

# 914 MARSEILLE DRIVE - RESIDENTIAL BUILDING

MIAMI BEACH, FLORIDA 33141  
15-805BUS  
3-5-2020

## ISSUED FOR HPB - ZONING

### Table of contents

P. 1 of 33 -	LOCATION MAP (4)
P. 2 of 33 -	AERIAL VIEWS (4)
P. 3 of 33 -	STREET VIEWS (4)
P. 4 of 33 -	PROPERTY VIEWS-1
P. 5 of 33 -	PROPERTY VIEWS-2
P. 6 of 33 -	PROPERTY VIEWS-3
P. 7 of 33 -	CONTRIBUTING BLDG PICTURES
P. 8 of 33 -	CODE ANALYSIS
P. 8A of 33 -	FAR DIAGRAMS
P. 9 of 33 -	OFFICIAL ZONING MAP
P. 10 of 33 -	OFFICIAL HISTORIC MAP
P. 11 of 33 -	SURVEY
P. 12 of 33 -	N/A
P. 13 of 33 -	EXISTING BLDG. GROUND FLOOR PLAN
P. 14 of 33 -	EXISTING BLDG. 2ND FLOOR PLAN
P. 15 of 33 -	EXISTING BLDG. ELEVATIONS
P. 16 of 33 -	SITE PLAN
P. 17 of 33 -	ENLARGED SITE PLAN
P. 18 of 33 -	GROUND FLOOR PLAN
P. 19 of 33 -	TYP. FLOOR PLAN (2-3-4)
P. 20 of 33 -	5th FLOOR PLAN (5)
P. 21 of 33 -	ROOF PLAN
P. 21A of 33 -	UPPER ROOF PLAN
P. 22 of 33 -	NORTH ELEVATION
P. 23 of 33 -	EAST ELEVATION
P. 24 of 33 -	SOUTH ELEVATION
P. 25 of 33 -	WEST ELEVATION
P. 26 of 33 -	BLDG. TRANSVERSAL SECTION
P. 27 of 33 -	BLDG. LONGITUDINAL SECTION
P. 28 of 33 -	CONTEXT STREET ELEVATION
P. 29 of 33 -	3D MODEL VIEWS-1
P. 30 of 33 -	3D MODEL VIEWS-2
P. 31 of 33 -	MATERIAL BOARD
P. 32 of 33 -	3D CONTEXT REALISTIC RENDERING



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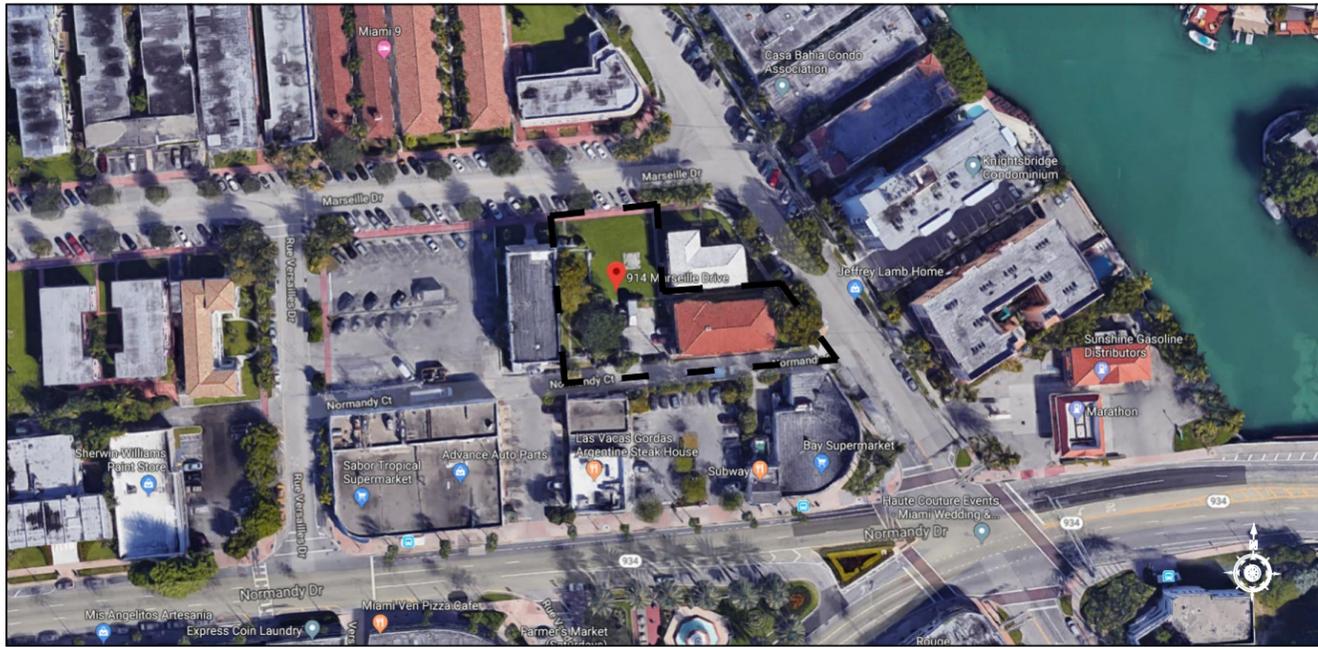
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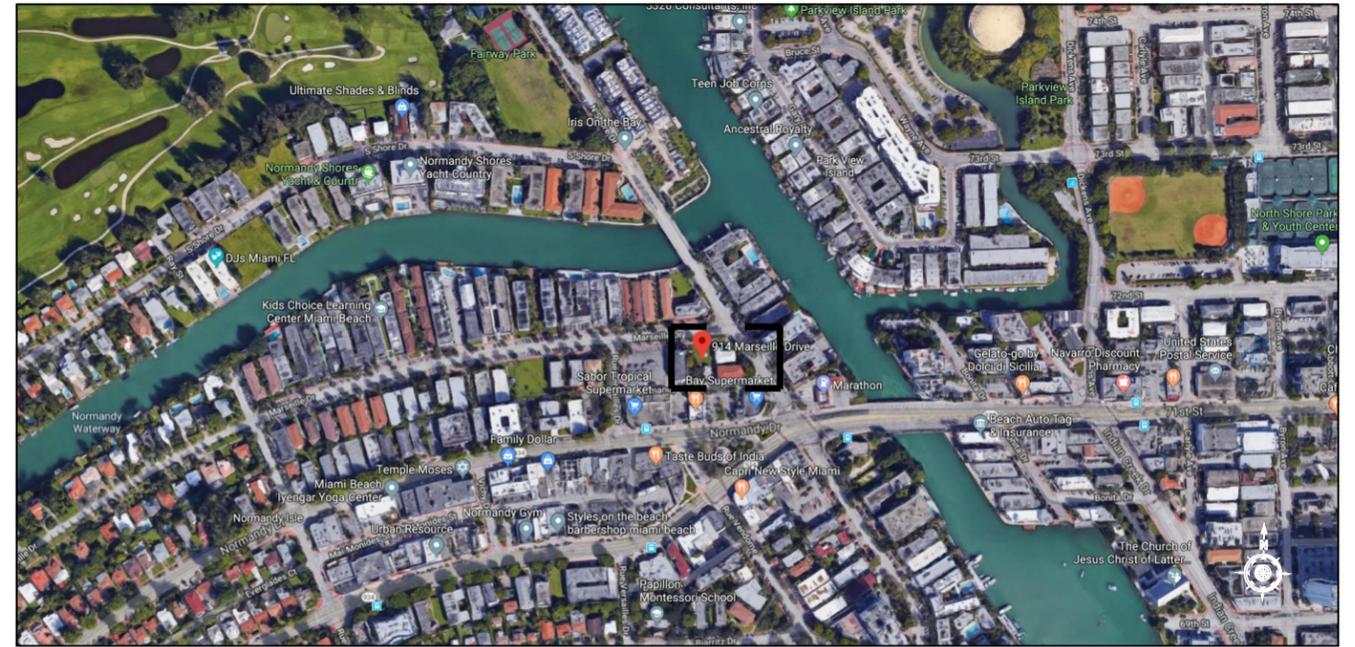
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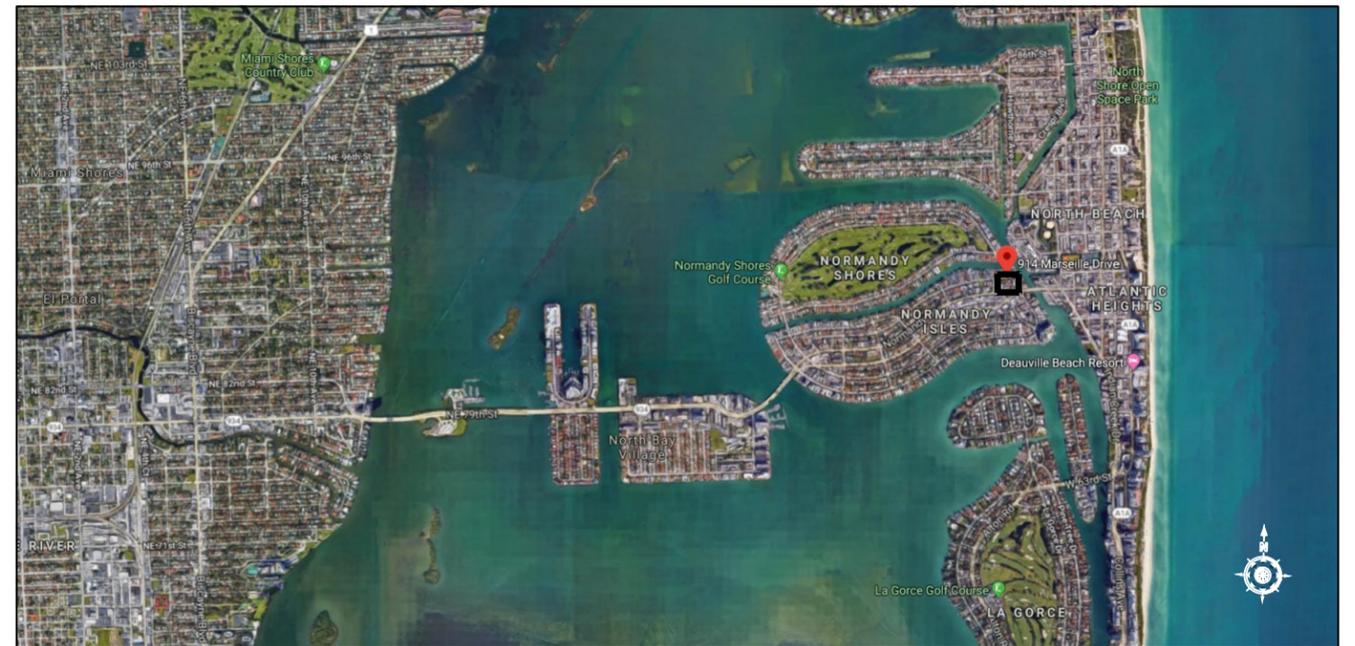
LOCATION PLAN 1 ( 914 MARSEILLE DRIVE, MIAMI BEACH )



LOCATION PLAN 2 ( 914 MARSEILLE DRIVE, MIAMI BEACH )



LOCATION PLAN 3 ( 914 MARSEILLE DRIVE, MIAMI BEACH )



LOCATION PLAN 4 ( 914 MARSEILLE DRIVE, MIAMI BEACH )



# 914 MARSEILLE DRIVE

MIAMI BEACH, FLORIDA

15-805BUS

## LOCATION MAP (4)



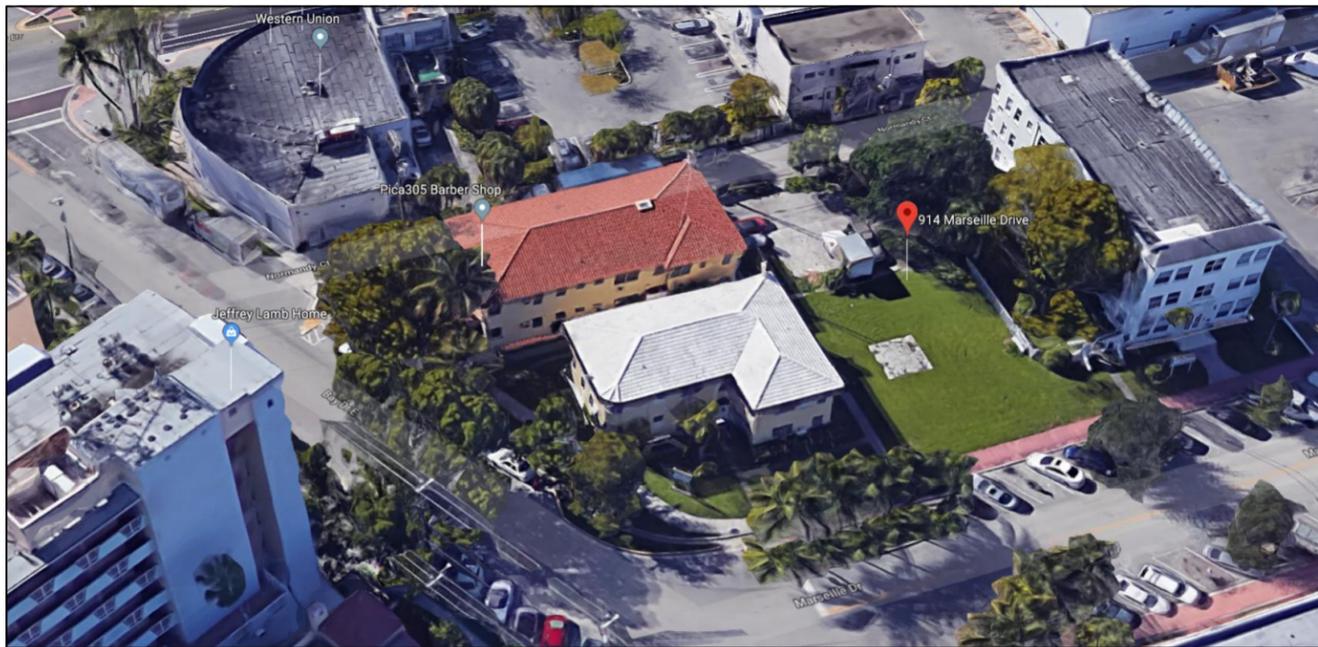
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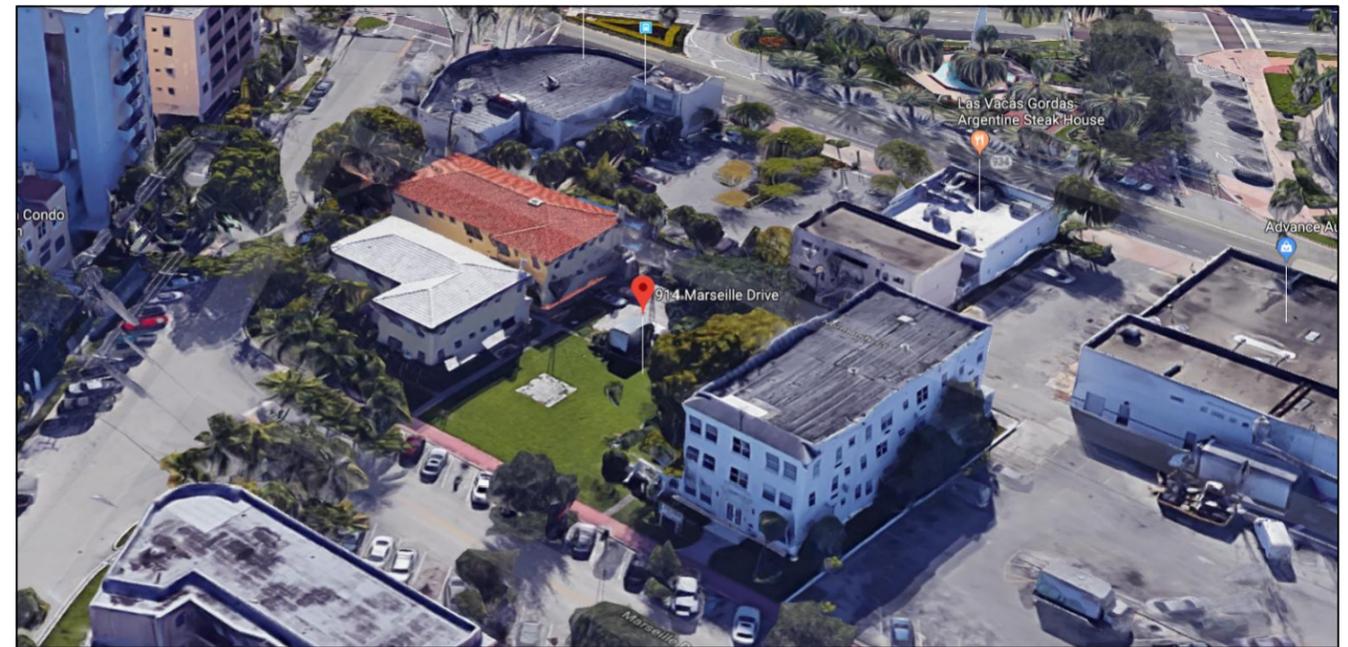
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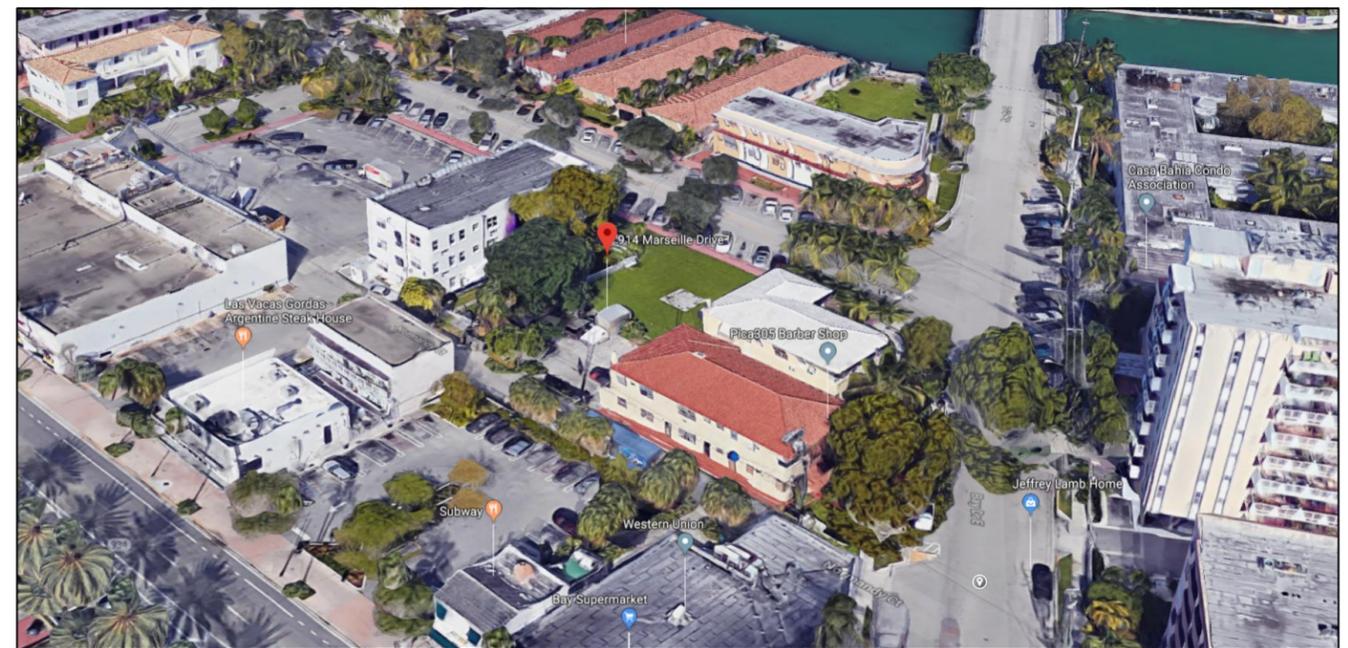
AERIAL 3D - 1 ( CORNER OF MARSEILLE DRIVE / BAY DRIVE E )



AERIAL 3D - 2 ( FROM MARSEILLE DRIVE )



AERIAL 3D - 3 ( FROM NORMANDY CT. )



AERIAL 3D - 4 ( CORNER OF BAR DRIVE E / NORMANDY CT. )



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AERIAL 3D (4)



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STREET VIEWS - 1 ( CORNER OF MARSEILLE DRIVE / BAY DRIVE E )



STREET VIEWS - 2 ( MARSEILLE DRIVE )



STREET VIEWS - 3 ( CORNER OF NORMANDY CT. / BAY DRIVE E )



STREET VIEWS - 4 ( MARSEILLE DRIVE )



**9 1 4 M A R S E I L L E D R I V E**  
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STREET VIEWS (4)



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01 VIEW FROM SIDEWALK LOOKING WEST  
A-04 SCALE:NTS



02 VIEW FROM SIDEWALK LOOKING EAST  
A-04 SCALE:NTS



03 KEY PLAN  
A-04 SCALE:NTS



914 MARSEILLE DRIVE  
MIAMI BEACH, FLORIDA 15-805BUS

PROPERTY VIEWS 01



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01 VIEW FROM CENTER OF THE PROPERTY LOOKING EAST  
A-05 SCALE:NTS



02 VIEW FROM SIDEWALK LOOKING SOUTH WEST  
A-05 SCALE:NTS



03 KEY PLAN  
A-05 SCALE:NTS



914 MARSEILLE DRIVE  
MIAMI BEACH, FLORIDA 15-805BUS

PROPERTY VIEWS 02



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01 VIEW OF EAST NEIGHBOR PROPERTY  
A-06 SCALE:NTS



02 VIEW OF WEST PROPERTY  
A-06 SCALE:NTS



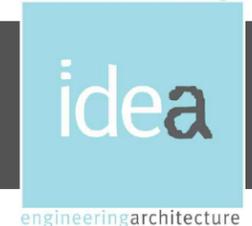
03 KEY PLAN  
A-06 SCALE:NTS



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PROPERTY VIEWS 03

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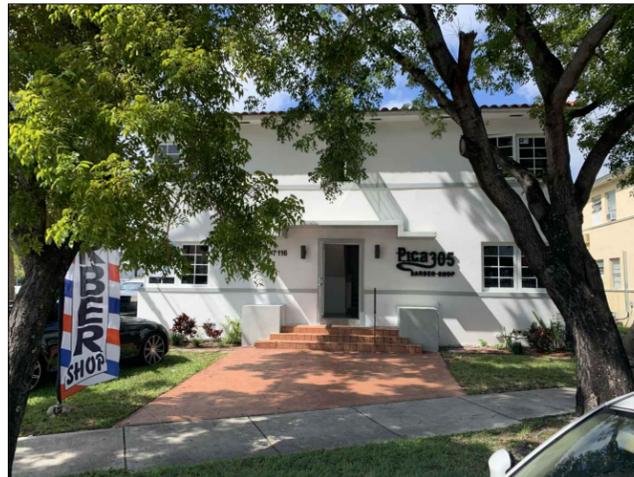
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# 914 MARSEILLE DRIVE

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## CONTRIBUTING BUILDING PICTURES



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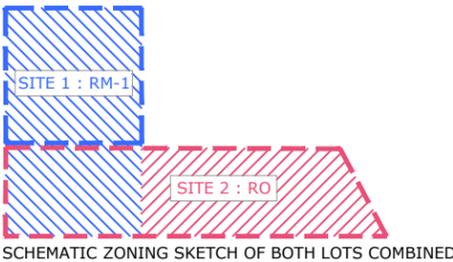
**1** AERIAL IMAGES



OVERVIEW MAP

**2** GENERAL SITE INFORMATION

LOT SIZE	SITE 1: 4,662.5 SQ. FT. (0.107 ACRES) FOLIO: 02-3210-013-0311		SITE 2: 8,476.0 SQ. FT. (0.195 ACRES) FOLIO: 02-3210-013-0330	
	TOTAL APPROXIMATELY: 13,138.5 SQ. FT. (0.302 ACRES)			
DESCRIPTION	VALUE	CODE SECTION	REQUIRED / ALLOWED	PROVIDED
ZONING	<b>SITE 1</b> = (RESIDENTIAL MULTIFAMILY - LOW DENSITY) (SEE SCHEMATIC ZONING DISTRICT SKETCH ABOVE)		RM-1	RM-1 (4,662.5 SF)
	<b>USE</b> : LOW DENSITY APARTMENTS			
	<b>SITE 2</b> = (RESIDENTIAL MULTIFAMILY - LOW DENSITY) + (RESIDENTIAL OFFICE) (SEE SCHEMATIC ZONING DISTRICT SKETCH ABOVE)		RM-1 / RO	RM-1 (3,109 SF) / RO (5,367 SF)
	<b>USE</b> : APARTMENTS / OFFICE			
OVERLAY DISTRICT	NORMANDY ISLES HISTORIC DISTRICT			
CATEGORY	RESIDENTIAL - MULTIFAMILY DWELLING UNITS			
FLOOR AREA RATIO	SUM OF THE GROSS AREA OF THE FLOORS MEASURED FROM THE EXTERIOR FACES NOT INCLUDING EXTERIOR PRIVATE BALCONIES.	Sec. 114-1 Sec. 142-155	SITE : 1.25 X 7,771.5 SF = 9,714.4 SF	9,711 SF
MINIMUM LOT AREA	MINIMUM LOT AREA: 5,600 SF	Sec. 142-155(b)	MIN. 5,600 SF	4,662.5 SF
MINIMUM LOT WIDTH	MINIMUM LOT WIDTH: 50 FEET	Sec. 142-155(b)	MIN. 50'-0"	62'-2 1/4"
MINIMUM UNIT SIZE	MINIMUM UNIT SIZE: 550 SF	Sec. 142-155(b)	MIN. 550 SF EACH UNIT	GROUND A1: 800 SF GROUND A2: 792 SF 2ND,3RD & 4TH FLOORS 1,663 SF 5TH FLOOR: 1,084 SF
GREEN SPACE	2,830 SF / LOT SIZE (13,138.5 SF)			21.5%
PERVIOUS	GREEN SPACE + ROOF PLANTER + PAVERS 2,830 + 124 + 2,230.5 = 5,184.5 SF / LOT SIZE (13,138.5 SF)			39.5%
IMPERVIOUS	2,548.9 SF / LOT SIZE (13,138.5 SF)			19.4%
OPEN SPACE	REQ. : (30% OF 13,138.5 SF) + 10 SF PER PARKING (80 SF) = 4,021.5 SF PROV. : 13,138.5 SF - 7,637.5 (BLDGS FOOTPRINT) = 5,501 SF		4,021.5 SF	5,501 SF
BLDG. FOOTPRINT	PROPOSED BUILDING : 2,420.5 SF EXISTING BUILDING : 2,987 SF PARKING LOT : 2,230 SF			58.1%



SCHEMATIC ZONING SKETCH OF BOTH LOTS COMBINED

**3** MIAMI BEACH - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	SITE 1: 914 MARSEILLE DRIVE, MIAMI BEACH, FL 33141 // SITE 2: 716 BAY DRIVE, MIAMI BEACH, FL 33141		
2	Board and file numbers:			
3	Folio number(s):	FOLIO: SITE 1 (02-3210-013-0311) // FOLIO : SITE 2 (02-3210-013-0330)		
4	Year constructed:	1940 (EXISTING BUILDING)	Zoning District:	SITE 1 : RM-1 // SITE 2 : RM-1 & RO
5	Based Flood Elevation:	4.10'	Grade value in NGVD:	BFE + 1 (8' + 1') = 9.00' NGVD
6	Adjusted grade (Flood+Grade/2):	(4.10' + 9.00') / 2 = 6.55'	Lot Area:	SITE 1 : (4,662.5 SF) // SITE 2 : (8,476 SF)
7	Lot width:	62'-2 1/4"	Lot Depth:	125'-2 1/4"
8	Minimum Unit Size	550 SF	Average Unit Size	1,274 SF
9	Existing use:	RESIDENTIAL (R)	Proposed use:	RESIDENTIAL MULTIFAMILY - LOW DENSITY
<b>Table 1: Height, Stories, FAR, and Footage</b>				
		Maximum	Existing	Proposed
10	Height	55'		50' (ROOF) / 60' (UPPER ROOF)
11	Number of Stories	5		5
12	FAR	1.25 * 7,771.5 SF = 9,714.4 SF		9,711 SF (SEE SHEET 08A)
13	Gross square footage			11,299 SF (SEE SHEET 08A)
14	Square Footage by use	N/A		
15	Number of units Residential	N/A	6 UNITS	
16	Number of units Hotel	N/A		
17	Number of seats	N/A		
18	Occupancy load	N/A		
<b>Table 2: Setbacks</b>				
		Required	Existing	Proposed
<b>Subterranean:</b>				
19	Front Setback:			
20	Side Setback:			
21	Side Setback:			
22	Side Setback facing street:			
23	Rear Setback:			
<b>At Grade Parking:</b>				
24	Front Setback:	20 FT		75'-11"
25	Side Setback:	5 FT		5'-10"
26	Side Setback:	5 FT		N/A
27	Side Setback facing street:	5 FT		N/A
28	Rear Setback:	5 FT		6 FT
<b>Pedestal:</b>				
29	Front Setback:	20 FT		20 FT
30	Side Setback:	7.5 FT		7'-9" (WEST)
31	Side Setback:	7.5 FT		8'-2" (EAST)
32	Side Setback facing street:	7.5 FT		N/A
33	Rear Setback:	10% OF LOT DEPTH - 10% (125'-0") = 12'-6"		52'-11 1/2"
<b>Tower:</b>				
34	Front Setback:			
35	Side Setback:			
<b>Table 3: Parking</b>				
		Required	Existing	Proposed
36	Side Setback:			
37	Side Setback facing street:			
38	Rear Setback:			
39	Parking district	PARKING DISTRICT NO. 1.		
40	Total # of parking spaces	NONE		8 (7 STANDARD / 1 ADA)
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			
43	Parking Space Dimensions	8.6' x 18'		8.6' x 18'
44	Parking Space configuration (450,600,900,Parallel)	90 o		90 o
45	ADA Spaces	1		1
46	Tandem Spaces	N/A		N/A
47	Drive aisle width	22 FT		22 FT
48	Valet drop off and pick up	N/A		N/A
49	Loading zones and Trash collection areas	N/A		N/A
50	racks	5		5

**4** SITE PHOTOGRAPHS (EXISTING)



VIEW FROM MARSEILLE DRIVE



OVERVIEW FROM THE SOUTH OF THE PROPERTY



**914 MARSEILLE DRIVE**  
MIAMI BEACH, FLORIDA  
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CODE ANALYSIS

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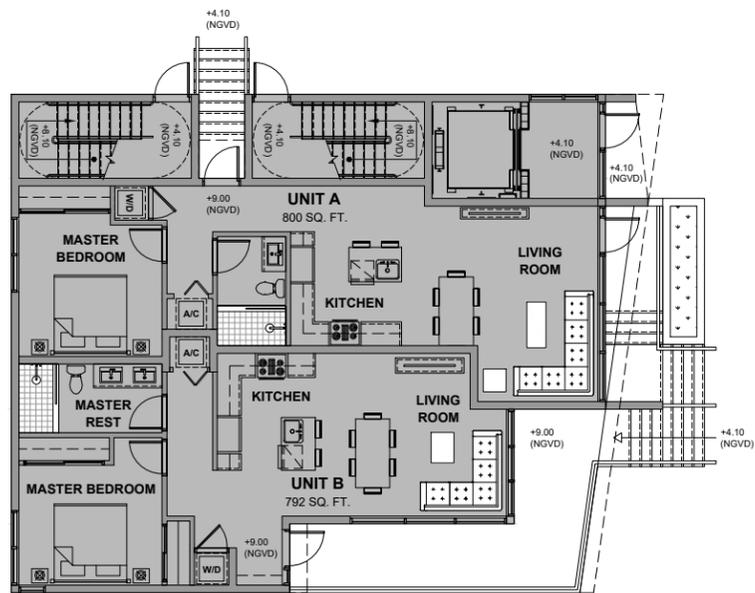
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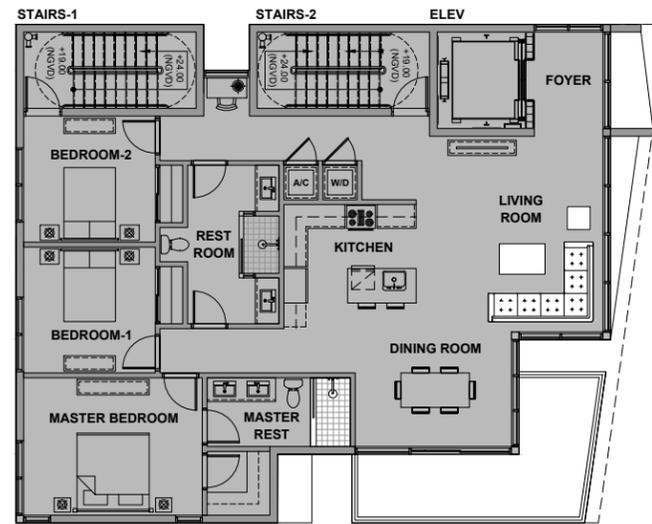
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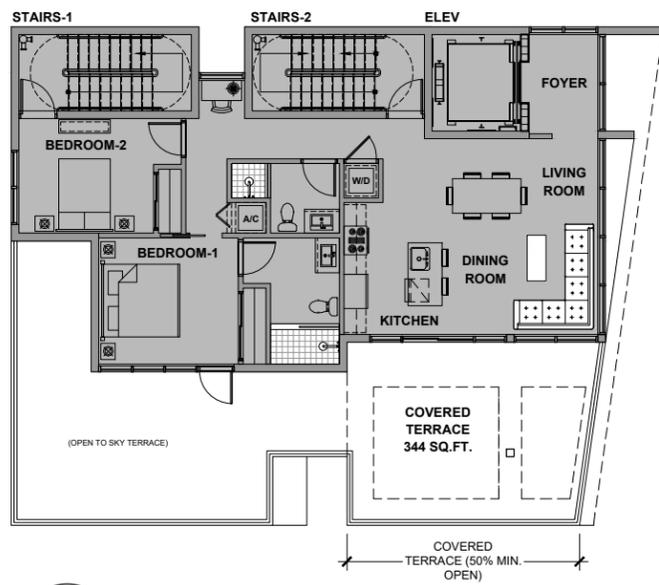
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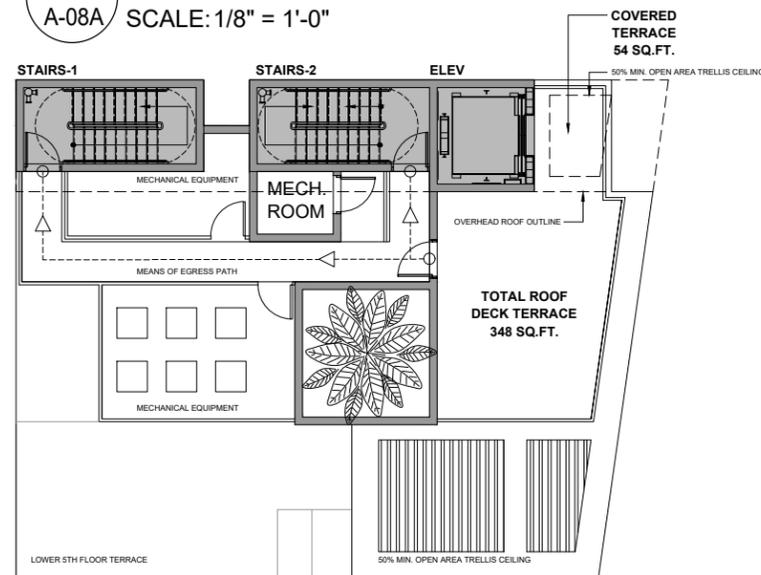
01 GROUND FLOOR PLAN  
A-08A SCALE: 1/8" = 1'-0"



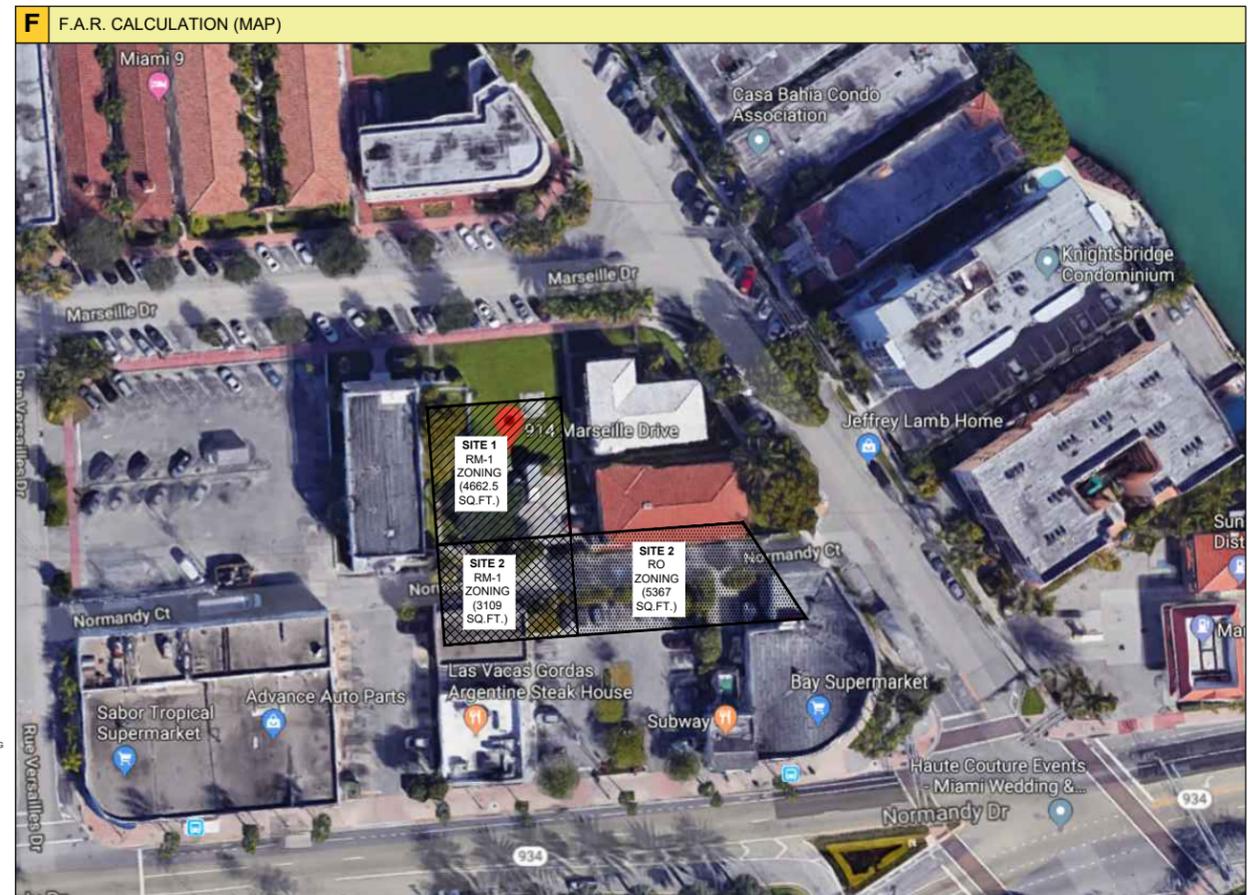
02 TYPICAL FLOOR PLAN ( 2 - 3 - 4 )  
A-08A SCALE: 1/8" = 1'-0"



03 5TH FLOOR PLAN  
A-08A SCALE: 1/8" = 1'-0"



04 ROOF PLAN  
A-08A SCALE: 1/8" = 1'-0"



<p><b>SITE 1 F.A.R.</b></p> <p>1.25 (RATIO) X 4,662.5 SQ. FT. (LOT SIZE) = 5,828.1 SQ.FT.</p> <p><b>SITE 2 REMAINING F.A.R. TO USE</b></p> <p>2,267.5 SQ. FT.</p> <p><b>SITE 1 TOTAL F.A.R.</b></p> <p>ALLOWED FAR : 5,828.1 SQ.FT. + 2,269.5 SQ.FT. = <b>8,097.6 SQ. FT.</b></p> <p>//</p> <p>ALLOWED FAR = 4,662.5 SQ. FT + 3,109 SQ. FT. = 7,771.5 SF</p> <p>7,771.5 SQ. FT. X 1.25 = <b>9,714.4 SQ. FT.</b></p> <p>PROVIDED FAR = <b>9,711 SQ. FT.</b></p>	<p><b>PROVIDED F.A.R.</b></p> <p>GF : <b>1,987 SQ. FT.</b></p> <p>2ND / 3RD &amp; 4TH : 1,989 SQ. FT.</p> <p>(3 X 1,989 SQ. FT) = <b>5,967 SQ. FT.</b></p> <p>5TH : <b>1,410 SQ. FT.</b></p> <p>ROOF : <b>347 SQ. FT.</b></p> <p>//</p> <p>PROVIDED FAR = <b>9,711 SQ. FT.</b></p>	<p><b>SITE 2 TOTAL F.A.R.</b></p> <p>PORTION OF THE SITE IN RM-1</p> <p>1.25 (RATIO) X 3,109 SQ. FT. (LOT SIZE) = 3,886.25 SQ.FT.</p> <p>PORTION OF THE SITE IN RO</p> <p>0.75 (RATIO) X 5,367 SQ. FT. (LOT SIZE) = 4,025.25 SQ.FT.</p> <p><b>TOTAL SITE F.A.R.</b></p> <p>3,886.25 SQ.FT. + 4,025.25 SQ.FT. = <b>7,911.5 SQ.FT.</b></p> <p><b>SITE 2 EXISTING BUILDING F.A.R.</b></p> <p>5,642 SQ. FT.</p> <p><b>SITE 2 REMAINING F.A.R.</b></p> <p>7,911.5 SQ.FT. - 5,642 SQ. FT = <b>2,269.5 SQ. FT.</b></p>
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**GROSS AREAS (INCLUDING : PARKING SPACES AND ANY TERRACES, DECKS, BALCONIES, ETC ABOVE THE GROUND FLOOR).**

**GROUND FLOOR / SITE PLAN :** BUILDING (INCL. STAIRCASES) / DECKS (2,420 SQ. FT.) + PARKING SPACES (2,230 SQ. FT.) = **4,650 SQ. FT.**

**TYPICAL FLOORS (2 / 3 / 4) :** BUILDING (INCL. STAIRCASES) / BALCONIES = **2,167 SQ. FT.**

**5TH FLOOR :** BUILDING (INCL. STAIRCASES) / BALCONIES = **2,187 SQ. FT.**

**ROOF :** BUILDING (INCL. STAIRCASES) / ROOF TERRACE / MECHANICAL ENCLOSURE / PLANTER / EYEBROW CANOPY = **2,295 SQ. FT.**

**TOTAL BUILDING GROSS AREA : 11,299 SQ. FT.**

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FAR DIAGRAMS



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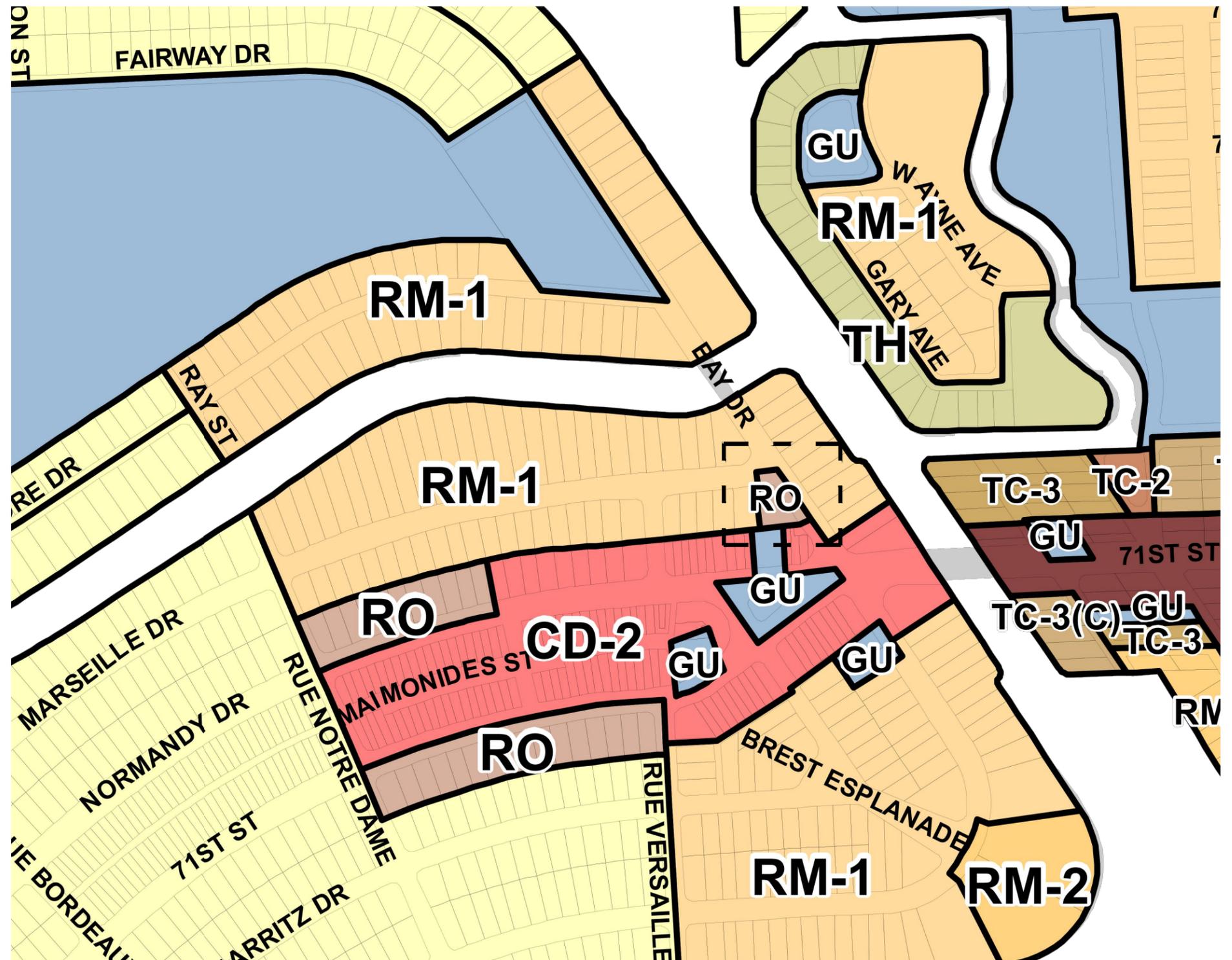
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08A

**ZONING DISTRICTS**

- RS-1 Single family residential
- RS-2 Single family residential
- RS-3 Single family residential
- RS-4 Single family residential
- TH Townhome residential
- RM-1 Residential multifamily, low intensity
- RM-2 Residential multifamily, medium intensity
- RM-3 Residential multifamily, high intensity
- CD-1 Commercial, low intensity
- CD-2 Commercial, medium intensity
- CD-3 Commercial, high intensity
- I-1 Urban light industrial
- MXE Mixed use entertainment
- HD Hospital district
- MR Marine recreational
- GU Civic and government use
- CCC Convention center district
- RM-PRD Multifamily, planned residential development district
- RM-PRD-2 Multifamily, planned residential development district
- WD-1 Waterway district
- WD-2 Waterway district
- RO Residential office
- GC Golf course
- RPS-1 Residential performance standard, medium-low density
- RPS-2 Residential performance standard, medium density
- RPS-3 Residential performance standard, medium-high density
- RPS-4 Residential performance standard, high density
- CPS-1 Commercial performance standard, limited mixed use
- CPS-2 Commercial performance standard, general mixed use
- CPS-3 Commercial performance standard, intensive mixed use
- CPS-4 Commercial performance standard, intensive phased bayside
- RMPS-1 Residential mixed use performance standard
- SPE Special public facilities educational district
- TC-1 North Beach Town Center core
- TC-2 North Beach Town Center mixed use
- TC-3 North Beach Town Center residential/office
- TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial



**FOR AN OFFICIAL ZONING DETERMINATION  
PLEASE CONTACT THE PLANNING DEPARTMENT.**

**idea** **914 MARSEILLE DRIVE**  
MIAMI BEACH, FLORIDA 15-805BUS

OFFICIAL ZONING MAP

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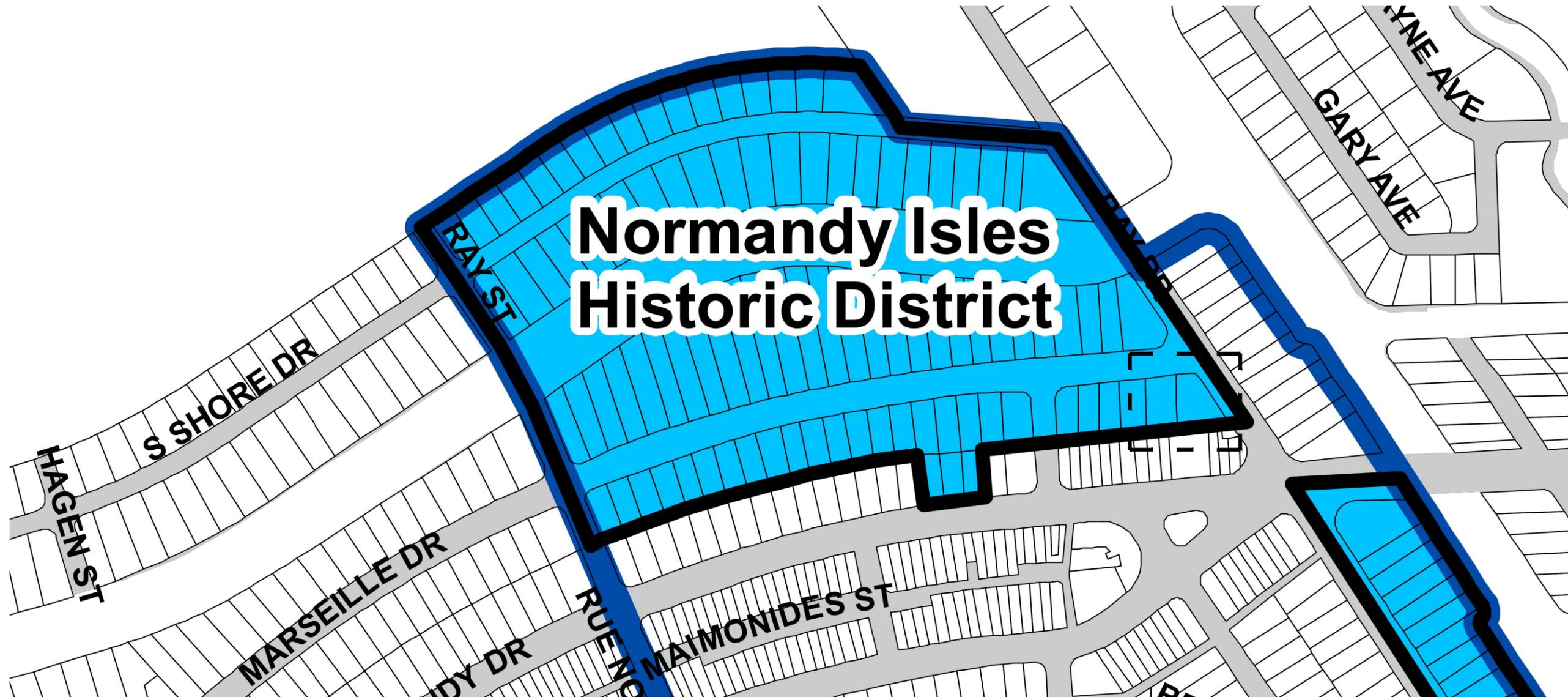
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Scale: NTS

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**LOCAL HISTORIC DISTRICTS**

- |  |   |
|--|---|
| Espanola Way Historic District               | Palm View Historic District                       |
| Altos del Mar Historic District              | Collins Waterfront Historic District              |
| Flamingo Park Historic District              | North Beach Resort Historic District              |
| Ocean Drive/Collins Avenue Historic District | Flamingo Waterway Historic District               |
| Museum Historic District                     | Morris Lapidus/Mid 20th Century Historic District |
| Ocean Beach Historic District                | North Shore Historic District                     |
| Harding Townsite Historic District           | Normandy Isles Historic District                  |

**NATIONAL REGISTER HISTORIC DISTRICTS**

- |   |
|---|
| Miami Beach Architectural District        |
| Normandy Isles Historic District          |
| North Shore Historic District             |
| Collins Waterfront Architectural District |

**LOCAL HISTORIC SITES**

- |  |  |
|--|--|
| <b>1</b> Old City Hall Historic Site               | <b>8</b> Dade Blvd Fire Station Historic Site                    |
| <b>2</b> 21st St Recreation Center Historic Site   | <b>9</b> PineTree Dr Historic Roadway                            |
| <b>3</b> Congregation Beth Jacob Historic Site     | <b>10</b> Flagler Memorial and Monument Island Historic Site     |
| <b>4</b> Venetian Causeway Historic Site           | <b>11</b> 69th St Fire Station Historic Site                     |
| <b>5</b> Miami Beach Woman's Club Historic Site    | <b>12</b> 28th St Obelisk and Pumping Station Historic Structure |
| <b>6</b> Sunset Island Bridges Historic Structures | <b>13</b> 1600 Lenox Ave Historic Site                           |
| <b>7</b> The Bath Club Historic Site               | <b>14</b> 36 Ocean Dr Historic Site                              |
|  | <b>15</b> 1700 Alton Rd Historic Site                            |



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OFFICIAL HISTORIC MAP

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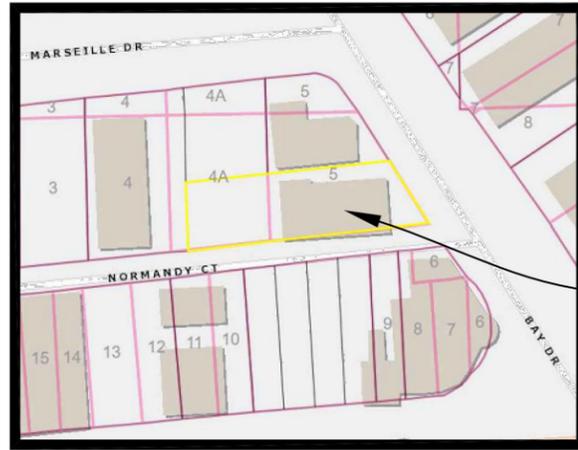
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Scale: NTS

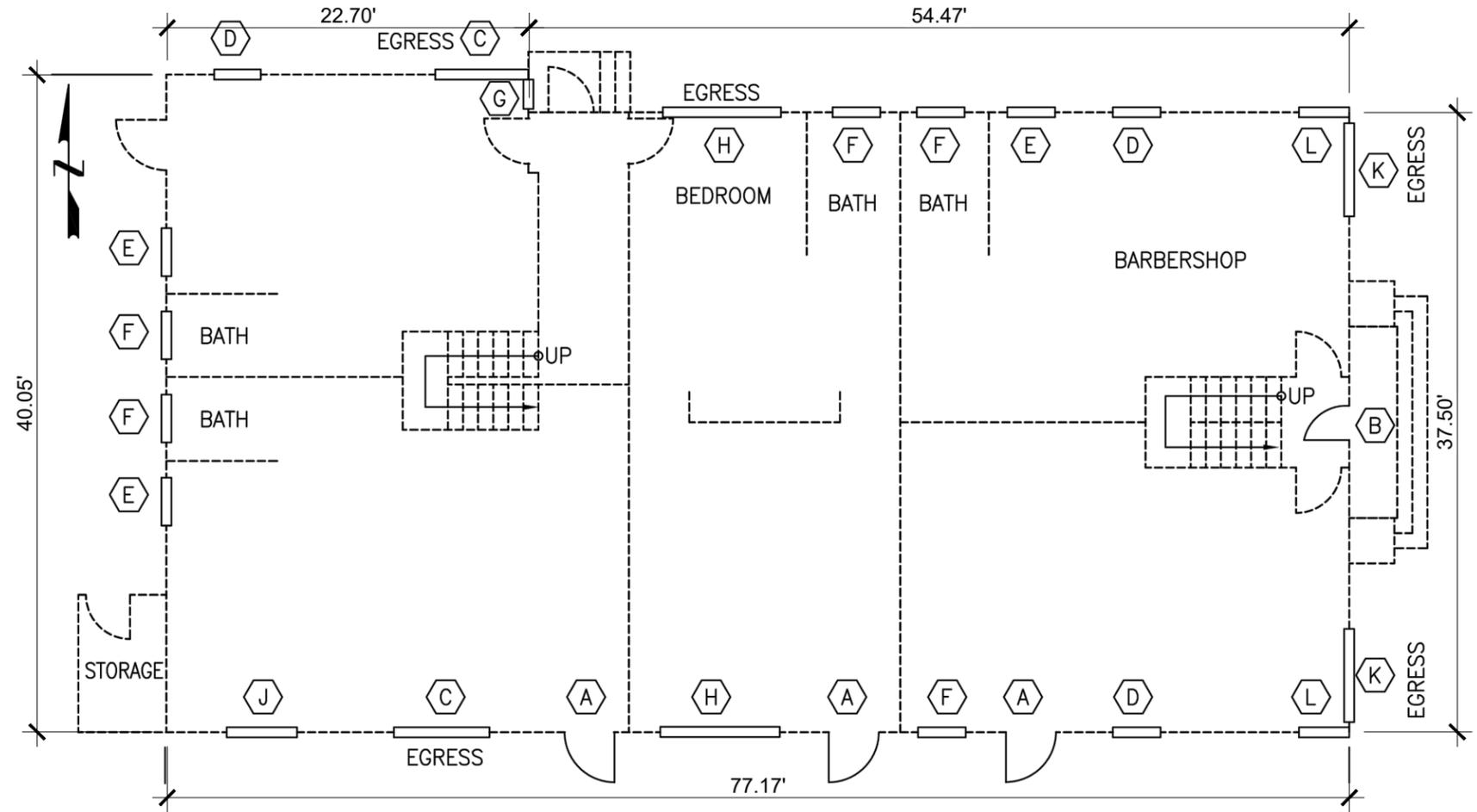
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LOCATION SKETCH N.T.S.



LOCATION SITE



01  
A-13 EXISTING GROUND FLOOR PLANS  
SCALE: 1/8" = 1'-0"



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EXIST. BLDG GROUND FLOOR PLAN

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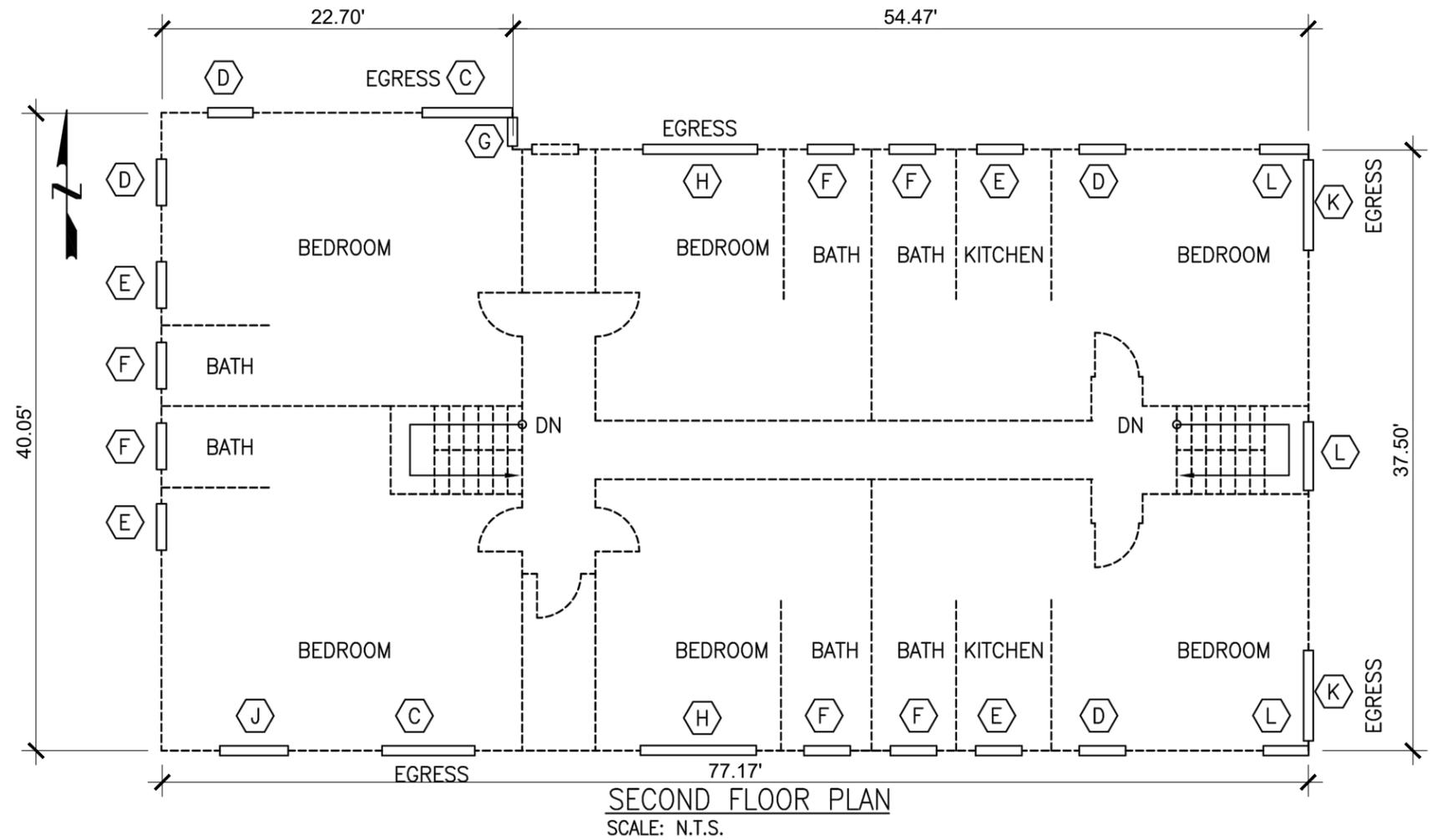
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Scale: 1/8" = 1'-0"

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01  
A-14 **EXISTING 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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MIAMI BEACH, FLORIDA | 15-805BUS

**EXIST. BLDG 2ND FLOOR PLAN**

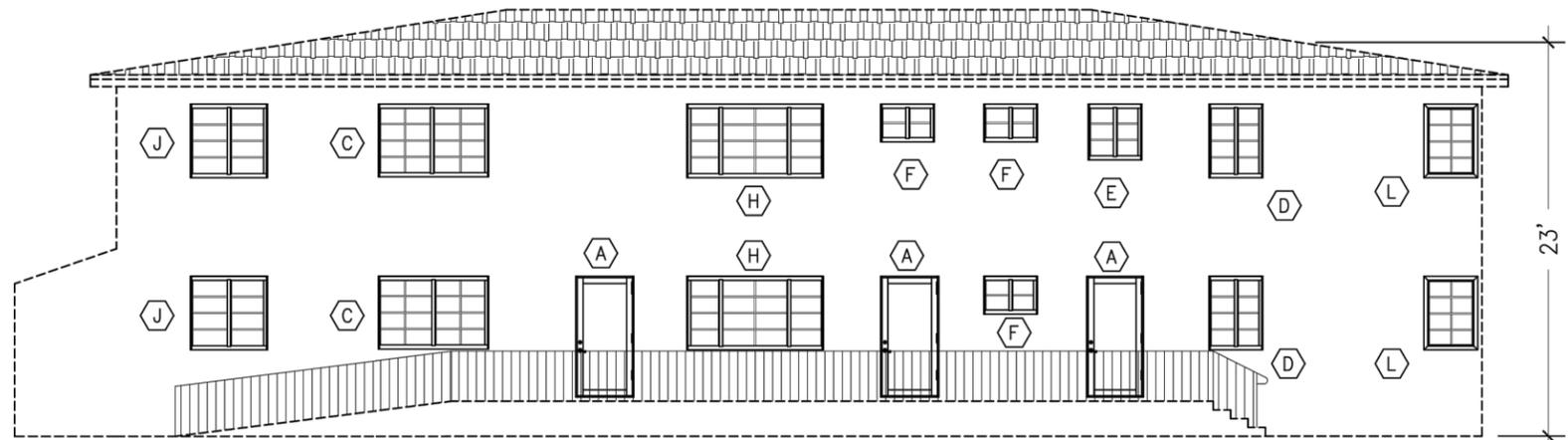
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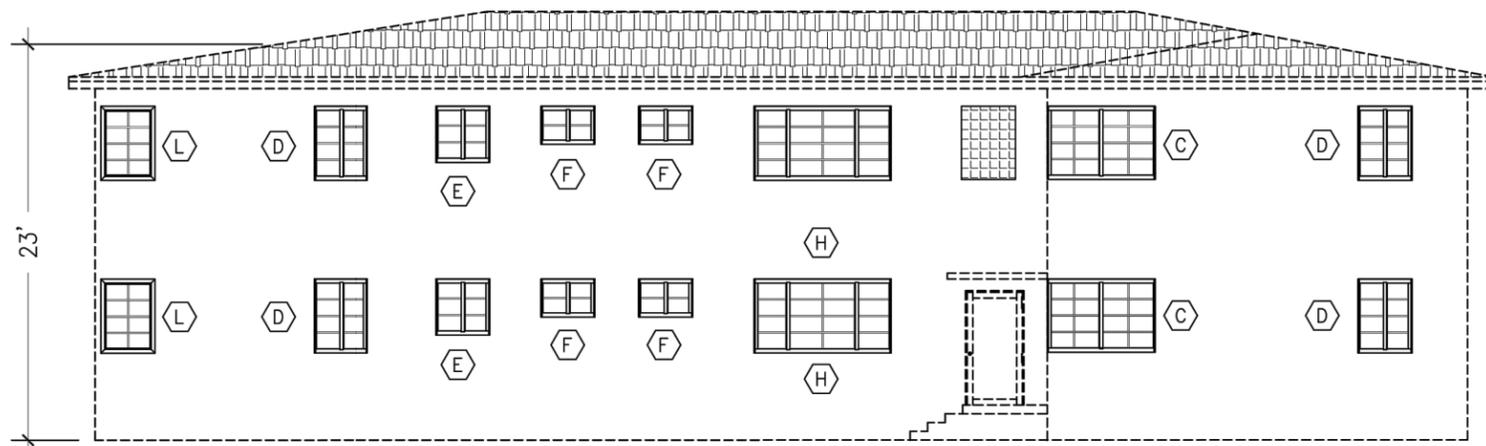
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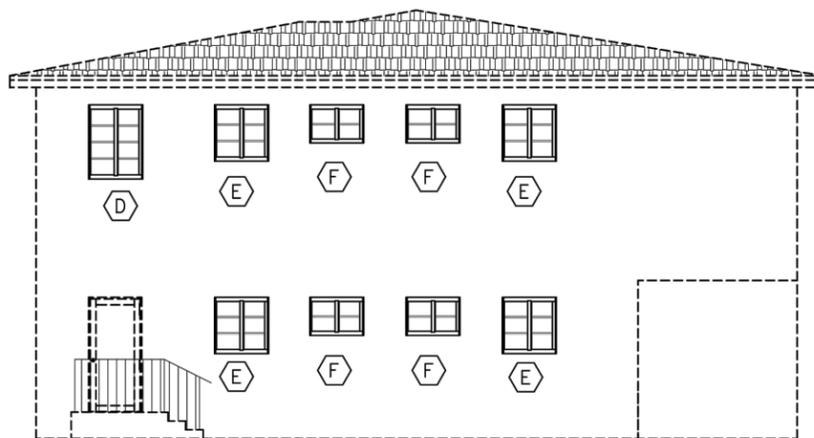
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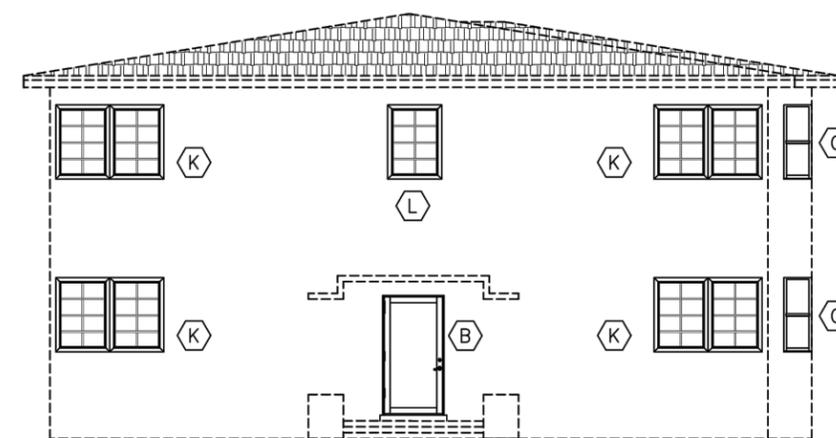
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

01 EXISTING BUILDING ELEVATIONS  
A-15 SCALE: 1/8" = 1'-0"

idea

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EXIST. BLDG ELEVATIONS

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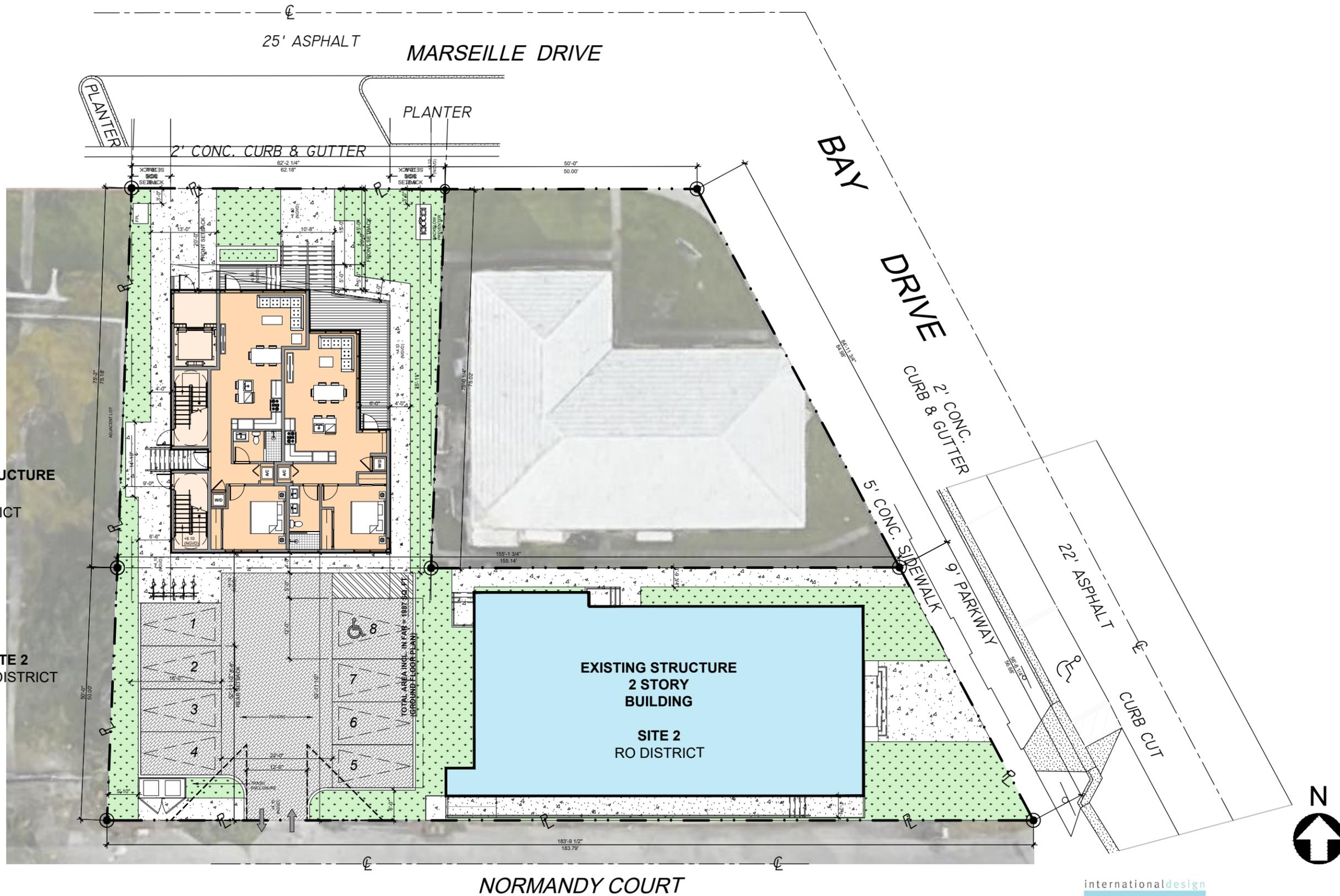
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Scale: 3/32" = 1'-0"

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01 SITE PLAN  
A-16 SCALE: 1" = 20'-0"



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SITE PLAN



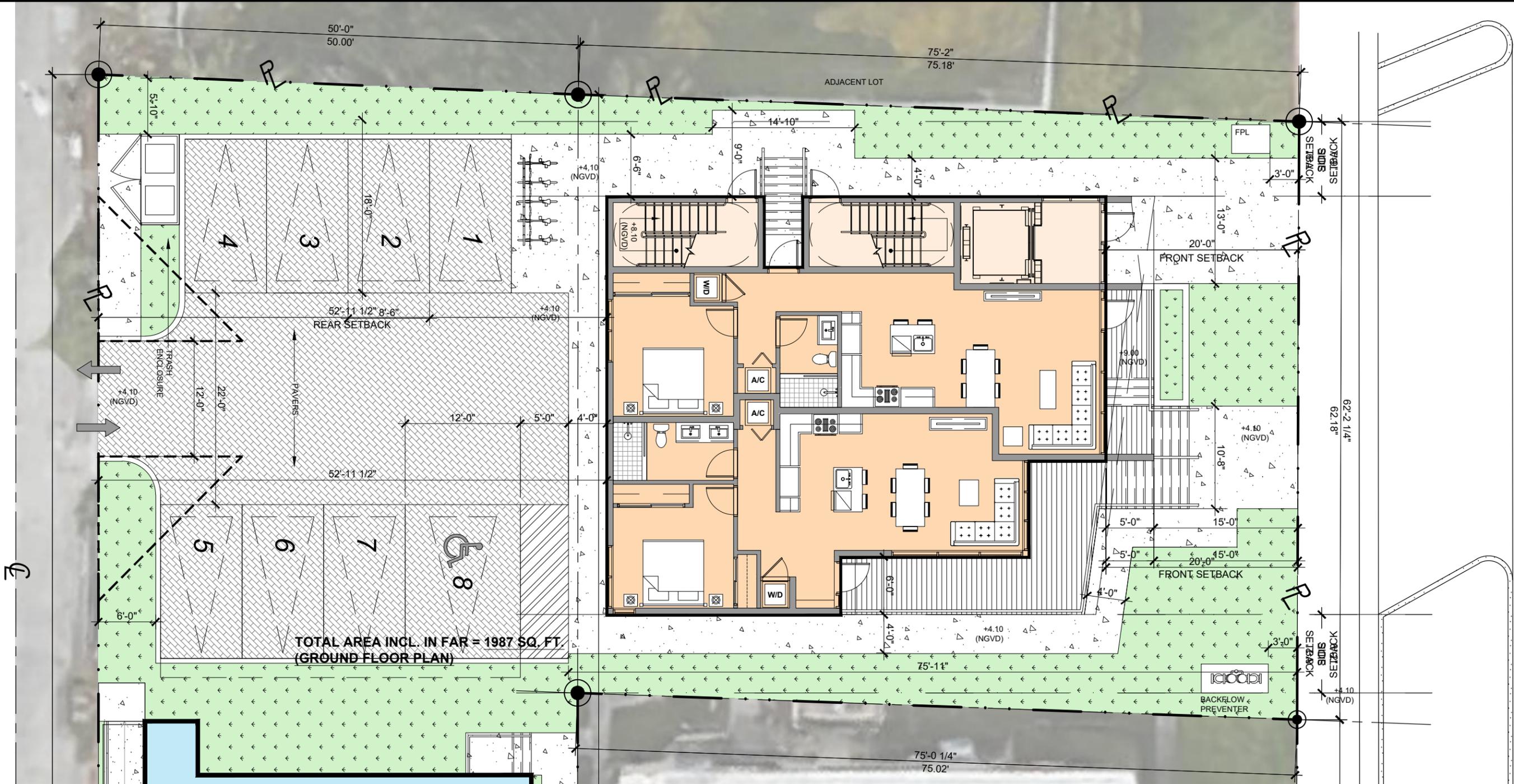
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Scale: 1" = 20'-0"

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01 ENLARGED SITE PLAN  
A-17 SCALE: 3/32" = 1'-0"



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## ENLARGED SITE PLAN

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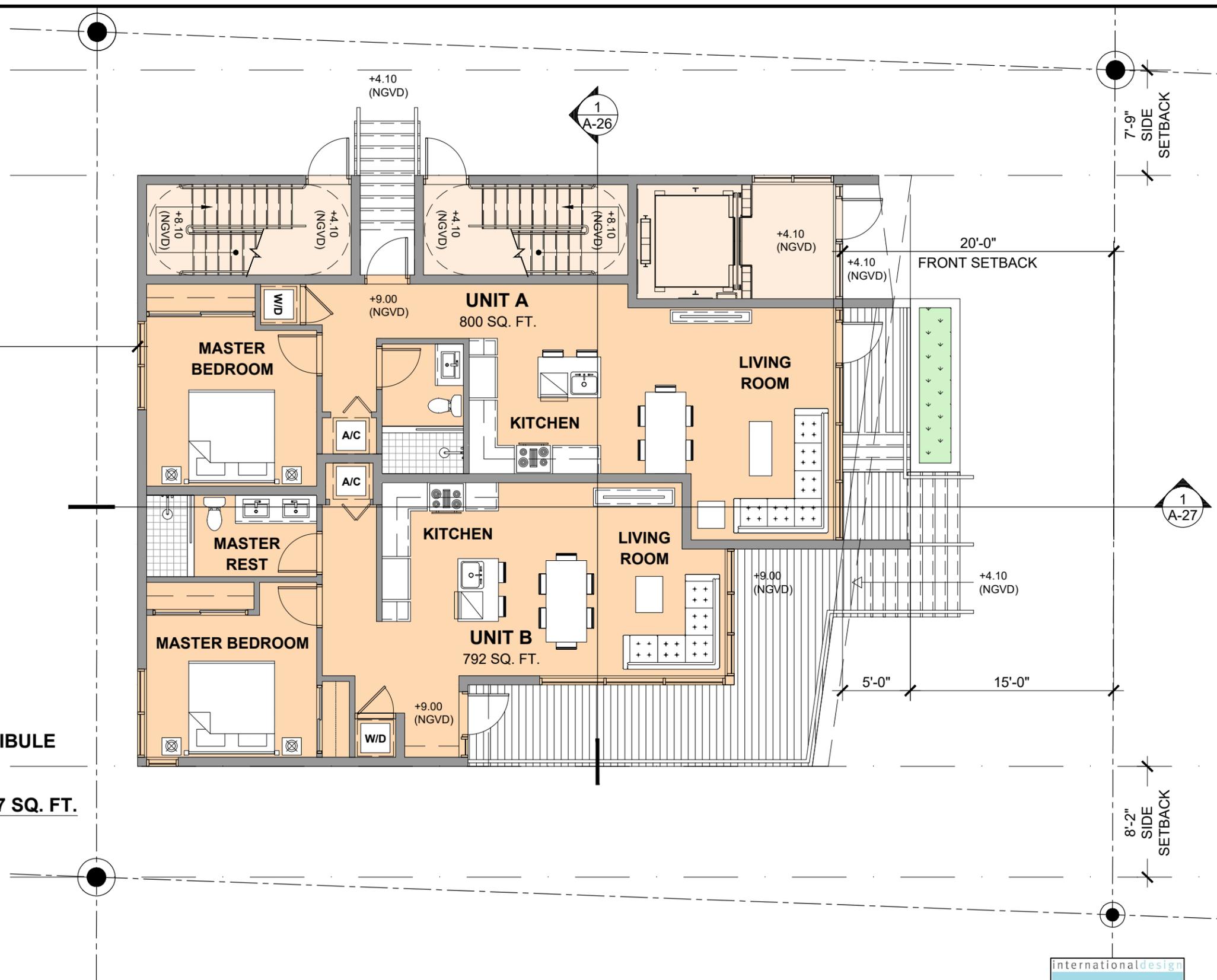
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Scale: 3/32" = 1'-0"

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**TERRACE = 241 SQ. FT.**  
**UNIT A = 800 SQ. FT.**  
**UNIT B = 792 SQ. FT.**  
**VERTICAL CIRCULATION + VESTIBULE = 395 SQ. FT.**  
**TOTAL AREA INCL. IN FAR = 1987 SQ. FT. (GROUND FLOOR PLAN)**

01 GROUND FLOOR PLAN  
 A-18 SCALE: 1/8" = 1'-0"

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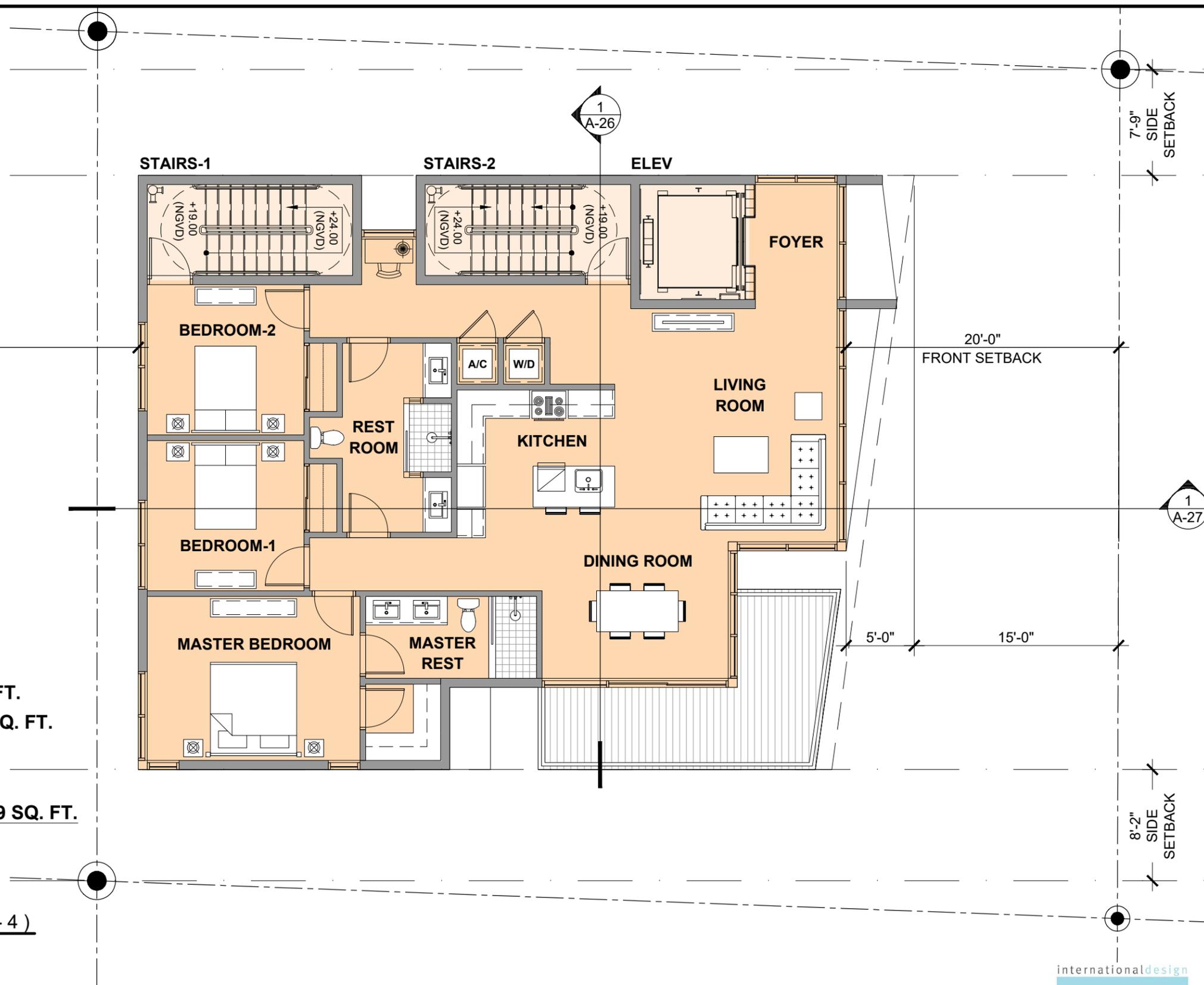
GROUND FLOOR PLAN



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Scale: 1/8" = 1'-0" 3-5-2020



TYPICAL UNIT C-D-E = 1663 SQ. FT.  
 VERTICAL CIRCULATION = 326 SQ. FT.  
 BALCONIES = 176 SQ. FT.

TOTAL AREA INCL. IN FAR = 1989 SQ. FT.  
 (TYPICAL FLOOR PLANS)

01 TYPICAL FLOOR PLAN ( 2 - 3 - 4 )  
 A-19 SCALE: 1/8" = 1'-0"

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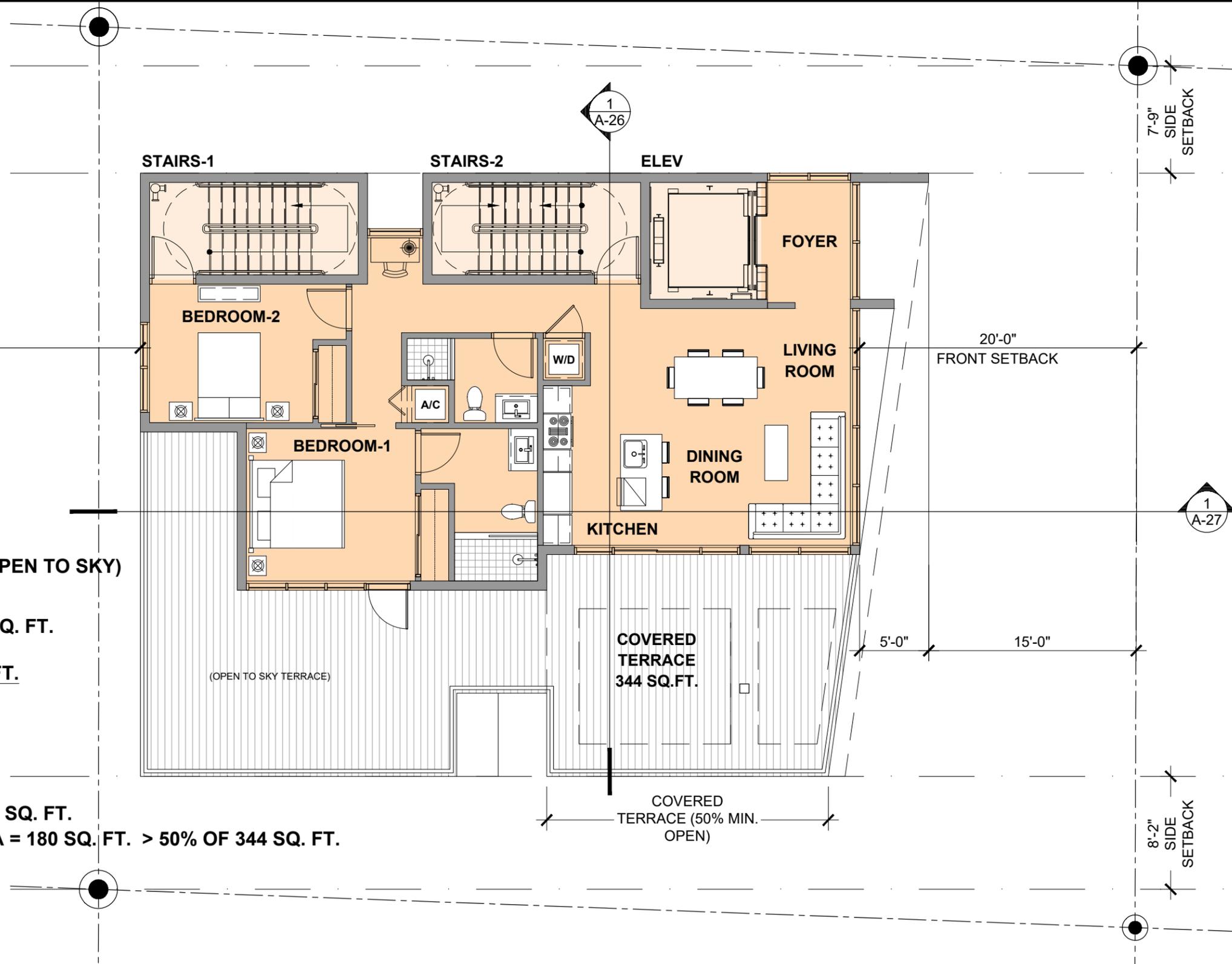
TYPICAL FLOOR PLAN ( 2 - 3 - 4 )



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**OPEN TERRACE = 667 SQ. FT. (OPEN TO SKY)**  
**UNIT F = 1084 SQ. FT.**  
**VERTICAL CIRCULATION = 326 SQ. FT.**  
**TOTAL INCL. IN FAR = 1410 SQ. FT.**  
**(5TH FLOOR PLAN)**

**COVERED TERRACE AREA = 344 SQ. FT.**  
**OVERHEAD CEILING OPEN AREA = 180 SQ. FT. > 50% OF 344 SQ. FT.**

01 5TH FLOOR PLAN  
 A-20 SCALE: 1/8" = 1'-0"



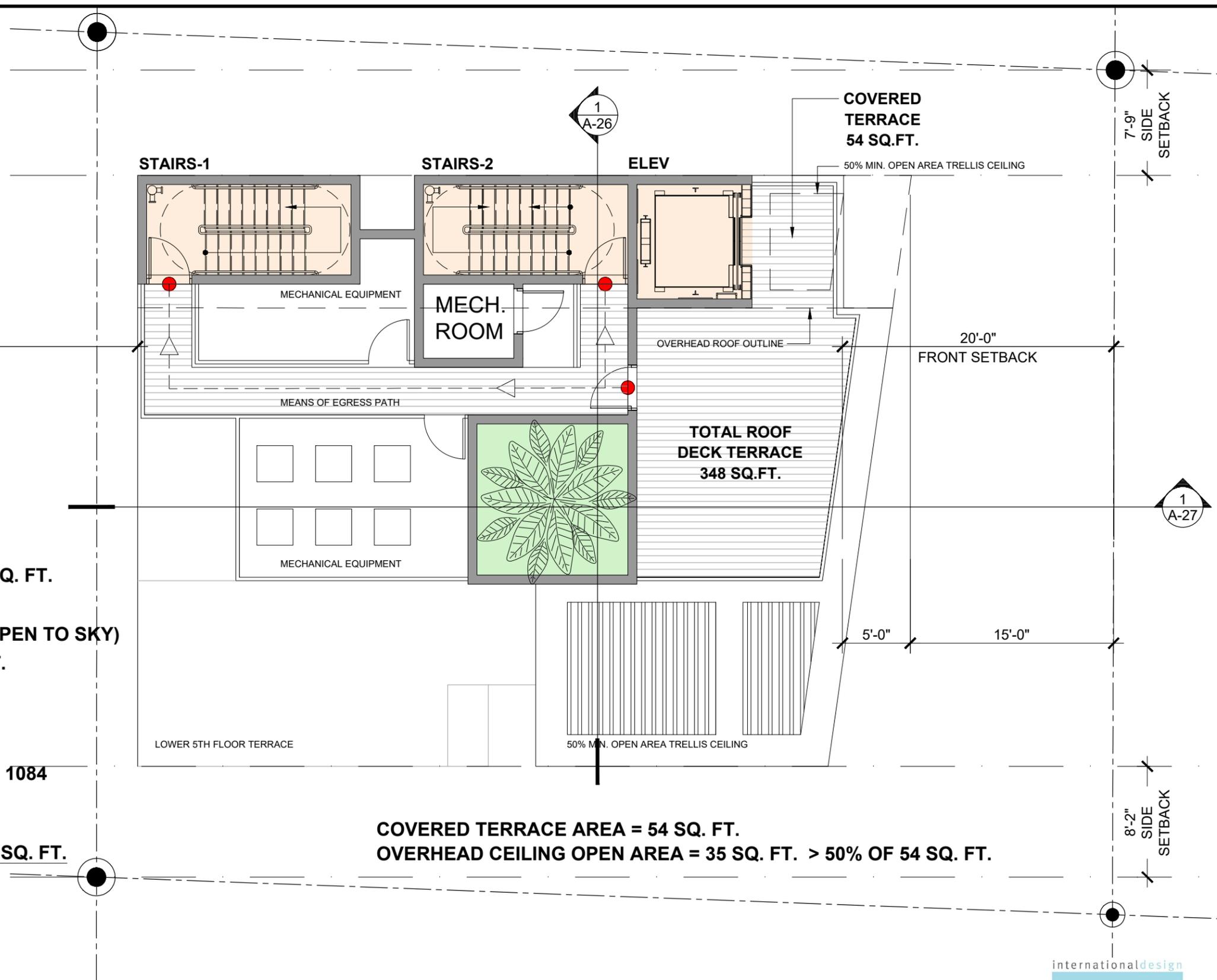
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**5TH FLOOR PLAN**



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**VERTICAL CIRCULATION = 347 SQ. FT.**

**ROOF TERRACE = 348 SQ. FT. (OPEN TO SKY)**  
**EGRESS PATHWAY = 168 SQ. FT.**

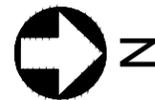
**ACCESSIBLE ROOF AREA <**  
**(50% ENCLOSED AREA BELOW)**

**(348 + 168) 516 SQ. FT. < (50% OF 1084**  
**SQ. FT. = 542 SQ. FT.)**

**TOTAL AREA INCL. IN FAR = 347 SQ. FT.**

**COVERED TERRACE AREA = 54 SQ. FT.**  
**OVERHEAD CEILING OPEN AREA = 35 SQ. FT. > 50% OF 54 SQ. FT.**

01 ROOF PLAN  
 A-21 SCALE: 1/8" = 1'-0"



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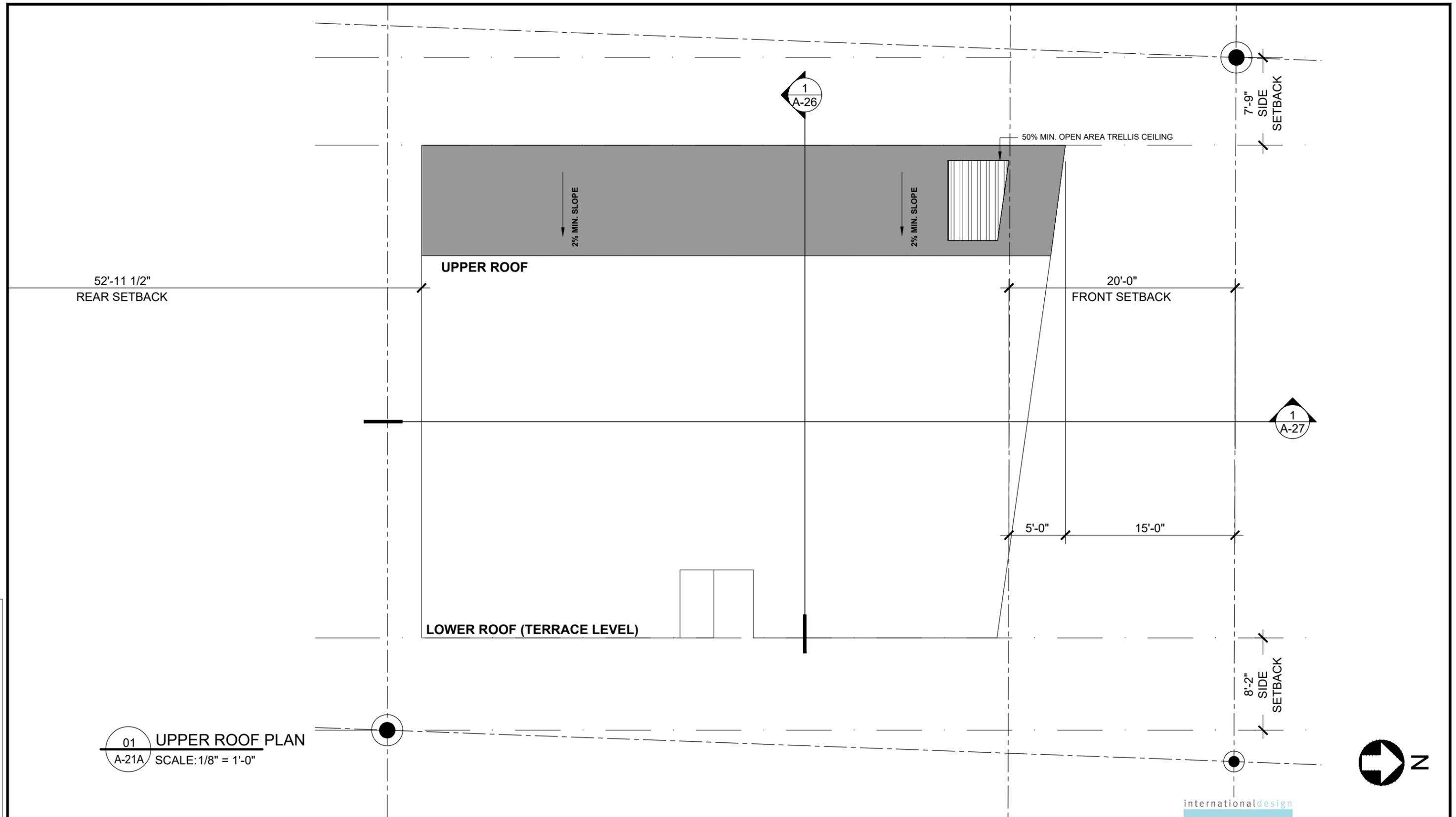
ROOF PLAN

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01 UPPER ROOF PLAN  
A-21A SCALE: 1/8" = 1'-0"



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UPPER ROOF PLAN



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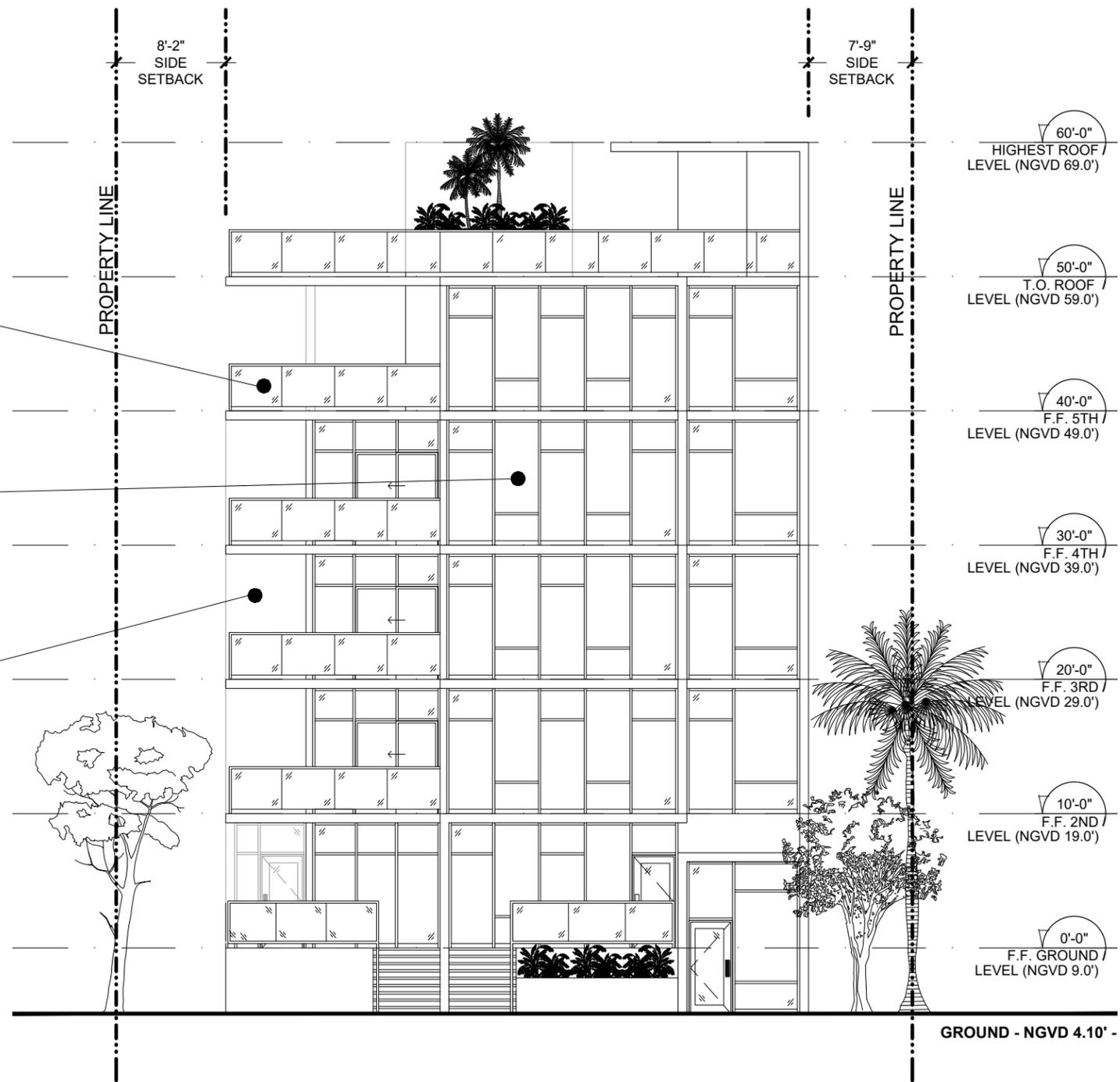
CLEAR GLASS / ALUMINUM RAILING



VIRACON - SOLARBLUE GLASS



SHERWIN-WILLIAMS SW-7005



01 NORTH ELEVATION  
A-22 SCALE: 3/32" = 1'-0"



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NORTH ELEVATION

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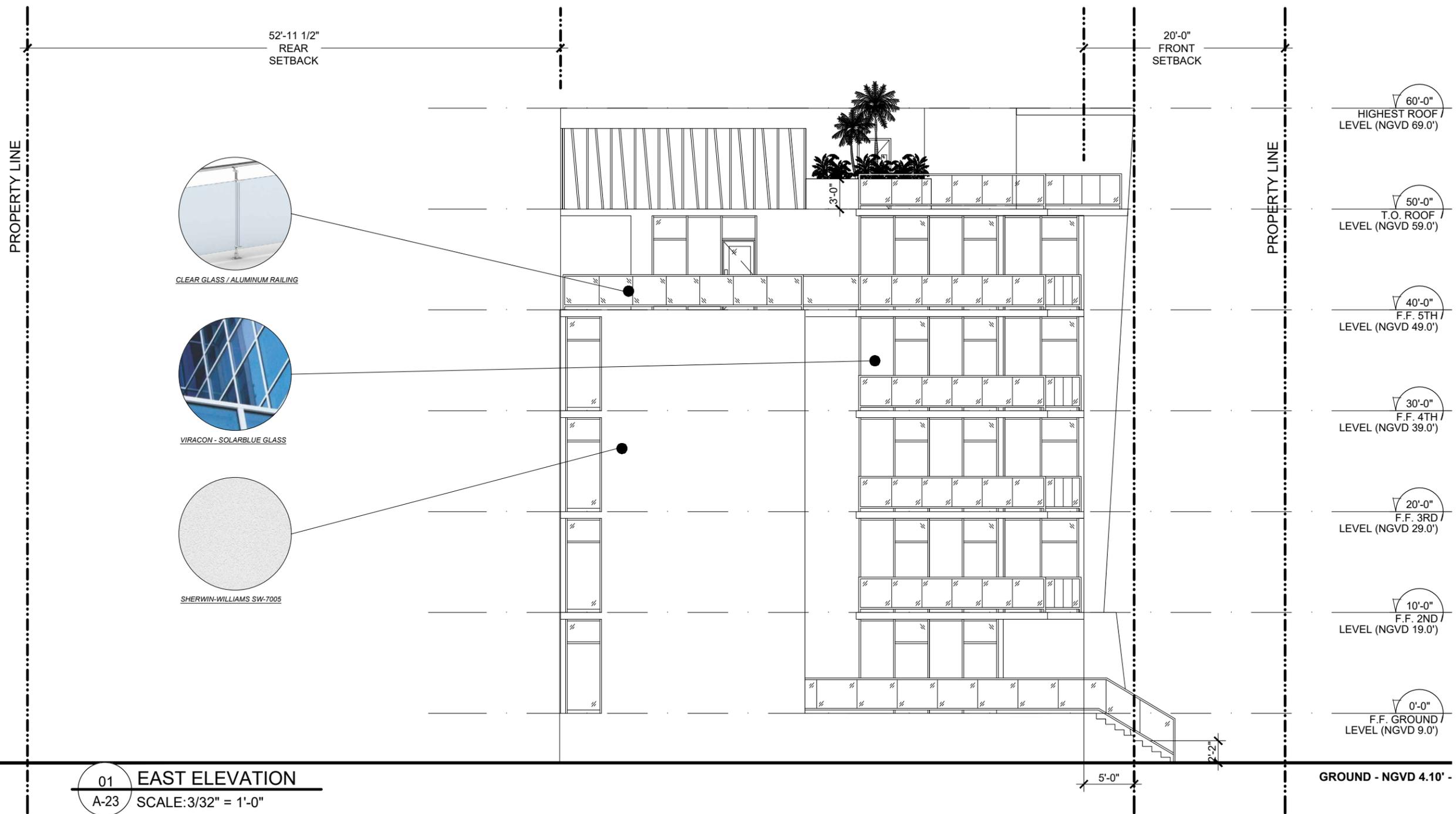
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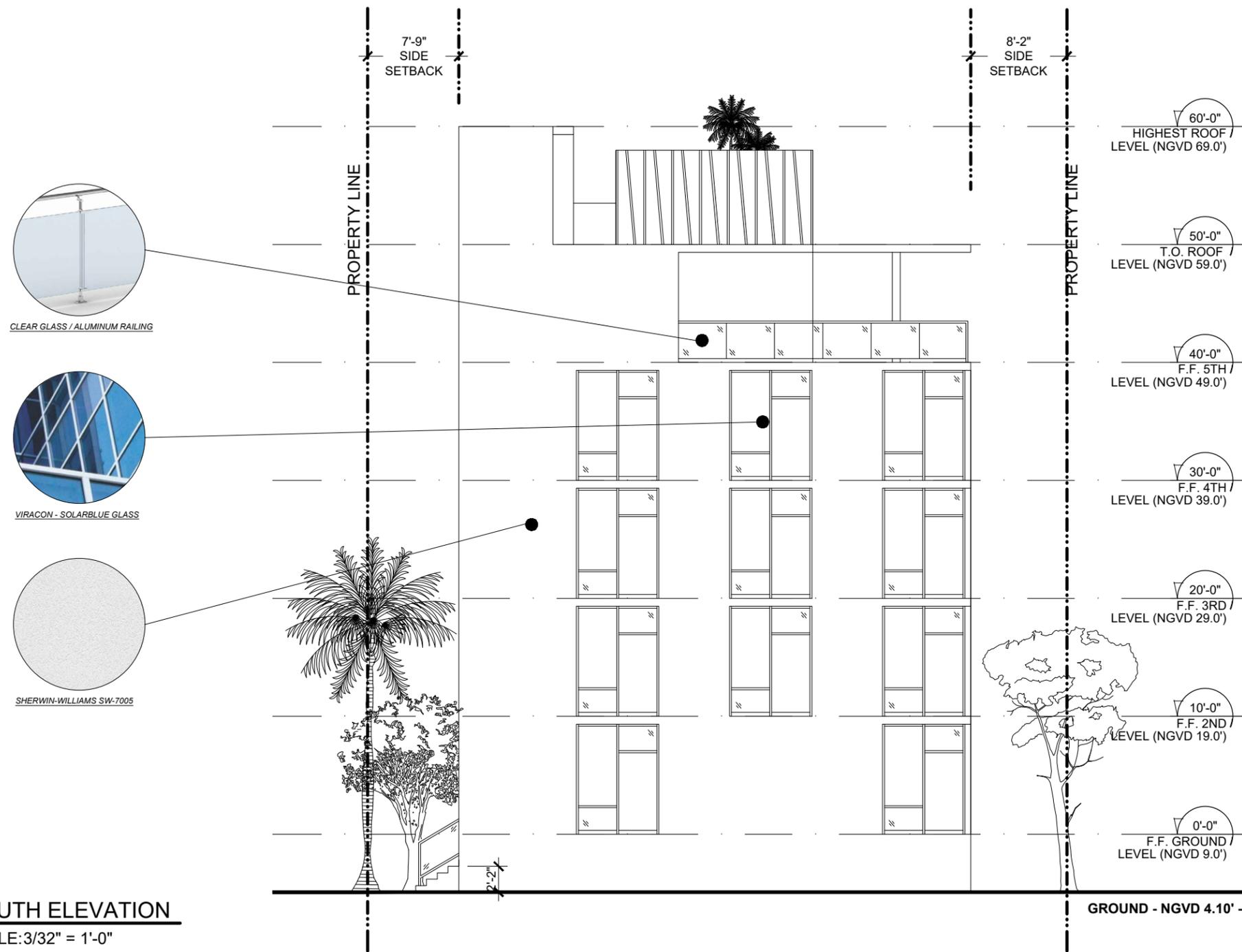
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01 EAST ELEVATION  
A-23 SCALE: 3/32" = 1'-0"

- 60'-0" HIGHEST ROOF LEVEL (NGVD 69.0')
- 50'-0" T.O. ROOF LEVEL (NGVD 59.0')
- 40'-0" F.F. 5TH LEVEL (NGVD 49.0')
- 30'-0" F.F. 4TH LEVEL (NGVD 39.0')
- 20'-0" F.F. 3RD LEVEL (NGVD 29.0')
- 10'-0" F.F. 2ND LEVEL (NGVD 19.0')
- 0'-0" F.F. GROUND LEVEL (NGVD 9.0')

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CLEAR GLASS / ALUMINUM RAILING



VIRACON - SOLARBLUE GLASS



SHERWIN-WILLIAMS SW-7005

01 SOUTH ELEVATION  
A-24 SCALE: 3/32" = 1'-0"

- 60'-0" HIGHEST ROOF LEVEL (NGVD 69.0')
- 50'-0" T.O. ROOF LEVEL (NGVD 59.0')
- 40'-0" F.F. 5TH LEVEL (NGVD 49.0')
- 30'-0" F.F. 4TH LEVEL (NGVD 39.0')
- 20'-0" F.F. 3RD LEVEL (NGVD 29.0')
- 10'-0" F.F. 2ND LEVEL (NGVD 19.0')
- 0'-0" F.F. GROUND LEVEL (NGVD 9.0')

GROUND - NGVD 4.10'



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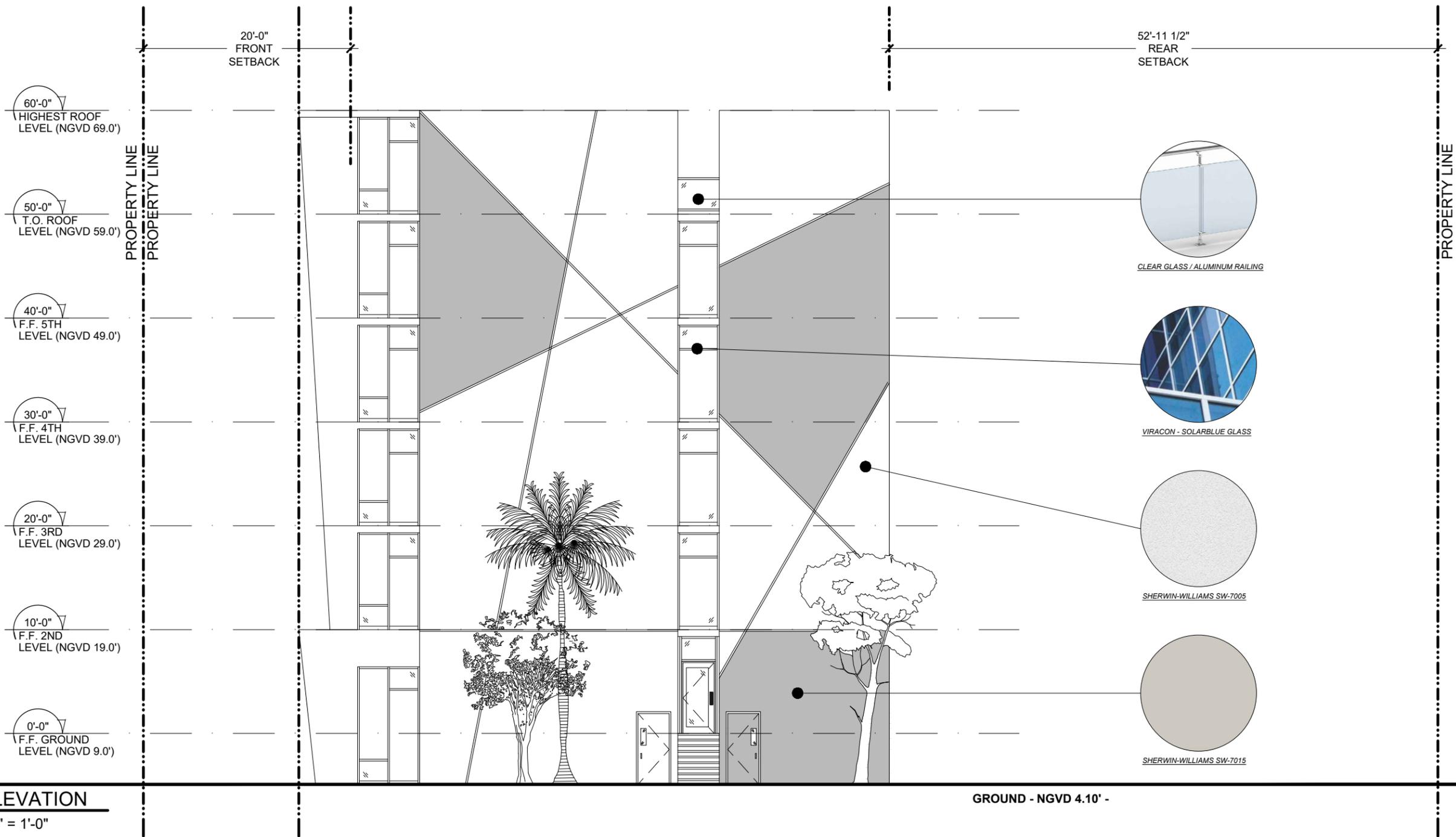
SOUTH ELEVATION



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Scale: 3/32" = 1'-0" 3-5-2020



01 WEST ELEVATION  
A-25 SCALE: 3/32" = 1'-0"



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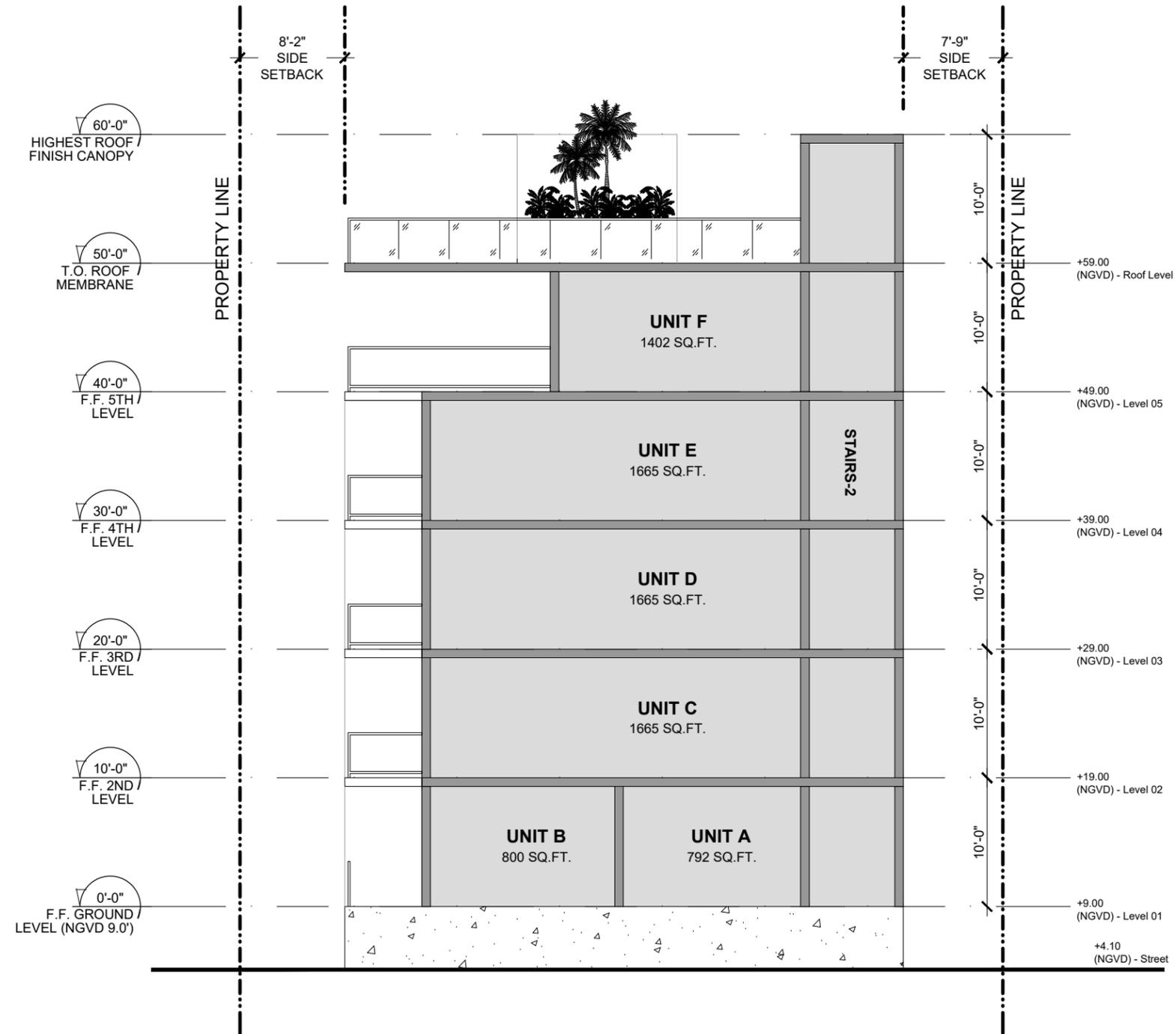
WEST ELEVATION



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Scale: 3/32" = 1'-0" 3-5-2020



01 TRANSVERSAL SECTION  
 A-26 SCALE: 3/32" = 1'-0"



914 MARSEILLE DRIVE  
 MIAMI BEACH, FLORIDA 15-805BUS

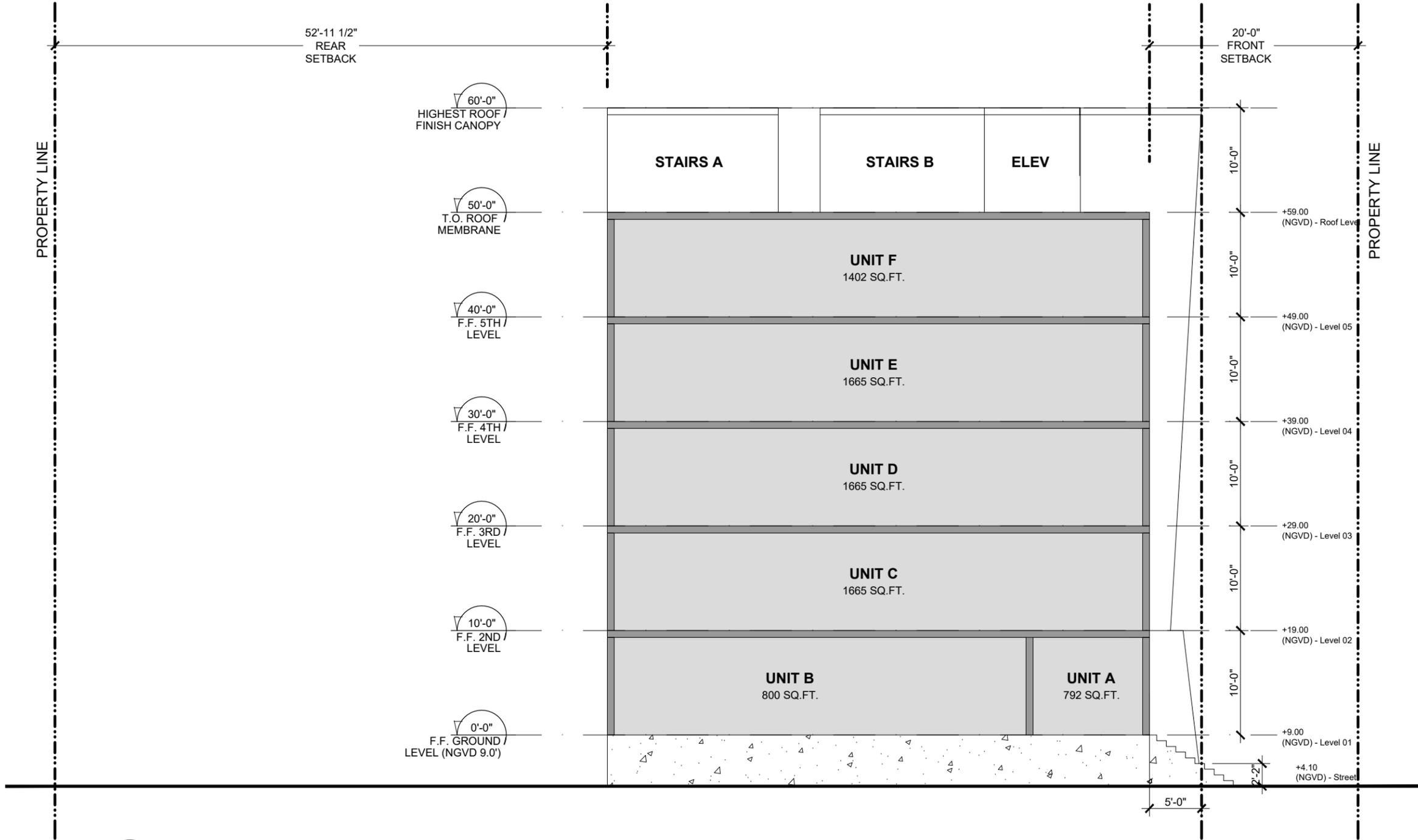
TRANSVERSAL SECTION



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Scale: 3/32" = 1'-0" 3-5-2020



01 LONGITUDINAL SECTION  
A-27 SCALE: 3/32" = 1'-0"



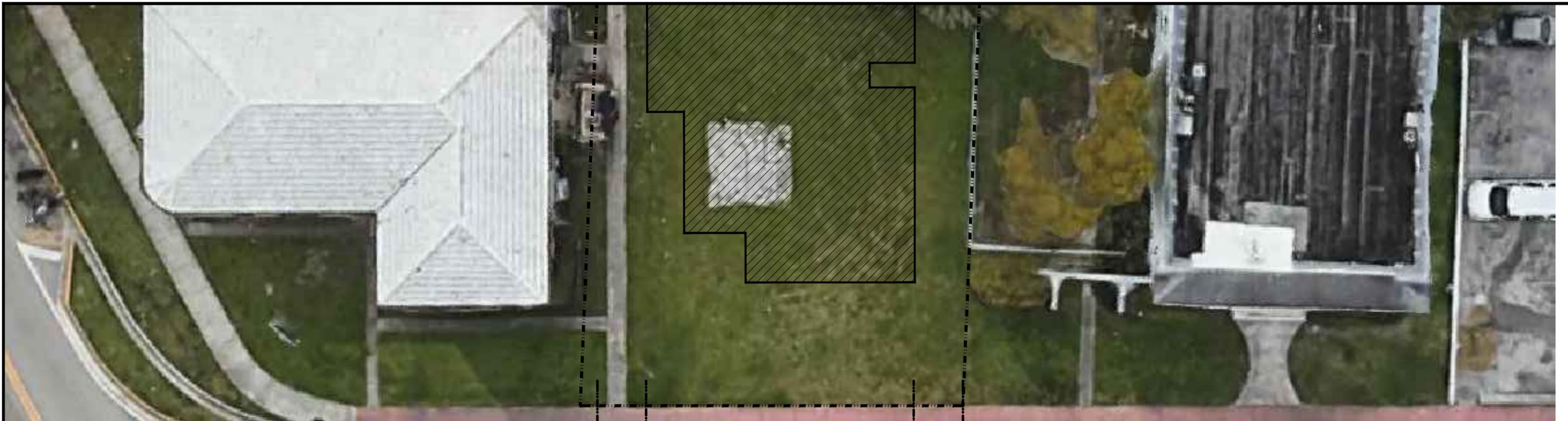
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LONGITUDINAL SECTION

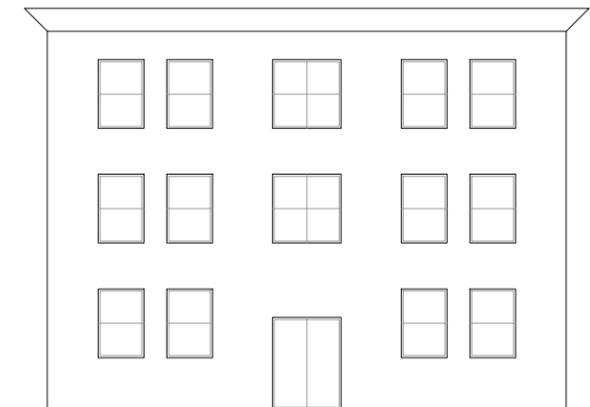
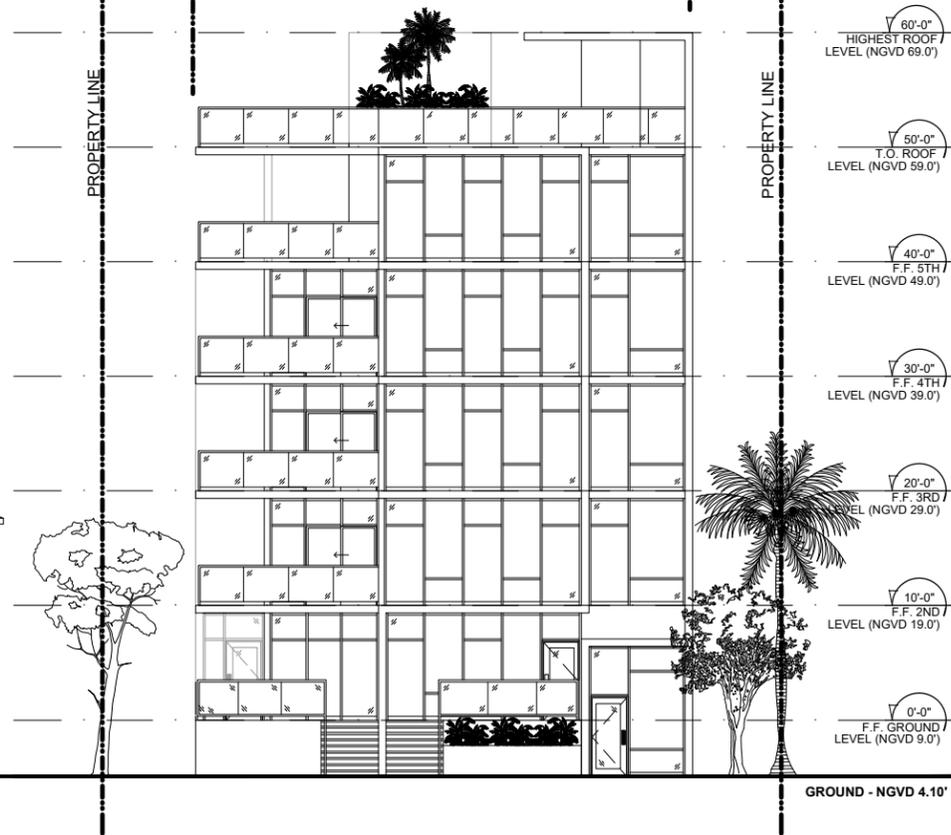
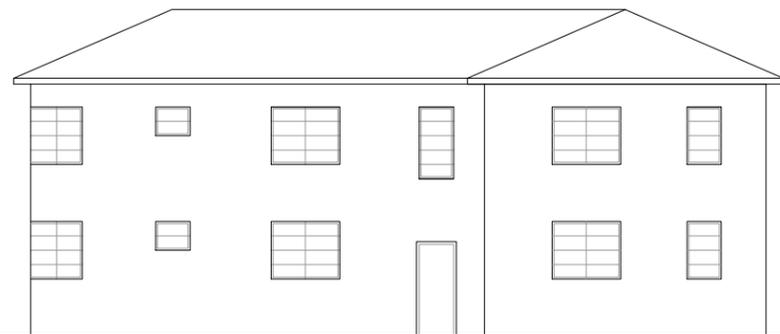


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01 CONTEXTUAL STREET ELEVATION  
A-28 SCALE: 1/16" = 1'-0"



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CONTEXTUAL STREET ELEVATION

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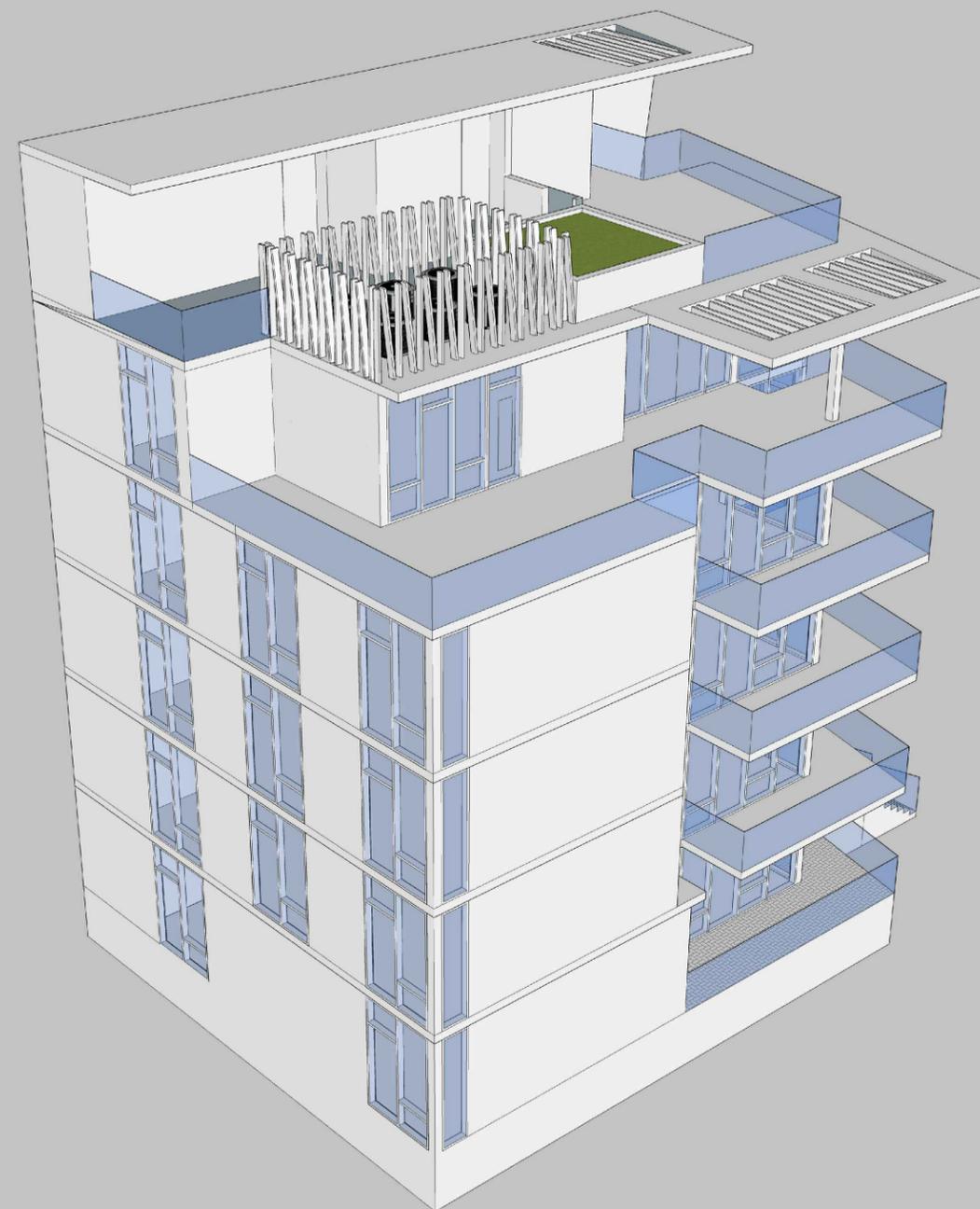
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Scale: 1/16" = 1'-0"

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3D MODEL VIEWS-1

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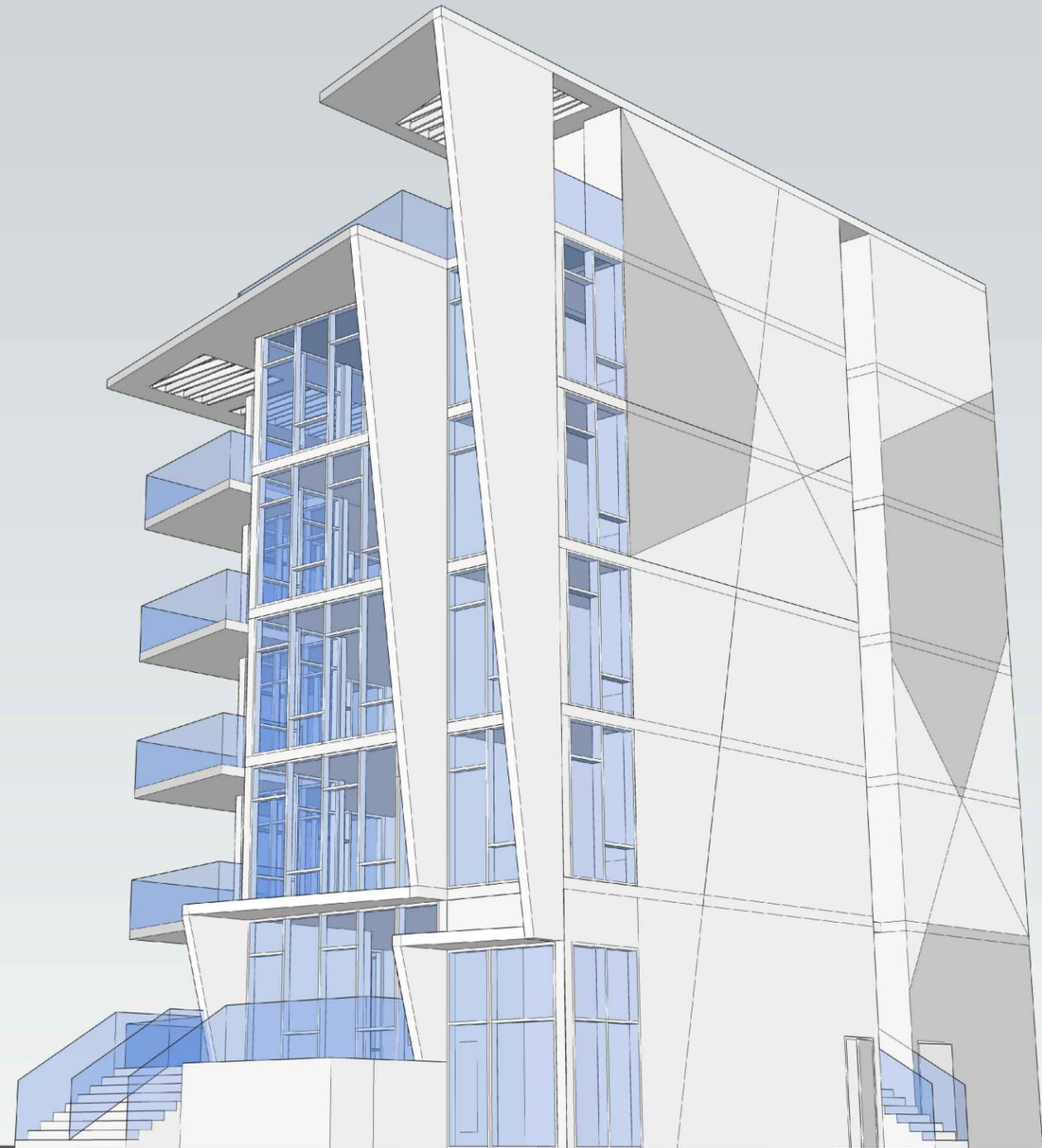
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3D MODEL VIEWS-2



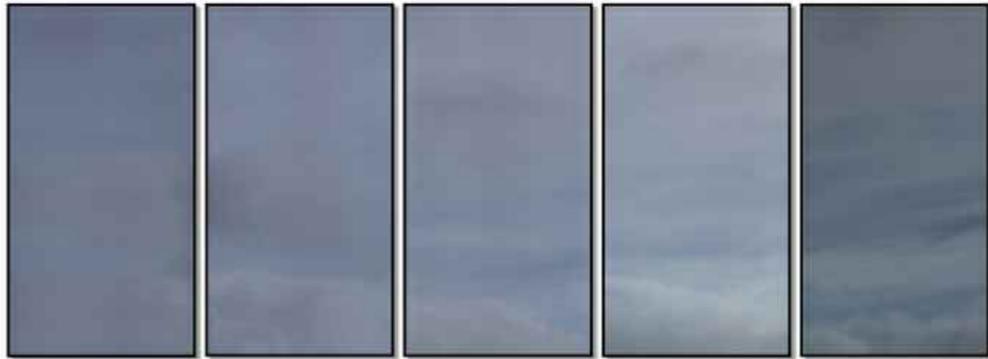
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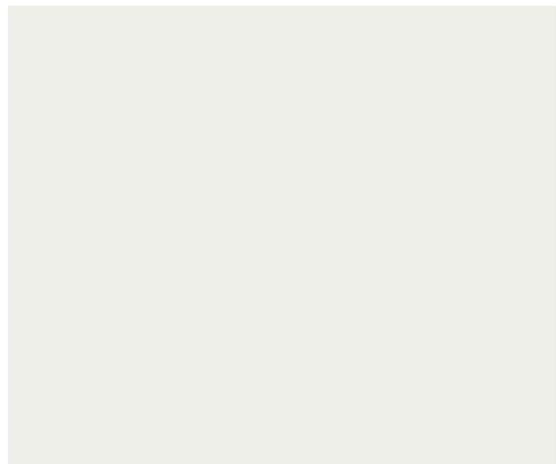
1 SOLARBLUE - VIRACON (GLASS)  
A-31 SCALE:NTS



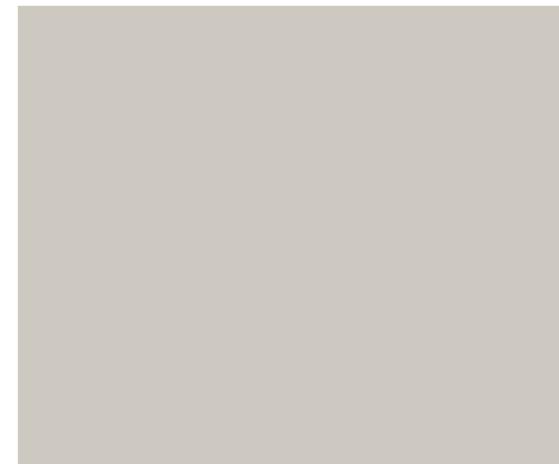
3 BALCONY RAILINGS - CLEAR GLASS  
A-31 SCALE:NTS



2 SOLARBLUE - VIRACON (GLASS EXAMPLE)  
A-31 SCALE:NTS



4 STUCCO MAIN COLOR (PURE WHITE)  
SHERWIN-WILLIAMS SW-7005  
A-31 SCALE:NTS



5 STUCCO ACCENT COLOR (REPOSE GRAY)  
SHERWIN-WILLIAMS SW-7015  
A-31 SCALE:NTS



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MATERIAL SAMPLES

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3D PHOTO REALISTIC CONTEXT RENDERING

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