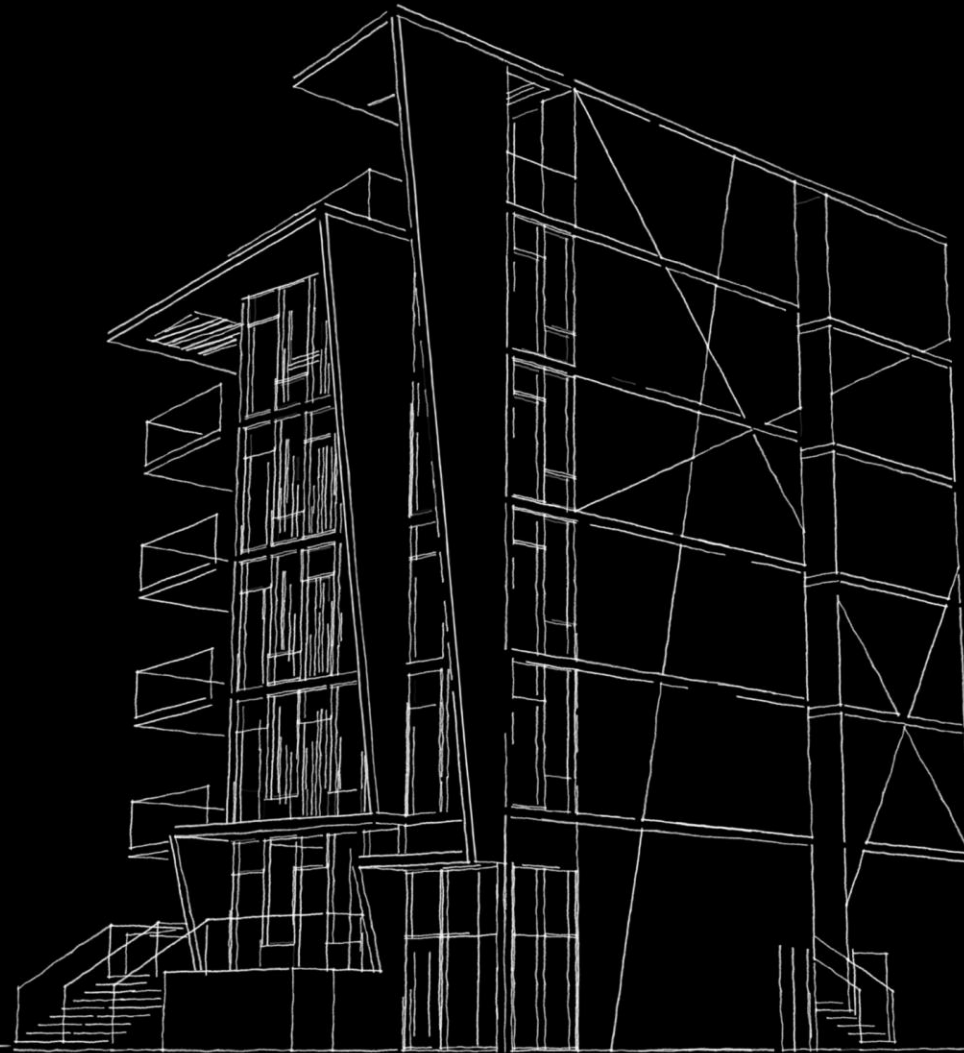


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914 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA
15-805BUS

3D PHOTO REALISTIC CONTEXT RENDERING



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Scale: NTS

3-5-2020



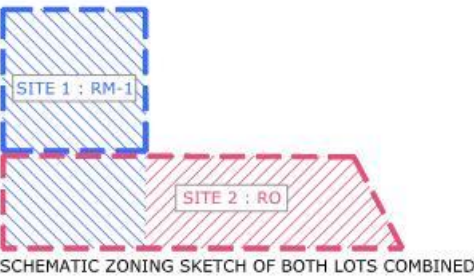
1 AERIAL IMAGES



OVERVIEW MAP

2 GENERAL SITE INFORMATION

LOT SIZE	SITE 1: 4,668 SQ. FT. (0.107 ACRES) FOLIO: 02-3210-013-0311		SITE 2: 8,470 SQ. FT. (0.194 ACRES) FOLIO: 02-3210-013-0330	
TOTAL APPROXIMATELY: 13,138.5 SQ. FT. (0.302 ACRES)				
DESCRIPTION	VALUE	CODE SECTION	REQUIRED / ALLOWED	PROVIDED
ZONING	SITE 1 = (RESIDENTIAL MULTIFAMILY - LOW DENSITY) (SEE SCHEMATIC ZONING DISTRICT SKETCH ABOVE) USE : LOW DENSITY APARTMENTS		RM-1	RM-1 (4,668 SF)
	SITE 2 = (RESIDENTIAL MULTIFAMILY - LOW DENSITY) + (RESIDENTIAL OFFICE) (SEE SCHEMATIC ZONING DISTRICT SKETCH ABOVE) USE : APARTMENTS / OFFICE		RM-1 / RO	RM-1 (3,114 SF) / RO (5,356 SF)
OVERLAY DISTRICT	NORMANDY ISLES HISTORIC DISTRICT			
CATEGORY	RESIDENTIAL - MULTIFAMILY DWELLING UNITS		N/A	N/A
FLOOR AREA RATIO	SUM OF THE GROSS AREA OF THE FLOORS MEASURED FROM THE EXTERIOR FACES NOT INCLUDING EXTERIOR PRIVATE BALCONIES.	Sec. 114-1 Sec. 142-155	SITE : 1.25 X 7,782 SF = 9,727.5 SF	9,717 SF
MINIMUM LOT AREA	MINIMUM LOT AREA: 5,600 SF	Sec. 142-155(b)	MIN. 5,600 SF	4,668 SF
MINIMUM LOT WIDTH	MINIMUM LOT WIDTH: 50 FEET	Sec. 142-155(b)	MIN. 50'-0"	62'-2 1/4"
MINIMUM UNIT SIZE	MINIMUM UNIT SIZE: 550 SF	Sec. 142-155(b)	MIN. 550 SF EACH UNIT	GROUND A1: 800 SF GROUND A2: 792 SF 2ND, 3RD & 4TH FLOORS: 1,656 SF 5TH FLOOR: 1,084 SF
GREEN SPACE	2,830 SF / LOT SIZE (13,138.5 SF)			21.5%
PERVIOUS	GREEN SPACE + ROOF PLANTER + PAVERS 2,830 + 124 + 2,230.5 = 5,184.5 SF / LOT SIZE (13,138.5 SF)			39.5%
IMPERVIOUS	2,548.9 SF / LOT SIZE (13,138.5 SF)			19.4%
OPEN SPACE	REQ. : (30% OF 13,138.5 SF) + 10 SF PER PARKING (80 SF) = 4,021.5 SF PROV. : 13,138.5 SF - 7,637.5 (BLDGS FOOTPRINT) = 5,501 SF		4,021.5 SF	5,501 SF
BLDG. FOOTPRINT	PROPOSED BUILDING : 2,420.5 SF - 7,637.5 SF / LOT SIZE (13,138.5 SF) EXISTING BUILDING : 2,987 SF PARKING LOT : 2,230 SF			58.1%



3 MIAMI BEACH - ZONING DATA SHEET

ITEM #	Zoning Information	Maximum	Existing	Proposed	Deficiencies
1	Address:	SITE 1: 914 MARSEILLE DRIVE, MIAMI BEACH, FL 33141 // SITE 2: 716 BAY DRIVE, MIAMI BEACH, FL 33141			
2	Board and file numbers:				
3	Folio number(s):	FOLIO: SITE 1 (02-3210-013-0311) // FOLIO : SITE 2 (02-3210-013-0330)			
4	Year constructed:	1940 (EXISTING BUILDING)			
5	Based Flood Elevation:	4.10'			
6	Adjusted grade (Flood+Grade/2):	(4.10' + 9.00') / 2 = 6.55'			
7	Lot width:	62'-2 1/4"			
8	Minimum Unit Size	550 SF			
9	Existing use:	RESIDENTIAL (R)		RESIDENTIAL MULTIFAMILY - LOW DENSITY	
10	Height	55'		50' (ROOF) / 60' (UPPER ROOF)	
11	Number of Stories	5		5	
12	FAR	1.25 x 7,782 SF = 9,727.5 SF		9,717 SF (SEE SHEET 08A)	
13	Gross square footage			11,299 SF (SEE SHEET 08A)	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A	6 UNITS		
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
Setbacks					
19	Subterranean:				
20	Front Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
At Grade Parking:					
24	Front Setback:	20 FT		75'-11"	
25	Side Setback:	5 FT		5'-10"	
26	Side Setback:	5 FT		N/A	
27	Side Setback facing street:	5 FT		N/A	
28	Rear Setback:	5 FT		6 FT	
Pedestal:					
29	Front Setback:	20 FT		20 FT	
30	Side Setback:	7.5 FT		7'-9" (WEST)	
31	Side Setback:	7.5 FT		8'-2" (EAST)	
32	Side Setback facing street:	7.5 FT		N/A	
33	Rear Setback:	10% OF LOT DEPTH + 10% (125'-0") = 12'-6"		52'-11 1/2"	
Tower:					
34	Front Setback:				
35	Side Setback:				
Setbacks					
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				
Parking					
39	Parking district	PARKING DISTRICT NO. 1:			
40	Total # of parking spaces	NONE		8 (7 STANDARD / 1 ADA)	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions	8.6' x 18'		8.6' x 18'	
44	Parking Space configuration (45o, 60o, 90o, Parallel)	90 o		90 o	
45	ADA Spaces	1		1	
46	Tandem Spaces	N/A		N/A	
47	Drive aisle width	22 FT		22 FT	
48	Valet drop off and pick up	N/A		N/A	
49	Loading zones and Trash collection areas	N/A		N/A	
50	racks	5		5	

4 SITE PHOTOGRAPHS (EXISTING)



VIEW FROM MARSEILLE DRIVE



OVERVIEW FROM THE SOUTH OF THE PROPERTY



914 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA
15-805BUS

CODE ANALYSIS



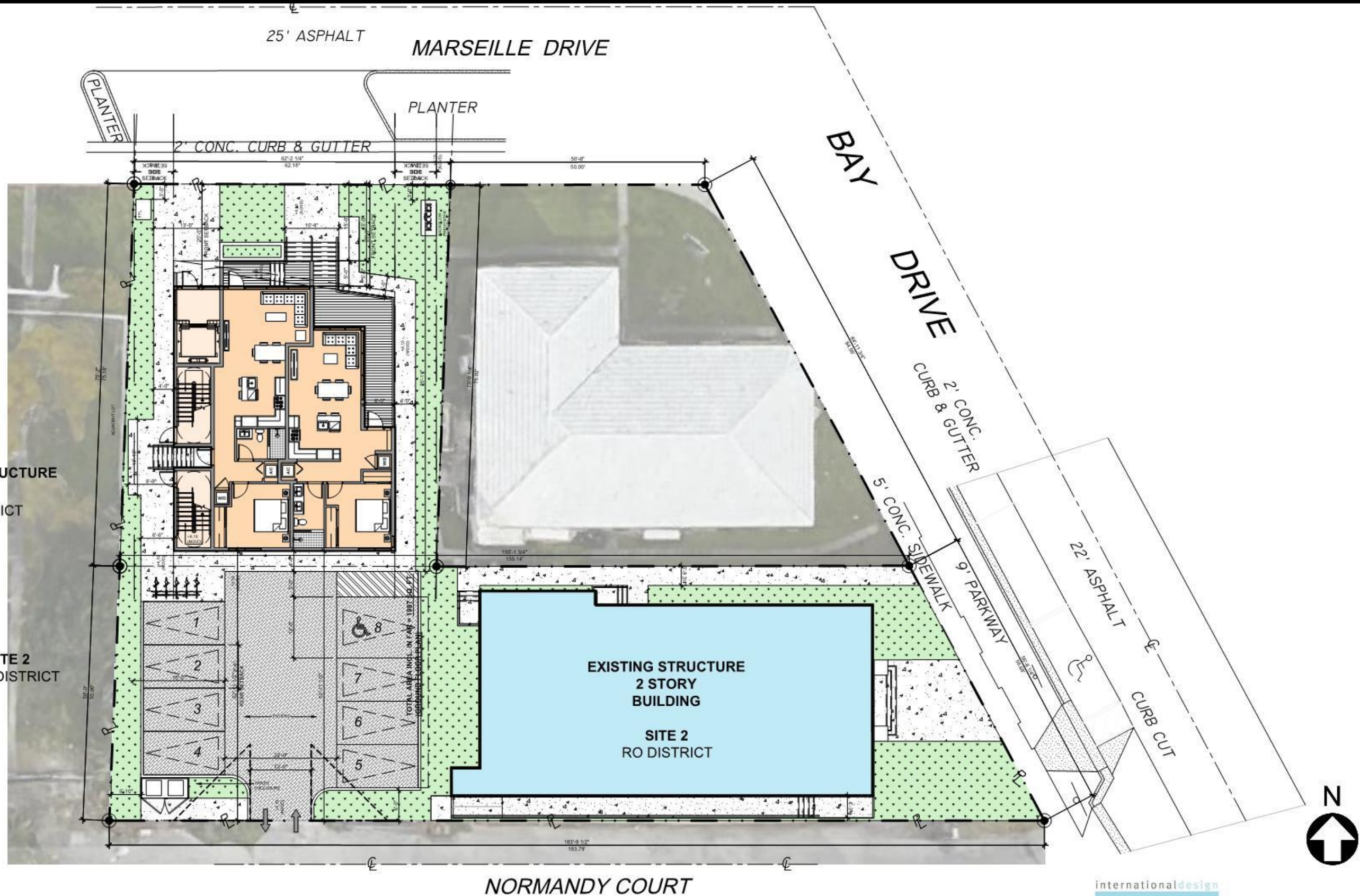
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Scale: N.T.S.

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914 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA
15-805BUS

SITE PLAN

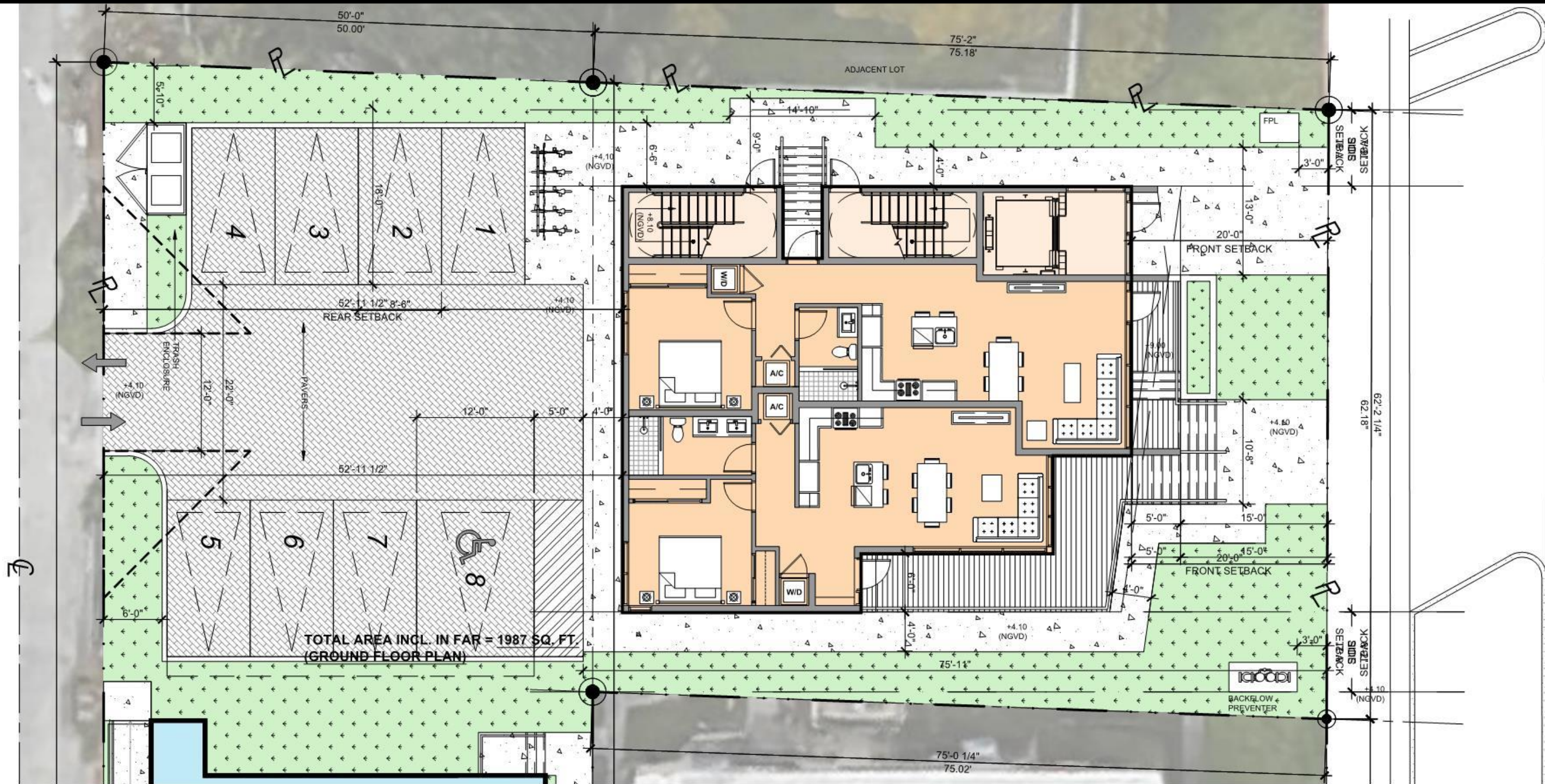


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Scale: 1" = 20'-0"

3-5-2020





01 ENLARGED SITE PLAN
A-17 SCALE: 3/32" = 1'-0"



914 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA 15-805BUS

ENLARGED SITE PLAN



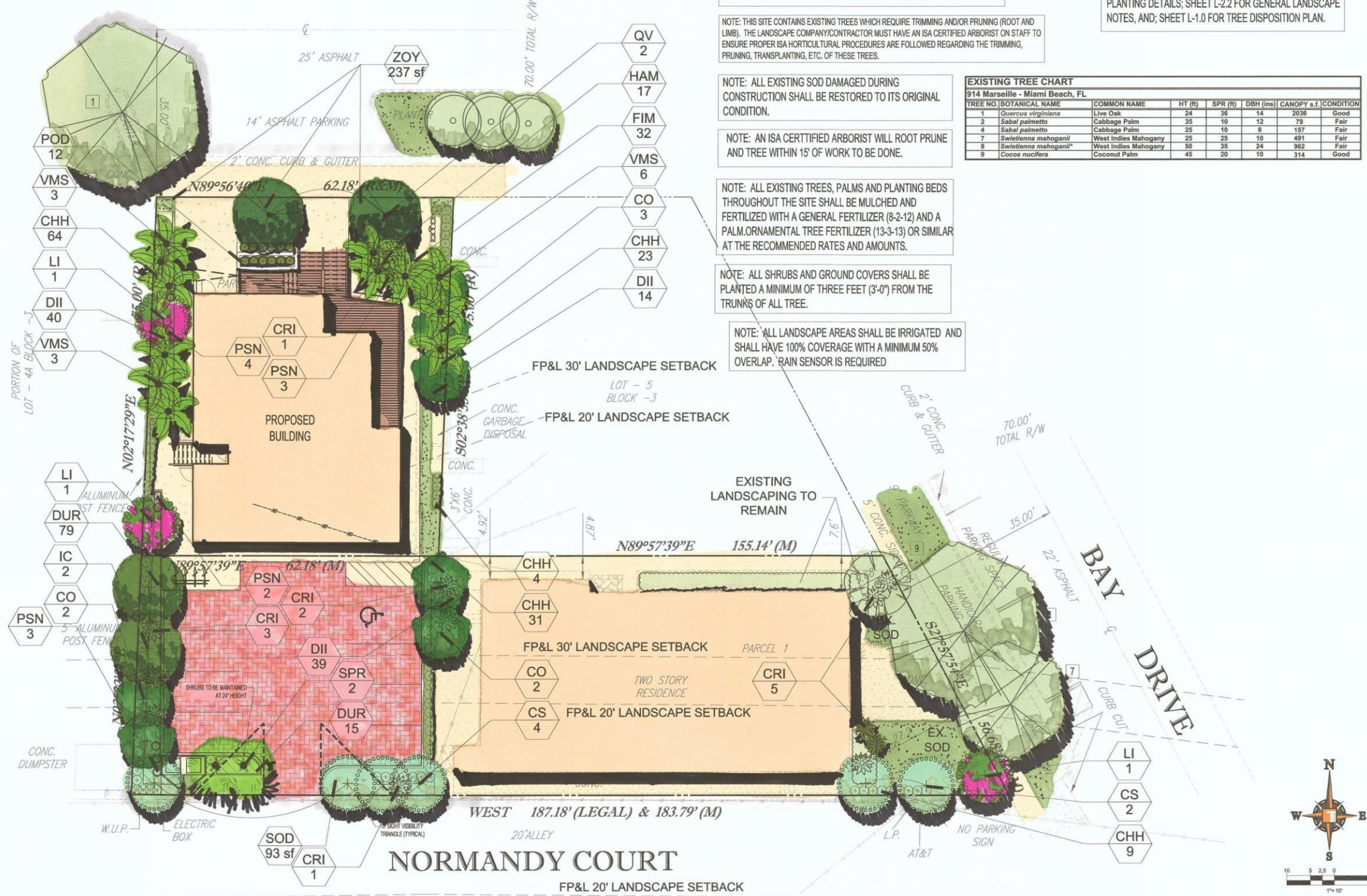
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Scale: 3/32" = 1'-0" 3-5-2020



MARSEILLE DRIVE



NOTE: AN ISA CERTIFIED ARBORIST SHALL BE ON SITE TO MONITOR, AND IF NECESSARY, PERFORM ANY TREE ROOT PRUNING AND SHAVING THAT MAY BE REQUIRED DUE TO PROPOSED EXCAVATION WORK. WORK SHALL CEASE AND THE CITY LANDSCAPE STAFF (954-797-2652) CONTACTED IMMEDIATELY IF CUTTING OR SHAVING OF ROOTS DOES NOT MEET ISA ROOT PRUNING GUIDELINES AND STANDARDS. CITY LANDSCAPE STAFF SHALL BE CONTACTED IN ANY ROOT GREATER THAN 1.5\" DIAMETER NEEDS TO BE CUT.

NOTE: ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS, BUT NOT LIMITED TO, EXTERIOR UTILITY BOXES, METERS, AND TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED. BACK FLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE.

PLEASE REFER TO SHEET L-2.1 FOR PLANT SCHEDULE AND PLANTING DETAILS; SHEET L-2.2 FOR GENERAL LANDSCAPE NOTES, AND; SHEET L-1.0 FOR TREE DISPOSITION PLAN.

NOTE: THIS SITE CONTAINS EXISTING TREES WHICH REQUIRE TRIMMING AND/OR PRUNING (ROOT AND LIMB). THE LANDSCAPE COMPANY/CONTRACTOR MUST HAVE AN ISA CERTIFIED ARBORIST ON STAFF TO ENSURE PROPER ISA HORTICULTURAL PROCEDURES ARE FOLLOWED REGARDING THE TRIMMING, PRUNING, TRANSPLANTING, ETC. OF THESE TREES.

NOTE: ALL EXISTING SOD DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.

NOTE: AN ISA CERTIFIED ARBORIST WILL ROOT PRUNE AND TREE WITHIN 15' OF WORK TO BE DONE.

NOTE: ALL EXISTING TREES, PALMS AND PLANTING BEDS THROUGHOUT THE SITE SHALL BE MULCHED AND FERTILIZED WITH A GENERAL FERTILIZER (8-2-12) AND A PALM ORNAMENTAL TREE FERTILIZER (13-3-13) OR SIMILAR AT THE RECOMMENDED RATES AND AMOUNTS.

NOTE: ALL SHRUBS AND GROUND COVERS SHALL BE PLANTED A MINIMUM OF THREE FEET (3'-0\") FROM THE TRUNKS OF ALL TREE.

NOTE: ALL LANDSCAPE AREAS SHALL BE IRRIGATED AND SHALL HAVE 100% COVERAGE WITH A MINIMUM 50% OVERLAP. RAIN SENSOR IS REQUIRED

EXISTING TREE CHART
914 Marseille - Miami Beach, FL

TREE NO.	BOTANICAL NAME	COMMON NAME	HT (ft)	SPR (ft)	DBH (ins)	CANOPY s.f.	CONDITION
1	<i>Quercus virginiana</i>	Live Oak	24	36	14	2036	Good
2	<i>Sabal palmetto</i>	Cabbage Palm	35	10	12	79	Fair
4	<i>Sabal palmetto</i>	Cabbage Palm	25	10	8	157	Fair
7	<i>Swietenia mahoganii</i>	West Indies Mahogany	25	25	10	491	Fair
8	<i>Swietenia mahoganii*</i>	West Indies Mahogany	50	35	24	962	Fair
9	<i>Cocos nucifera</i>	Coconut Palm	45	20	10	314	Good

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CIVIL ENGINEER - PROJECT MANAGER - LAND PLANNING - LANDSCAPE ARCHITECTS
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PH: (954) 202-7070
FX: (954) 202-7070
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REVISIONS:

REV.	DATE	COMMENT	BY

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DRAWN BY: MDG
CHECKED BY: MDG
DATE: 03/17/20
CAD ID.: F200014-LANDSCAPE

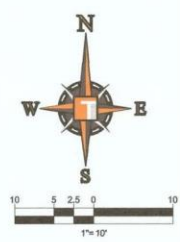
PROJECT:
**914 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA**
FOR:
EAYC INVESTMENTS

THOMAS
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FORT LAUDERDALE, FL 33309
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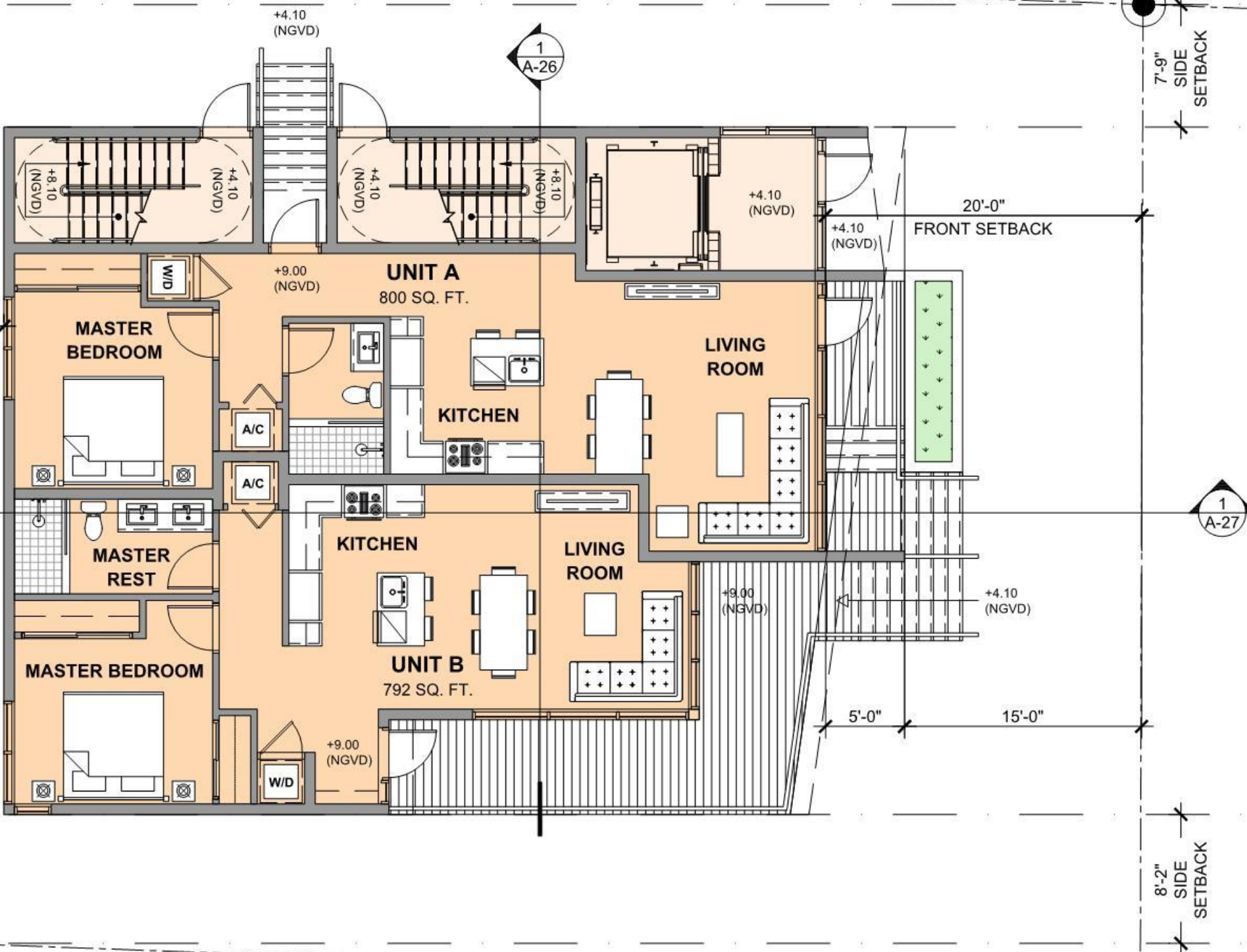
SHEET TITLE:
LANDSCAPE PLAN
SHEET NUMBER:
L-2.0



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TERRACE = 241 SQ. FT.
UNIT A = 800 SQ. FT.
UNIT B = 792 SQ. FT.
VERTICAL CIRCULATION + VESTIBULE = 395 SQ. FT.
TOTAL AREA INCL. IN FAR = 1987 SQ. FT. (GROUND FLOOR PLAN)

01 GROUND FLOOR PLAN
 A-18 SCALE: 1/8" = 1'-0"



idea **914 MARSEILLE DRIVE**
 MIAMI BEACH, FLORIDA 15-805BUS

GROUND FLOOR PLAN

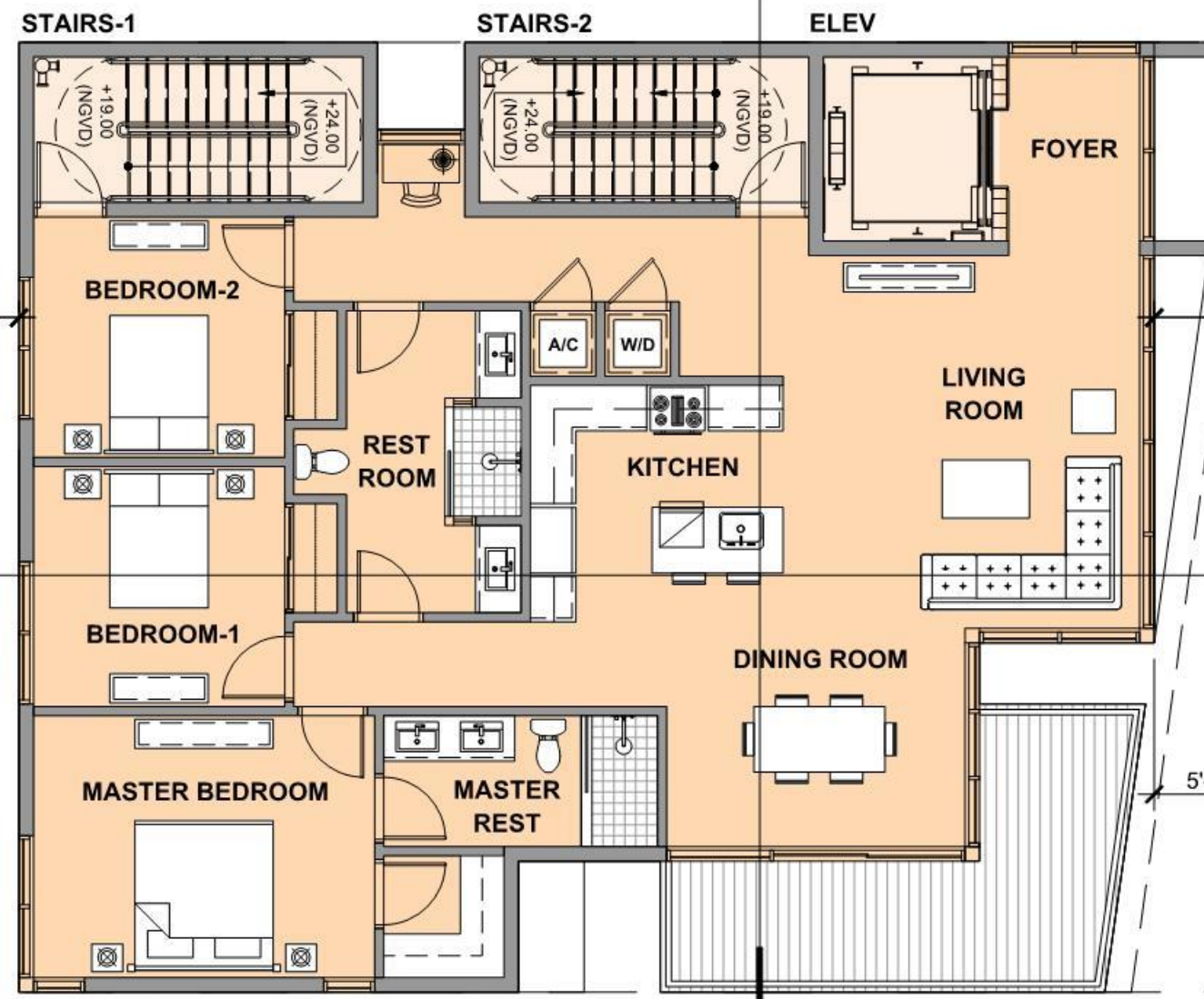


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Scale: 1/8" = 1'-0" 3-5-2020





TYPICAL UNIT C-D-E = 1665 SQ. FT.
 VERTICAL CIRCULATION = 326 SQ. FT.
 BALCONIES = 176 SQ. FT.

TOTAL AREA INCL. IN FAR = 1991 SQ. FT.
 (TYPICAL FLOOR PLANS)

01 TYPICAL FLOOR PLAN (2 - 3 - 4)
 A-19 SCALE: 1/8" = 1'-0"



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TYPICAL FLOOR PLAN (2 - 3 - 4)

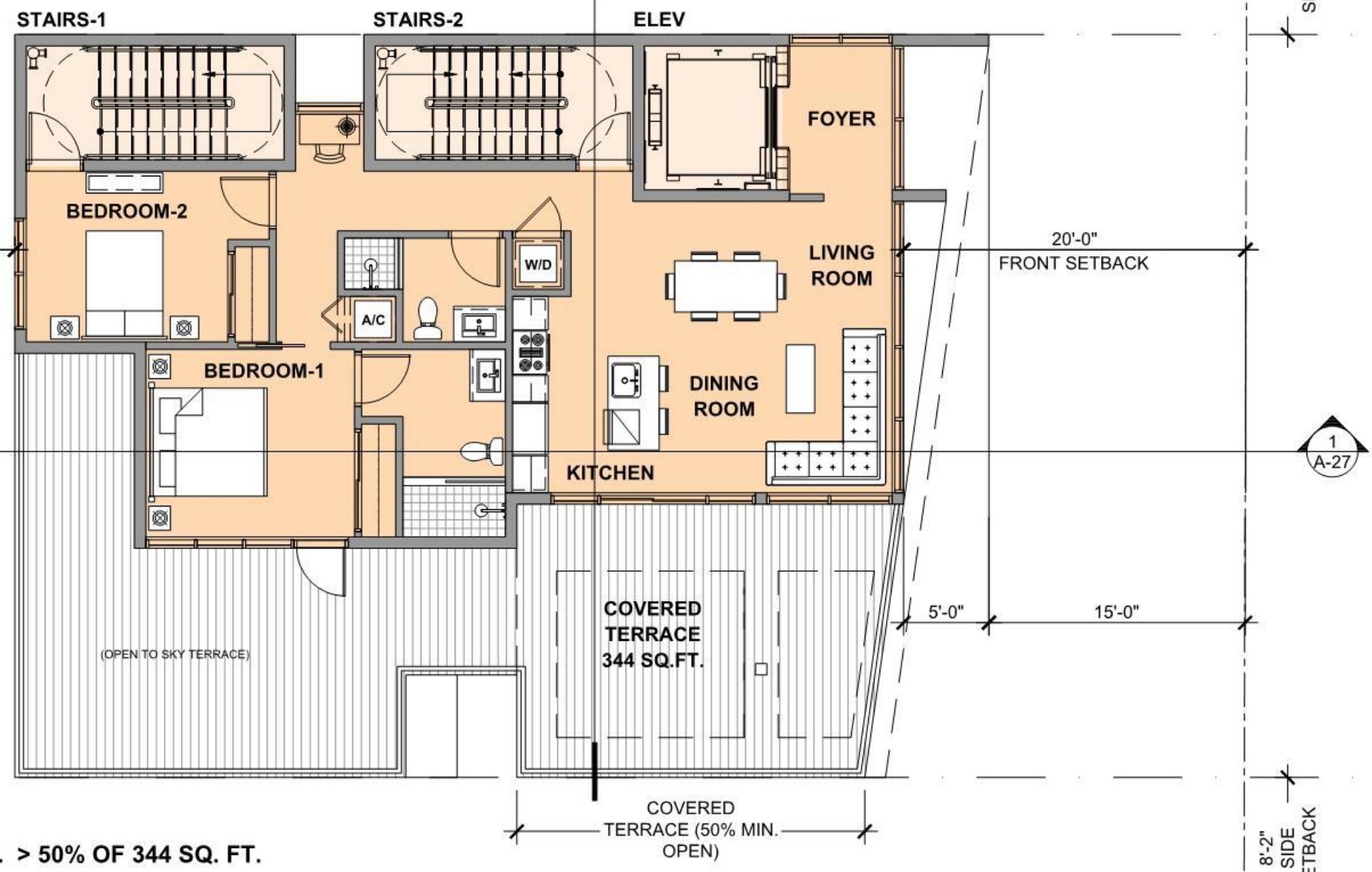


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Scale: 1/8" = 1'-0" 3-5-2020





OPEN TERRACE = 667 SQ. FT. (OPEN TO SKY)
UNIT F = 1084 SQ. FT.
VERTICAL CIRCULATION = 326 SQ. FT.
TOTAL INCL. IN FAR = 1410 SQ. FT. (5TH FLOOR PLAN)

COVERED TERRACE AREA = 344 SQ. FT.
OVERHEAD CEILING OPEN AREA = 180 SQ. FT. > 50% OF 344 SQ. FT.

01 5TH FLOOR PLAN
 A-20 SCALE: 1/8" = 1'-0"



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 MIAMI BEACH, FLORIDA | 15-805BUS

5TH FLOOR PLAN

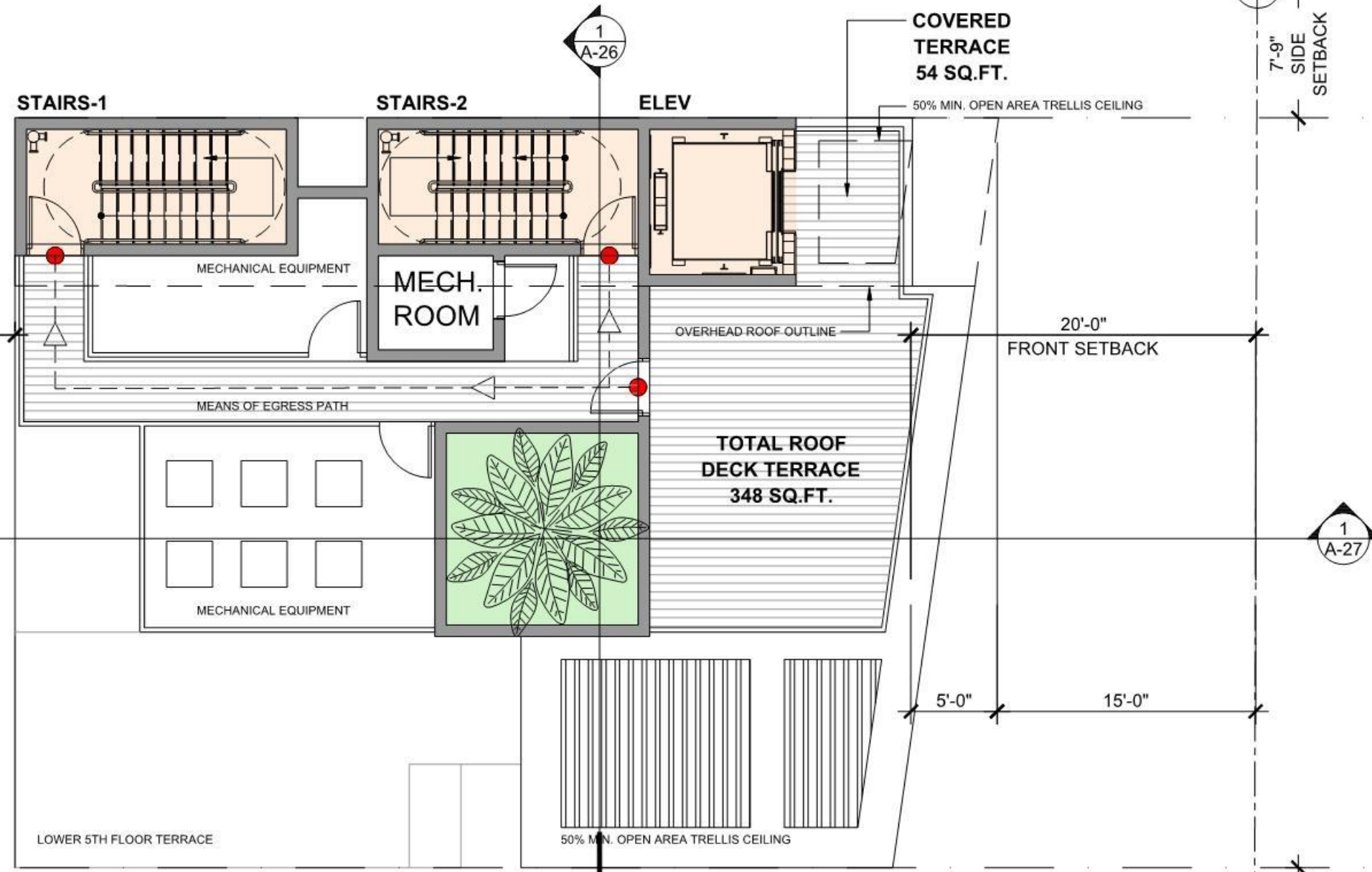


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Scale: 1/8" = 1'-0" | 3-5-2020





VERTICAL CIRCULATION = 347 SQ. FT.

**ROOF TERRACE = 348 SQ. FT. (OPEN TO SKY)
EGRESS PATHWAY = 168 SQ. FT.**

**ACCESSIBLE ROOF AREA <
(50% ENCLOSED AREA BELOW)**

**(348 + 168) 516 SQ. FT. < (50% OF 1084
SQ. FT. = 542 SQ. FT.)**

TOTAL AREA INCL. IN FAR = 347 SQ. FT.

**COVERED TERRACE AREA = 54 SQ. FT.
OVERHEAD CEILING OPEN AREA = 35 SQ. FT. > 50% OF 54 SQ. FT.**

01 ROOF PLAN
A-21 SCALE: 1/8" = 1'-0"



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ROOF PLAN



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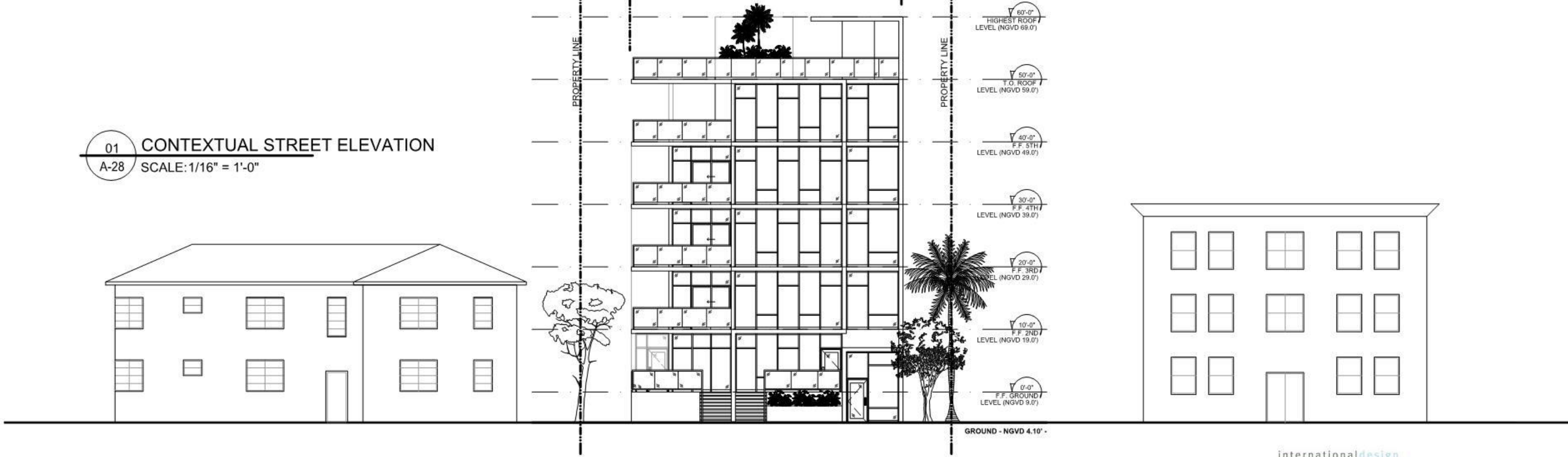
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01 CONTEXTUAL STREET ELEVATION
A-28 SCALE: 1/16" = 1'-0"



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CONTEXTUAL STREET ELEVATION



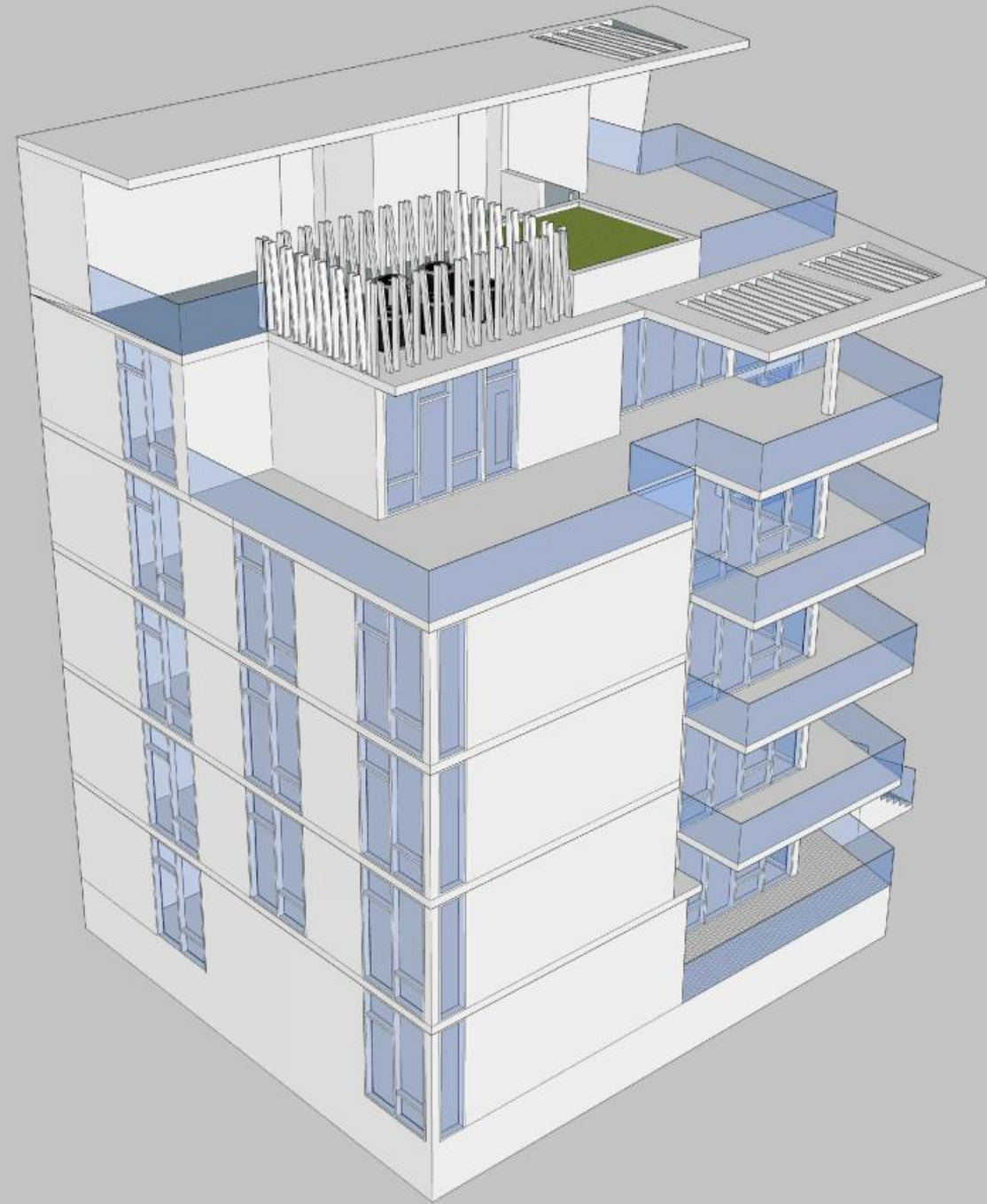
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3D MODEL VIEWS-1



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3D MODEL VIEWS-2



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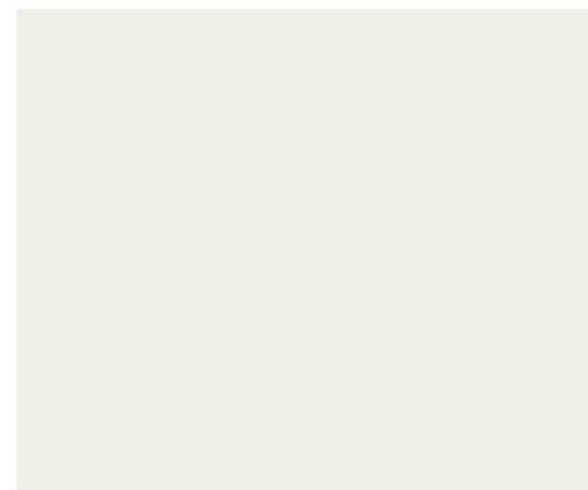
1 SOLARBLUE - VIRACON (GLASS)
A-31 SCALE:NTS



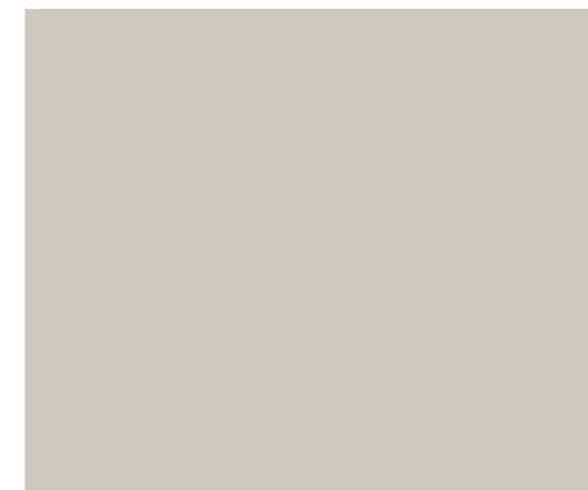
3 BALCONY RAILINGS - CLEAR GLASS
A-31 SCALE:NTS



2 SOLARBLUE - VIRACON (GLASS EXAMPLE)
A-31 SCALE:NTS



4 STUCCO MAIN COLOR (PURE WHITE)
SHERWIN-WILLIAMS SW-7005
A-31 SCALE:NTS



5 STUCCO ACCENT COLOR (REPOSE GRAY)
SHERWIN-WILLIAMS SW-7015
A-31 SCALE:NTS



914 MARSEILLE DRIVE
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MATERIAL SAMPLES



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3-5-2020

