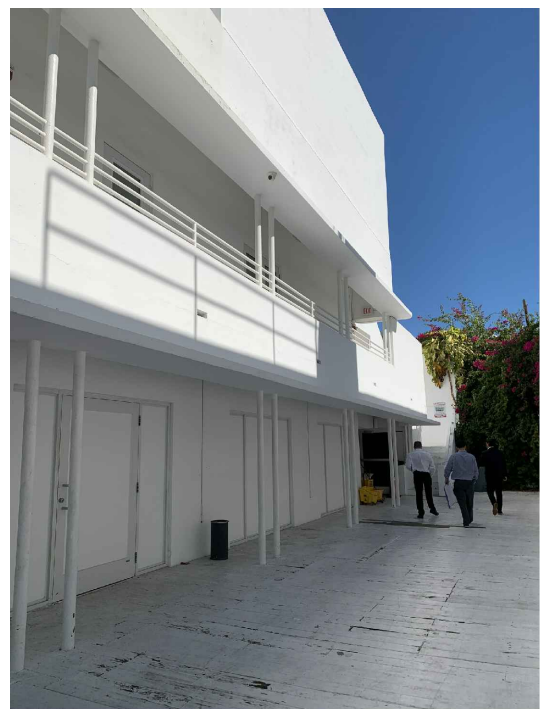
1 2 3

ARCHITECTURAL DETAILS TO BE PRESERVED:

1. FACADE, INCLUDING ALL ART DECO DETAILS
2. THEATER SIGNAGE
3. THEATER MARQUEE
4. RAILINGS
5. METAL COLUMNS



1



4 5



4 5



4

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION

DWG. TITLE	EXTERIOR BUILDING PRESENVATION DETAILS
SCALE	N.T.S.
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	A-006

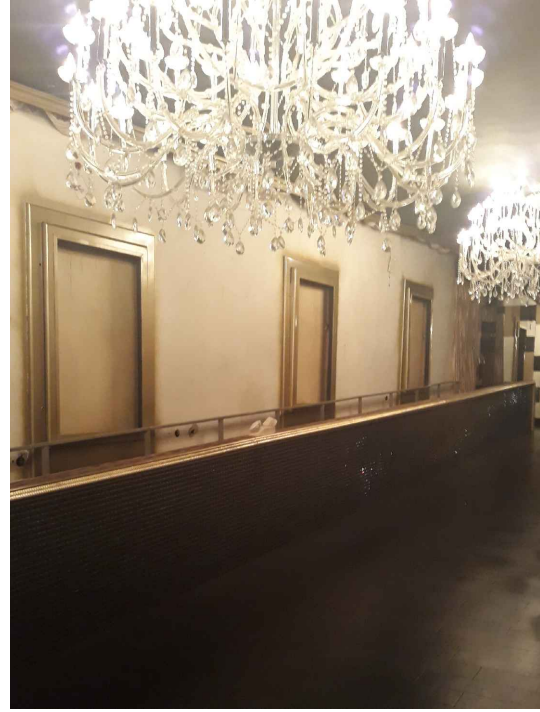
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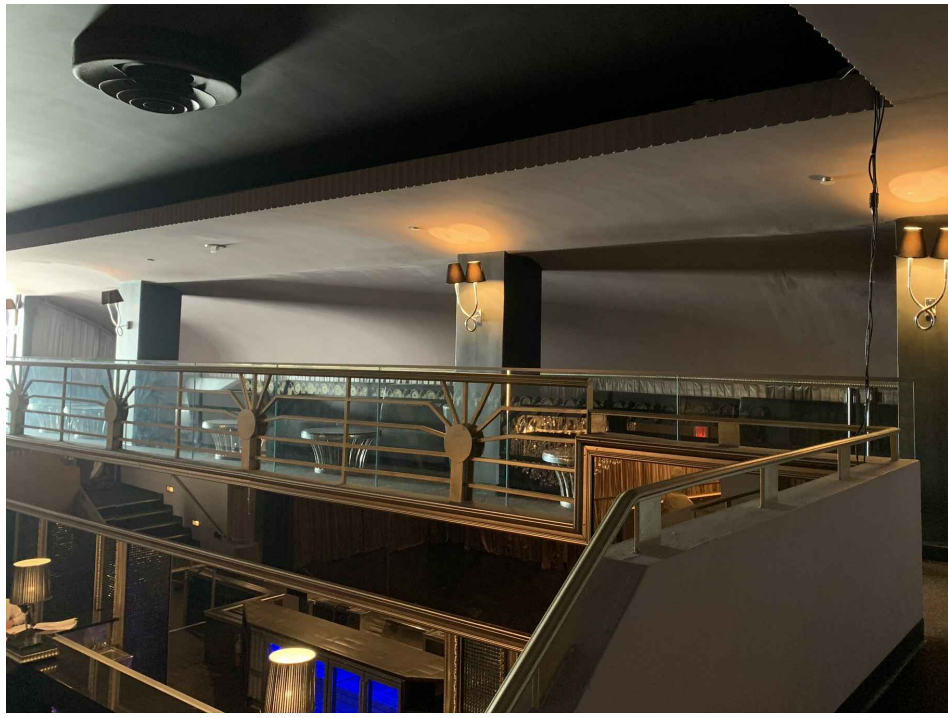


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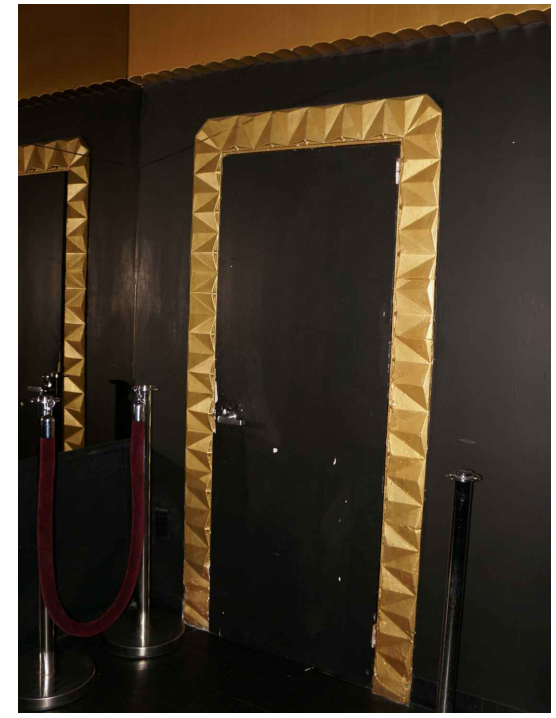
- ARCHITECTURAL DETAILS TO BE PRESERVED:
1. ALL ART DECO DECORATIVE DETAILS
 2. RAILINGS
 3. POSTER BOXES
 4. DOOR FRAMES



1 2



1 2

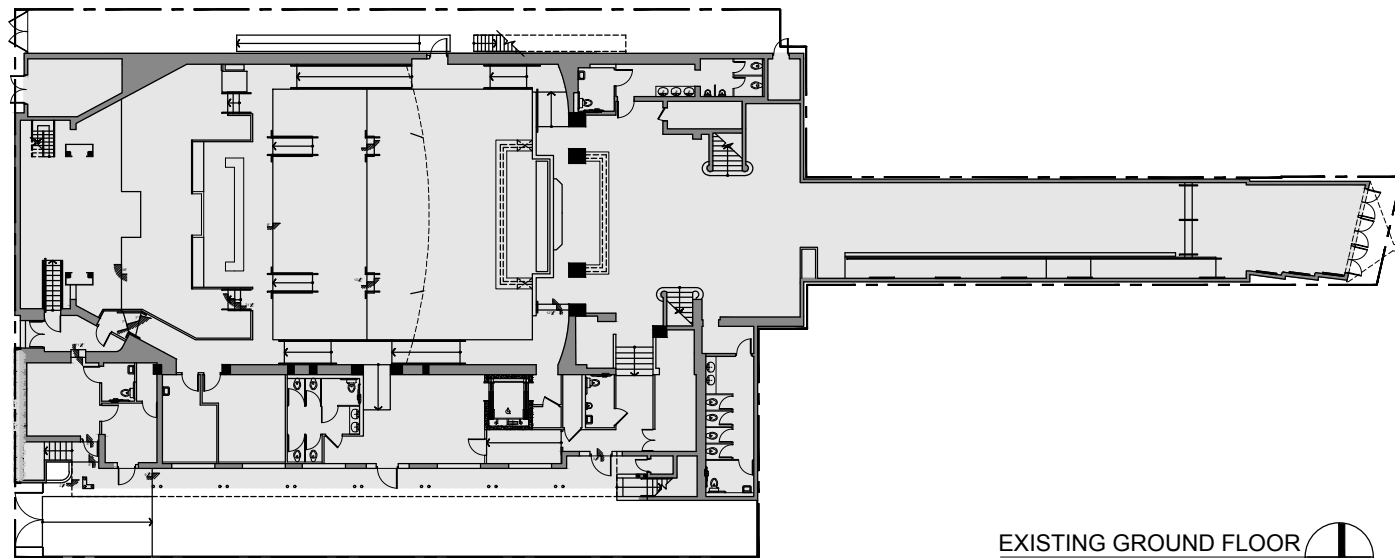


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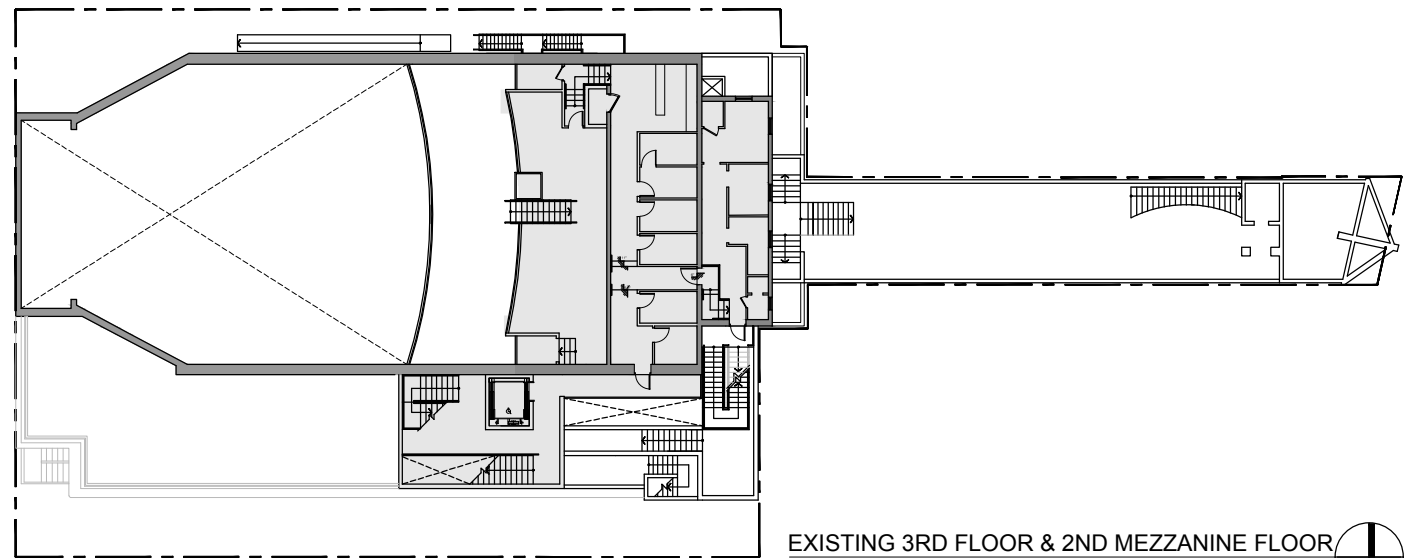
PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

△	DATE	REVISION
DWG. TITLE		
INTERIOR BUILDING PRESENTATION DETAILS		
SCALE		
N.T.S.		
PROJECT NO.		
2020-02		
DATE		
05-11-20		
SHEET NUMBER		
A-007		

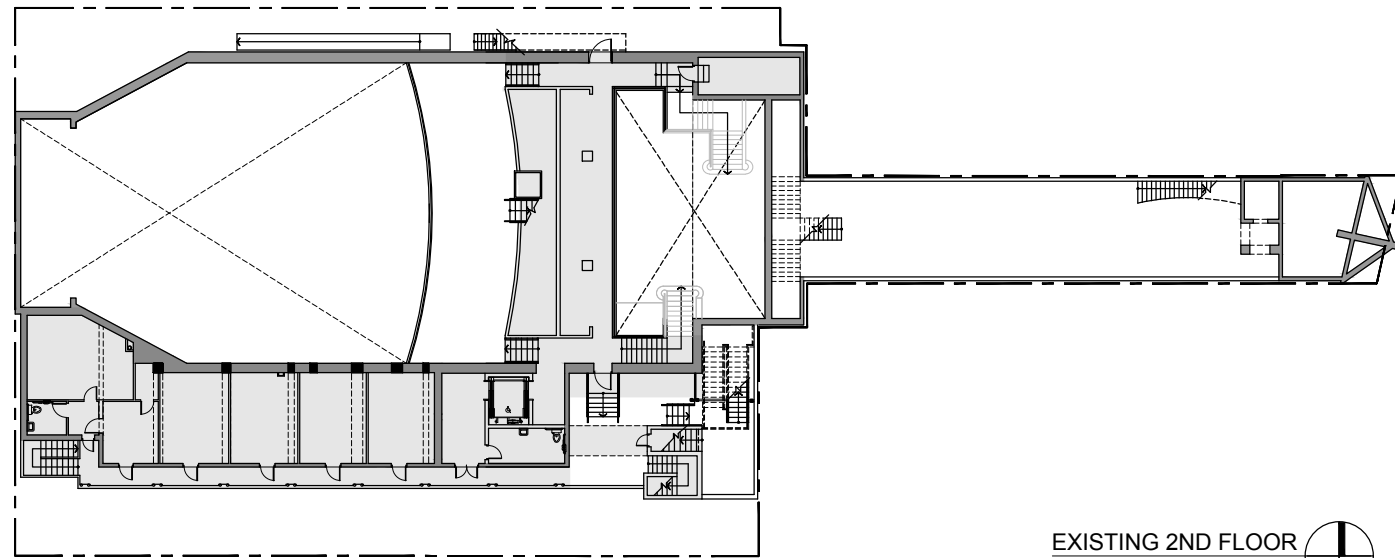
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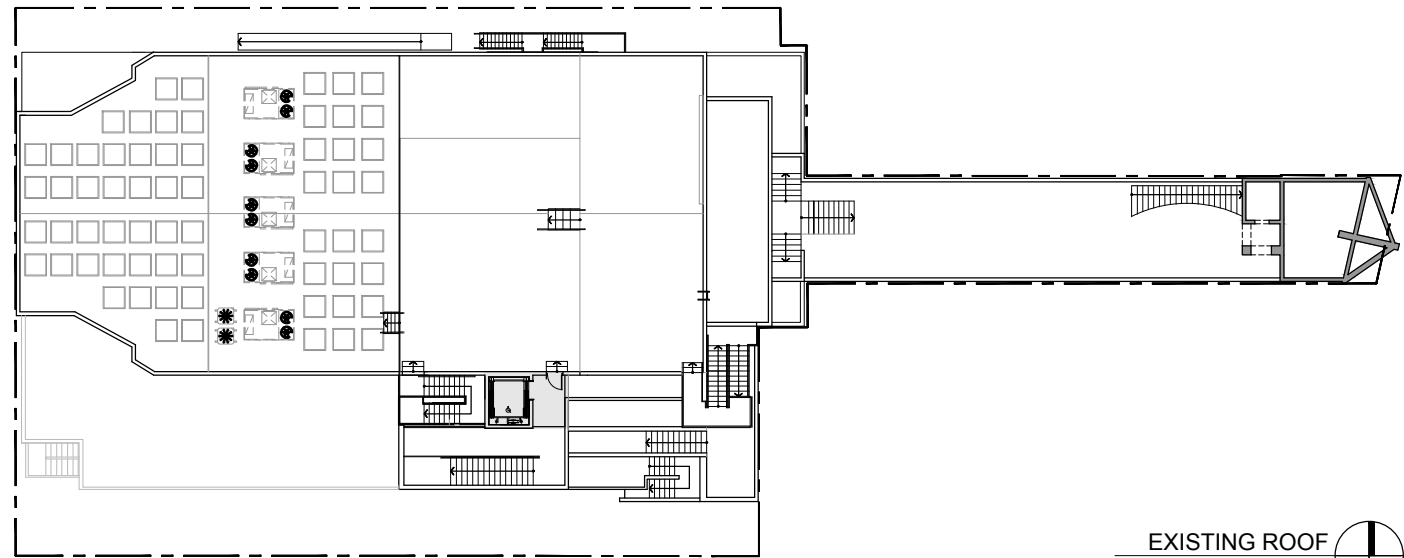
EXISTING GROUND FLOOR
SCALE: 1/16" = 1'-0"



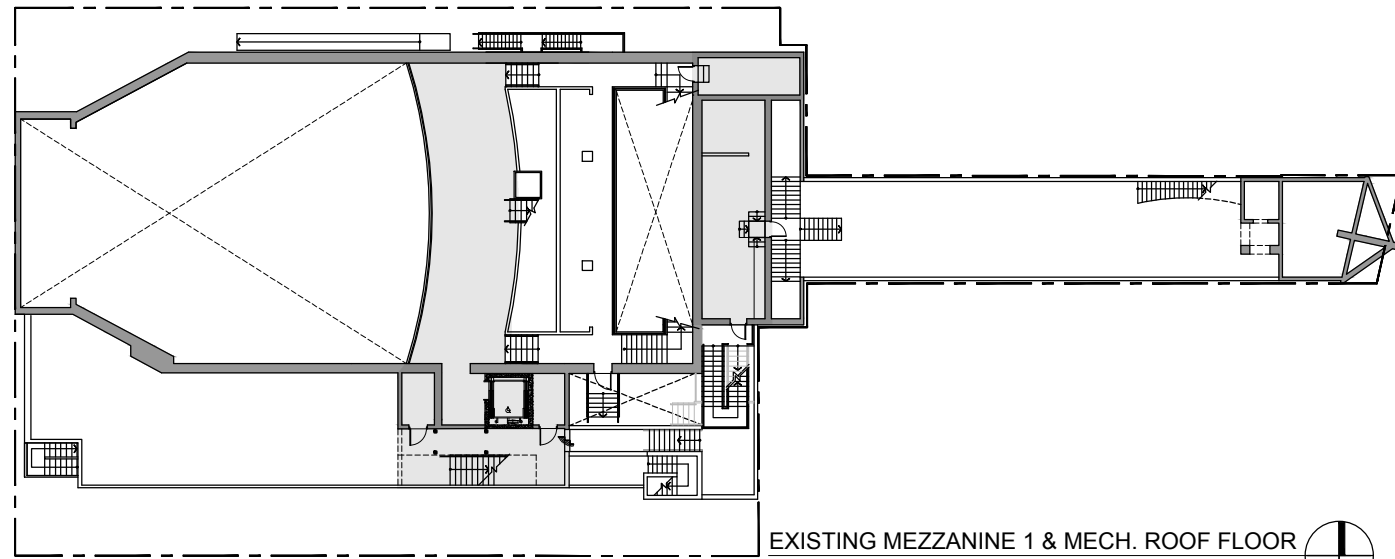
EXISTING 3RD FLOOR & 2ND MEZZANINE FLOOR
SCALE: 1/16" = 1'-0"



EXISTING 2ND FLOOR
SCALE: 1/16" = 1'-0"



EXISTING ROOF
SCALE: 1/16" = 1'-0"



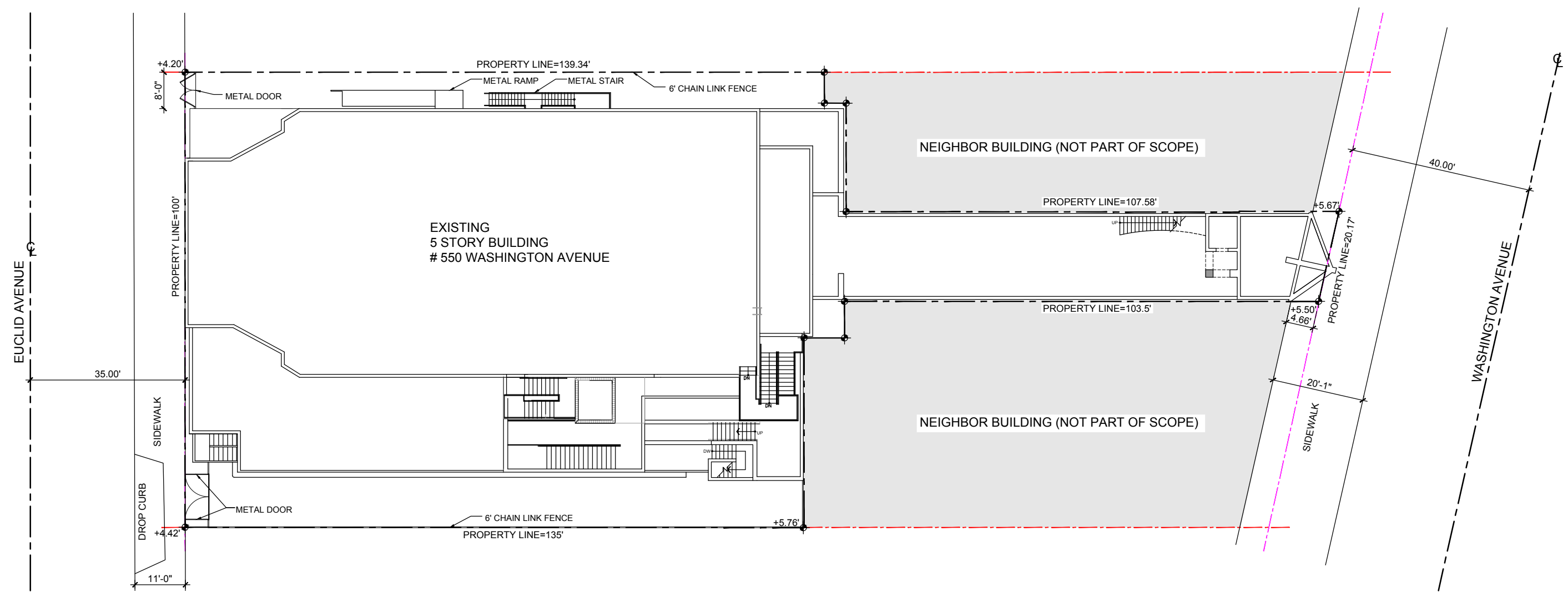
EXISTING MEZZANINE 1 & MECH. ROOF FLOOR
SCALE: 1/16" = 1'-0"

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

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EXISTING AREA CALCULATION	
LEVEL	GROSS AREA
GROUND FLOOR	12,926 SQ. FT.
2ND FLOOR	4,241 SQ. FT.
MEZZANINE 1 & MECH. ROOF	2,333 SQ. FT.
MEZZANINE 2 & 3RD FLOOR	3,262 SQ. FT.
ROOF	157 SQ. FT.
TOTAL GROSS AREA: 23,919 SQ. FT.	
EXISTING FLOOR AREA	

DATE	REVISION
DWG. TITLE	
EXISTING AREA CALCULATION FLOOR PLAN	
SCALE	
AS SHOWN	
PROJECT NO.	
2020-02	
DATE	
05-11-20	
SHEET NUMBER	
A-008	



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION

DWG. TITLE
EXISTING SITE PLAN

SCALE
3/32" = 1'-0"

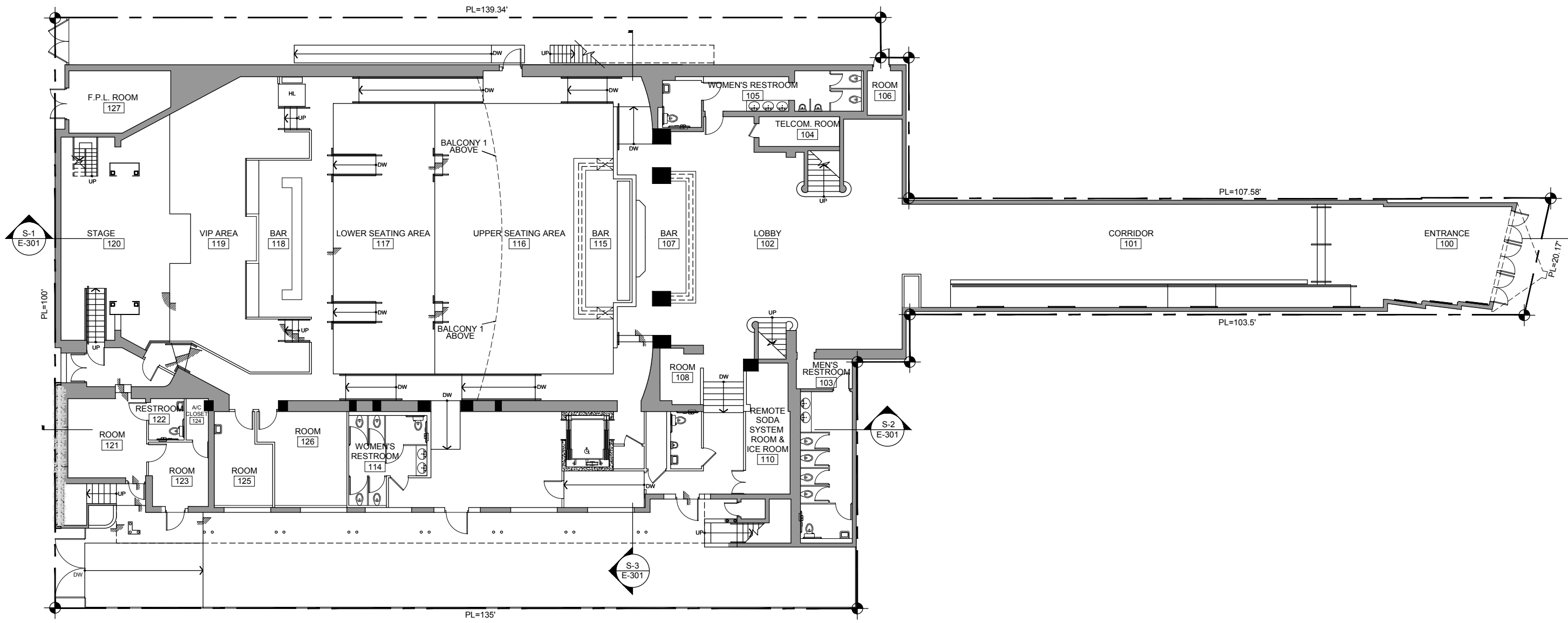
PROJECT NO.
2020-02

DATE
05-11-20

SHEET NUMBER
EXIST-100

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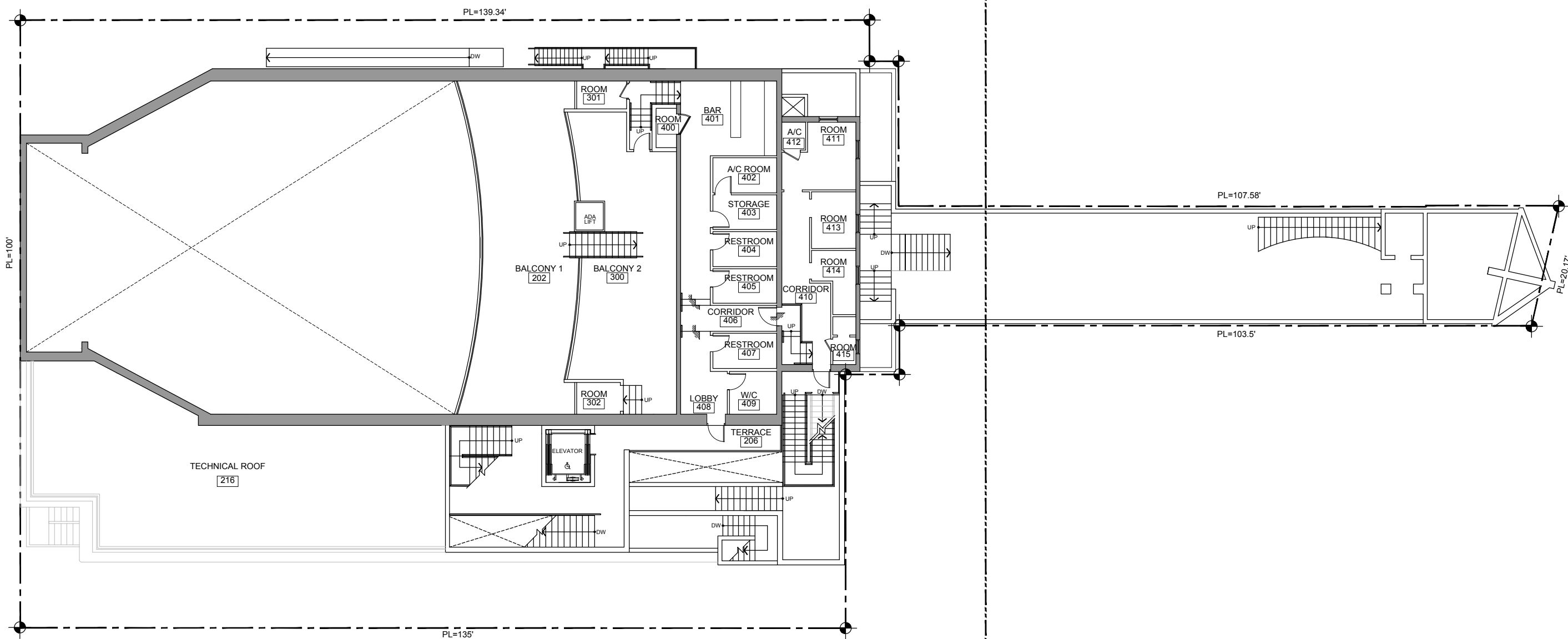


PARIS THEATER RESTAURANT-550 WASHINGTON AVE
 550 WASHINGTON AVE
 MIAMI BEACH

LEGEND

- EXISTING INTERIOR PARTITION
- EXISTING CMU WALL TO REMAIN
- EXISTING COLUMN

△	DATE	REVISION
DWG. TITLE		
EXISTING GROUND FLOOR PLAN		
SCALE		
1/8" = 1'-0"		
PROJECT NO.		
2020-02		
DATE		
05-11-20		
SHEET NUMBER		
EXIST-101		



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
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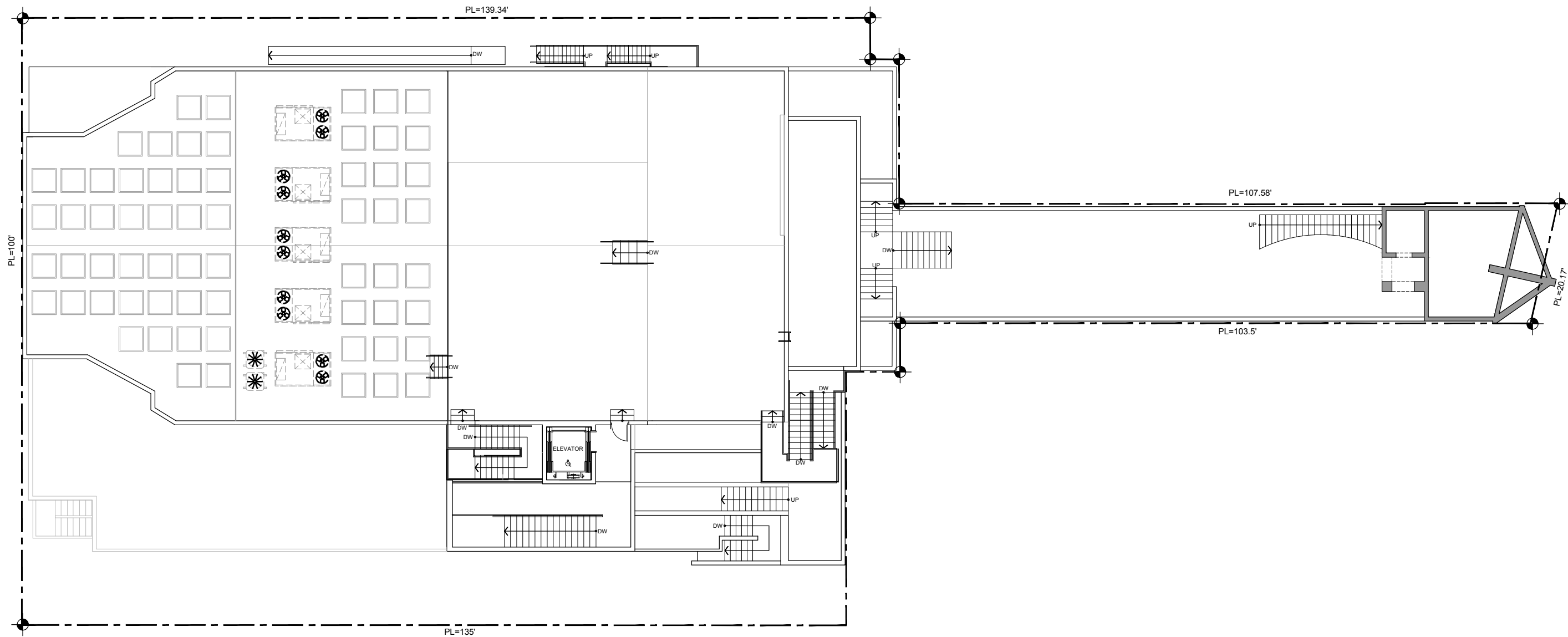
LEGEND

- EXISTING INTERIOR PARTITION
- EXISTING CMU WALL TO REMAIN
- EXISTING COLUMN



DATE	REVISION

DWG. TITLE	EXISTING MEZZANINE 2 FLOOR & 3RD FLOOR PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	EXIST-104



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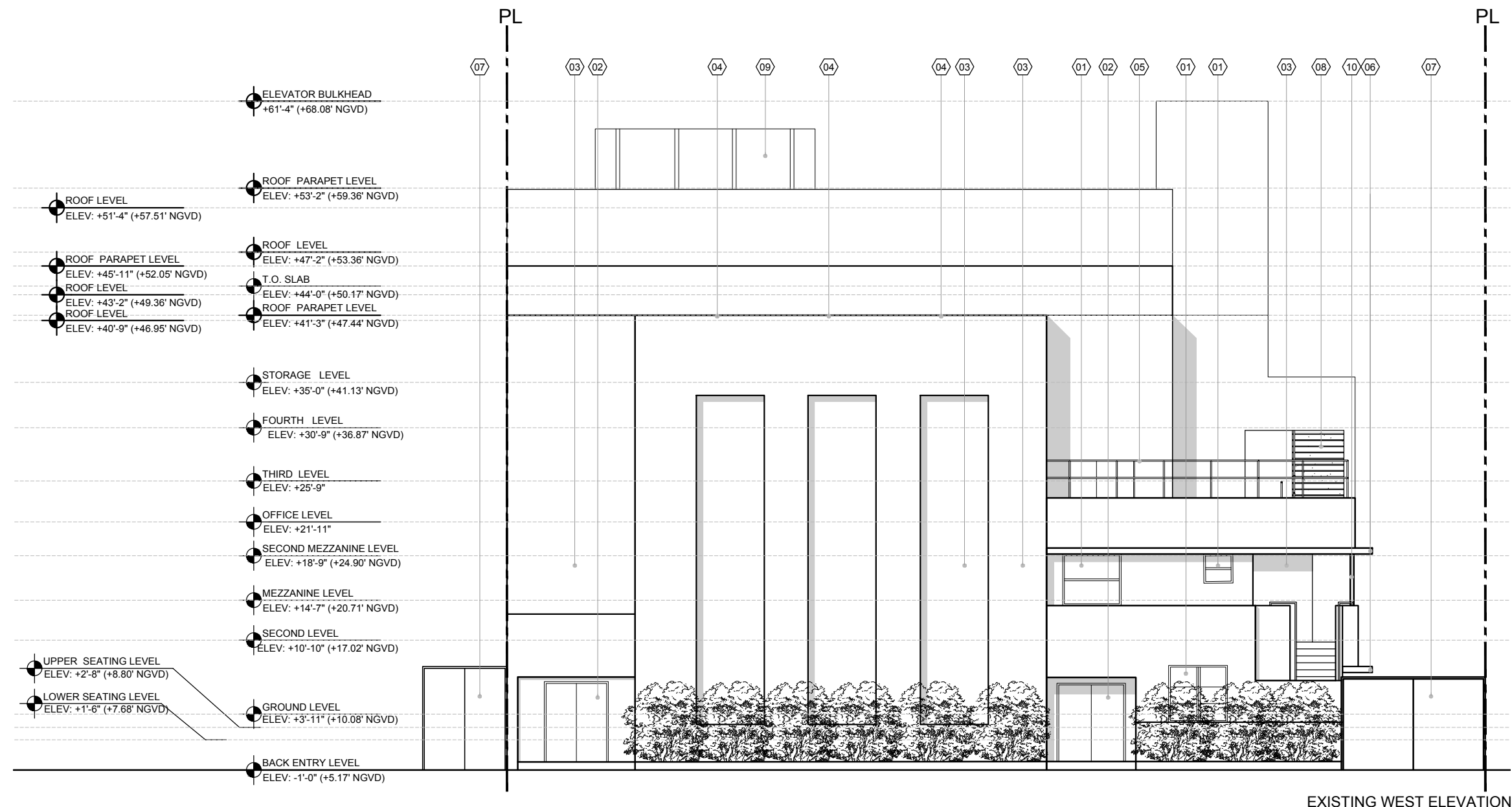
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Δ	DATE	REVISION
DWG. TITLE EXISTING ROOF PLAN		
SCALE 1/8" = 1'-0"		
PROJECT NO. 2020-02		
DATE 05-11-20		
SHEET NUMBER EXIST-105		

KEY NOTES

- 01 EXISTING CASEMENT WINDOWS TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 FACADE DECORATIVE ELEMENTS TO REMAIN
- 05 EXISTING RAILING TO BE DEMOLISH
- 06 EXISTING EYEBROWS TO REMAIN
- 07 EXISTING METAL GATE TO BE REPLACE TO MATCH EXISTING
- 08 CONCRETE STAIR TO REMAIN
- 09 EXISTING PLATFORM BACKDROP TO REMAIN
- 10 EXISTING METAL COLUMNS TO REMAIN



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

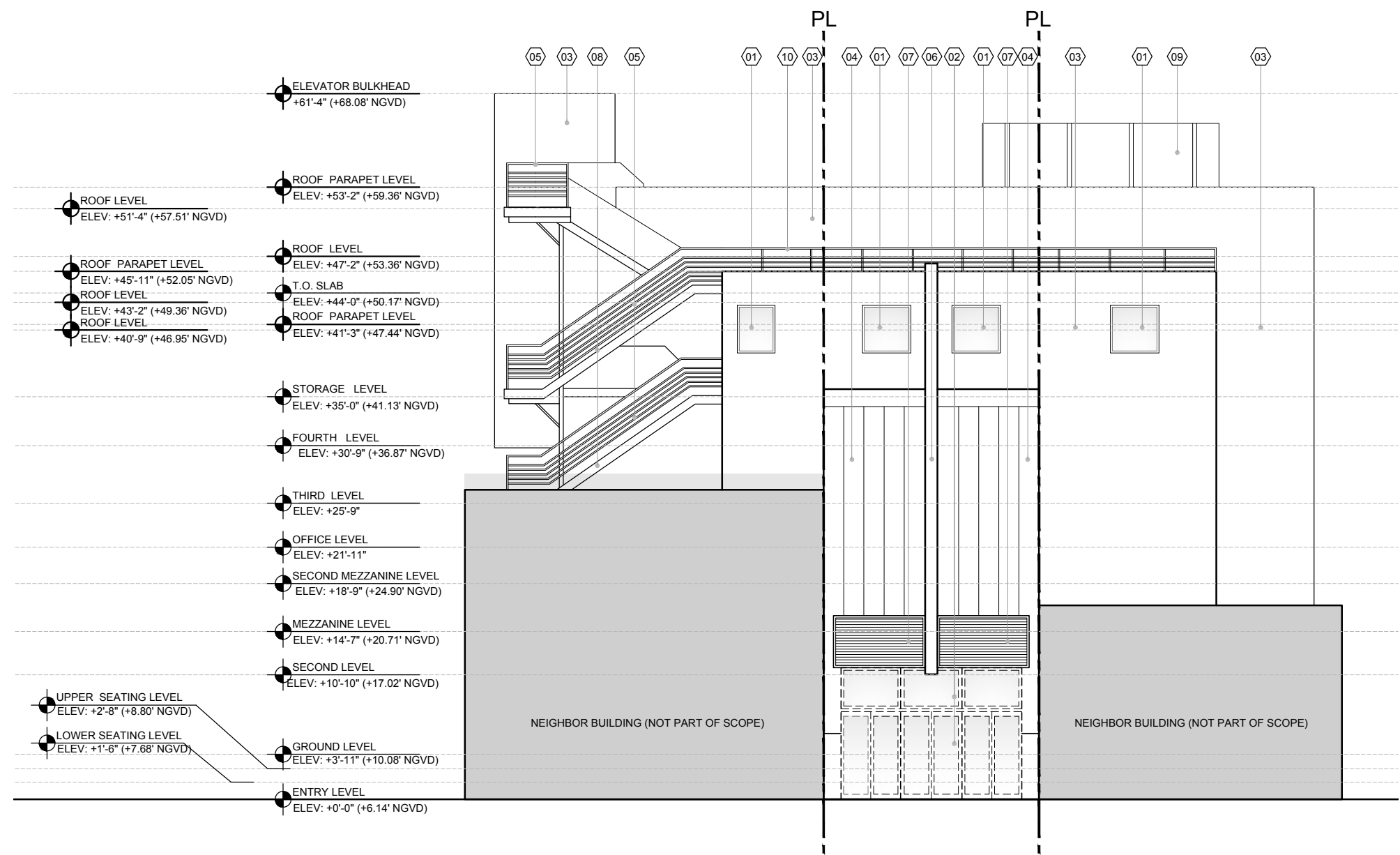
DATE	REVISION

DWG. TITLE	EXISTING WEST ELEVATION
SCALE	3/16" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	EXIST-201

EXISTING WEST ELEVATION

KEY NOTES

- 01 EXISTING CASEMENT WINDOWS TO REMAIN
- 02 EXISTING STOREFRONT TO BE REPLACE
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 STUCCO BANDS TO REMAIN
- 05 EXISTING RAILING TO REMAIN
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN
- 09 EXISTING PLATFORM BACKDROP TO REMAIN
- 10 EXISTING RAILING TO BE DEMOLISH



- ELEVATOR BULKHEAD
ELEV: +61'-4" (+68.08' NGVD)
- ROOF PARAPET LEVEL
ELEV: +53'-2" (+59.36' NGVD)
- ROOF LEVEL
ELEV: +51'-4" (+57.51' NGVD)
- ROOF PARAPET LEVEL
ELEV: +45'-11" (+52.05' NGVD)
- ROOF LEVEL
ELEV: +43'-2" (+49.36' NGVD)
- ROOF LEVEL
ELEV: +40'-9" (+46.95' NGVD)
- T.O. SLAB
ELEV: +44'-0" (+50.17' NGVD)
- ROOF PARAPET LEVEL
ELEV: +41'-3" (+47.44' NGVD)
- STORAGE LEVEL
ELEV: +35'-0" (+41.13' NGVD)
- FOURTH LEVEL
ELEV: +30'-9" (+36.87' NGVD)
- THIRD LEVEL
ELEV: +25'-9"
- OFFICE LEVEL
ELEV: +21'-11"
- SECOND MEZZANINE LEVEL
ELEV: +18'-9" (+24.90' NGVD)
- MEZZANINE LEVEL
ELEV: +14'-7" (+20.71' NGVD)
- SECOND LEVEL
ELEV: +10'-10" (+17.02' NGVD)
- UPPER SEATING LEVEL
ELEV: +2'-8" (+8.80' NGVD)
- LOWER SEATING LEVEL
ELEV: +1'-6" (+7.68' NGVD)
- GROUND LEVEL
ELEV: +3'-11" (+10.08' NGVD)
- ENTRY LEVEL
ELEV: +0'-0" (+6.14' NGVD)

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

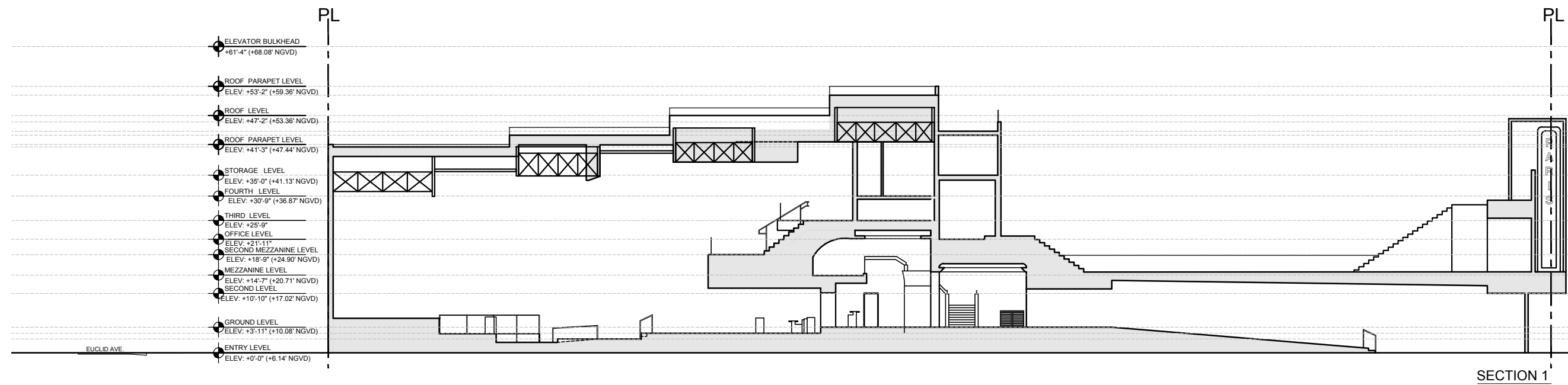
DATE	REVISION

DWG. TITLE	EXISTING EAST ELEVATION
SCALE	3/16" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	EXIST-202

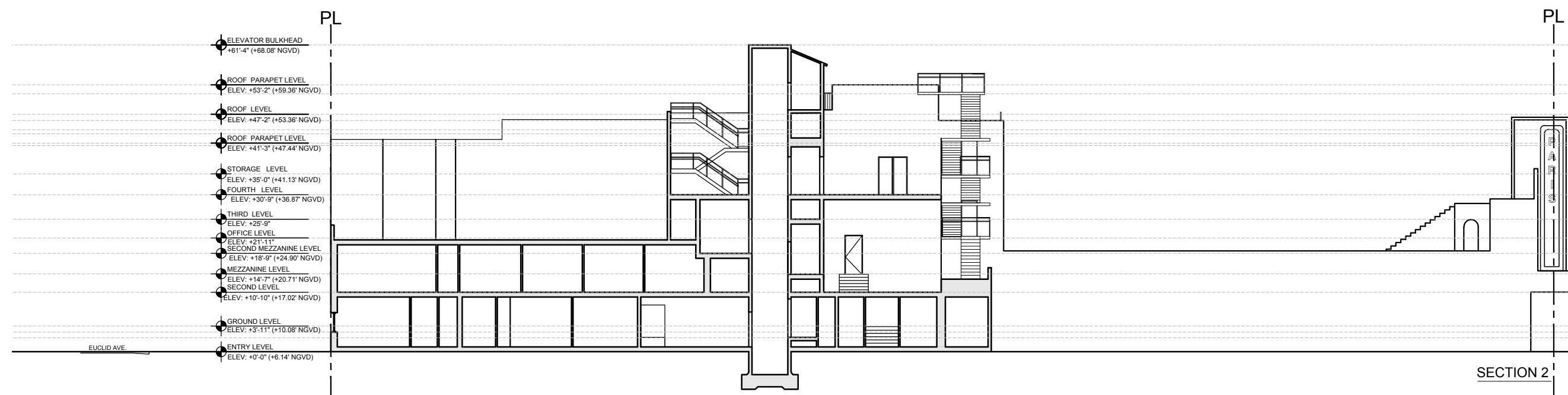
EXISTING EAST ELEVATION

DATE	REVISION

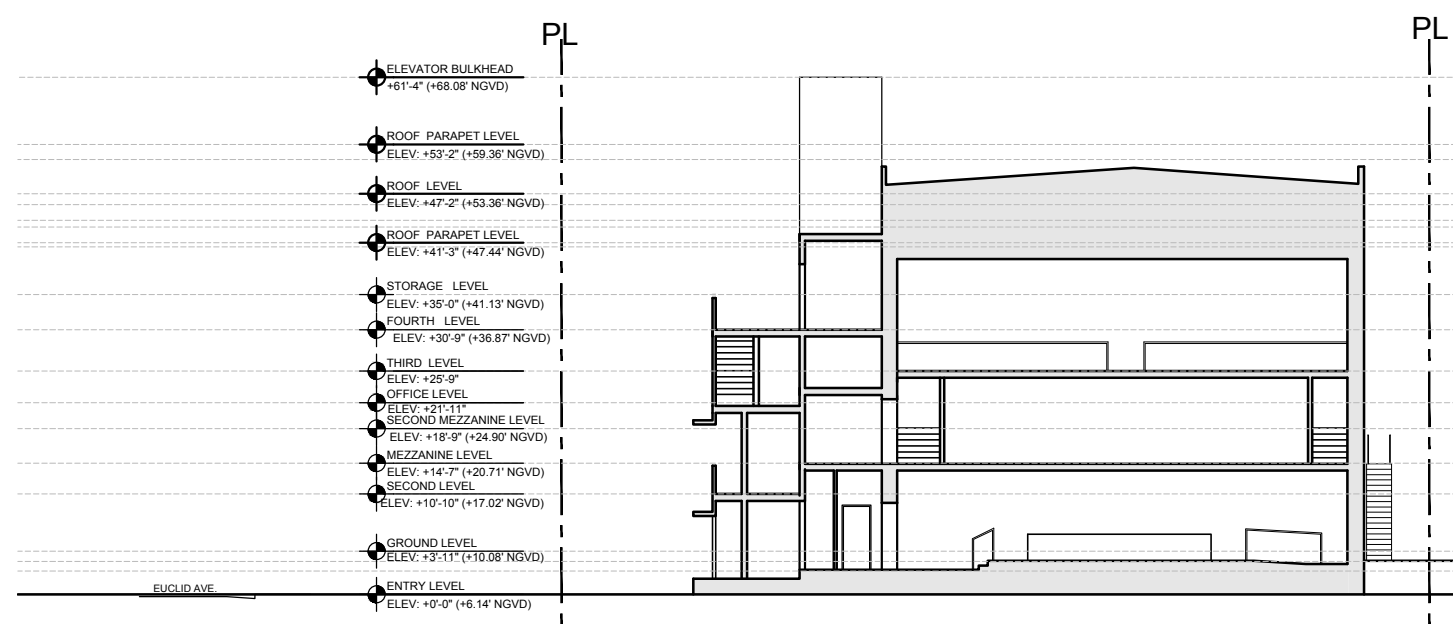
DWG. TITLE	EXISTING SECTIONS
SCALE	3/32" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	EXIST-301



SECTION 1



SECTION 2



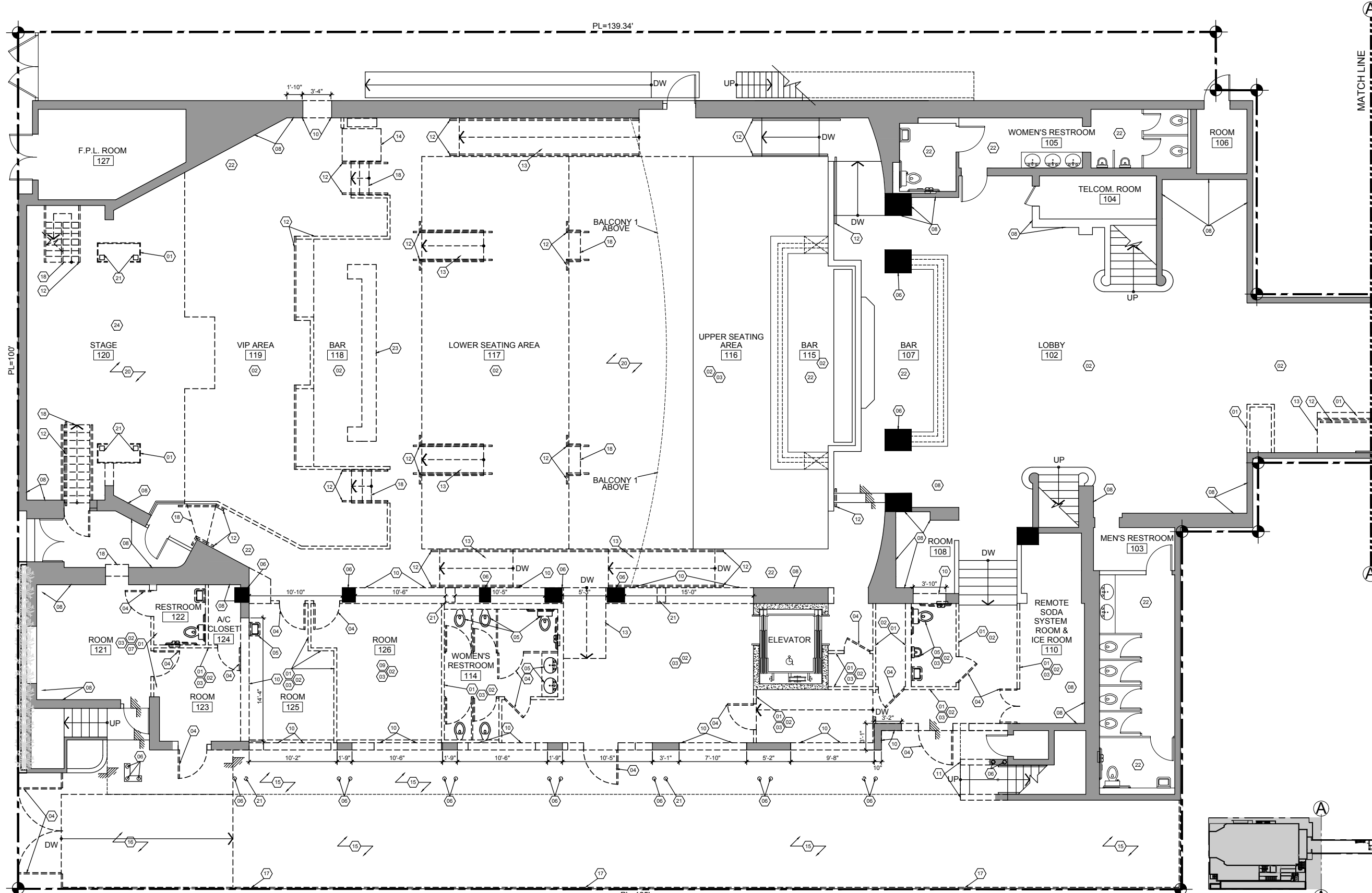
SECTION 3

- ELEVATOR BULKHEAD
ELEV: +61'-4" (+68.08' NGVD)
- ROOF PARAPET LEVEL
ELEV: +53'-2" (+59.36' NGVD)
- ROOF LEVEL
ELEV: +47'-2" (+53.36' NGVD)
- ROOF PARAPET LEVEL
ELEV: +41'-3" (+47.44' NGVD)
- STORAGE LEVEL
ELEV: +35'-0" (+41.13' NGVD)
- FOURTH LEVEL
ELEV: +30'-9" (+36.87' NGVD)
- THIRD LEVEL
ELEV: +25'-9"
- OFFICE LEVEL
ELEV: +21'-11"
- SECOND MEZZANINE LEVEL
ELEV: +18'-9" (+24.90' NGVD)
- MEZZANINE LEVEL
ELEV: +14'-7" (+20.71' NGVD)
- SECOND LEVEL
ELEV: +10'-10" (+17.02' NGVD)
- GROUND LEVEL
ELEV: +3'-11" (+10.08' NGVD)
- ENTRY LEVEL
ELEV: +0'-0" (+6.14' NGVD)

- ELEVATOR BULKHEAD
ELEV: +61'-4" (+68.08' NGVD)
- ROOF PARAPET LEVEL
ELEV: +53'-2" (+59.36' NGVD)
- ROOF LEVEL
ELEV: +47'-2" (+53.36' NGVD)
- ROOF PARAPET LEVEL
ELEV: +41'-3" (+47.44' NGVD)
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ELEV: +25'-9"
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ELEV: +21'-11"
- SECOND MEZZANINE LEVEL
ELEV: +18'-9" (+24.90' NGVD)
- MEZZANINE LEVEL
ELEV: +14'-7" (+20.71' NGVD)
- SECOND LEVEL
ELEV: +10'-10" (+17.02' NGVD)
- GROUND LEVEL
ELEV: +3'-11" (+10.08' NGVD)
- ENTRY LEVEL
ELEV: +0'-0" (+6.14' NGVD)

- ELEVATOR BULKHEAD
ELEV: +61'-4" (+68.08' NGVD)
- ROOF PARAPET LEVEL
ELEV: +53'-2" (+59.36' NGVD)
- ROOF LEVEL
ELEV: +47'-2" (+53.36' NGVD)
- ROOF PARAPET LEVEL
ELEV: +41'-3" (+47.44' NGVD)
- STORAGE LEVEL
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- FOURTH LEVEL
ELEV: +30'-9" (+36.87' NGVD)
- THIRD LEVEL
ELEV: +25'-9"
- OFFICE LEVEL
ELEV: +21'-11"
- SECOND MEZZANINE LEVEL
ELEV: +18'-9" (+24.90' NGVD)
- MEZZANINE LEVEL
ELEV: +14'-7" (+20.71' NGVD)
- SECOND LEVEL
ELEV: +10'-10" (+17.02' NGVD)
- GROUND LEVEL
ELEV: +3'-11" (+10.08' NGVD)
- ENTRY LEVEL
ELEV: +0'-0" (+6.14' NGVD)

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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DEMOLITION KEY NOTES

- | | | |
|---|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |
| 08 EXISTING STRUCTURAL WALLS TO REMAIN | 16 REMOVE EXISTING STAINLESS STEEL RAMP | 24 EXISTING SCREEN TO BE DISMOUNTED |

KEY LEGEND:

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING STRUCTURAL COLUMNS TO REMAIN

DATE	REVISION

DWG. TITLE

ENLARGED
DEMOLITION GROUND
FLOOR PLAN

SCALE

3/16" = 1'-0"

PROJECT NO.

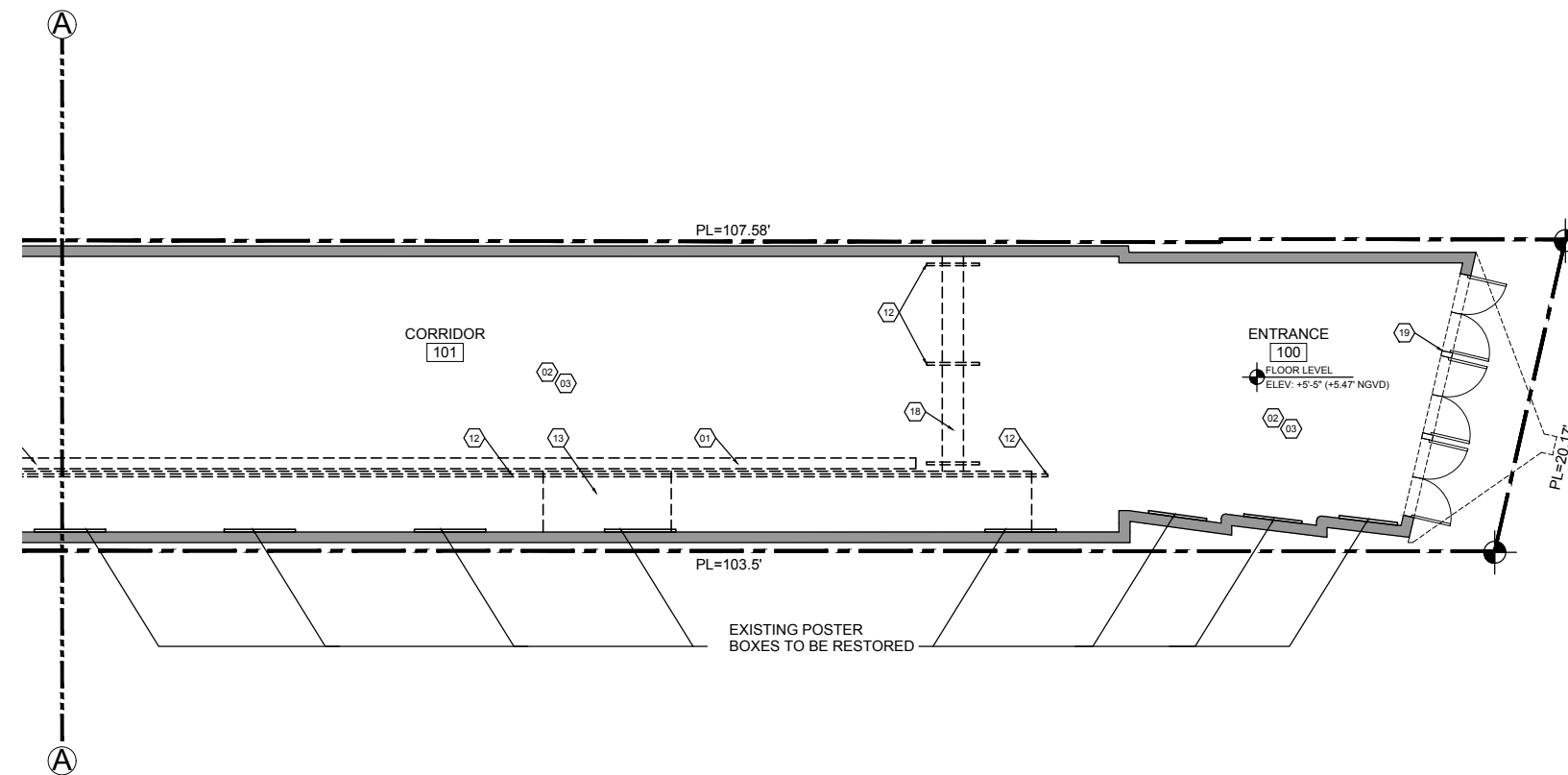
2020-02

DATE

05-11-20

SHEET NUMBER

D-102



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

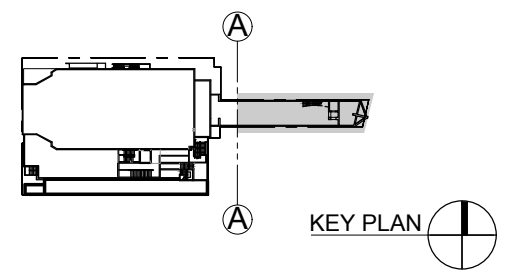
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DEMOLITION KEY NOTES

- | | | |
|---|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |

KEY LEGEND:

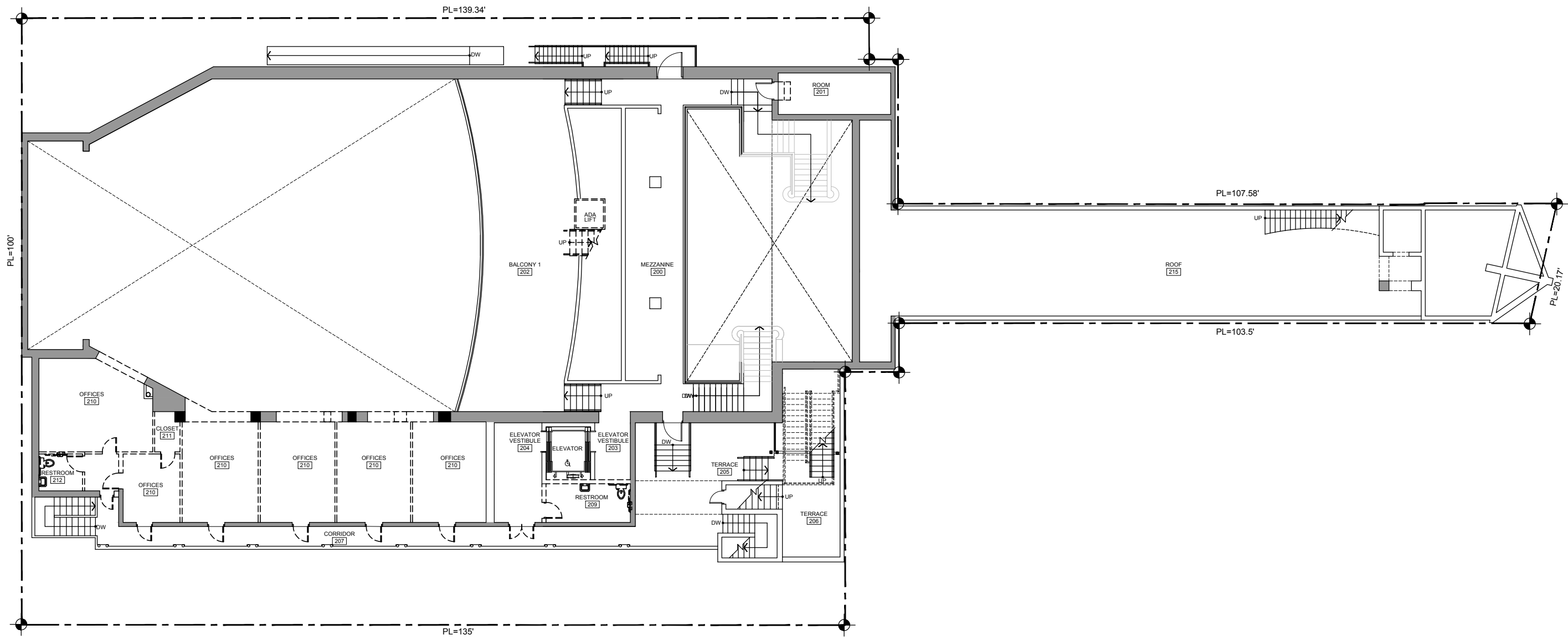
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING STRUCTURAL COLUMNS TO REMAIN



DATE	REVISION

DWG. TITLE
ENLARGED
DEMOLITION GROUND
FLOOR
SCALE
3/16" = 1'-0"
PROJECT NO.
2020-02
DATE
05-11-20
SHEET NUMBER
D-103

N.T.S



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

KEY LEGEND:

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING STRUCTURAL COLUMNS TO REMAIN
- AREA NOT IN SCOPE
- EXISTING DOOR AND FRAME TO BE REMOVED



DATE	REVISION

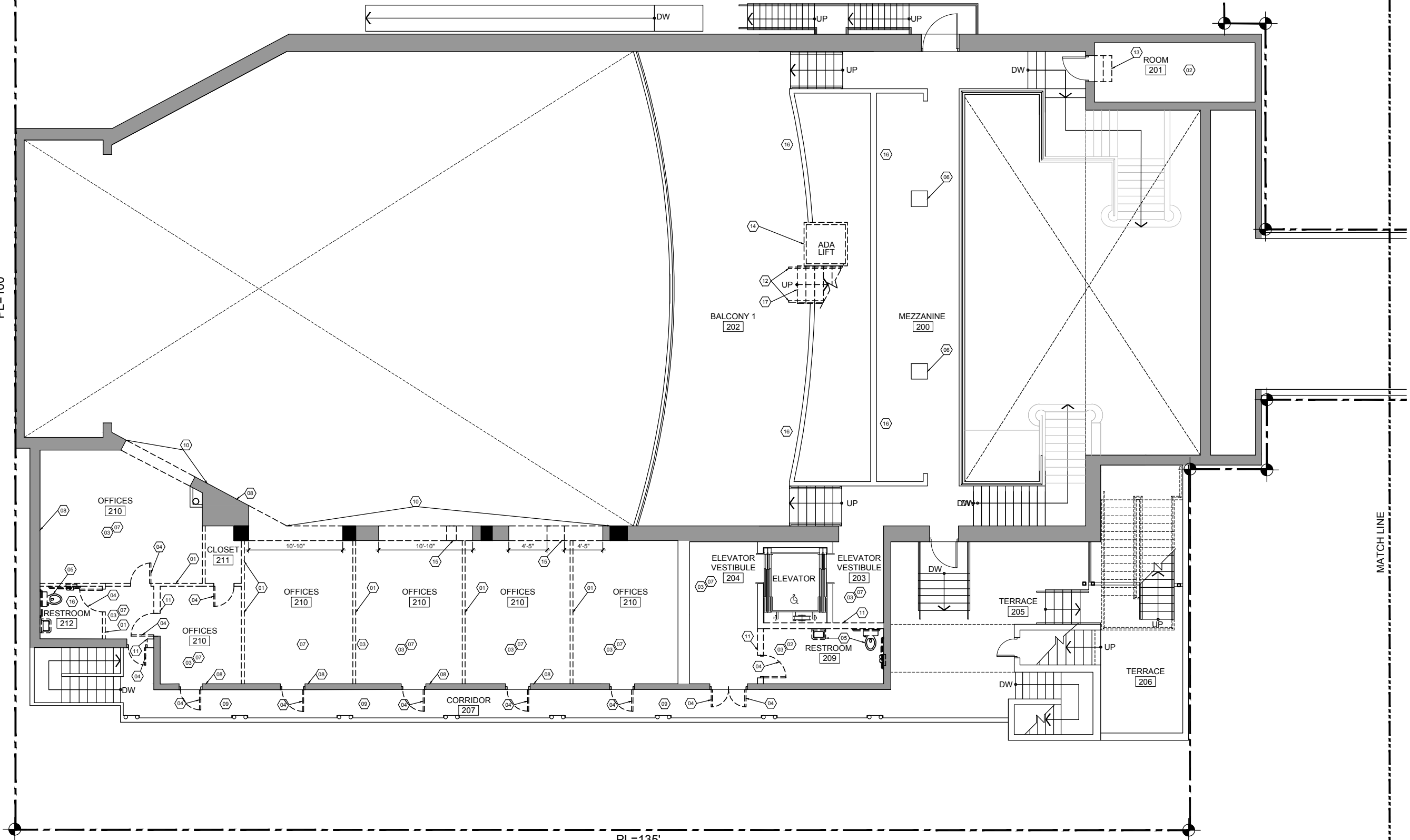
DWG. TITLE	DEMOLITION 2ND FLOOR PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	D-104

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PL=100'

PL=139.34'

PL=135'



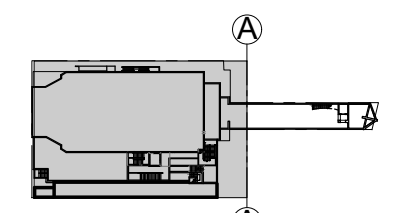
MATCH LINE

DEMOLITION KEY NOTES

- | | | |
|---|--|--------------------------------------|
| 01 REMOVE EXISTING INTERIOR PARTITION | 07 REMOVE EXISTING CARPET | 13 REMOVE WOODEN STAIR TO BE REPLACE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 08 EXISTING STRUCTURAL WALLS TO REMAIN | 14 REMOVE EXISTING HANDICAP LIFT |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 09 REMOVE EXISTING WOOD DECK | 15 EXISTING COLUMN TO BE DEMOLISH |
| 04 REMOVE EXISTING DOORS / FRAMES | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 16 REMOVE INTERIOR FINISH |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 11 REMOVE EXISTING WALL | 17 REMOVE EXISTING STAIR |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 12 HANDRAIL TO REPLACE | |

KEY LEGEND:

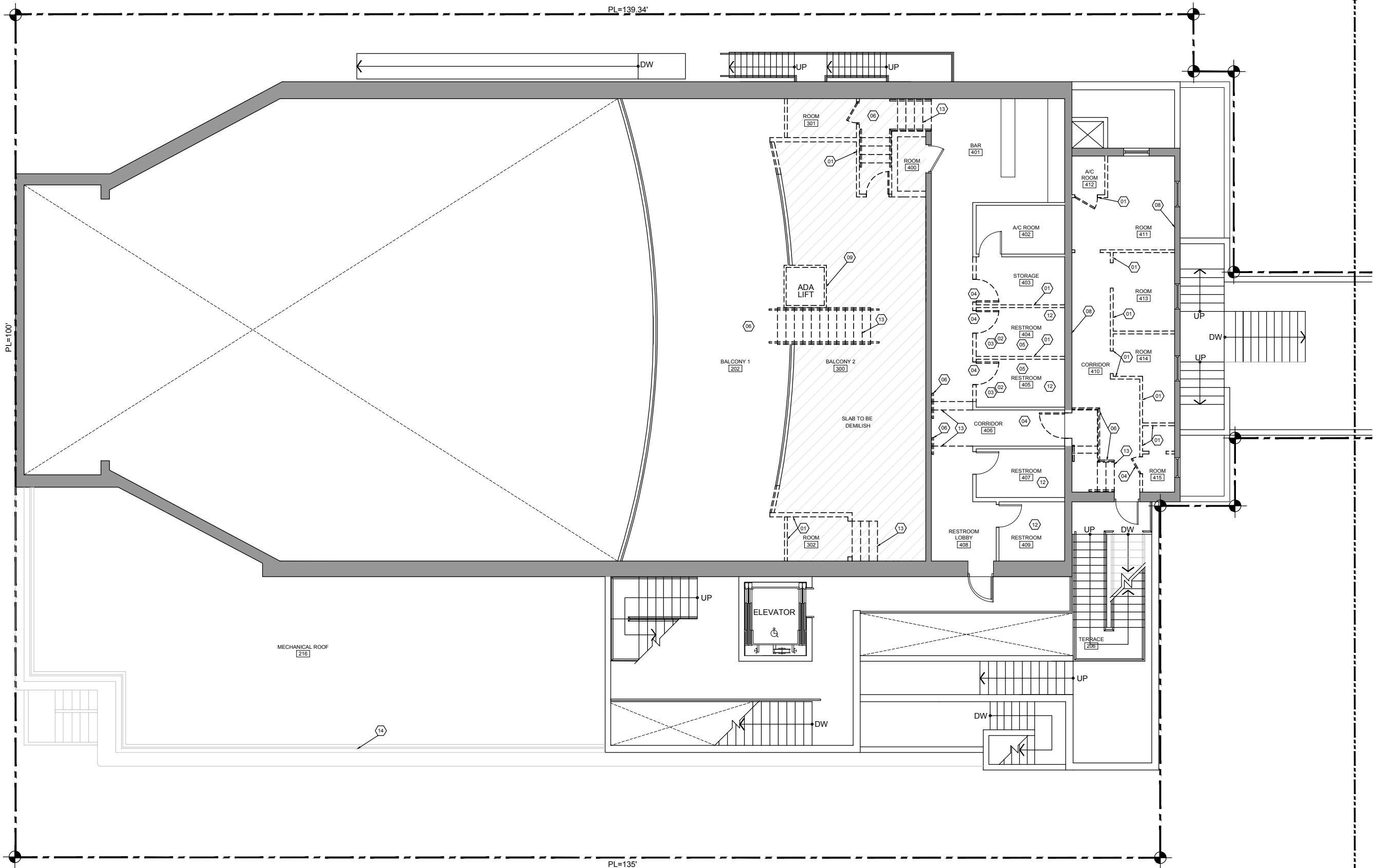
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING STRUCTURAL COLUMNS TO REMAIN



KEY PLAN
N.T.S.

DATE	REVISION
DWG. TITLE	
ENLARGE DEMOLITION 2ND FLOOR & MEZZANINE 1 FLOOR PLAN	
SCALE	
3/16" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
05-11-20	
SHEET NUMBER	
D-105	

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DEMOLITION KEY NOTES

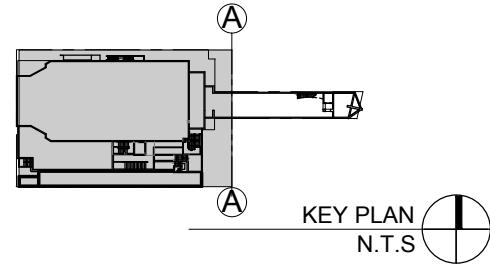
- | | |
|---|--|
| 01 REMOVE EXISTING INTERIOR PARTITION | 06 EXISTING STRUCTURAL WALLS TO REMAIN |
| 02 REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 09 REMOVE EXISTING HANDICAP LIFT |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN |
| 04 REMOVE EXISTING DOORS / FRAMES | 11 REMOVE EXISTING WALL |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 12 REMOVE INTERIOR FINISH |
| 06 HANDRAIL TO REPLACE | 13 REMOVE EXISTING STAIR |
| 07 REMOVE EXISTING CARPET | 14 REMOVE EXISTING RAILING |

KEY LEGEND:

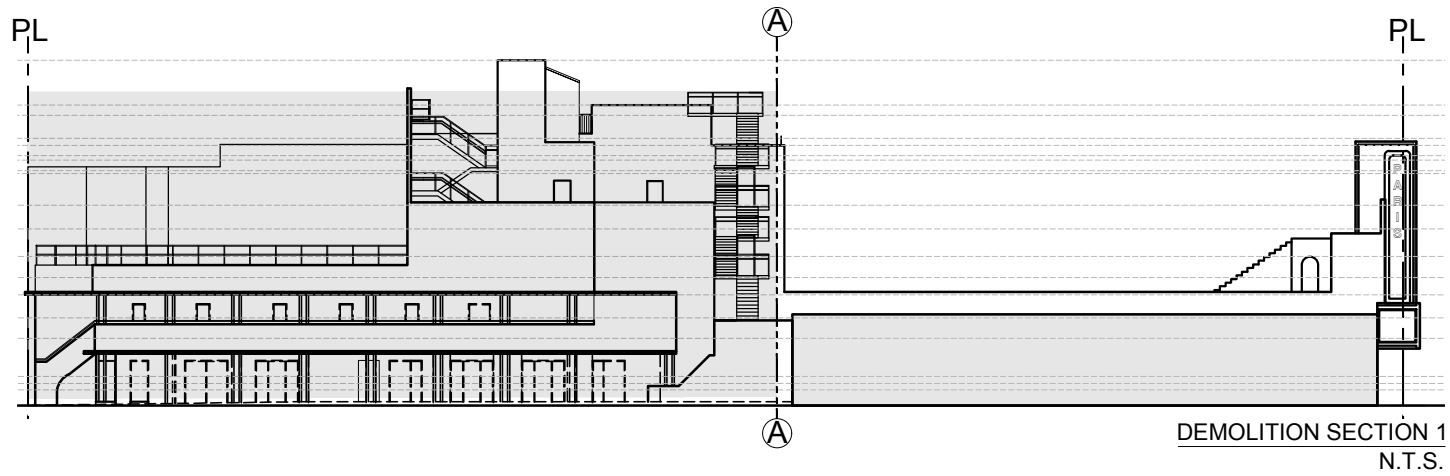
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING STRUCTURAL COLUMNS TO REMAIN

DATE	REVISION

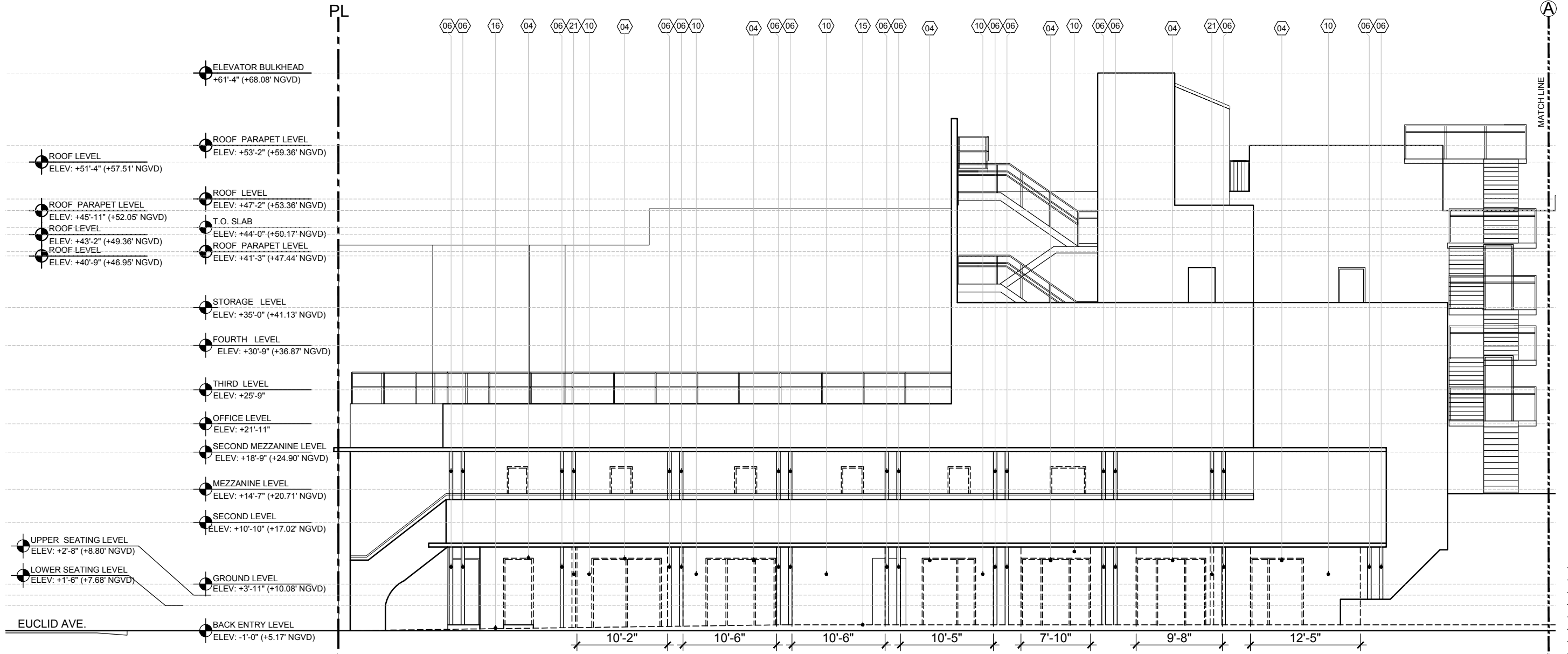
DATE	05-11-20
SHEET NUMBER	D-106
PROJECT NO.	2020-02
SCALE	3/16" = 1'-0"
DWG. TITLE	DEMOLITION 3RD FLOOR & MEZZANINE 2 FLOOR PLAN



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DEMOLITION SECTION 1
N.T.S.



- ELEVATOR BULKHEAD
ELEV: +61'-4" (+68.08' NGVD)
- ROOF PARAPET LEVEL
ELEV: +53'-2" (+59.36' NGVD)
- ROOF PARAPET LEVEL
ELEV: +47'-2" (+53.36' NGVD)
- T.O. SLAB
ELEV: +44'-0" (+50.17' NGVD)
- ROOF PARAPET LEVEL
ELEV: +41'-3" (+47.44' NGVD)
- STORAGE LEVEL
ELEV: +35'-0" (+41.13' NGVD)
- FOURTH LEVEL
ELEV: +30'-9" (+36.87' NGVD)
- THIRD LEVEL
ELEV: +25'-9"
- OFFICE LEVEL
ELEV: +21'-11"
- SECOND MEZZANINE LEVEL
ELEV: +18'-9" (+24.90' NGVD)
- MEZZANINE LEVEL
ELEV: +14'-7" (+20.71' NGVD)
- SECOND LEVEL
ELEV: +10'-10" (+17.02' NGVD)
- UPPER SEATING LEVEL
ELEV: +2'-8" (+8.80' NGVD)
- LOWER SEATING LEVEL
ELEV: +1'-6" (+7.68' NGVD)
- GROUND LEVEL
ELEV: +3'-11" (+10.08' NGVD)
- BACK ENTRY LEVEL
ELEV: -1'-0" (+5.17' NGVD)

DEMOLITION KEY NOTES

- | | | |
|---|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |
| 08 EXISTING STRUCTURAL WALLS TO REMAIN | 16 REMOVE EXISTING STAINLESS STEEL RAMP | 24 EXISTING SCREEN TO BE DISMOUNTED |

ENLARGED DEMOLITION SOUTH ELEVATION

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION

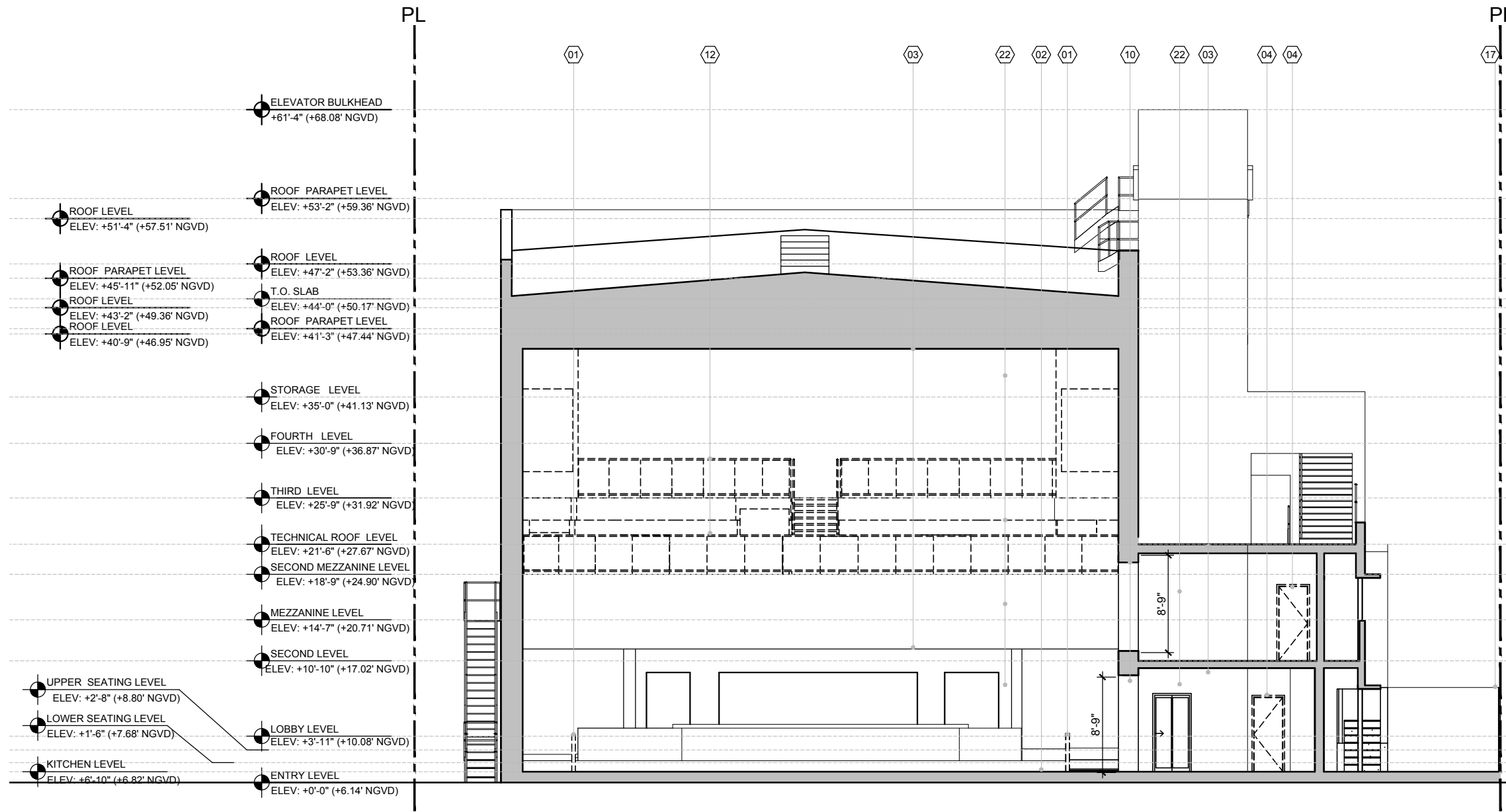
DWG. TITLE
DEMOLITION
ELEVATION

SCALE
VARIES

PROJECT NO.
2020-02

DATE
05-11-20

SHEET NUMBER
D-201



DEMOLITION SECTION 2

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DEMOLITION KEY NOTES

- | | | |
|---|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |
| 08 EXISTING STRUCTURAL WALLS TO REMAIN | 16 REMOVE EXISTING STAINLESS STEEL RAMP | 24 EXISTING SCREEN TO BE DISMOUNTED |

△	DATE	REVISION

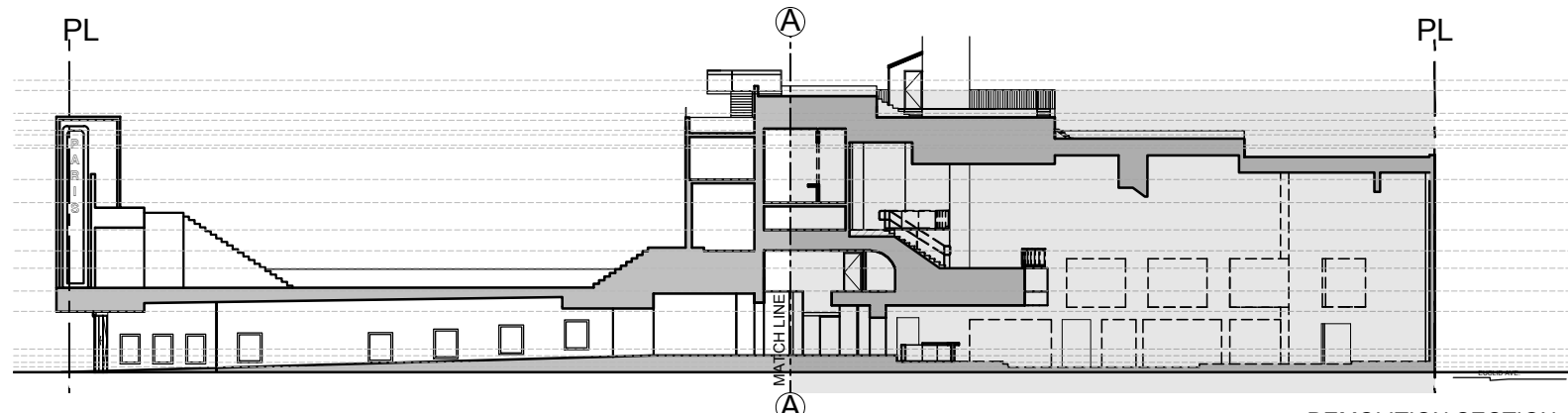
DWG. TITLE
DEMOLITION SECTIONS

SCALE
3/16" = 1'-0"

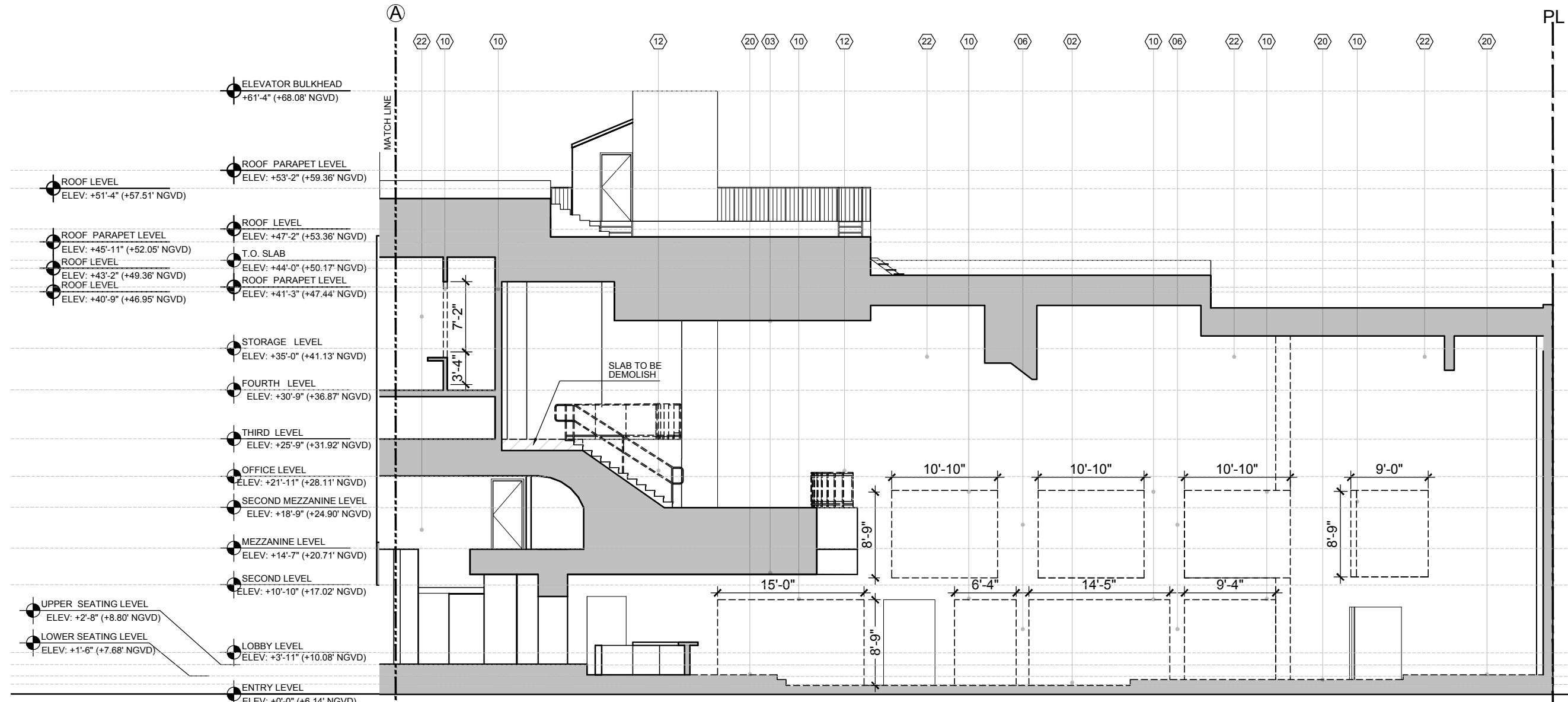
PROJECT NO.
2020-02

DATE
05-11-20

SHEET NUMBER
D-301



DEMOLITION SECTION 1
N.T.S.



ENLARGED DEMOLITION SECTION 2

DEMOLITION KEY NOTES

- | | | |
|---|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |
| 08 EXISTING STRUCTURAL WALLS TO REMAIN | 16 REMOVE EXISTING STAINLESS STEEL RAMP | 24 EXISTING SCREEN TO BE DISMOUNTED |

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION

DWG. TITLE	DEMOLITION SECTIONS
SCALE	3/16" = 1'-0"
PROJECT NO.	2020-02
DATE	05-11-20
SHEET NUMBER	D-302

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