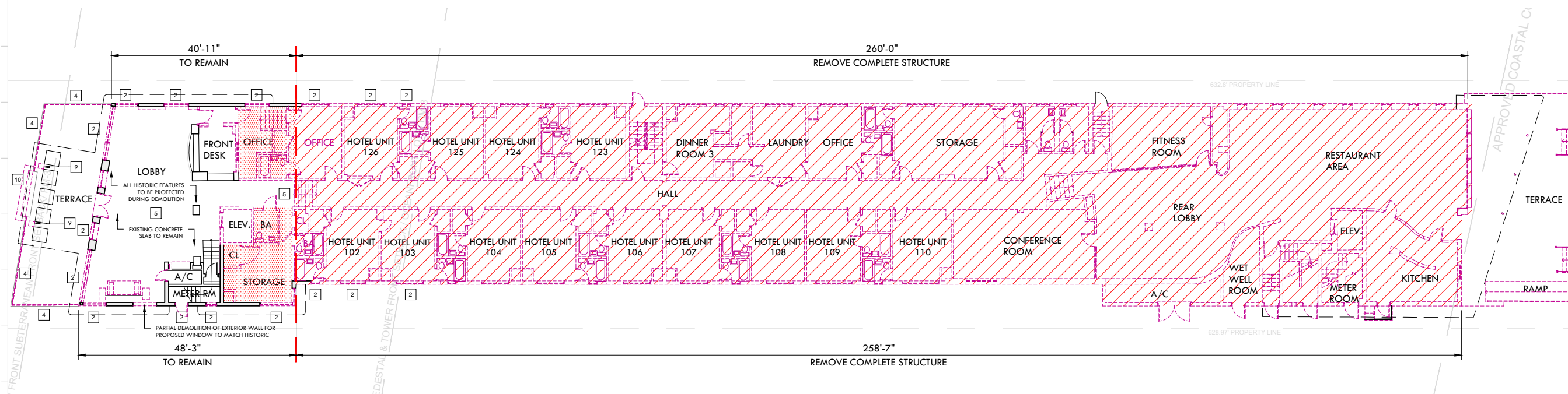


DEMO FLOOR PLAN - LEVEL 0

SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 1

SCALE: N.T.S.

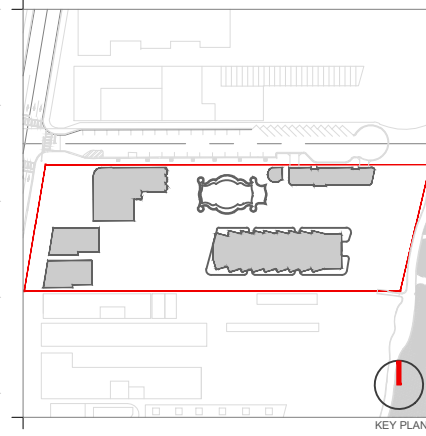
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

- | | | |
|---|---|--|
| <ul style="list-style-type: none"> 1 EXISTING DOOR / WINDOW TO REMAIN 2 EXISTING DOOR / WINDOW TO BE REPLACED 3 EXISTING CMU BLOCK TO BE REMOVED | <ul style="list-style-type: none"> 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED 6 EXISTING DOOR / WINDOW TO BE REMOVED | <ul style="list-style-type: none"> 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN 9 EXISTING COLUMNS TO BE REMOVED 10 EXISTING STEPS TO BE REMOVED |
|---|---|--|

DEMOLITION GENERAL NOTES

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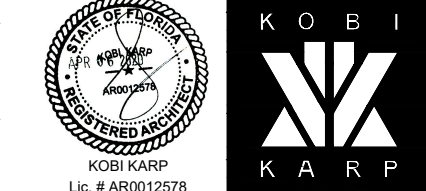
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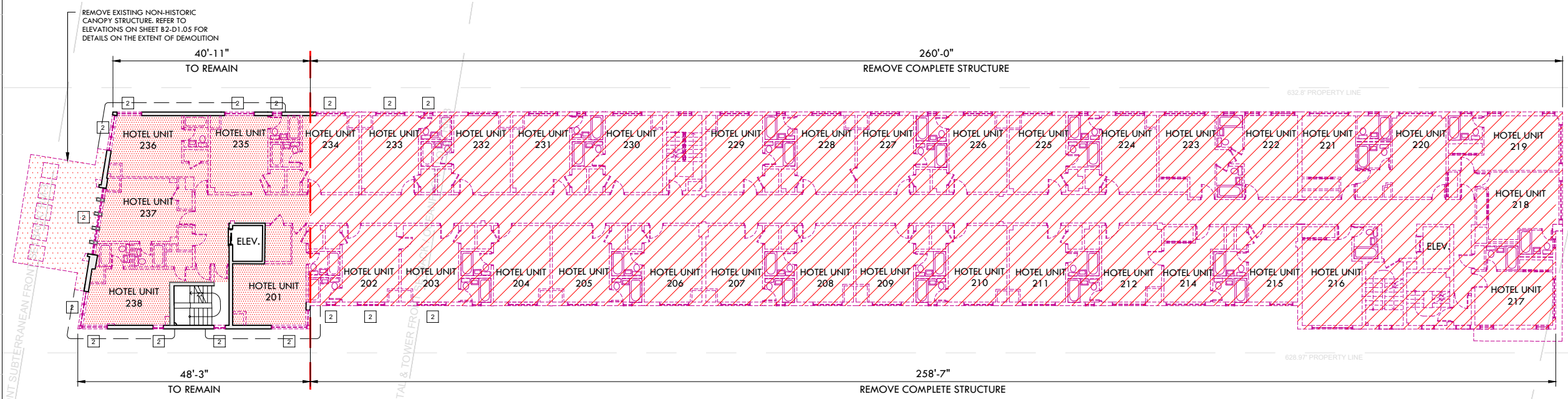
Consultant:
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Architect of Record:
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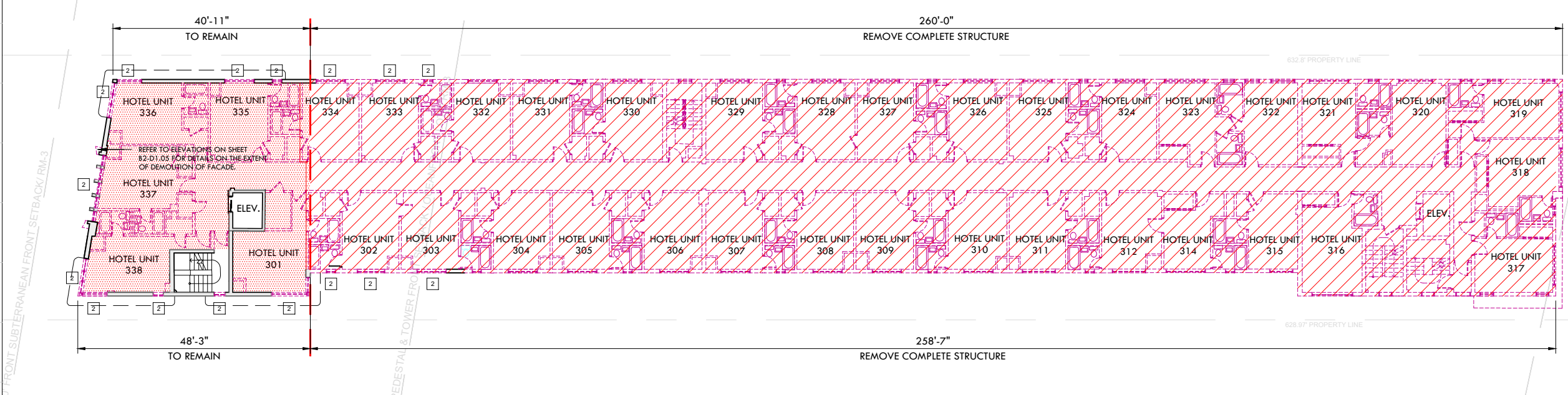


DEMOLITION FLOOR PLAN
 THE RICHMOND

Date	APRIL 06, 2020	Sheet No.	B2-D1.00
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Project	1901		



DEMO FLOOR PLAN - LEVEL 2
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 3
SCALE: N.T.S.

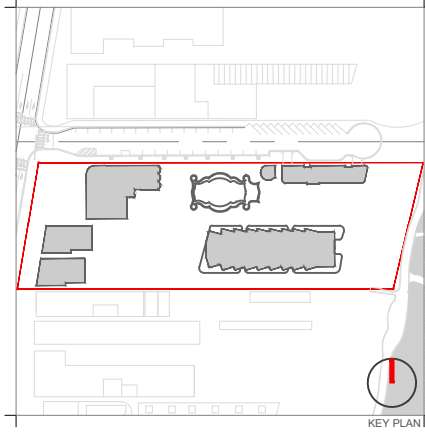
DEMOLITION LEGEND

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- EXISTING TO BE REMOVED

- | | | |
|---|--|--|
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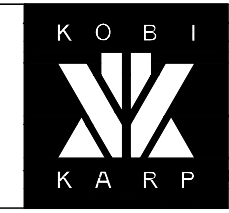
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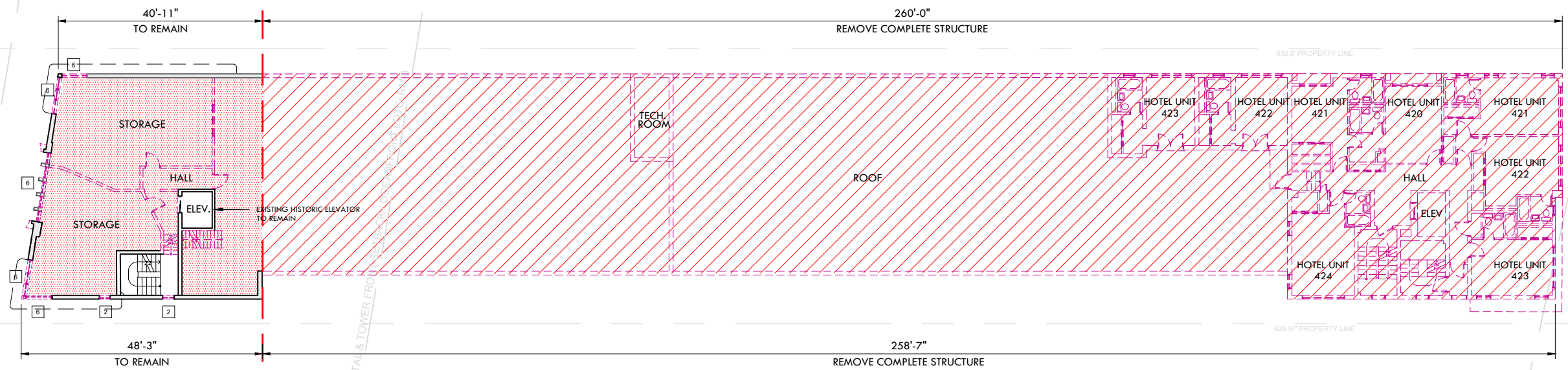
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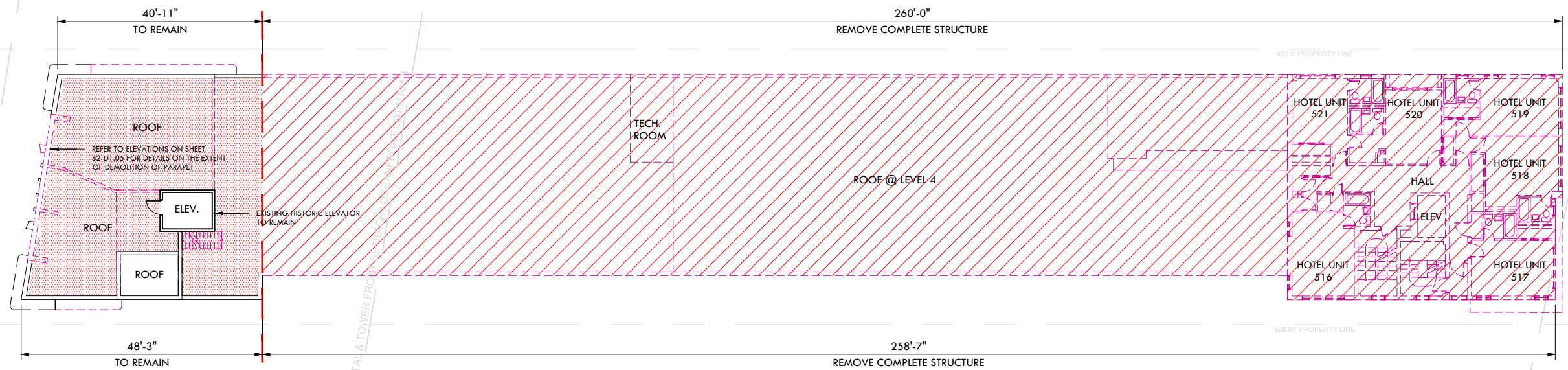
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Lic. # AR0012578
DEMO FLOOR PLAN
THE RICHMOND

Date	APRIL 06, 2020	Sheet No.	B2-D1.01
Scale	AS SHOWN		
Project	1901		



1 DEMO FLOOR PLAN - LEVEL 4

SCALE: N.T.S.



1 DEMO FLOOR PLAN - LEVEL 5

SCALE: N.T.S.

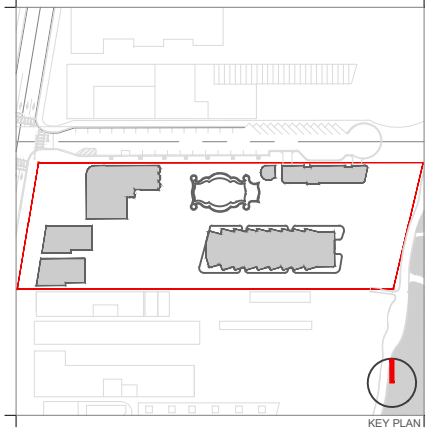
DEMOLITION LEGEND

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- | | | |
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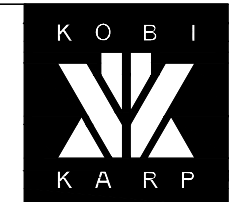
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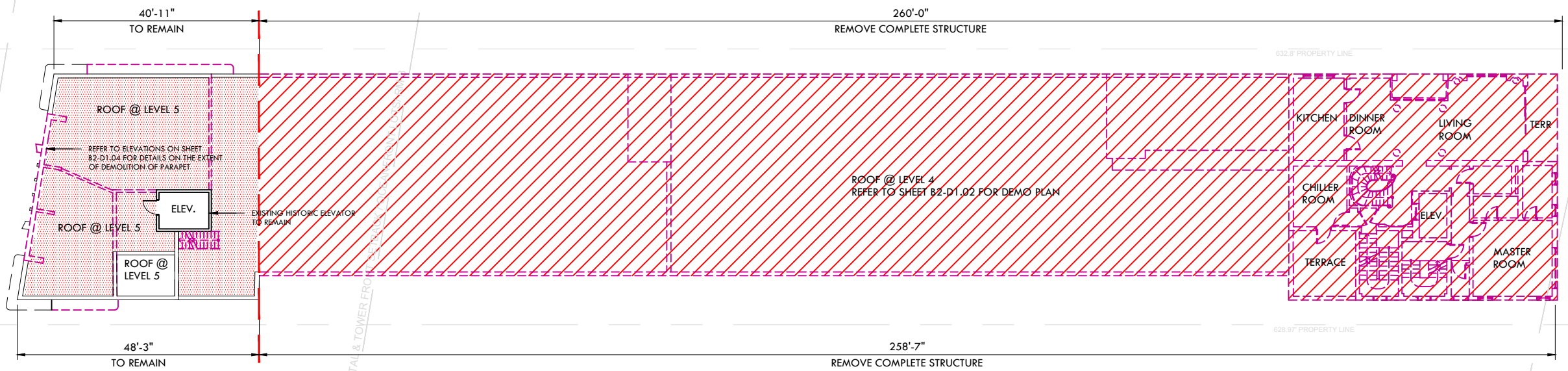
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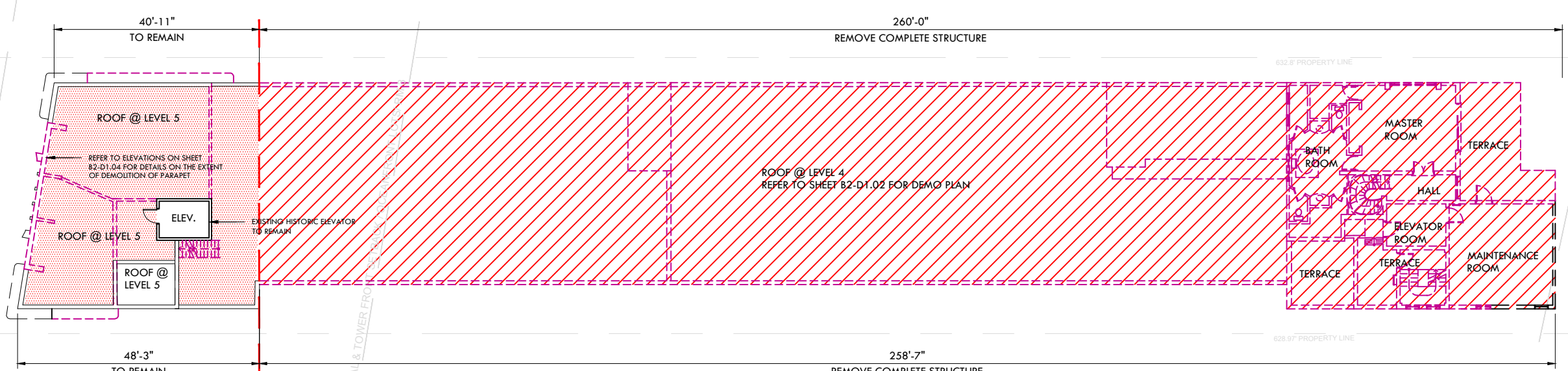
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DEMOLITION FLOOR PLAN
THE RICHMOND

Date	APRIL 06, 2020	Sheet No.	B2-D1.02
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Project	1901		



DEMO FLOOR PLAN - LEVEL 6
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 7
SCALE: N.T.S.

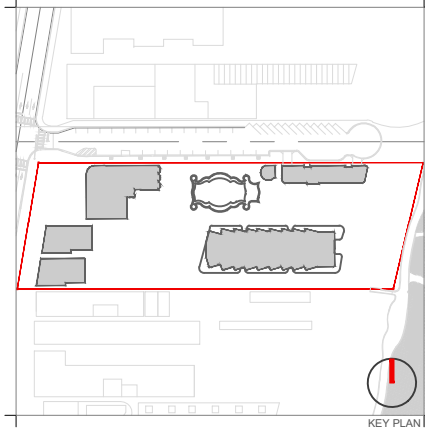
DEMOLITION LEGEND

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- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
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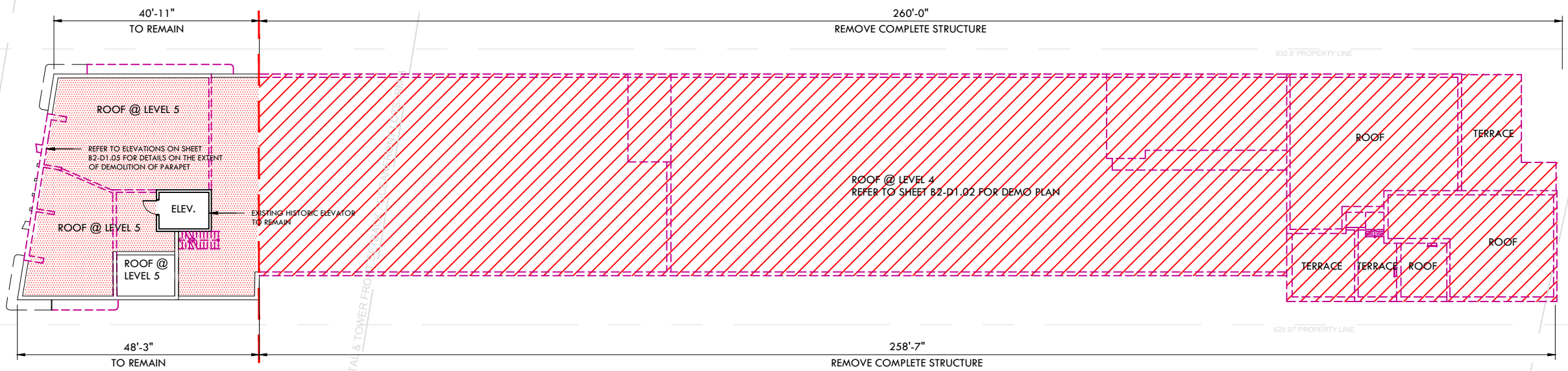
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DEMOLITION FLOOR PLAN
THE RICHMOND

Date	APRIL 06, 2020	Sheet No.	B2-D1.03
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Project	1901		



1 DEMO FLOOR PLAN - ROOF LEVEL
SCALE: N.T.S.

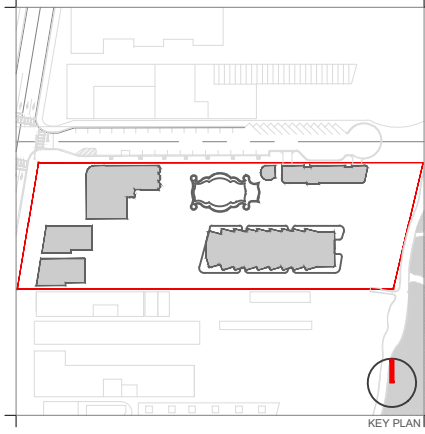
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| <ul style="list-style-type: none"> 1 EXISTING DOOR / WINDOW TO REMAIN 2 EXISTING DOOR / WINDOW TO BE REPLACED 3 EXISTING CMU BLOCK TO BE REMOVED | <ul style="list-style-type: none"> 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED 6 EXISTING DOOR / WINDOW TO BE REMOVED | <ul style="list-style-type: none"> 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN 9 EXISTING COLUMNS TO BE REMOVED 10 EXISTING STEPS TO BE REMOVED |
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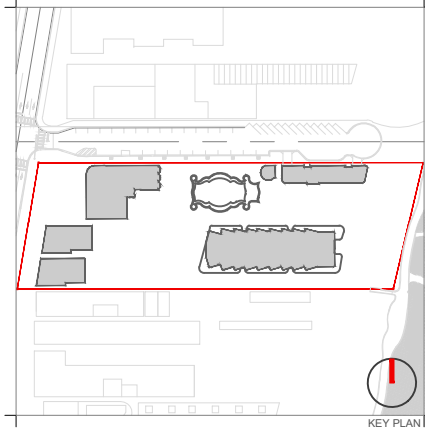
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DEMOLITION FLOOR PLAN
THE RICHMOND

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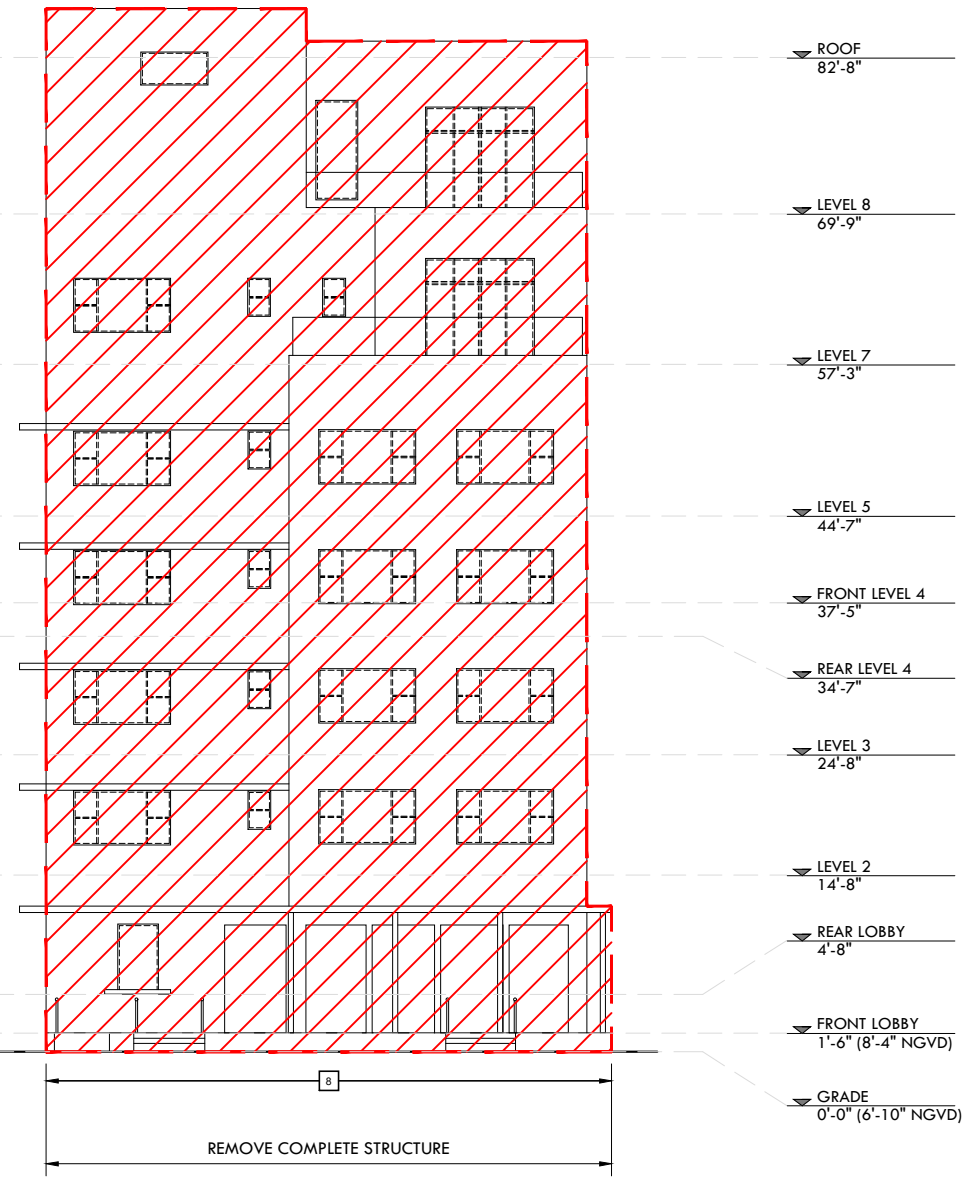
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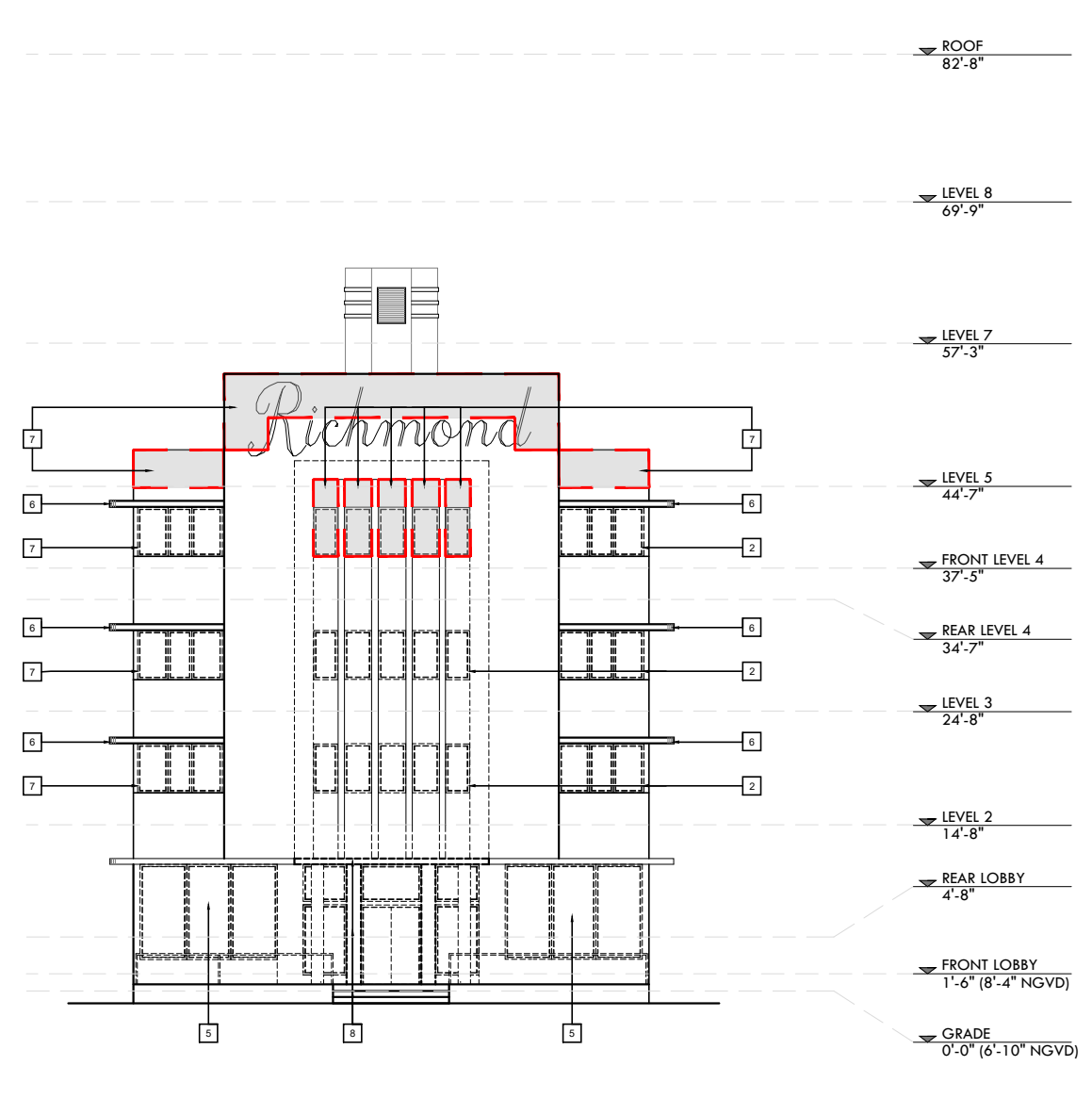


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DEMO ELEVATION
THE RICHMOND

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Project	1901		



EXISTING ELEVATION - EAST
 SCALE 1/16"=1'-0"



EXISTING ELEVATION - WEST
 SCALE 1/16"=1'-0"

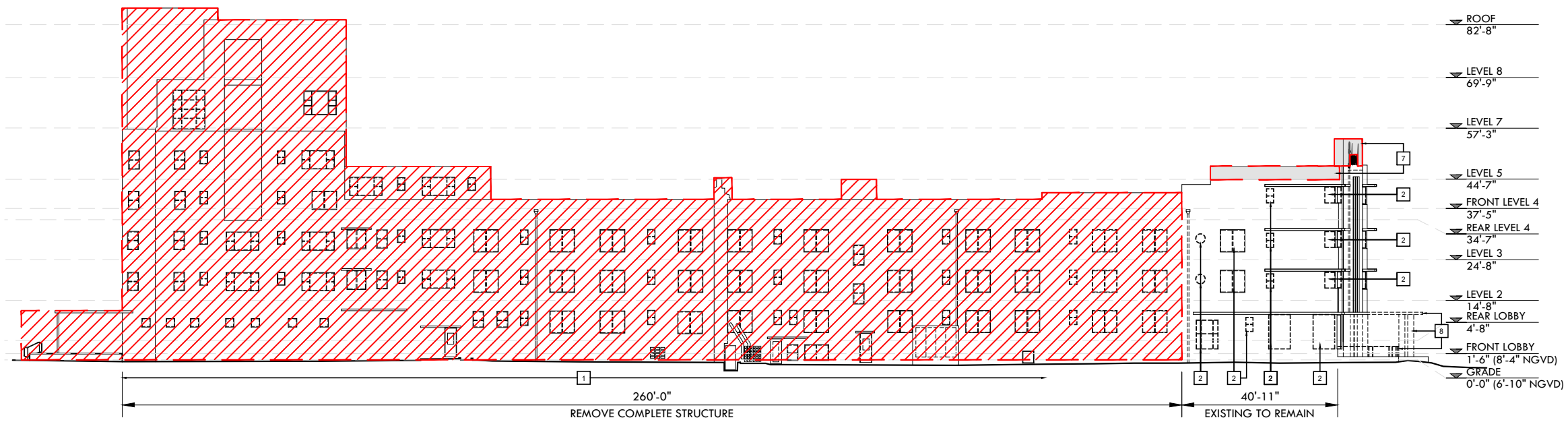
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- EXISTING EXTERIOR WALL TO BE REMOVED
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

- 1 DEMOLISH AND REMOVE EXISTING STRUCTURE IN ITS ENTIRETY. INCLUSIVE OF BUT NOT LIMITED TO: ROOFING AND ROOF STRUCTURE, ALL EXTERIOR AND INTERIOR WALLS, ALL NON ORIGINAL PLUMBING FIXTURES AND SYSTEMS, MECHANICAL SYSTEMS, ELECTRICAL WIRING AND SYSTEMS, STRUCTURAL ELEMENTS INCLUDING COLUMNS, FLOOR FRAMING AND FOUNDATIONS, FINISHES, ETC.
- 2 REMOVE EXISTING STOREFRONT, WINDOWS AND FRAMES. REPLACE WITH NEW IMPACT RESISTANT TO MATCH HISTORIC WINDOWS. ALL GLAZING, COLORS, MULLIONS AND PROFILES TO MATCH HISTORIC.
- 3 EXISTING WINDOW OR DOOR TO BE REMOVED
- 4 REMOVE PORTION OF WALL. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.
- 5 REMOVE NON HISTORIC CANOPY, COLUMNS AND RAILING. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.

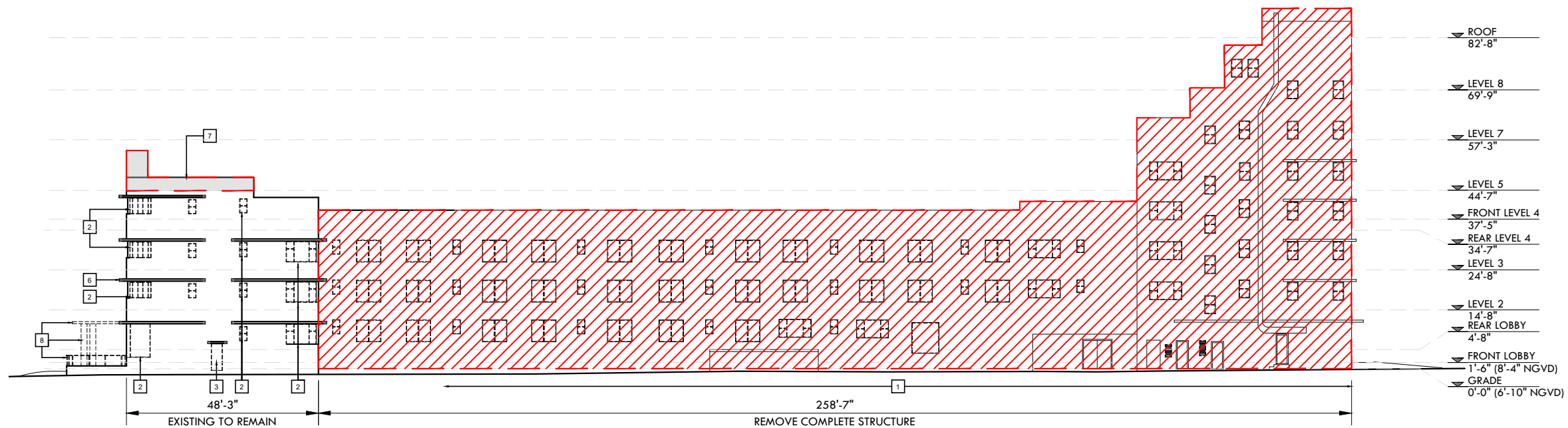
DEMOLITION GENERAL NOTES

- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- 2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- 3- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.



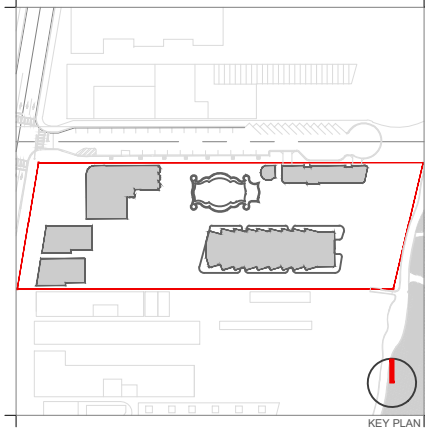
DEMO ELEVATION - NORTH

SCALE: 1/32" = 1'-0"



DEMO ELEVATION - SOUTH

SCALE: 1/32" = 1'-0"



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Architect of Record:
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DEMO ELEVATION
 THE RICHMOND

Date	APRIL 06, 2020	Sheet No.	B2-D1.06
Scale	AS SHOWN		
Project	1901		

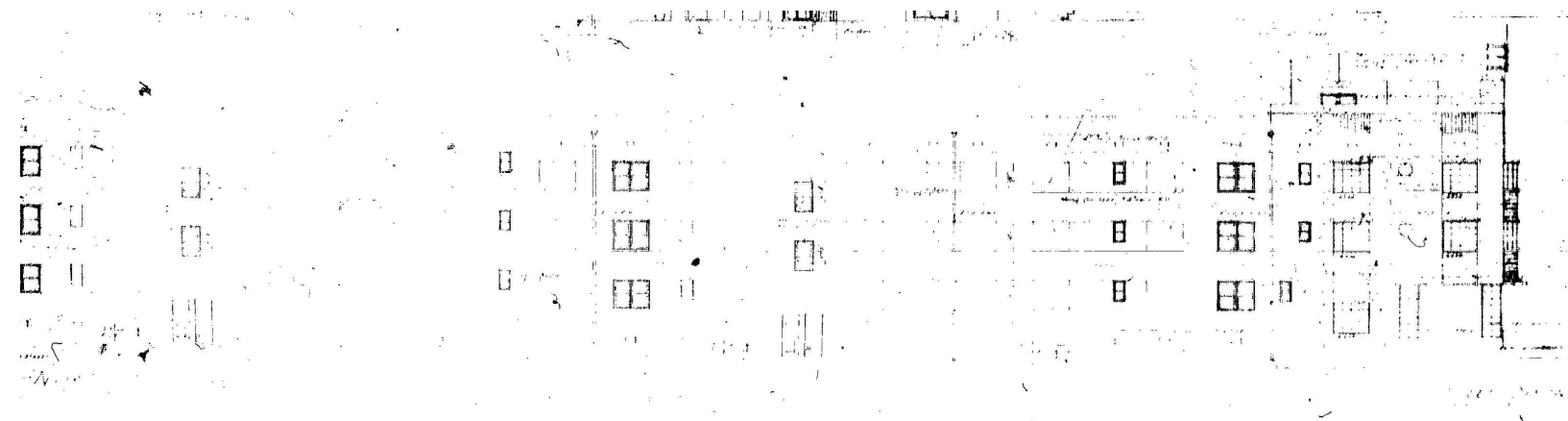
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- EXISTING EXTERIOR WALL TO BE REMOVED
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

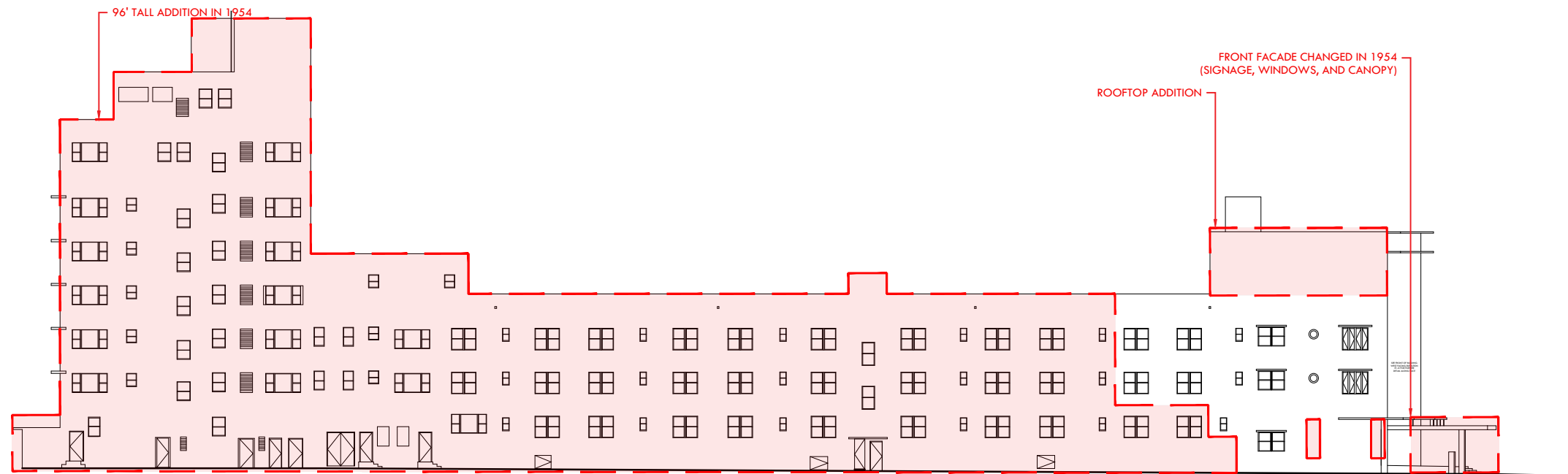
- 1 DEMOLISH AND REMOVE EXISTING STRUCTURE IN ITS ENTIRETY. INCLUSIVE OF BUT NOT LIMITED TO: ROOFING AND ROOF STRUCTURE, ALL EXTERIOR AND INTERIOR WALLS, ALL NON ORIGINAL PLUMBING FIXTURES AND SYSTEMS, MECHANICAL SYSTEMS, ELECTRICAL WIRING AND SYSTEMS, STRUCTURAL ELEMENTS INCLUDING COLUMNS, FLOOR FRAMING AND FOUNDATIONS, FINISHES, ETC.
- 2 REMOVE EXISTING STOREFRONT, WINDOWS AND FRAMES. REPLACE WITH NEW IMPACT RESISTANT TO MATCH HISTORIC WINDOWS. ALL GLAZING, COLORS, MULLIONS AND PROFILES TO MATCH HISTORIC.
- 3 EXISTING WINDOW OR DOOR TO BE REMOVED
- 4 REMOVE PORTION OF WALL. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.
- 5 REMOVE NON HISTORIC CANOPY, COLUMNS AND RAILING. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.

DEMOLITION GENERAL NOTES

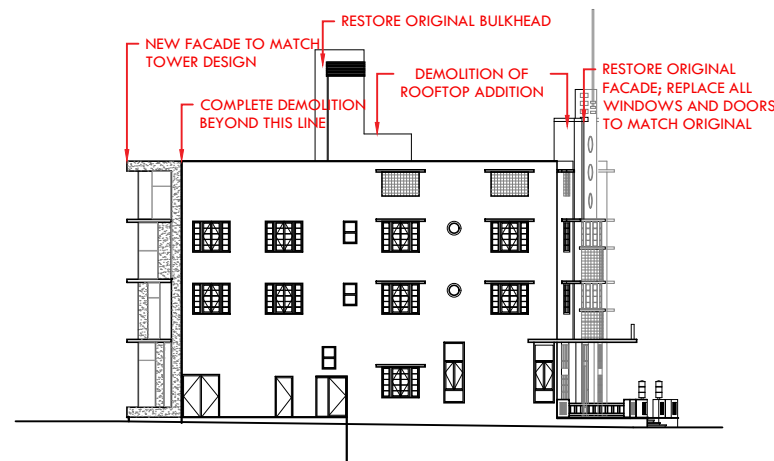
- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
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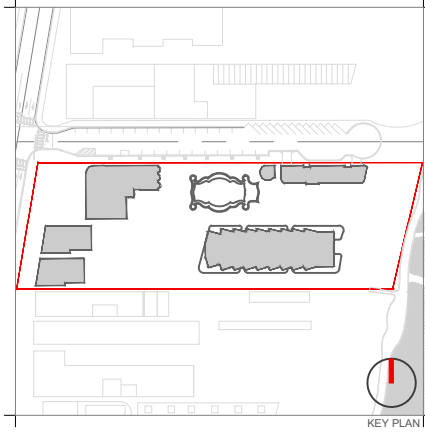
1 MICROFILM - 1940 ORIGINAL ELEVATION - NORTH
LAWRENCE MURRAY DIXON SCALE: 1/32" = 1'-0"



2 EXISTING ELEVATION - NORTH SCALE: 1/32" = 1'-0"



3 PROPOSED ELEVATION - NORTH SCALE: 1/32" = 1'-0"



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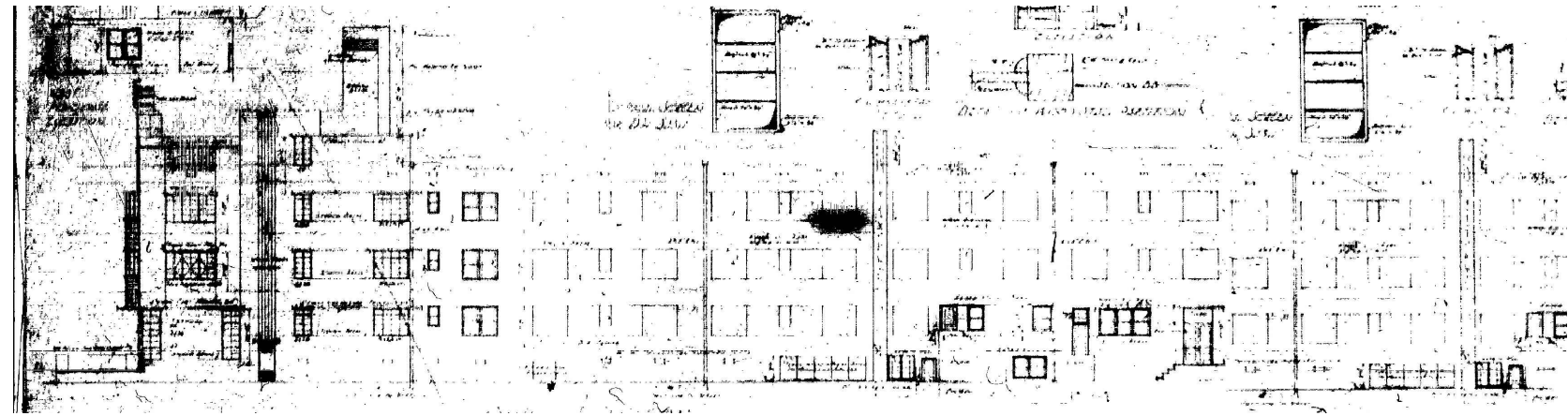
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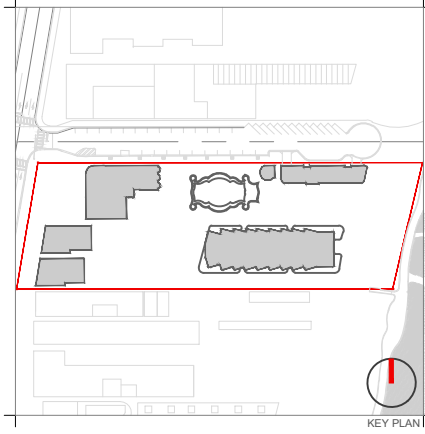
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ELEVATIONS COMPARISON
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-A1.00
Scale	AS SHOWN		
Project	1901		



1 MICROFILM - 1940 ORIGINAL ELEVATION - SOUTH
LAWRENCE MURRAY DIXON SCALE: 1/32" = 1'-0"



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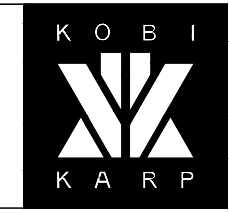
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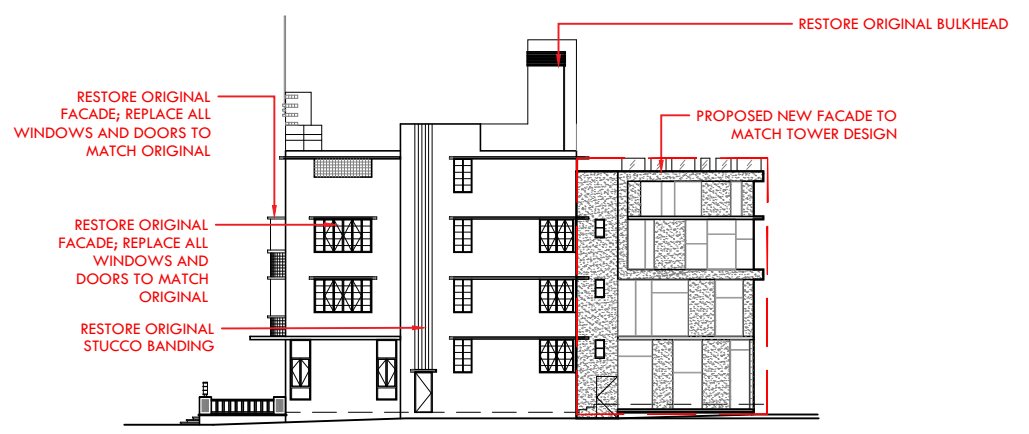
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ELEVATIONS COMPARISON
THE SOUTH SEAS

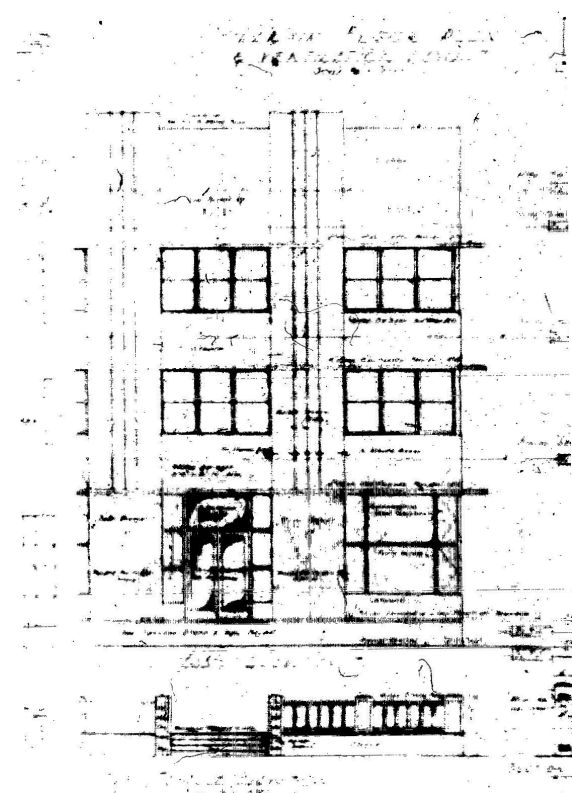
Date	APRIL 06, 2020	Sheet No.	B3-A1.01
Scale	AS SHOWN		
Project	1901		



2 EXISTING ELEVATION - SOUTH
SCALE: 1/32" = 1'-0"



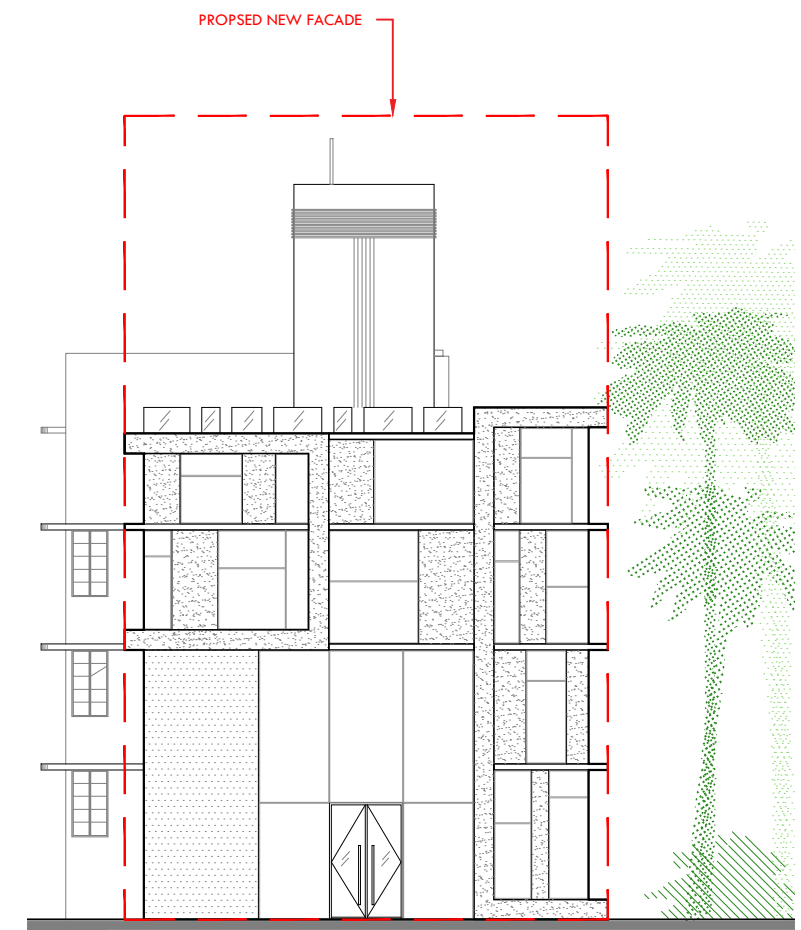
3 PROPOSED ELEVATION - SOUTH
SCALE: 1/32" = 1'-0"



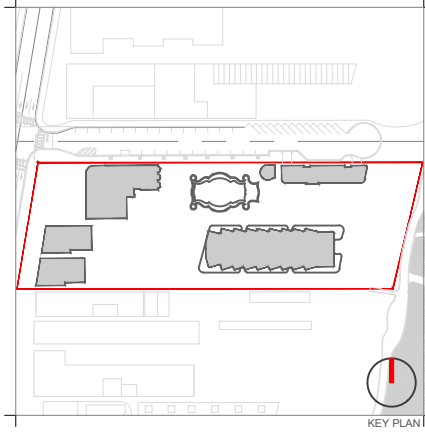
1 MICROFILM - 1940 ORIGINAL ELEVATION - EAST
LAWRENCE MURRAY DIXON SCALE: 1/16" = 1'-0"



2 EXISTING ELEVATION - EAST SCALE: 1/16" = 1'-0"



3 PROPOSED ELEVATION - EAST SCALE: 1/16" = 1'-0"



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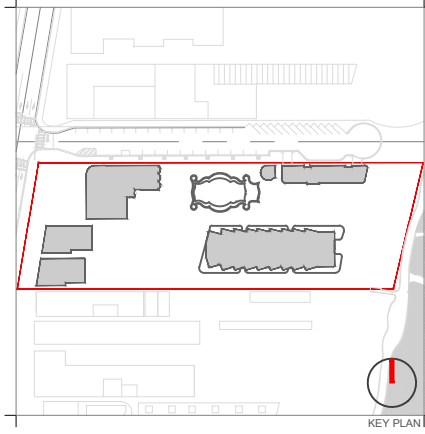
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ELEVATIONS COMPARISON
THE SOUTH SEAS

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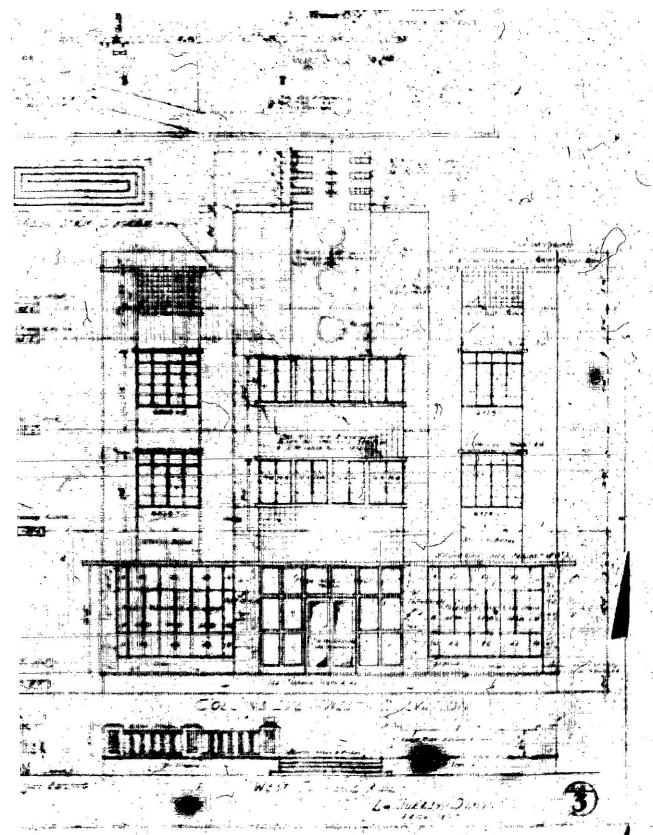
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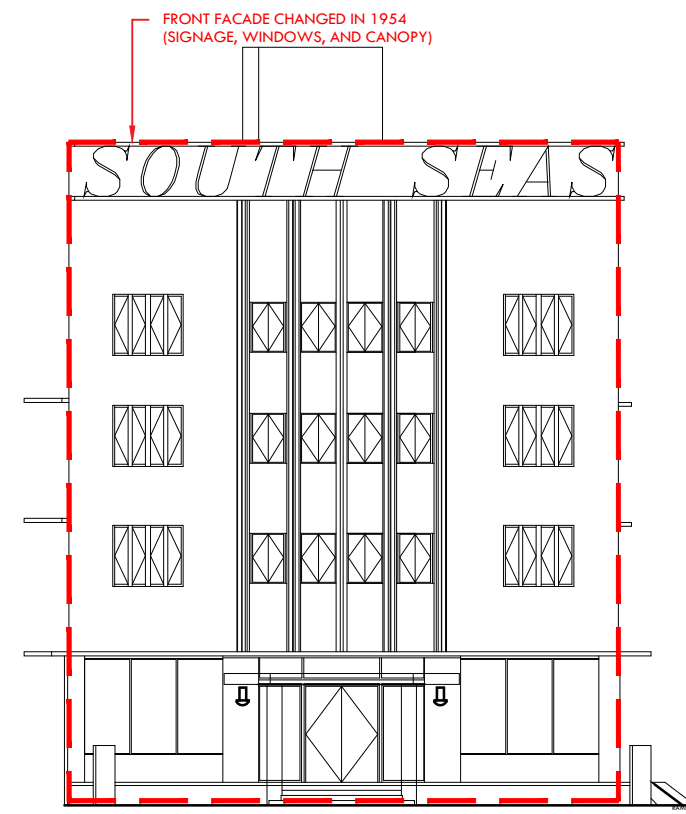
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ELEVATIONS COMPARISON
THE SOUTH SEAS

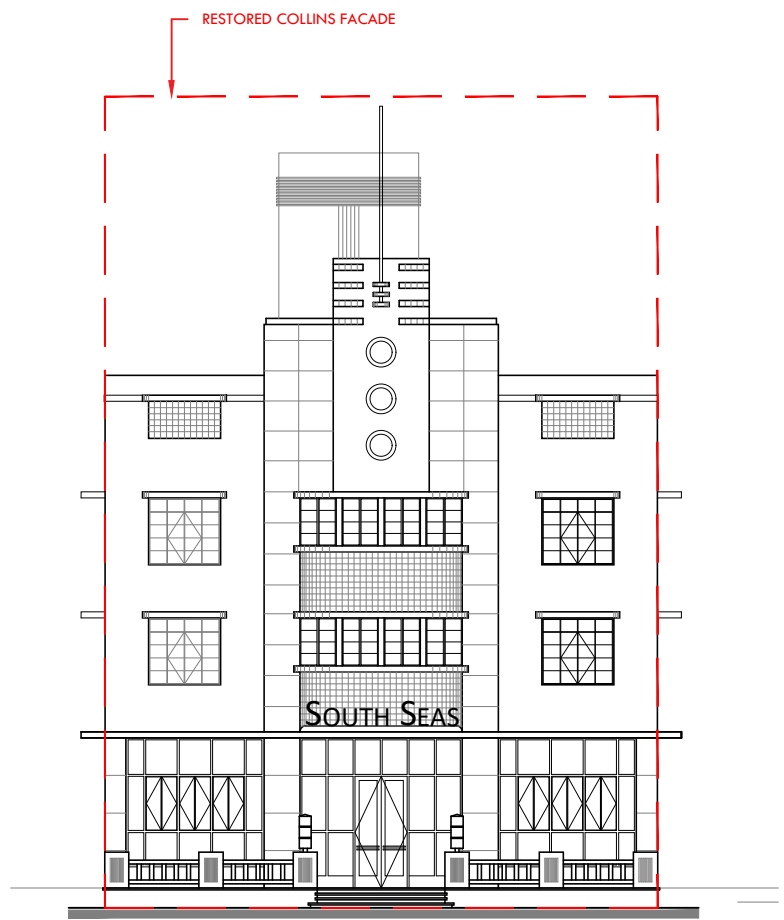
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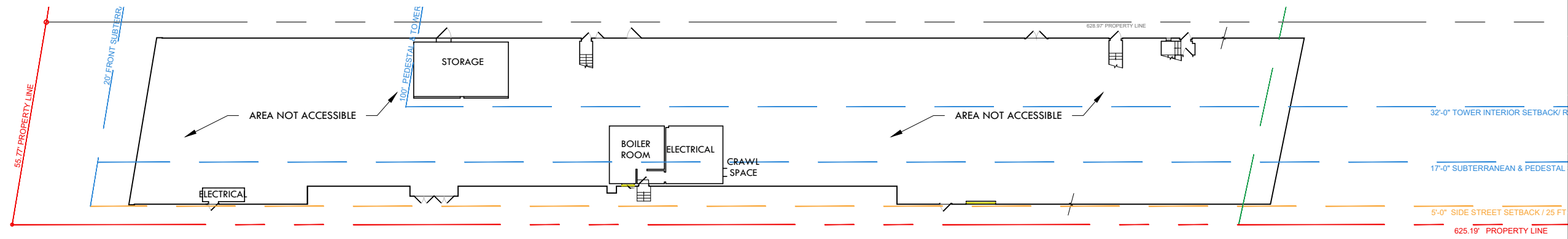
1 MICROFILM - 1940 ORIGINAL ELEVATION - WEST
 LAWRENCE MURRAY DIXON SCALE: 1/16" = 1'-0"



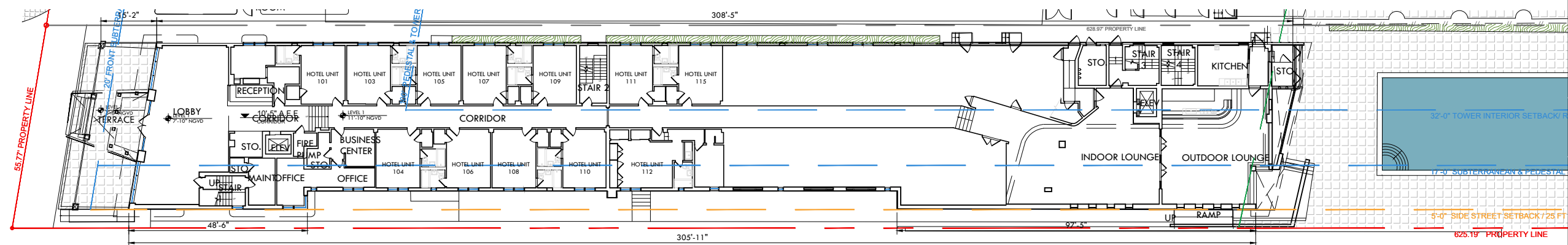
2 EXISTING ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



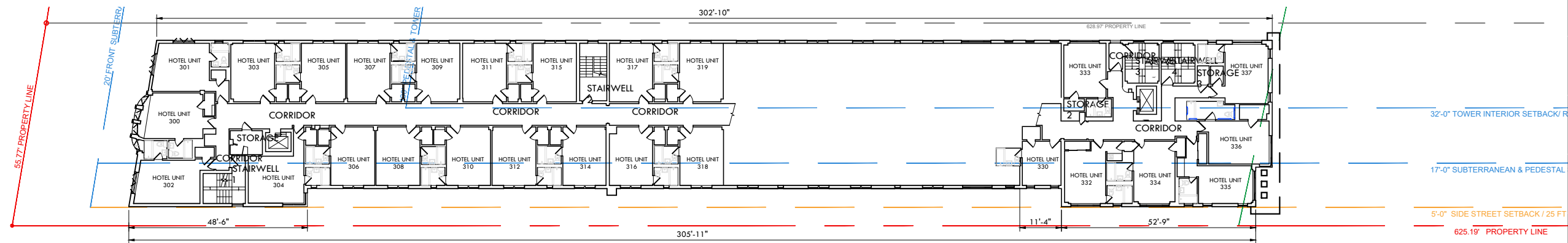
3 PROPOSED ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



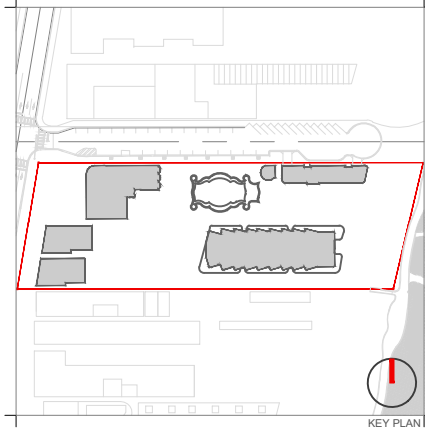
EXISTING FLOOR PLAN - LEVEL 0
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - LEVEL 1
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - LEVEL 2-3
SCALE: 1/32" = 1'-0"



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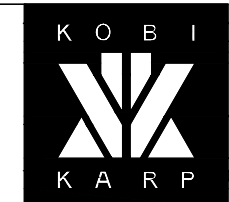
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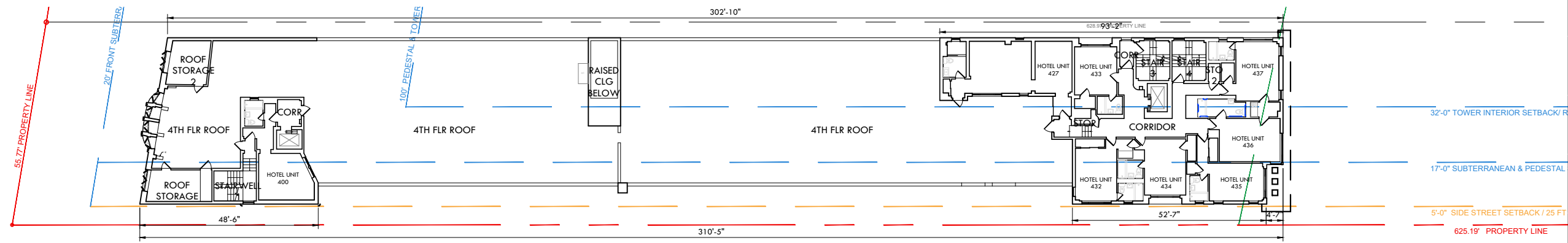
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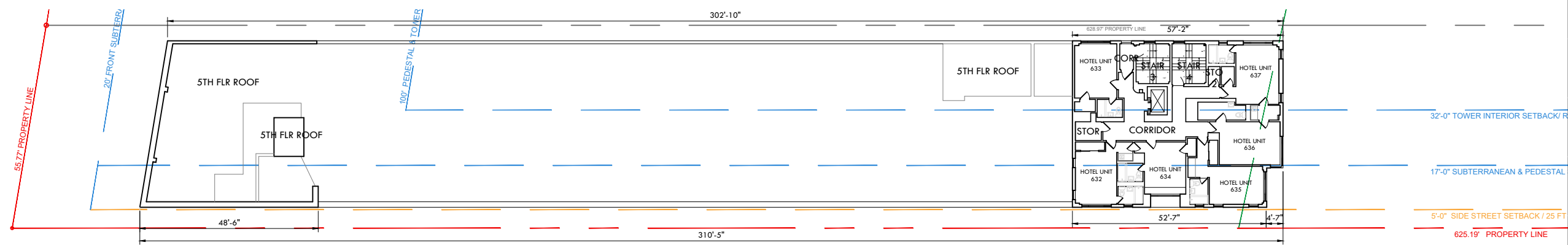


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EXISTING FLOOR PLAN
THE SOUTH SEAS

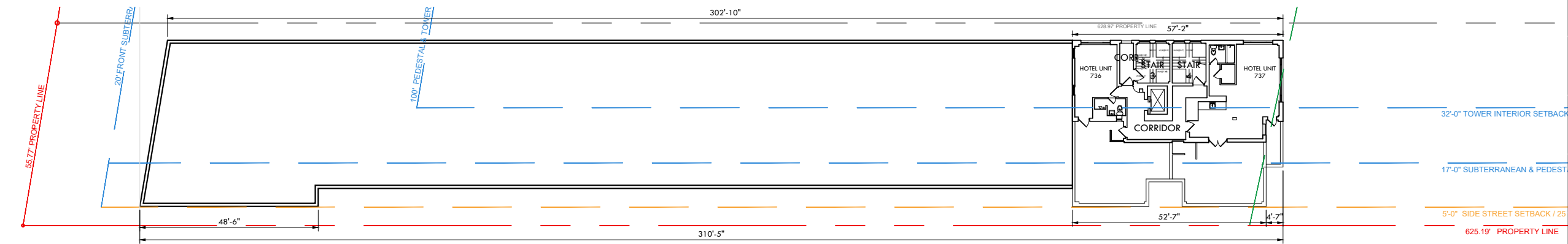
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Scale	AS SHOWN		B3-A2.00
Project	1901		



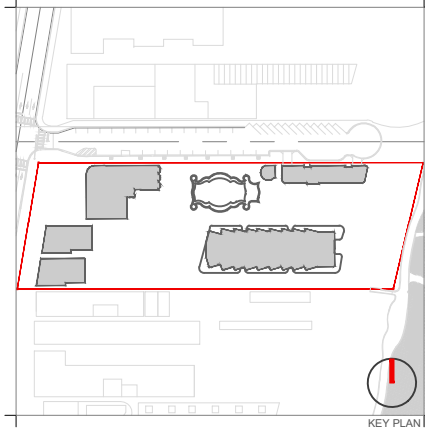
EXISTING FLOOR PLAN - LEVEL 4
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - LEVEL 5-6
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - LEVEL 7
SCALE: 1/32" = 1'-0"



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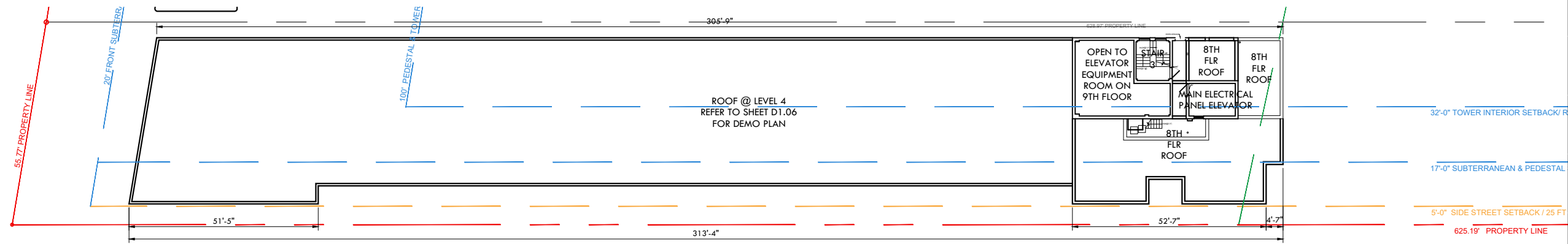
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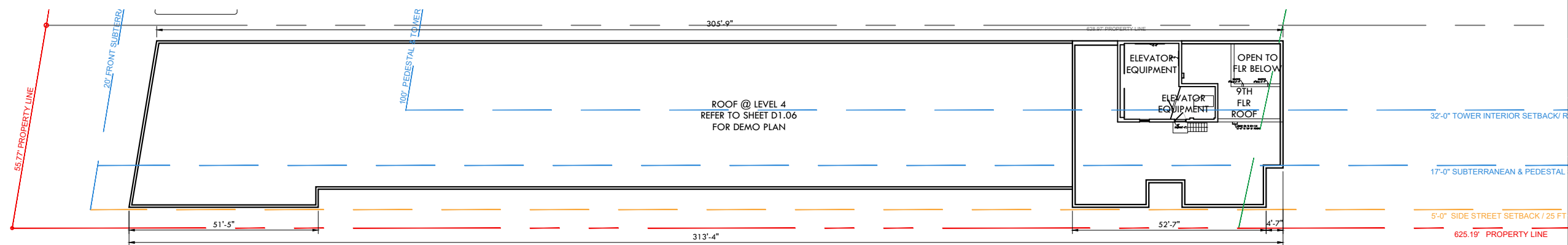


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EXISTING FLOOR PLAN
THE SOUTH SEAS

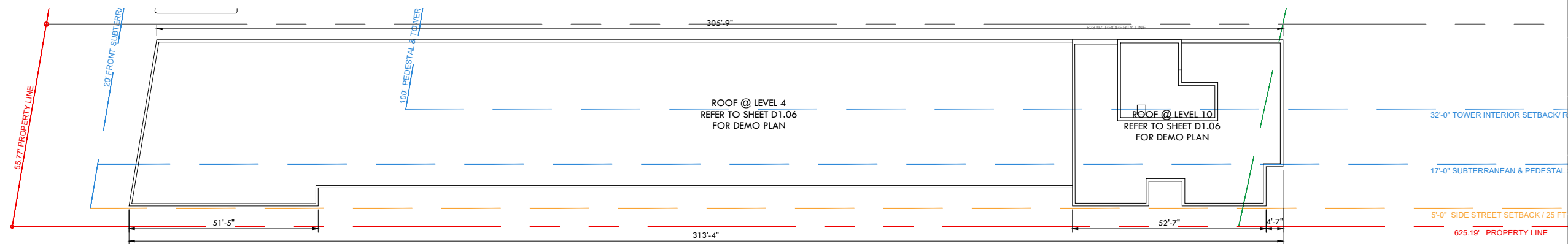
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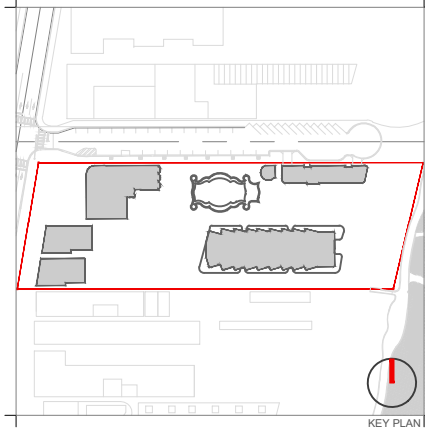
EXISTING FLOOR PLAN - LEVEL 8
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - LEVEL 9
SCALE: 1/32" = 1'-0"



EXISTING FLOOR PLAN - ROOF LEVEL
SCALE: 1/32" = 1'-0"



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EXISTING FLOOR PLAN
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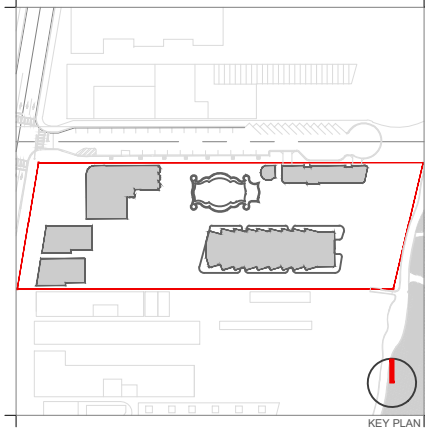
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100'-2"
- ▼ 8TH(B) TCE HIST. TOWER
89'-11"
- ▼ 8TH(B) FL HIST. TOWER
84'-2"
- ▼ 8TH(A) FL HIST. TOWER
78'-5"
- ▼ 7TH FL HIST. TOWER
67'-4"
- ▼ 6TH FL HIST. TOWER
54'-8"
- ▼ 5TH FL HIST. TOWER
44'-8"
- ▼ 4TH FL HIST. TOWER
34'-8"
- ▼ 3RD FL HIST. TOWER
24'-8"
- ▼ 2ND FL HIST. TOWER
14'-8"
- ▼ REAR LOBBY
1'-8"
- ▼ FRONT LOBBY
0'-8" (7'-6" NGVD)
- ▼ GRADE
0'-0" (6'-10" NGVD)

EXISTING ELEVATION - NORTH
SCALE: 1/32" = 1'-0"



- ▼ ROOF HIST. TOWER
100'-2"
- ▼ 8TH(B) TCE HIST. TOWER
89'-11"
- ▼ 8TH(B) FL HIST. TOWER
84'-2"
- ▼ 8TH(A) FL HIST. TOWER
78'-5"
- ▼ 7TH FL HIST. TOWER
67'-4"
- ▼ 6TH FL HIST. TOWER
54'-8"
- ▼ 5TH FL HIST. TOWER
44'-8"
- ▼ 4TH FL HIST. TOWER
34'-8"
- ▼ 3RD FL HIST. TOWER
24'-8"
- ▼ 2ND FL HIST. TOWER
14'-8"
- ▼ REAR LOBBY
1'-8"
- ▼ FRONT LOBBY
0'-8" (7'-6" NGVD)
- ▼ GRADE
0'-0" (6'-10" NGVD)

EXISTING ELEVATION - SOUTH
SCALE: 1/32" = 1'-0"



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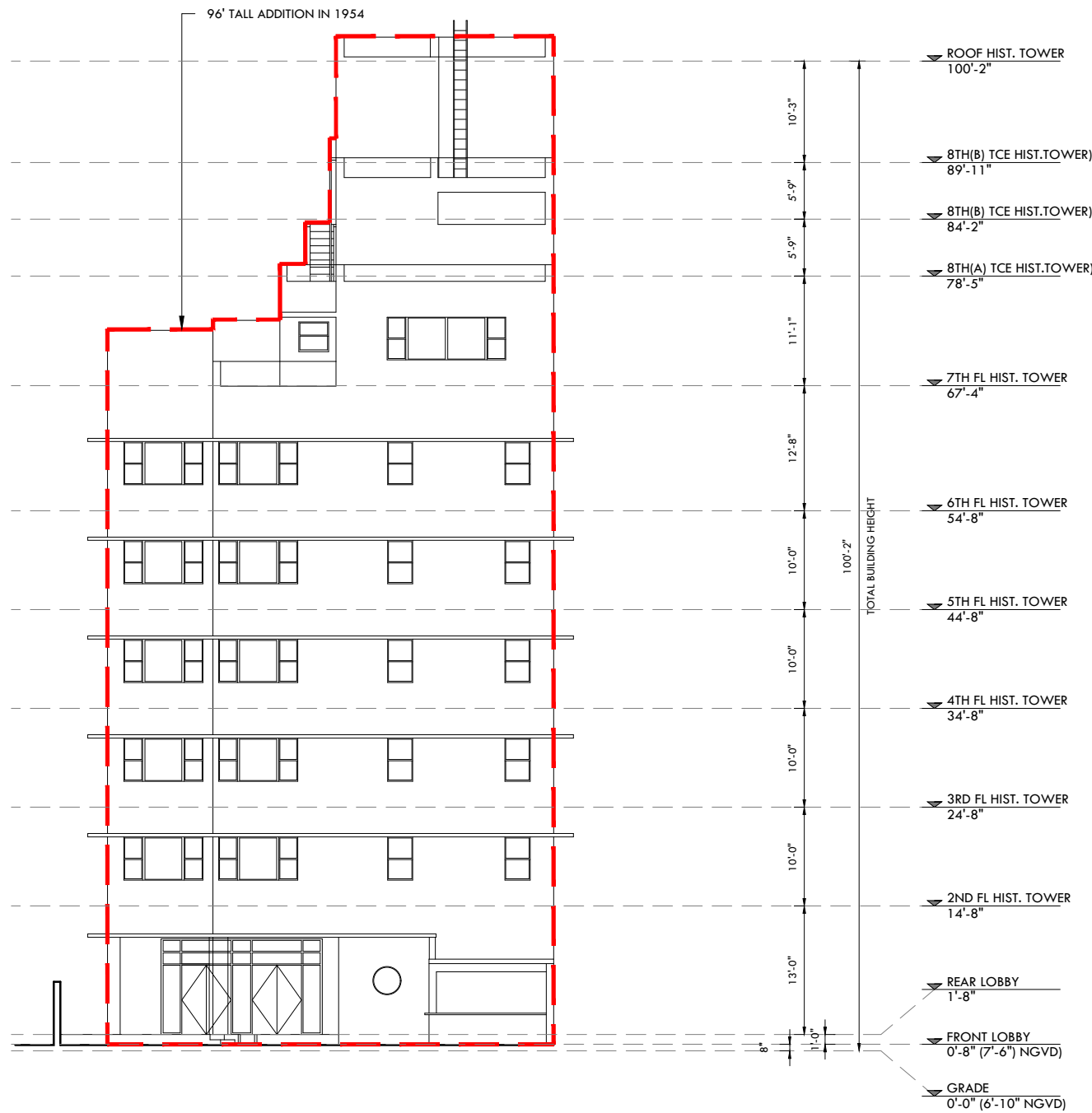
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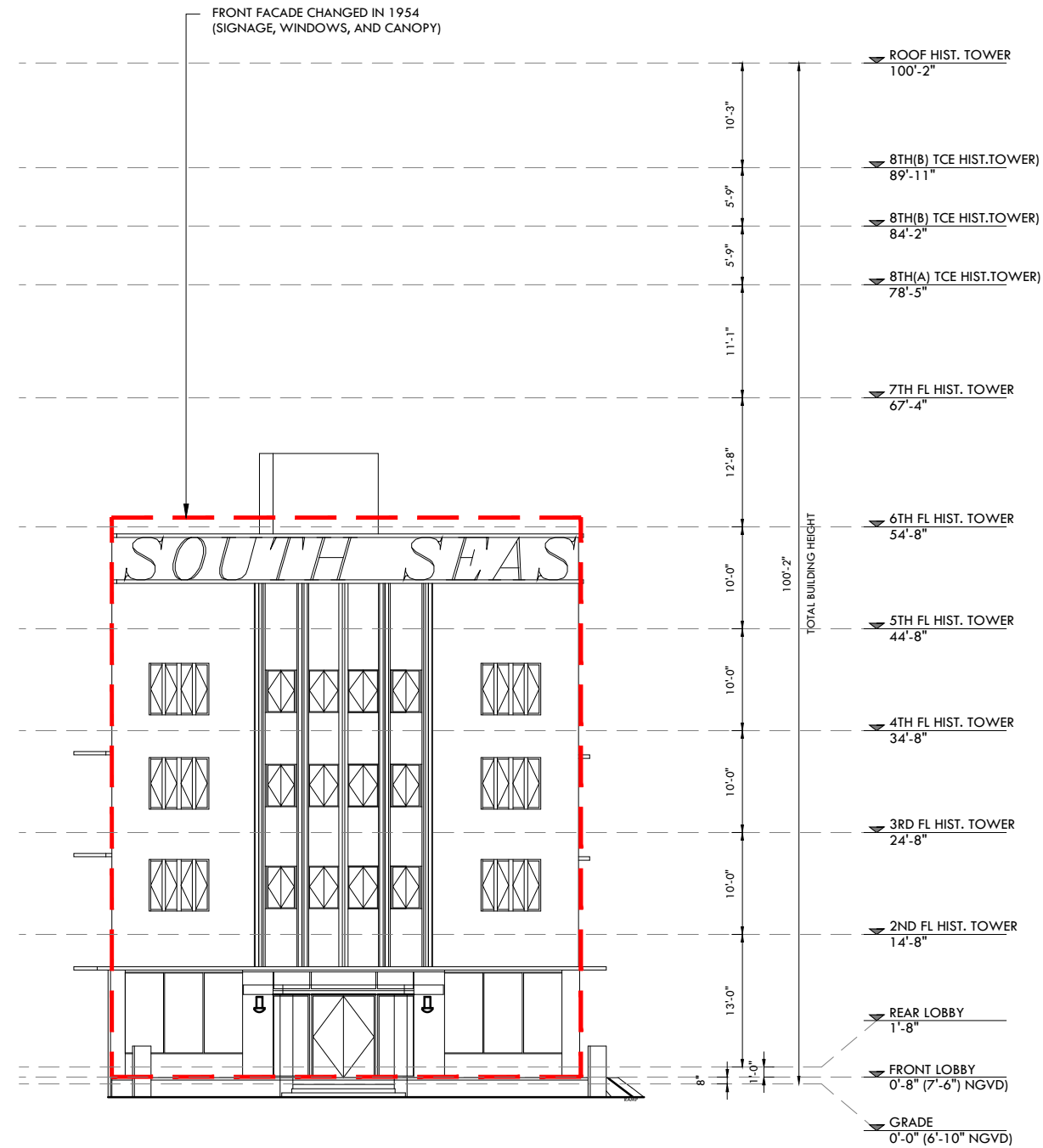
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EXISTING ELEVATIONS
THE SOUTH SEAS

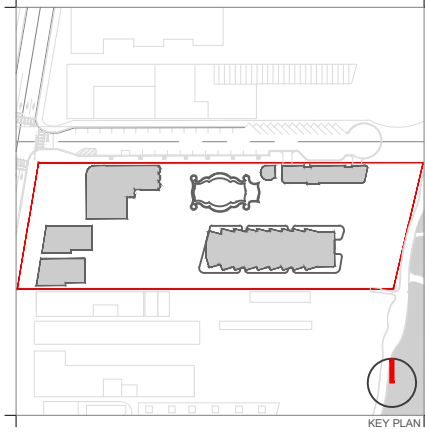
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EXISTING ELEVATION - EAST



EXISTING ELEVATION - WEST



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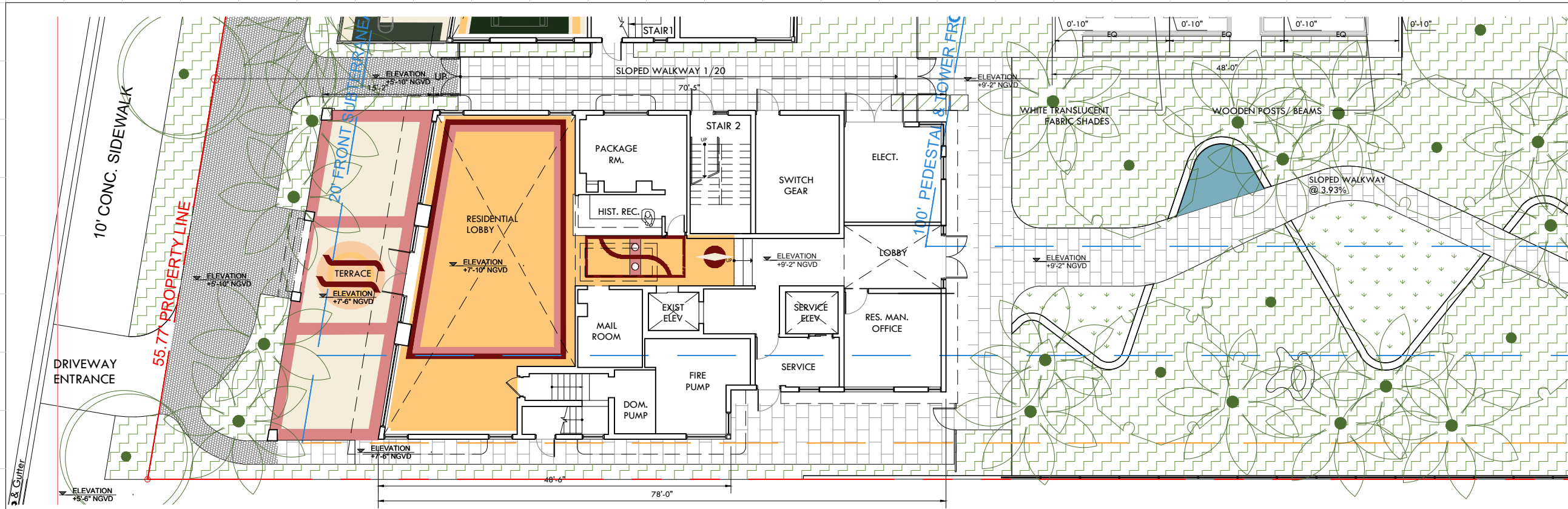
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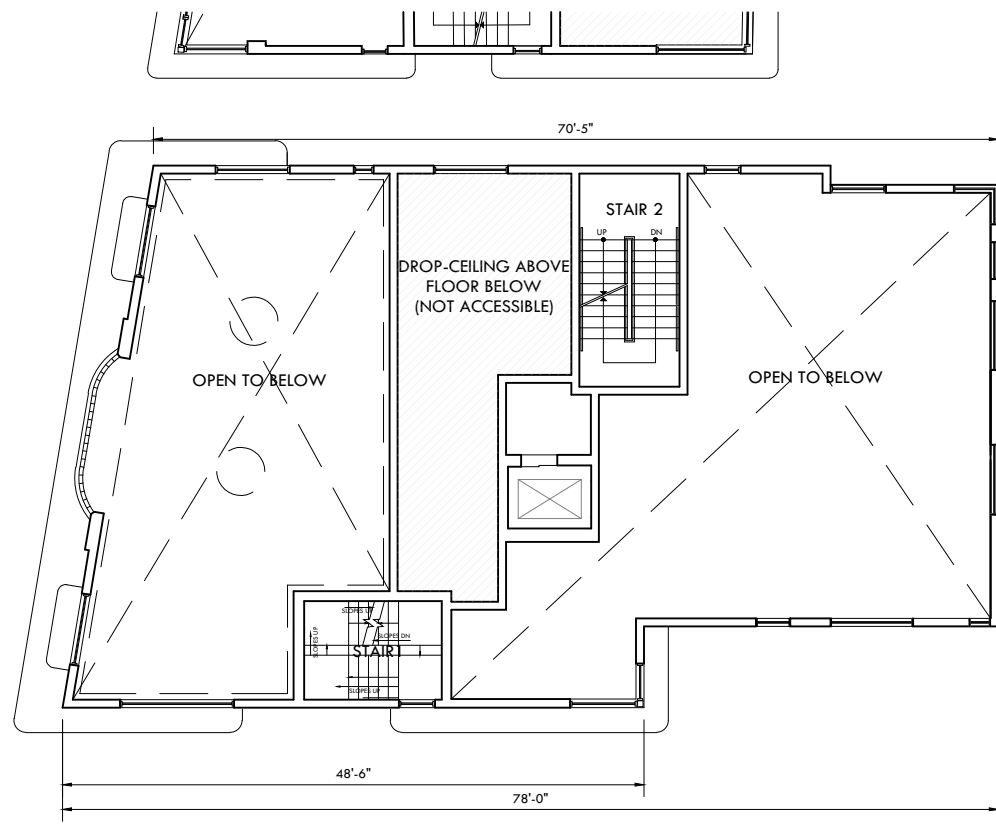
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EXISTING ELEVATIONS
 THE SOUTH SEAS

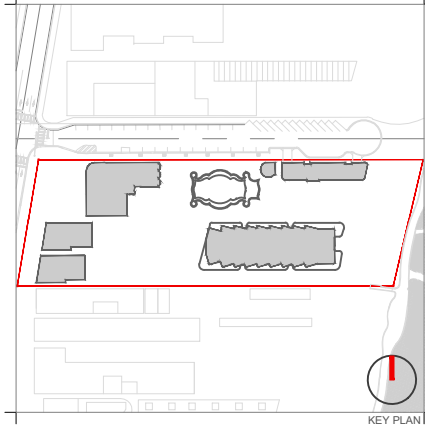
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FLOOR PLAN - LEVEL 1 SCALE: 1/16"=1'-0"



FLOOR PLAN - LEVEL 1.5 SCALE: 1/16"=1'-0"



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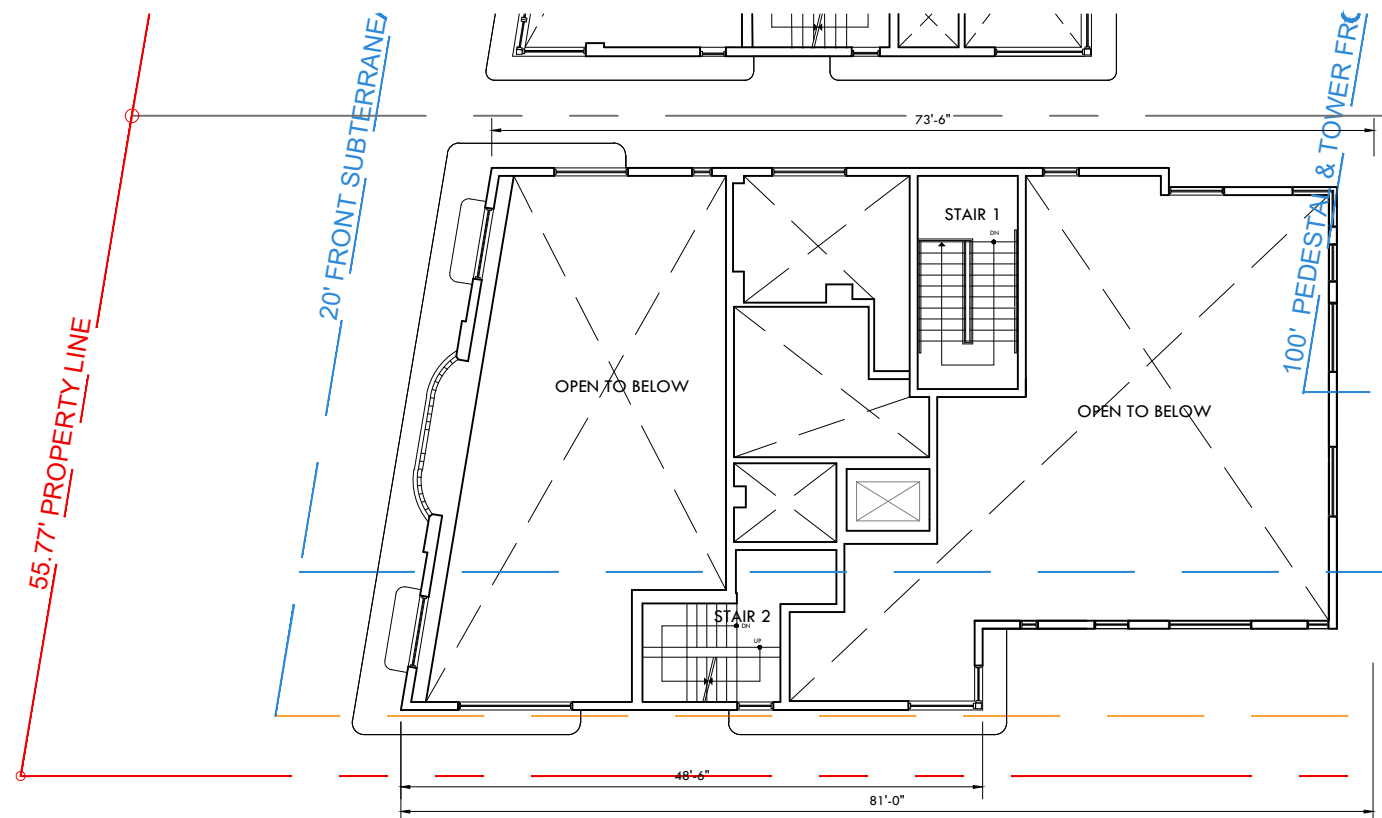
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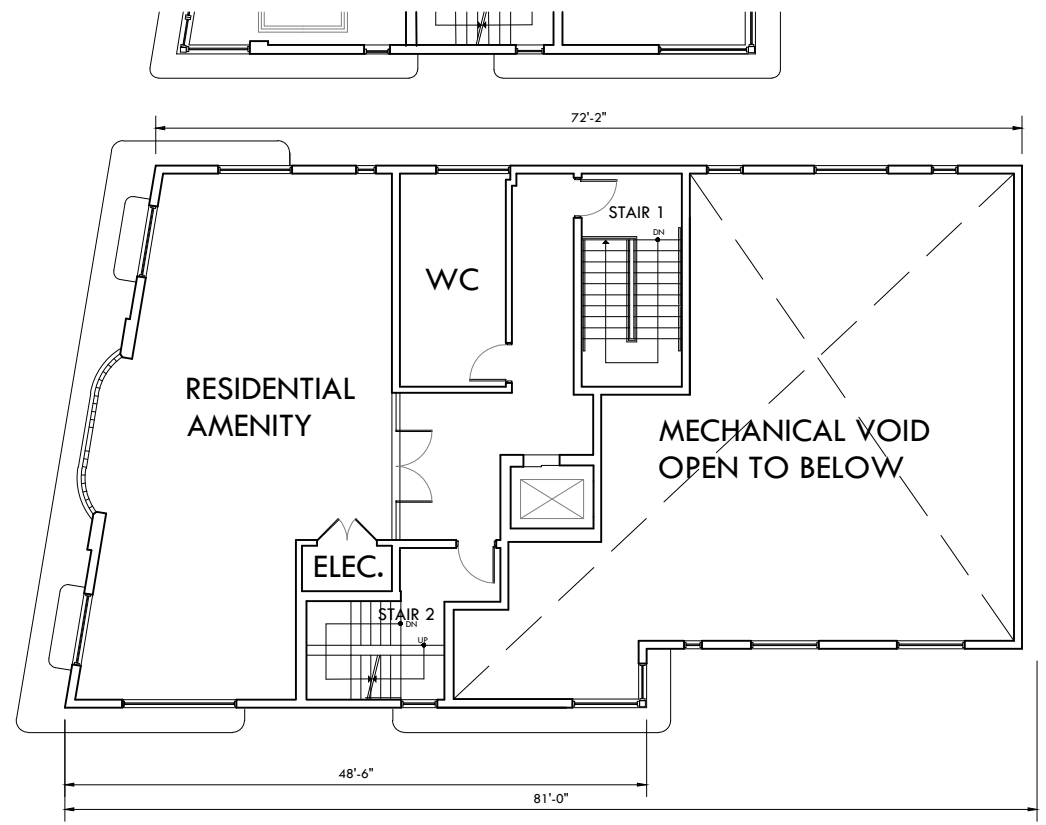
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FLOOR PLAN
THE SOUTH SEAS

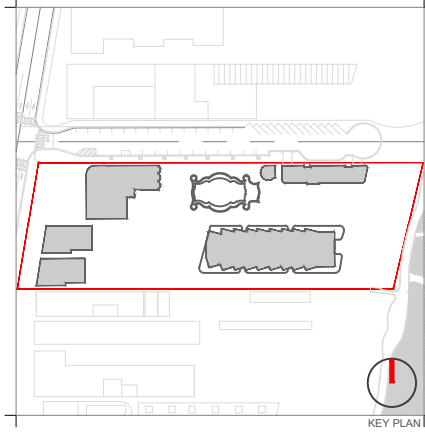
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FLOOR PLAN - LEVEL 2 SCALE: 1/16"=1'-0"



FLOOR PLAN - LEVEL 3 SCALE: 1/16"=1'-0"



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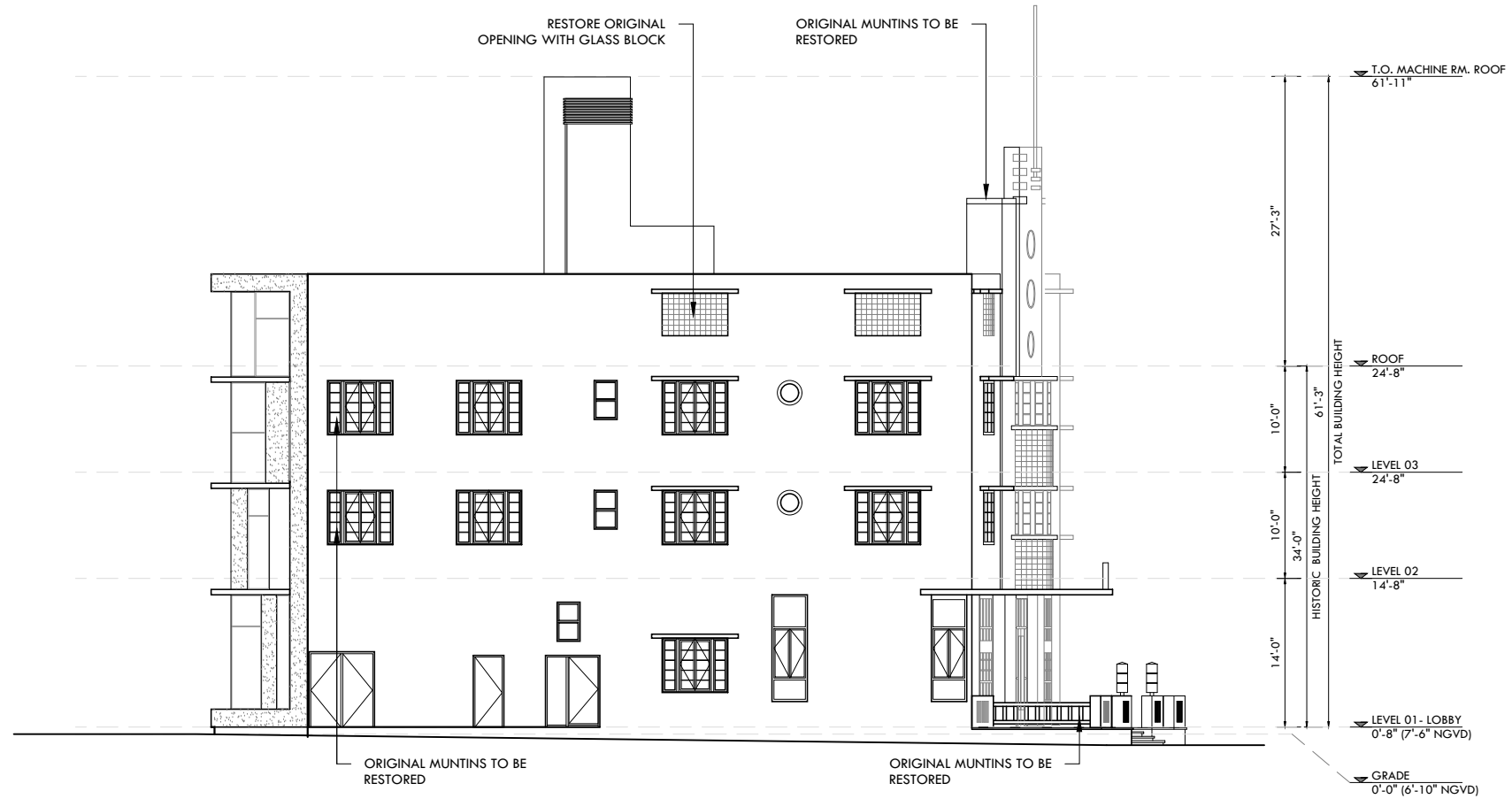
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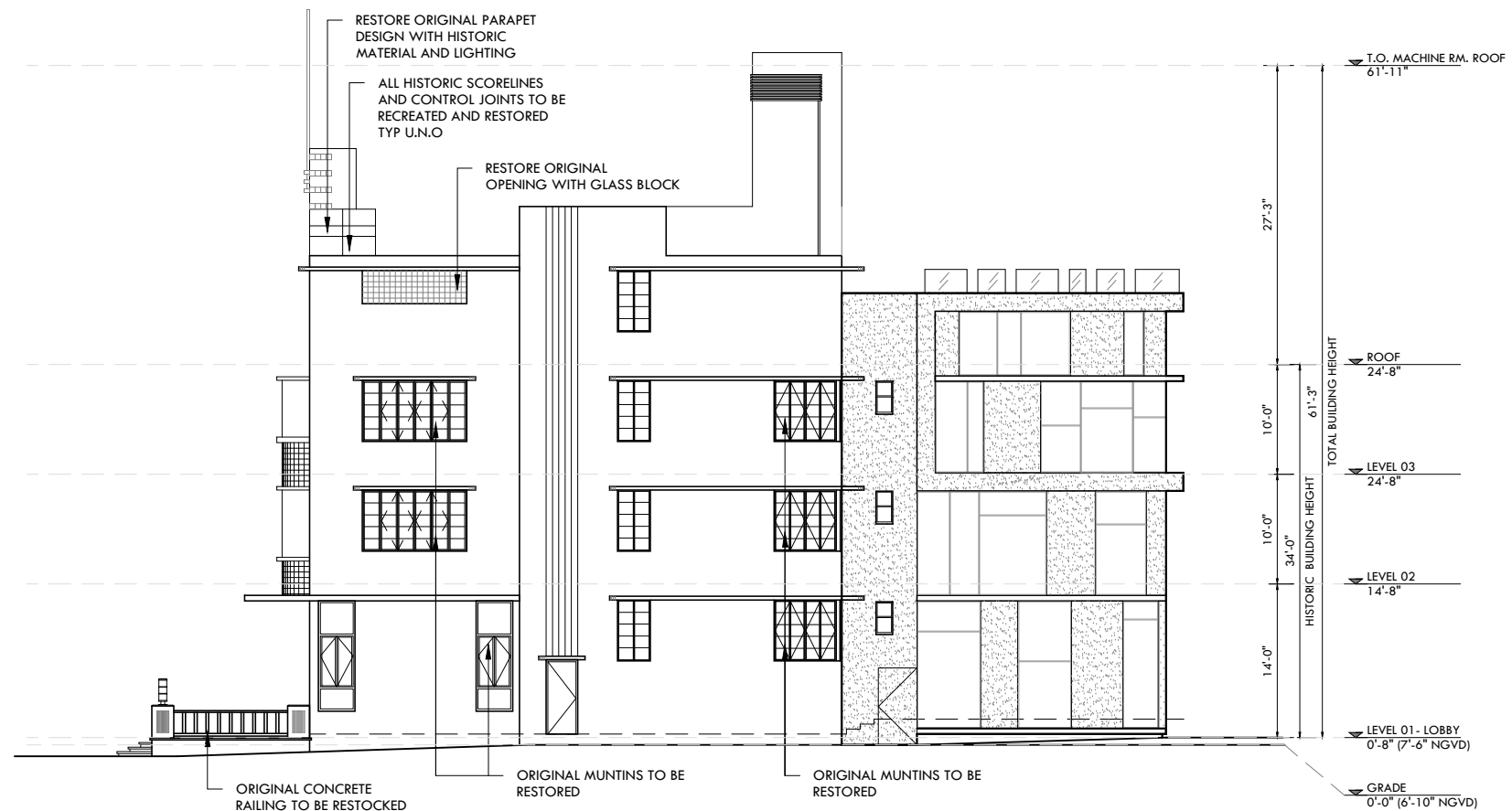
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FLOOR PLAN
THE SOUTH SEAS

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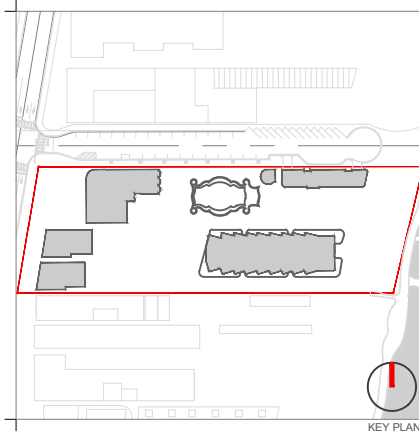
PROPOSED ELEVATION - NORTH

SCALE: 1/16"=1'-0"



PROPOSED ELEVATION - SOUTH

SCALE: 1/16"=1'-0"



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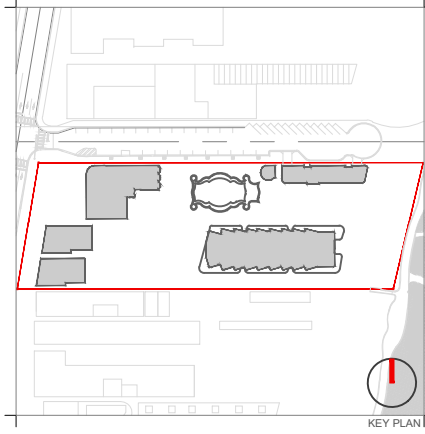
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PROPOSED ELEVATION
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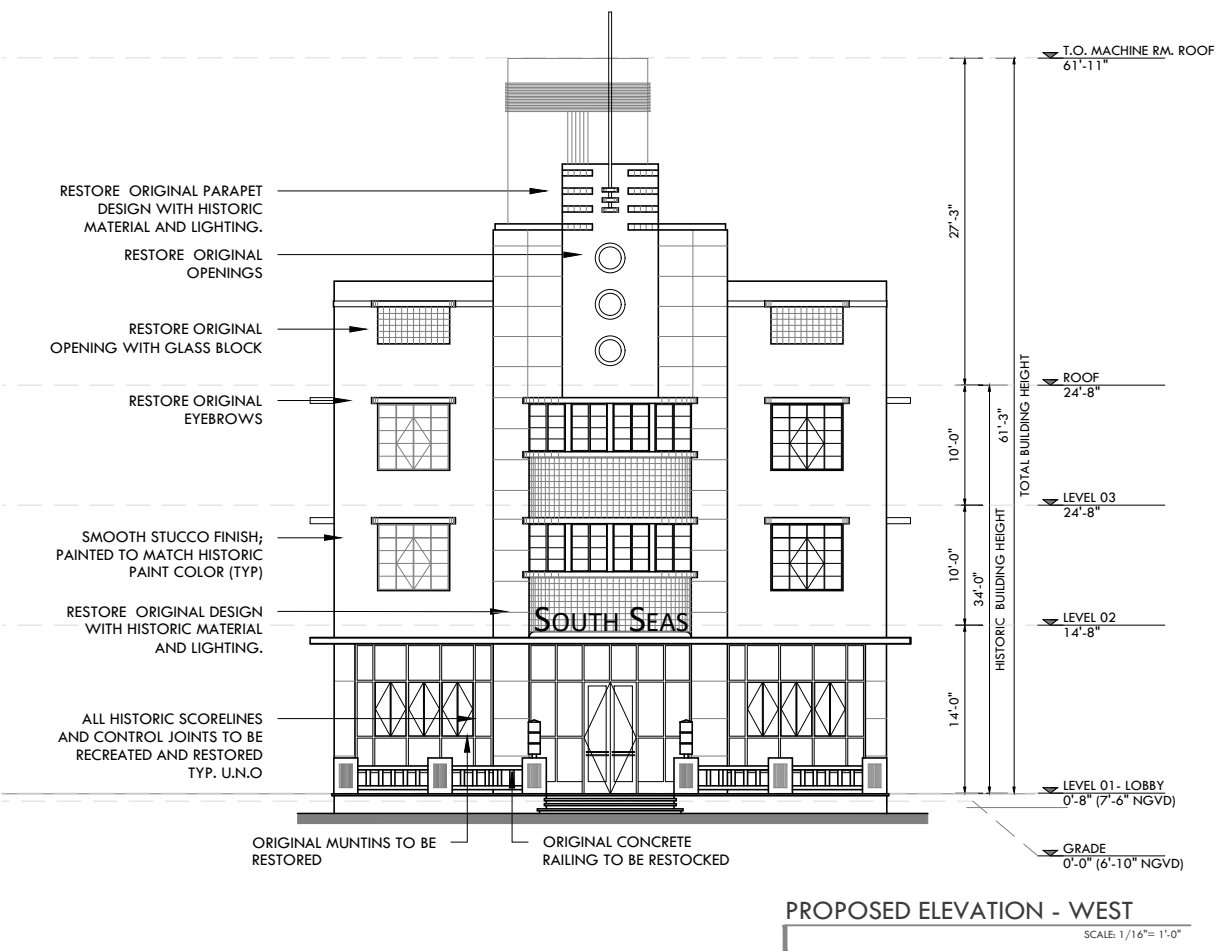
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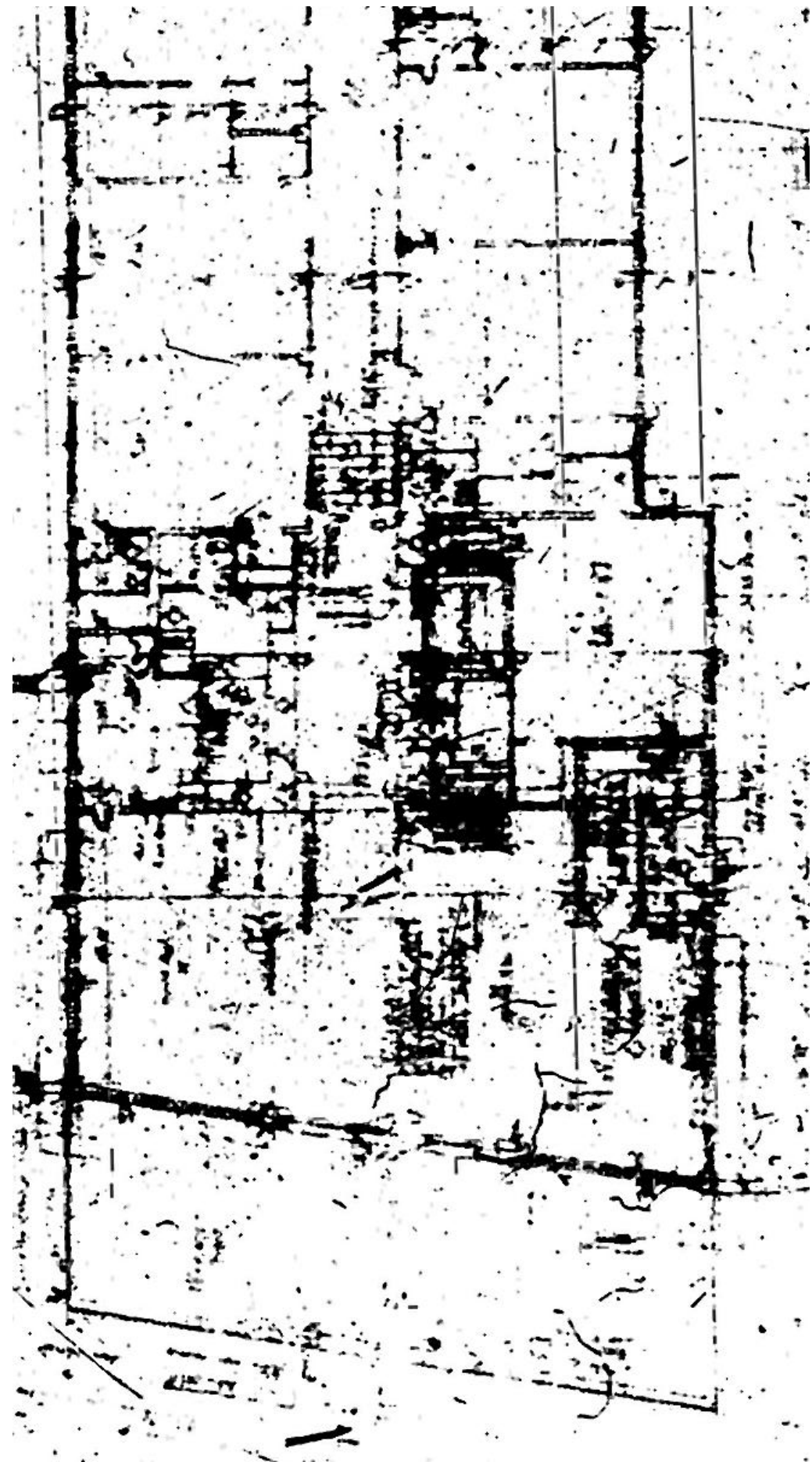


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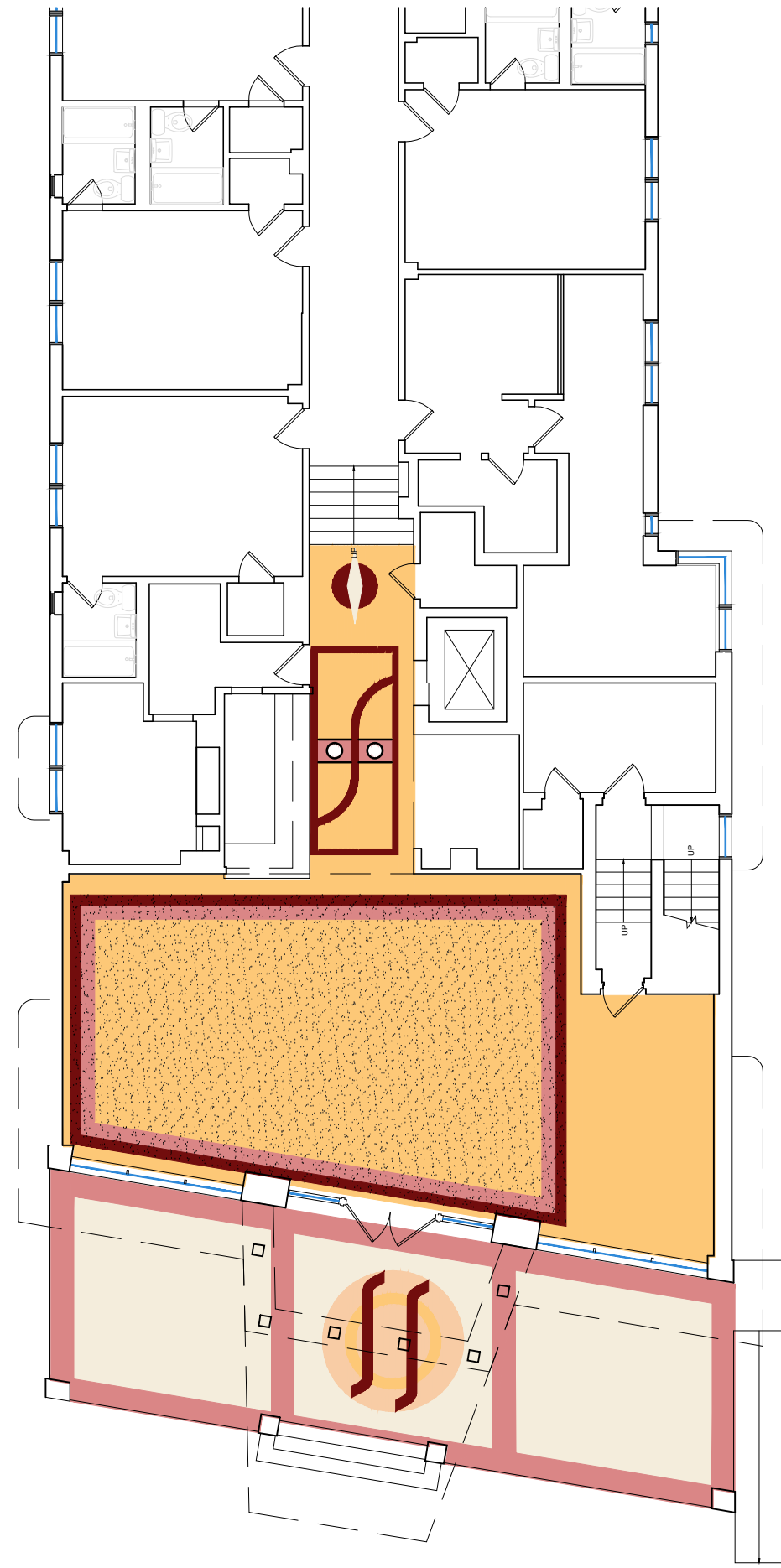
PROPOSED ELEVATION
THE SOUTH SEAS

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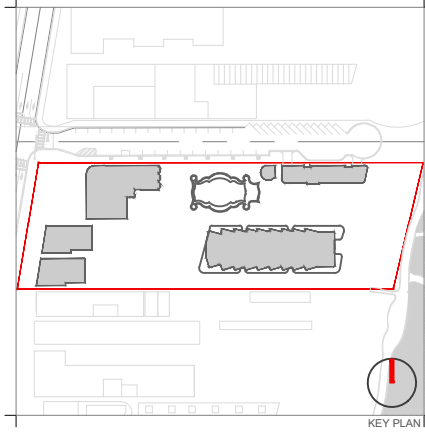




MICROFILM - 1940 ORIGINAL - LOBBY
 LAWRENCE MURRAY DIXON SCALE: 3/32"=1'-0"



EXISTING FLOOR PLAN - LOBBY
 SCALE: 3/32"=1'-0"



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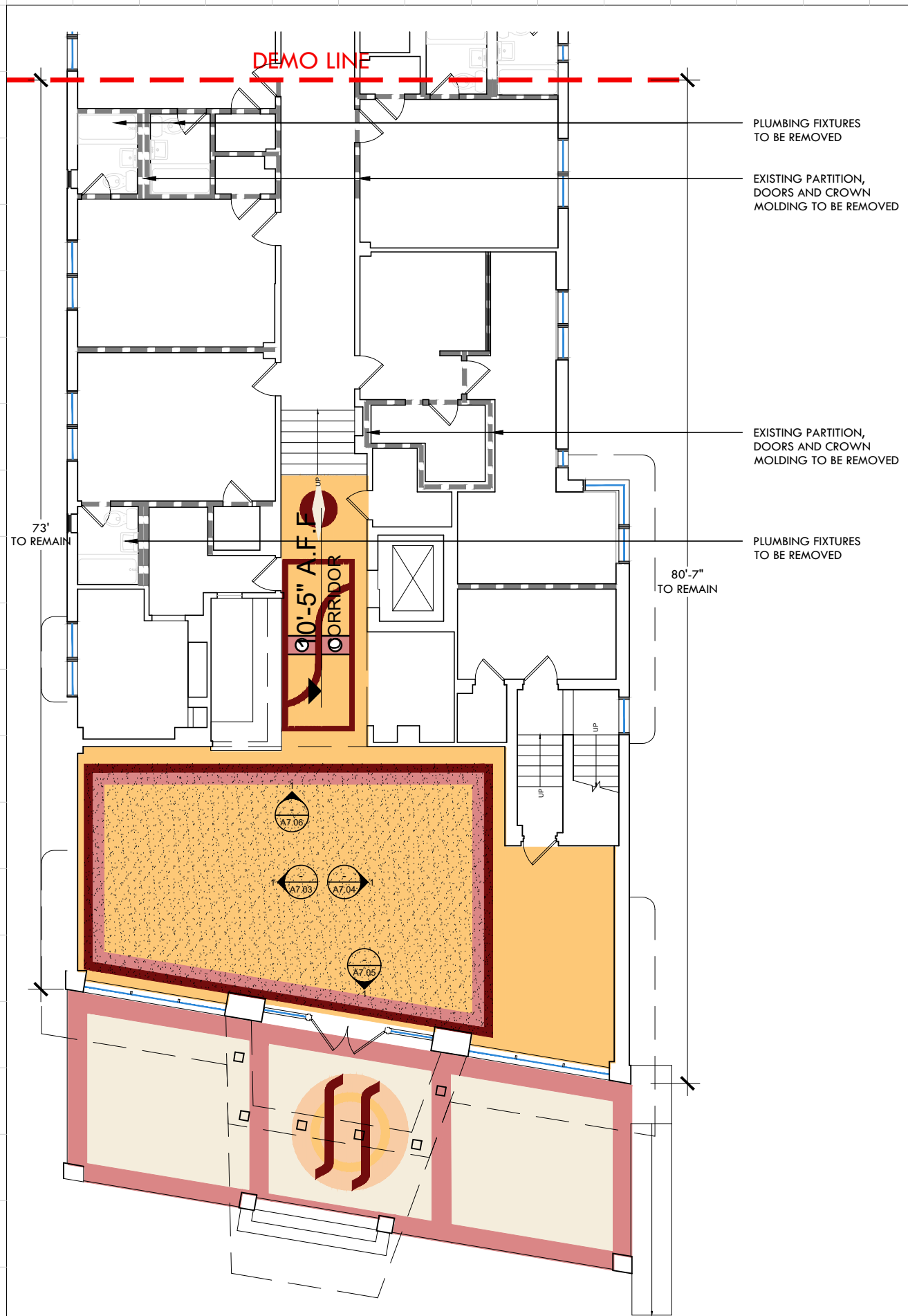
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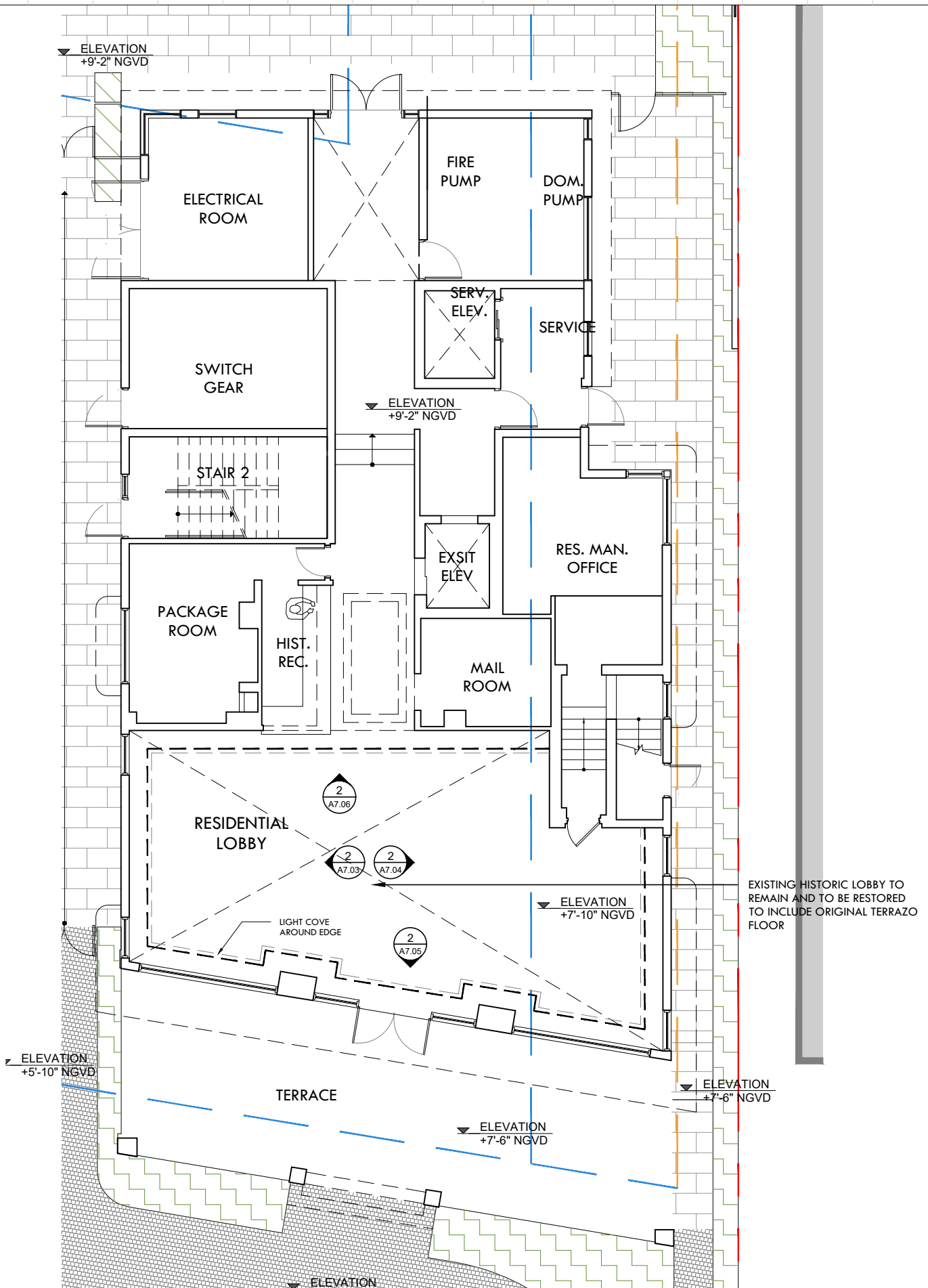


HISTORIC LOBBY
THE SOUTH SEAS

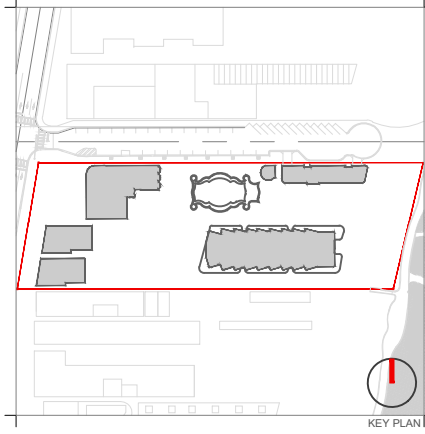
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DEMO FLOOR PLAN - LOBBY
SCALE: 3/32"=1'-0"



PROPOSED FLOOR PLAN - LOBBY
SCALE: 3/32"=1'-0"



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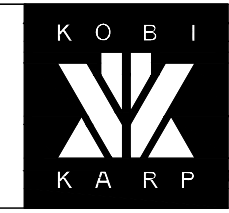
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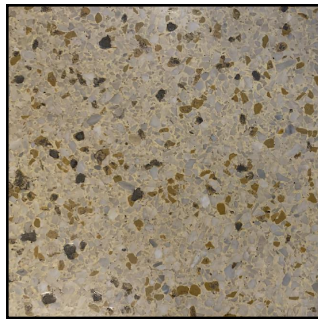
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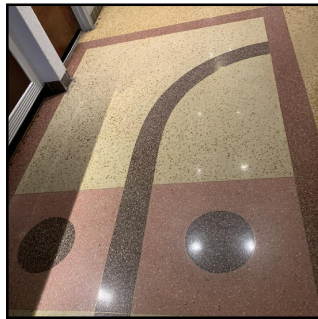
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2 HISTORIC TERRAZZO FLOORING



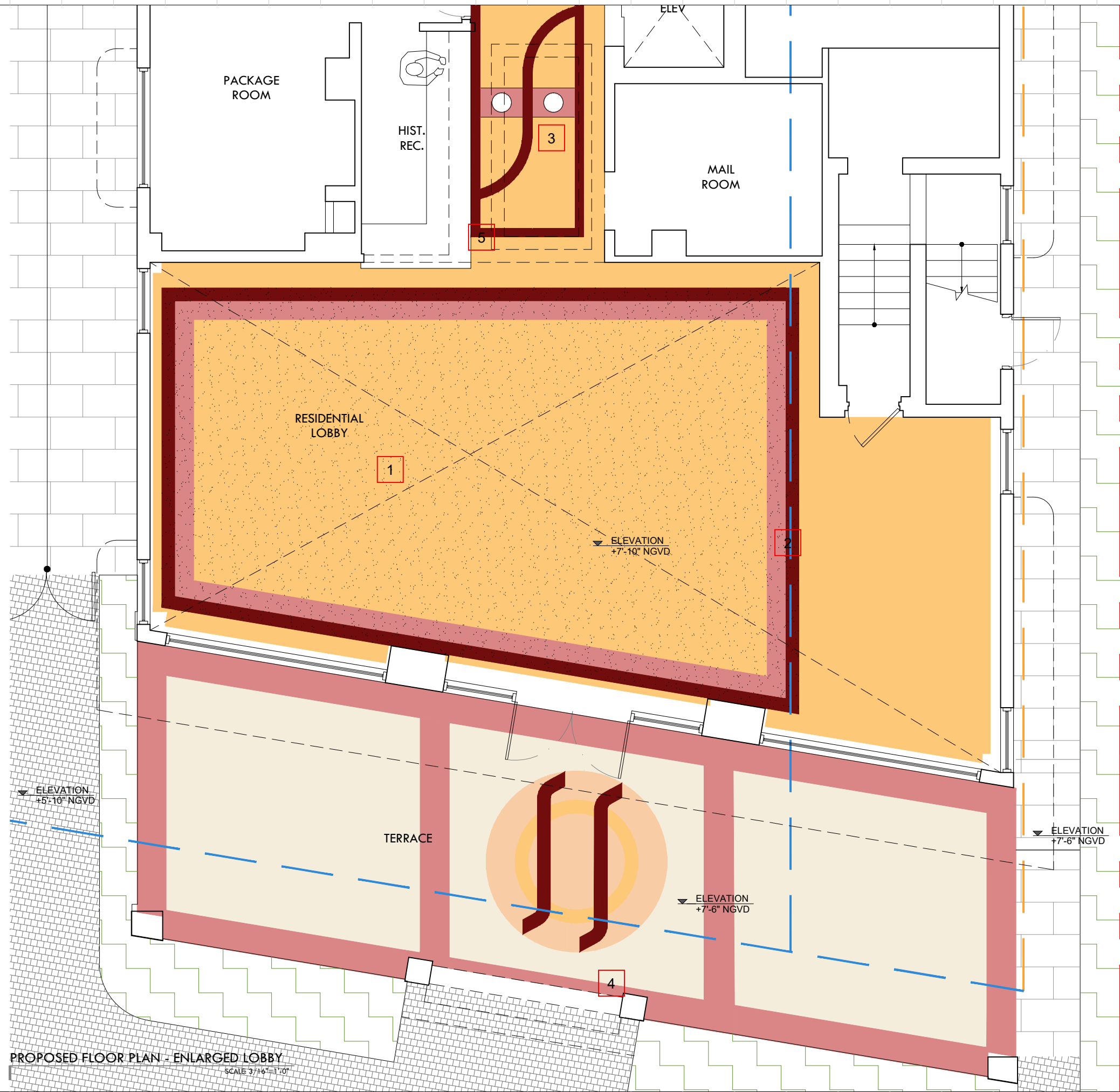
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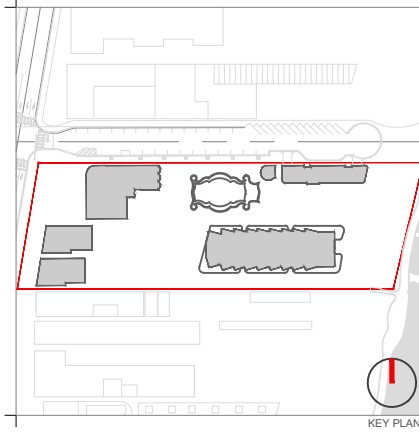
4 HISTORIC TERRAZZO FLOORING



5 HISTORIC TERRAZZO FLOORING



PROPOSED FLOOR PLAN - ENLARGED LOBBY
SCALE 3/16"=1'-0"



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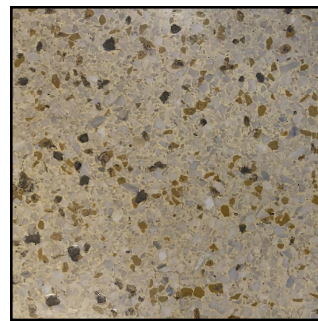
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THE SOUTH SEAS

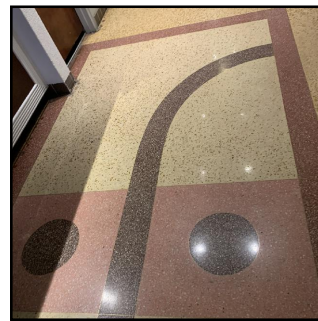
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1 HISTORIC TERRAZO FLOORING



2 HISTORIC TERRAZO FLOORING



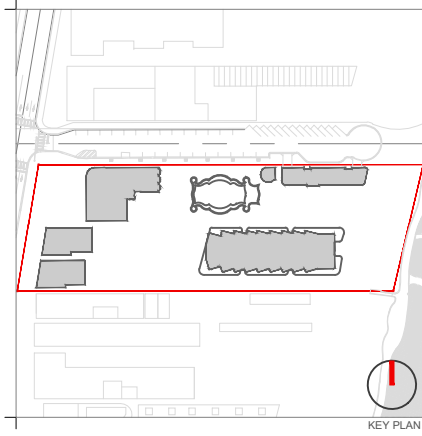
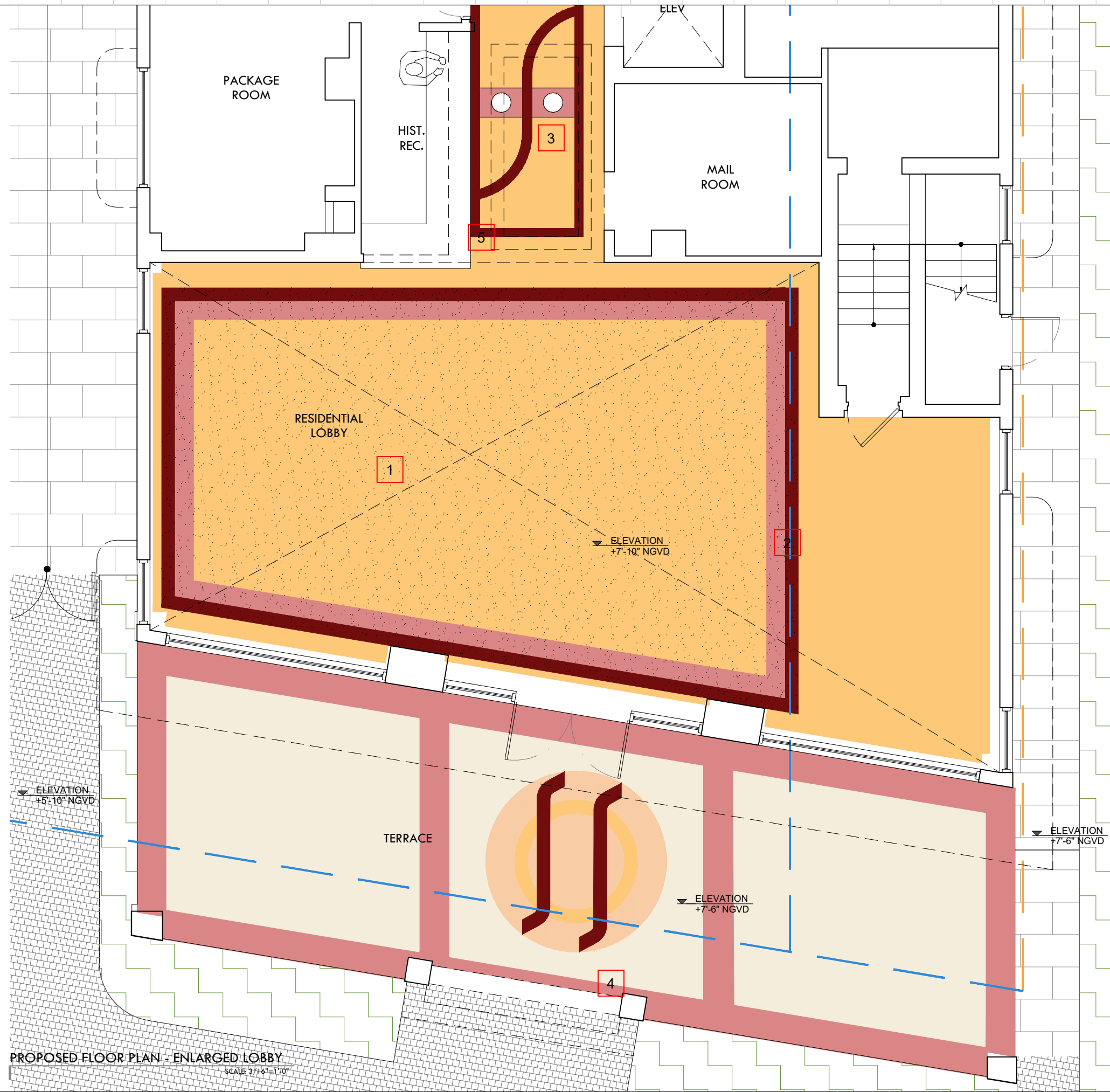
3 HISTORIC TERRAZO FLOORING



4 HISTORIC TERRAZO FLOORING



5 HISTORIC TERRAZO FLOORING



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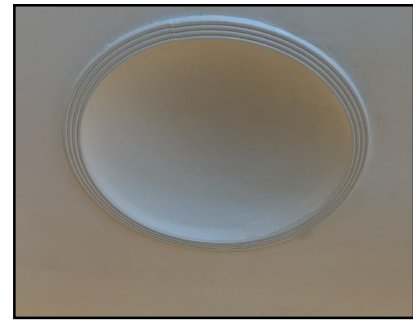
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Scale	AS SHOWN	B3-A6.02
Project	1901	



1 HISTORIC LIGHT COVE



2 HISTORIC MILLWORK RECEPTION DESK



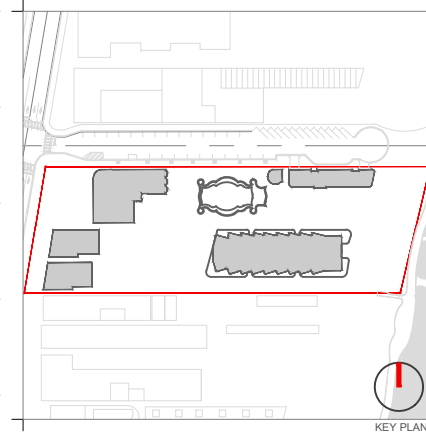
3 HISTORIC RECEPTION DROP-CEILING FEATURE



4 HISTORIC TERRAZO FLOORING AND BASEBOARD

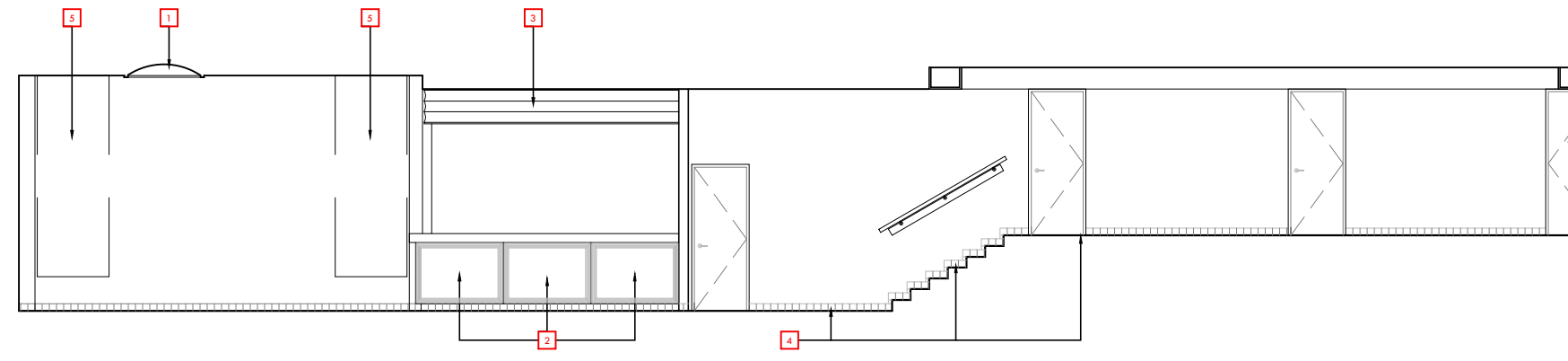


5 HISTORIC WINDOW COVERED

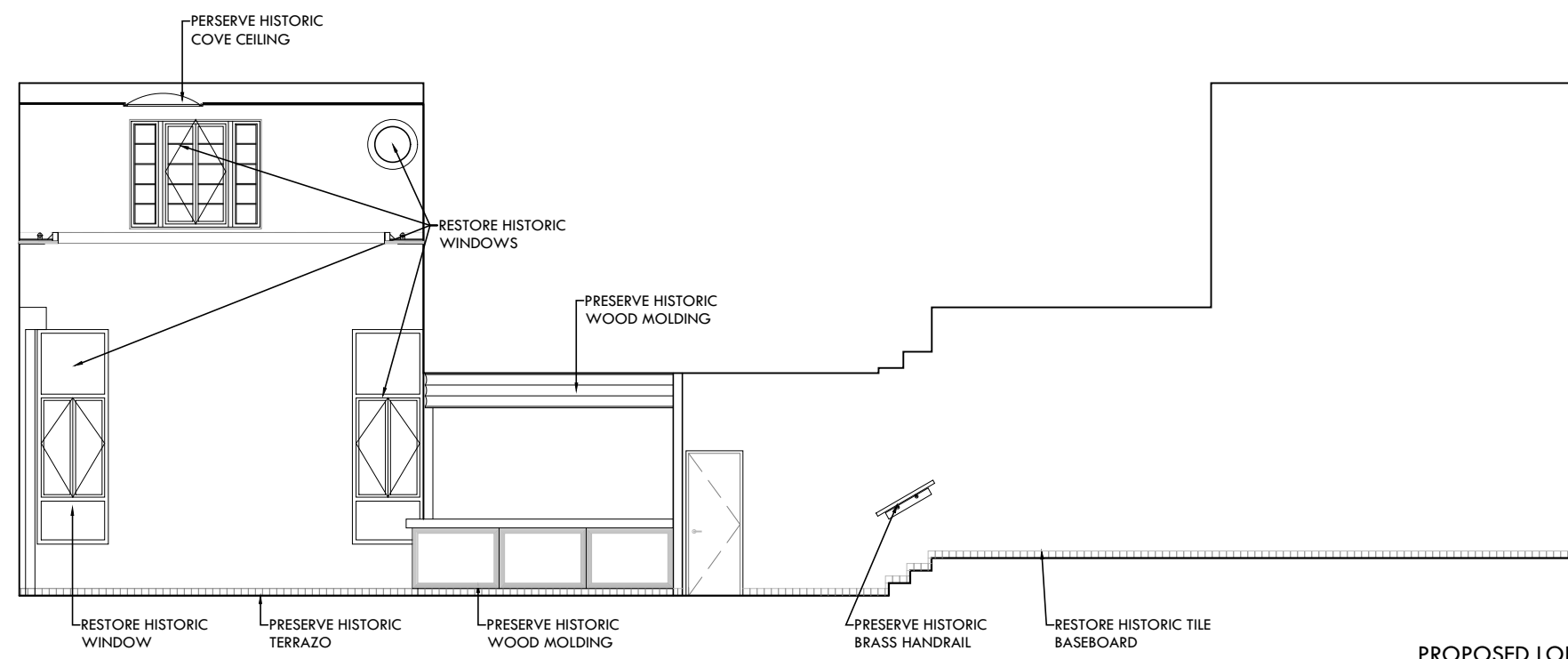


Rev.	Date	Rev.	Date

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EXISTING/ DEMO LOBBY ELEVATION - NORTH
SCALE: 1/8"=1'-0"



PROPOSED LOBBY ELEVATION - NORTH
SCALE: 1/8"=1'-0"

RALEIGH, RICHMOND & SOUTH SEAS
1775-1757-1751 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

Owner: BSD RALEIGH PROPCO LLC C/O SHVO
Name: BSD RALEIGH PROPCO LLC C/O SHVO
Address: 745 FIFTH AVENUE
New York, NY 10151
Tel: 212.380.2100
Email: info@shvo.com

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Consultant:
Name:
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Architect of Record:
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HISTORIC LOBBY
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-A6.03
Scale	AS SHOWN		
Project	1901		



1 HISTORIC LIGHT COVE



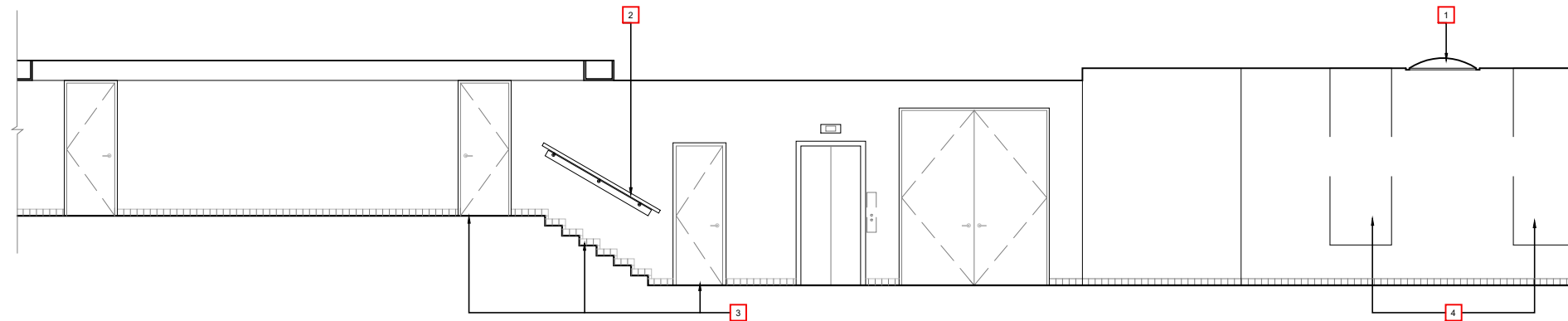
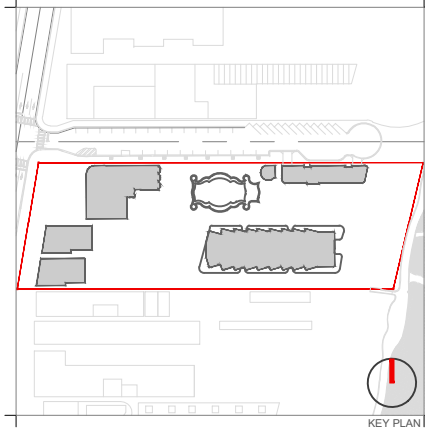
2 FURTHER INVESTIGATE IF STONE AT DESK IS HISTORIC



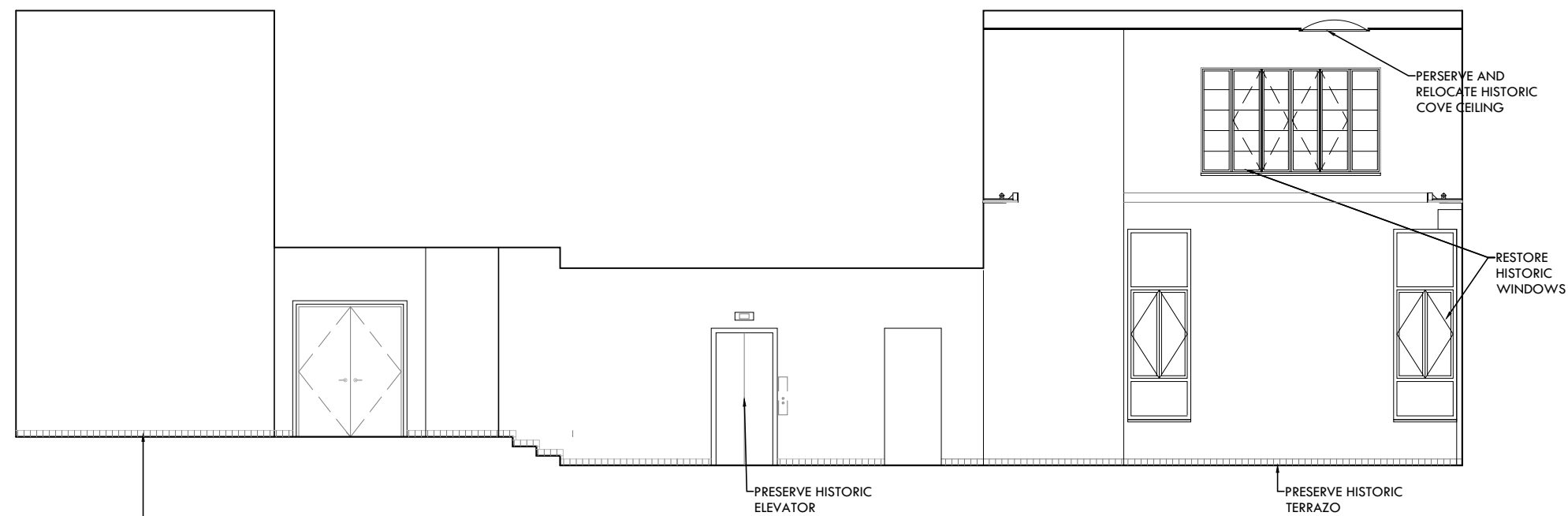
3 EXISTING WOOD PANELING



4 HISTORIC TERRAZZO FLOORING AND BASEBOARD



EXISTING/ DEMO LOBBY ELEVATION - SOUTH
SCALE: 1/8"=1'-0"



PROPOSED LOBBY ELEVATION - SOUTH
SCALE: 1/8"=1'-0"

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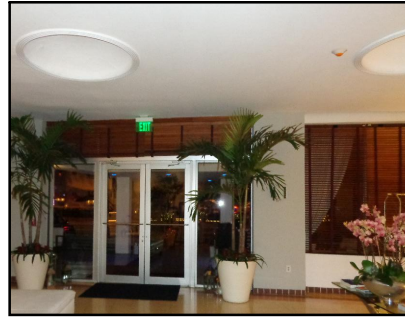
Consultant:
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HISTORIC LOBBY
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-A6.04
Scale	AS SHOWN		
Project	1901		



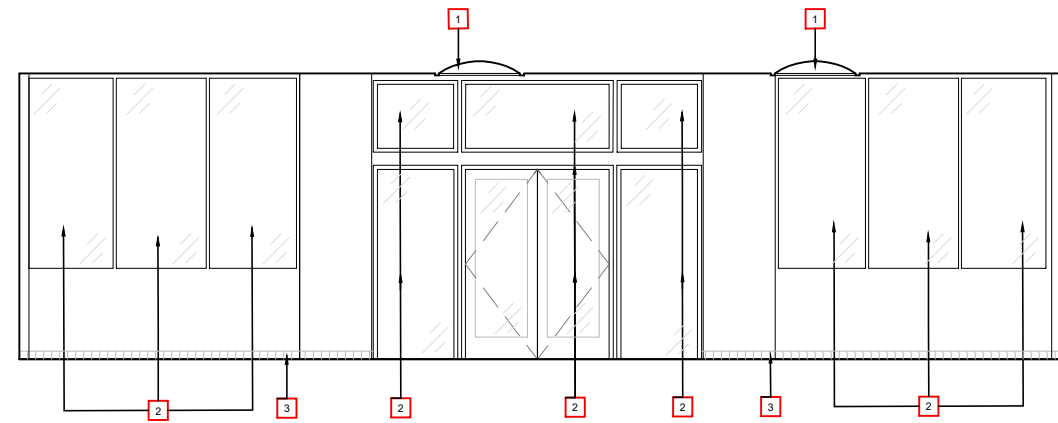
1 HISTORIC CEILING FEATURE



2 HISTORIC WINDOWS AND DOORS



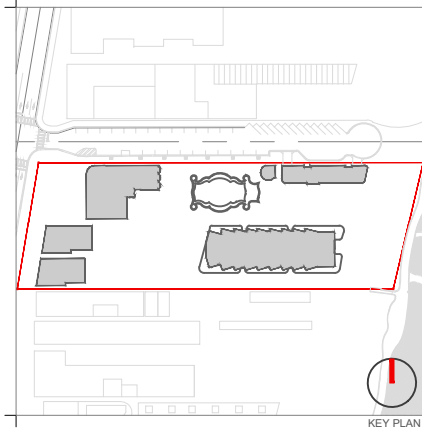
3 HISTORIC TERRAZZO FLOORING AND BASEBOARD



EXISTING/ DEMO LOBBY ELEVATION - WEST
SCALE: 1/8"=1'-0"



PROPOSED LOBBY ELEVATION - WEST
SCALE: 1/8"=1'-0"



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Lic. # AR0012578



HISTORIC LOBBY
THE SOUTH SEAS

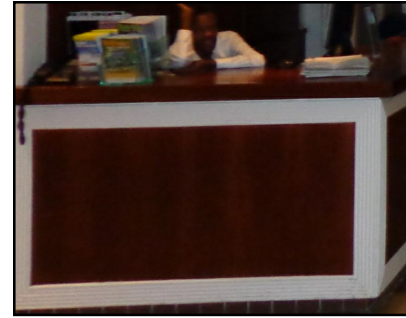
Date	APRIL 06, 2020	Sheet No.	B3-A6.05
Scale	AS SHOWN		
Project	1901		



1 HISTORIC LIGHT COVE



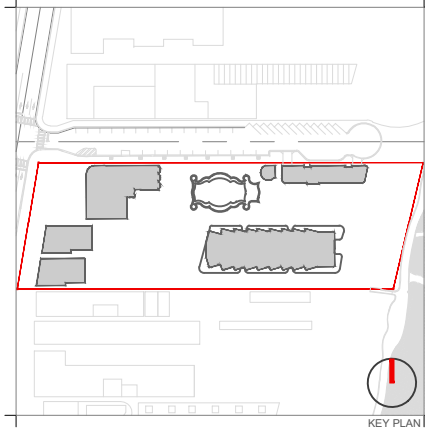
2 FURTHER INVESTIGATE IF STONE AT DESK IS HISTORIC



3 EXISTING WOOD PANELING

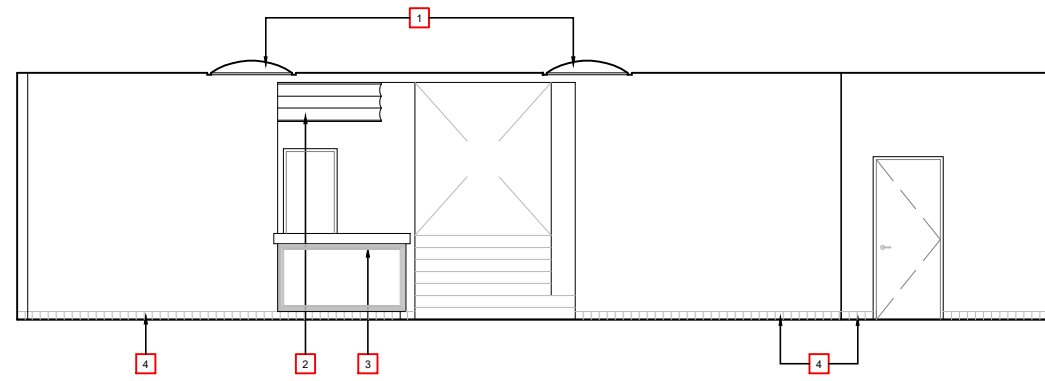


4 HISTORIC TERRAZO FLOORING AND BASEBOARD

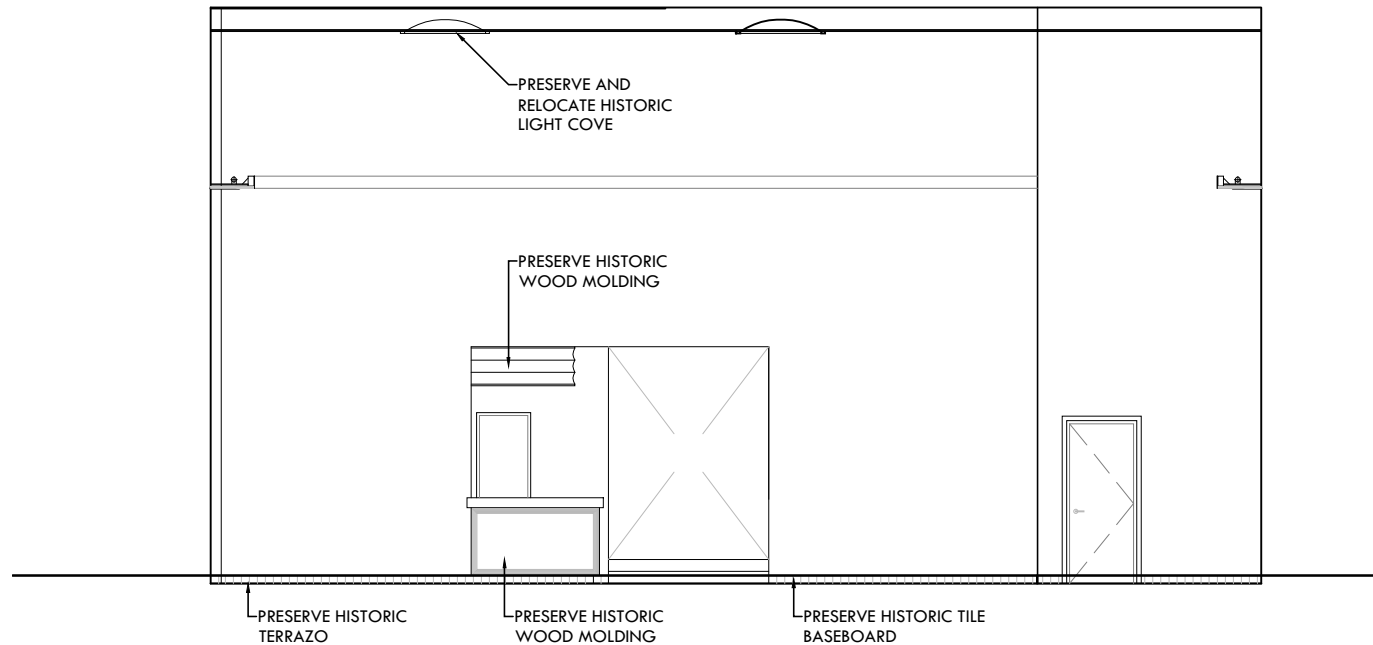


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EXISTING/ DEMO LOBBY ELEVATION - EAST
SCALE: 1/8"=1'-0"



PROPOSED LOBBY ELEVATION - EAST
SCALE: 1/8"=1'-0"

RALEIGH, RICHMOND & SOUTH SEAS
1775-1757-1751 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

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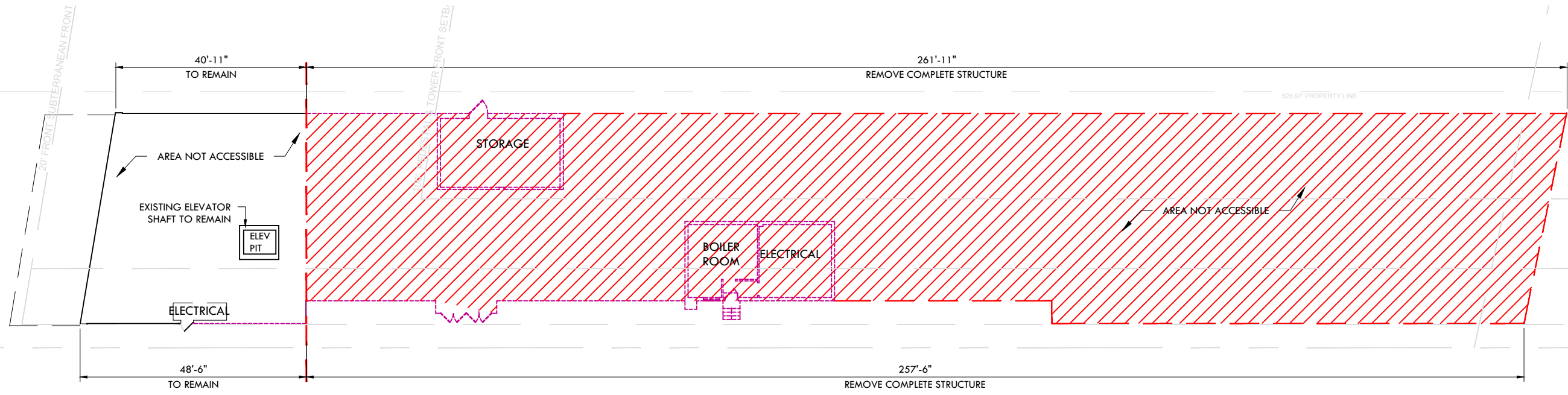
Consultant:
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Architect of Record:
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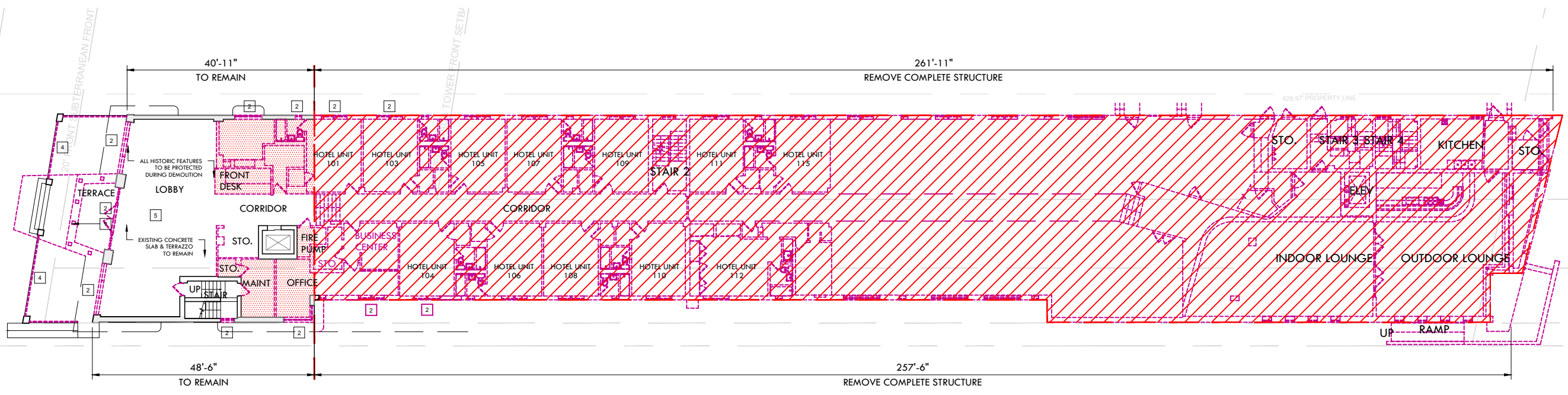


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Lic. # AR0012578
HISTORIC LOBBY
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-A6.06
Scale	AS SHOWN		
Project	1901		



DEMO FLOOR PLAN - LEVEL 0
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 1
SCALE: N.T.S.

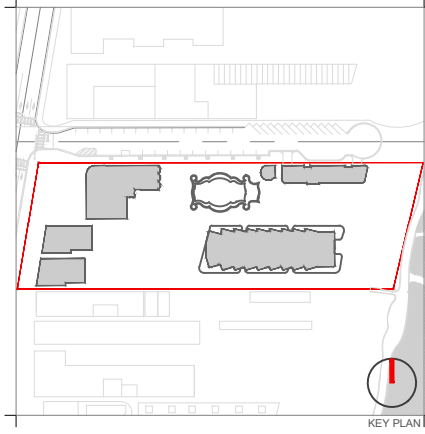
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
| 2 EXISTING DOOR / WINDOW TO BE REPLACED | 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED | 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN |
| 3 EXISTING CMU BLOCK TO BE REMOVED | 6 EXISTING DOOR / WINDOW TO BE REMOVED | 9 EXISTING COLUMNS TO BE REMOVED |
| | | 10 EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- 2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- 3- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.



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RALEIGH, RICHMOND & SOUTH SEAS
1775-1757-1751 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

Owner: BSD RALEIGH PROPCO LLC C/O SHVO
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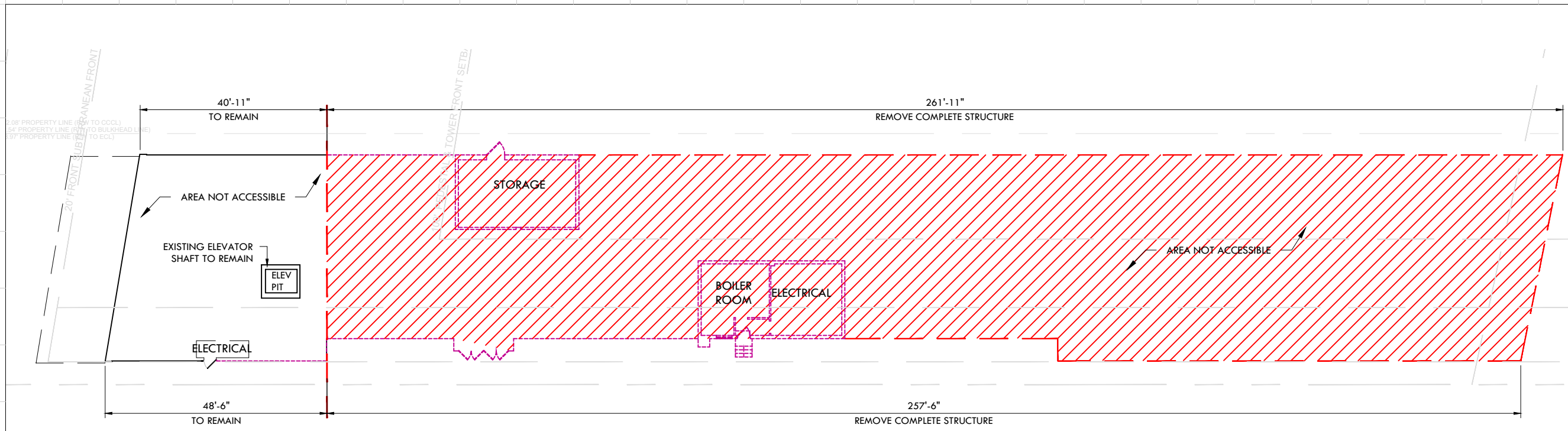
Architect of Record:
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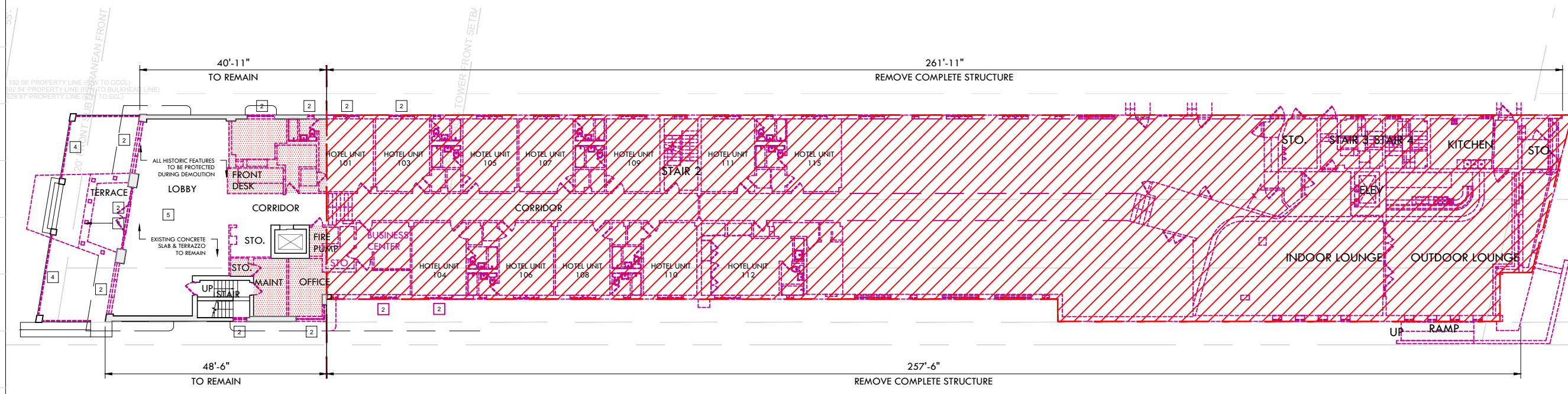
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Lic. # AR0012578

DEMOLITION FLOOR PLAN
THE SOUTH SEAS

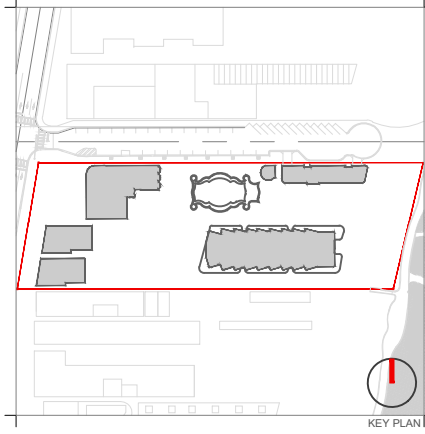
Date	APRIL 06, 2020	Sheet No.
Scale	AS SHOWN	B3-D1.00
Project	1901	



DEMO FLOOR PLAN - LEVEL 0
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 1
SCALE: N.T.S.



Rev.	Date	Rev.	Date

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RALEIGH, RICHMOND & SOUTH SEAS
1775-1757-1751 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

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DEMO FLOOR PLAN
THE SOUTH SEAS

Date	MARCH 16, 2020	Sheet No.	B3-D1.00
Scale	AS SHOWN		
Project	1901		

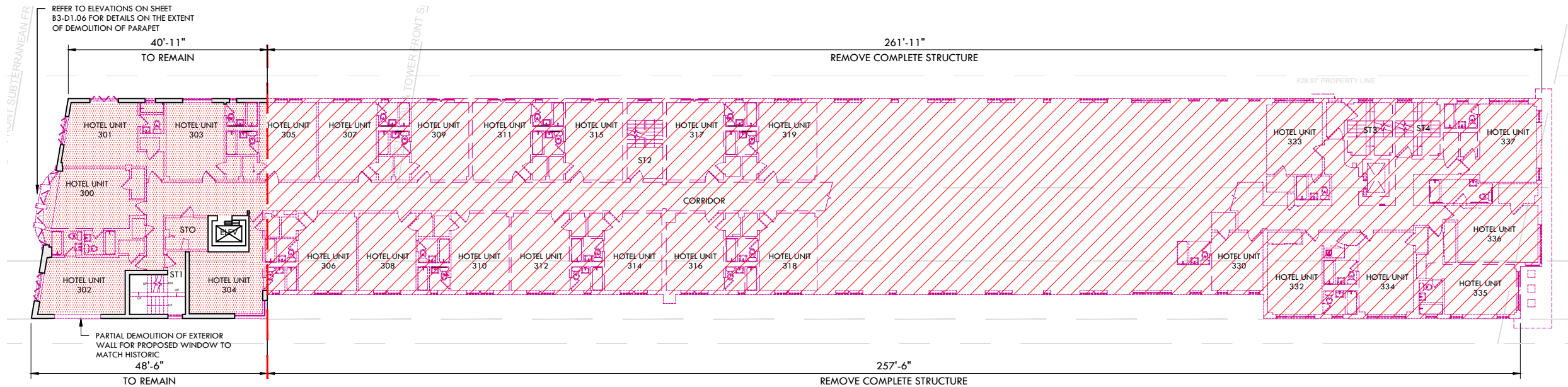
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

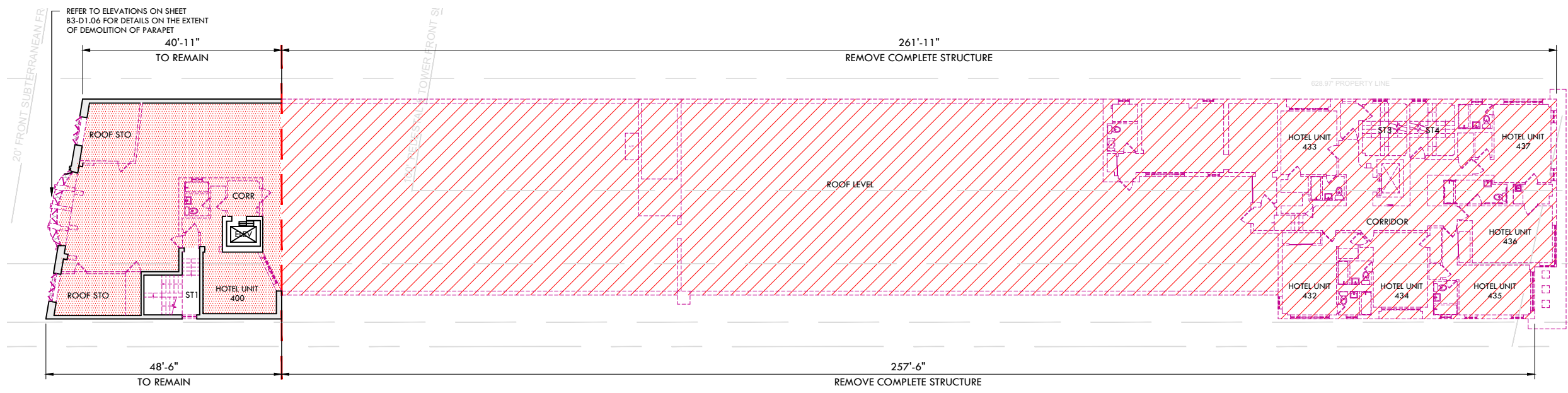
- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
| 2 EXISTING DOOR / WINDOW TO BE REPLACED | 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED | 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN |
| 3 EXISTING CMU BLOCK TO BE REMOVED | 6 EXISTING DOOR / WINDOW TO BE REMOVED | 9 EXISTING COLUMNS TO BE REMOVED |
| | | 10 EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

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DEMO FLOOR PLAN - LEVEL 2-3
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 4
SCALE: N.T.S.

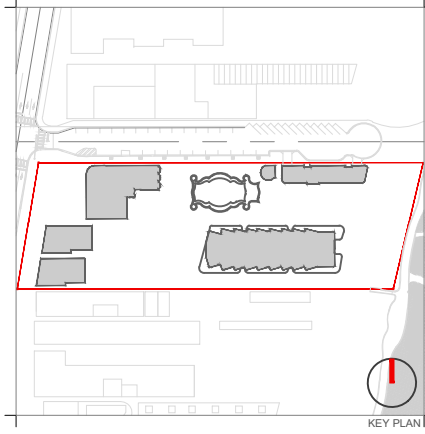
DEMOLITION LEGEND

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- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

- | | | |
|---|---|--|
| <ul style="list-style-type: none"> 1 EXISTING DOOR / WINDOW TO REMAIN 2 EXISTING DOOR / WINDOW TO BE REPLACED 3 EXISTING CMU BLOCK TO BE REMOVED | <ul style="list-style-type: none"> 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED 6 EXISTING DOOR / WINDOW TO BE REMOVED | <ul style="list-style-type: none"> 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN 9 EXISTING COLUMNS TO BE REMOVED 10 EXISTING STEPS TO BE REMOVED |
|---|---|--|

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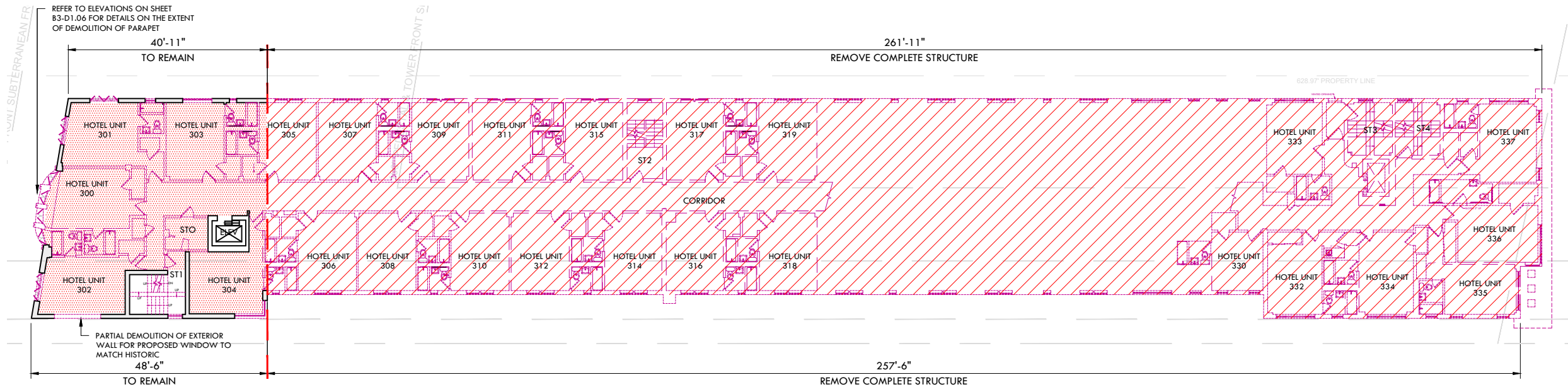
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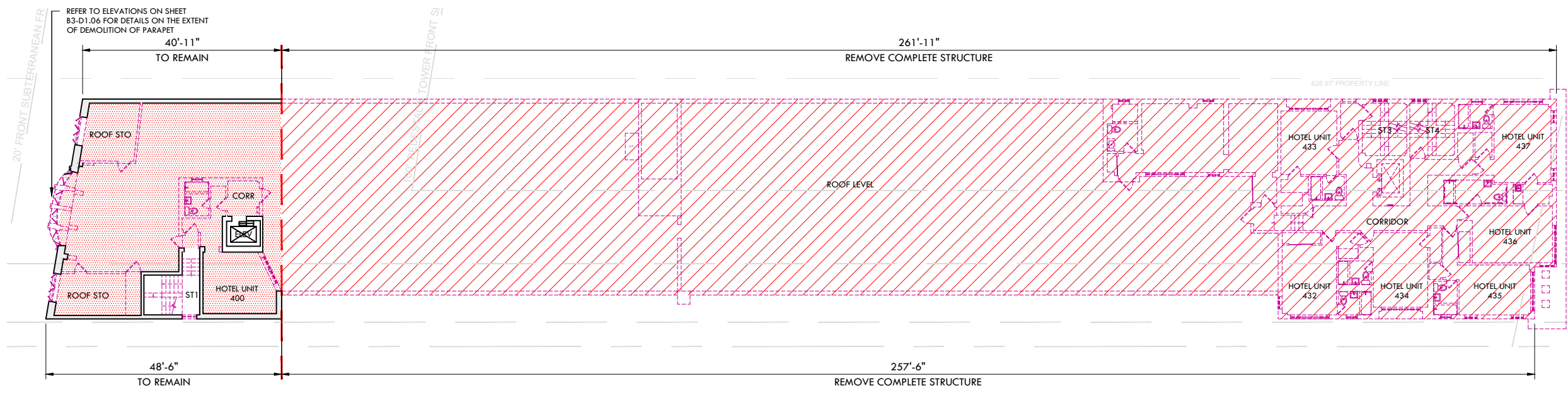
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Lic. # AR0012578

DEMOLITION PLAN
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.
Scale	AS SHOWN	B3-D1.01
Project	1901	



DEMO FLOOR PLAN - LEVEL 2-3
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 4
SCALE: N.T.S.

DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
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| 3 EXISTING CMU BLOCK TO BE REMOVED | 6 EXISTING DOOR / WINDOW TO BE REMOVED | 9 EXISTING COLUMNS TO BE REMOVED |
| | | 10 EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- 2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- 3- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.

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Address:
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Consultant:
Name:
Address:
Address:
Tel:
Email:

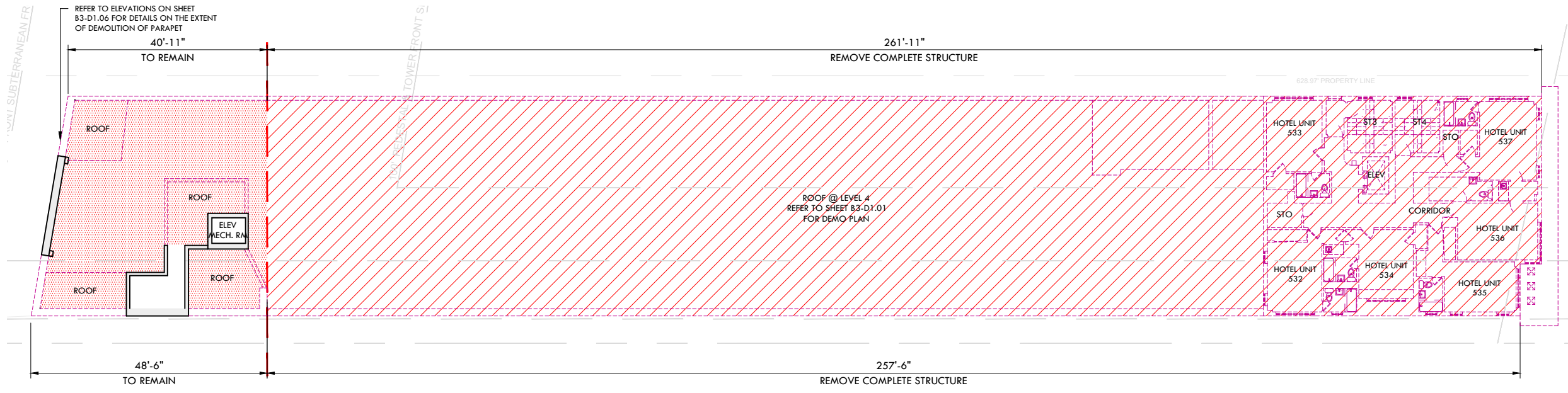
Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
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Fax: +1(305) 573 3766



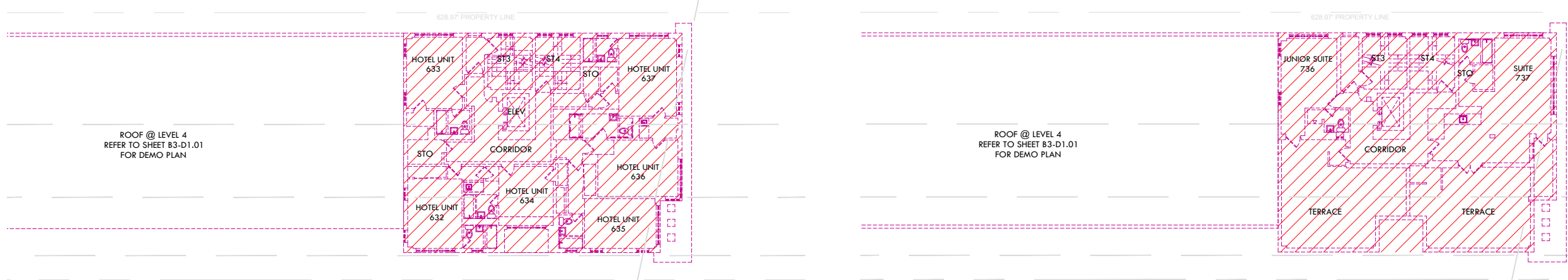
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DEMOLITION FLOOR PLAN
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-D1.01
Scale	AS SHOWN		
Project	1901		



DEMO FLOOR PLAN - LEVEL 5
SCALE: N.T.S.



DEMO FLOOR PLAN - LEVEL 6
SCALE: N.T.S.

DEMO FLOOR PLAN - LEVEL 7
SCALE: N.T.S.

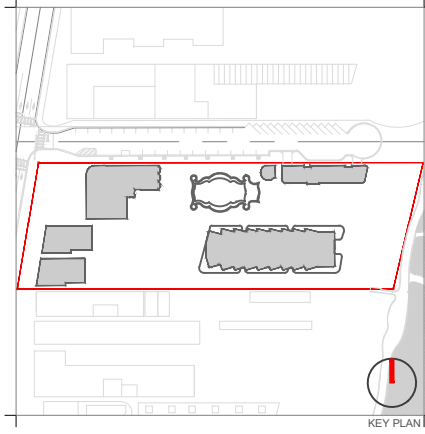
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
| 2 EXISTING DOOR / WINDOW TO BE REPLACED | 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED | 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN |
| 3 EXISTING CMU BLOCK TO BE REMOVED | 6 EXISTING DOOR / WINDOW TO BE REMOVED | 9 EXISTING COLUMNS TO BE REMOVED |
| | | 10 EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

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1775-1757-1751 COLLINS AVE
MIAMI BEACH, FLORIDA 33139

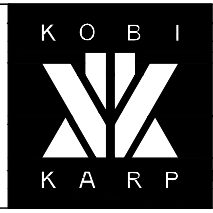
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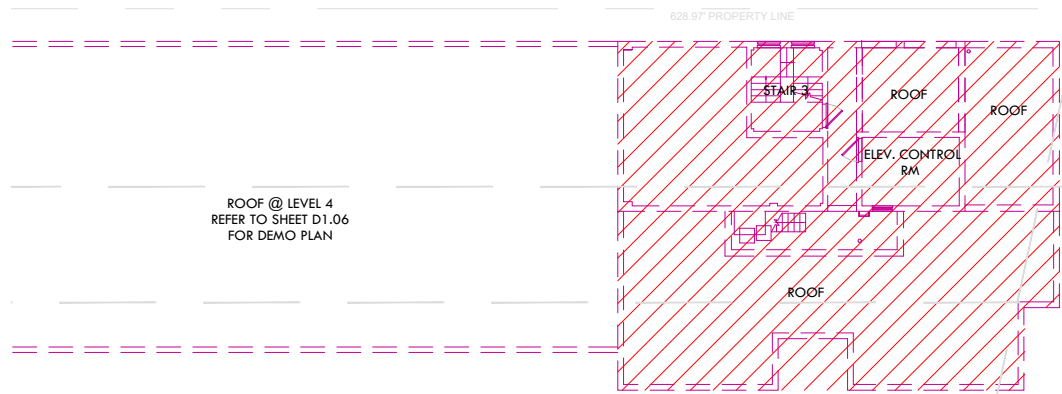
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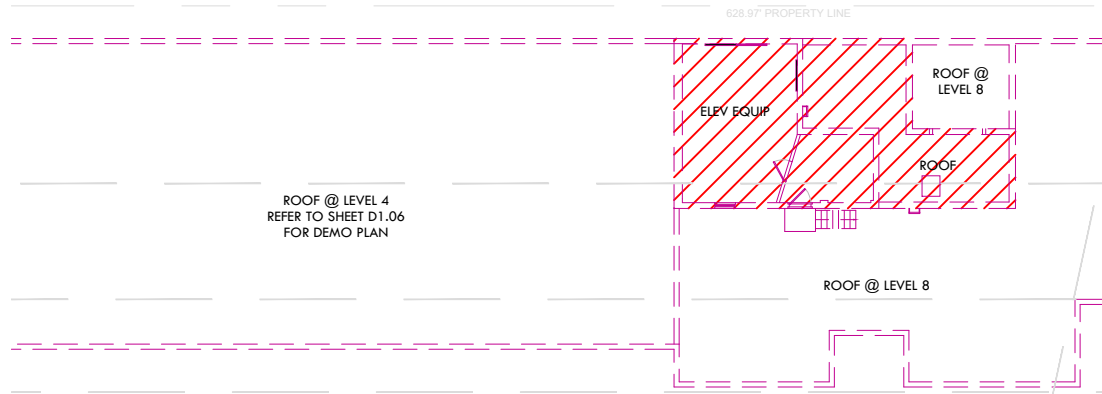
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Lic. # AR0012578

DEMOLITION FLOOR PLAN
THE SOUTH SEAS

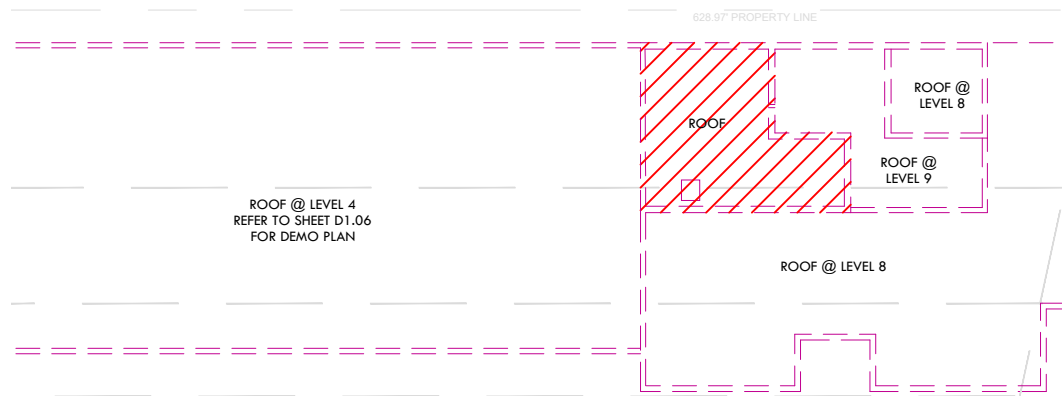
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Scale	AS SHOWN		
Project	1901		



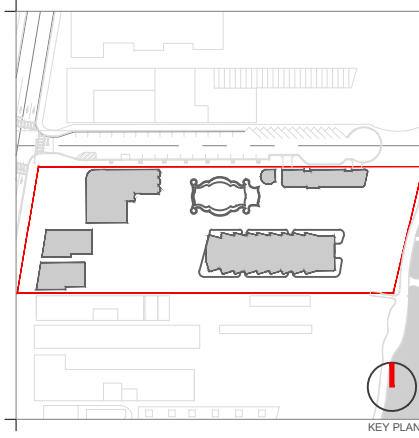
1 DEMO FLOOR PLAN - LEVEL 8
SCALE: N.T.S.



1 DEMO FLOOR PLAN - LEVEL 9
SCALE: N.T.S.



1 DEMO FLOOR PLAN - ROOF LEVEL
SCALE: N.T.S.



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DEMO FLOOR PLAN
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-D1.03
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Project	1901		

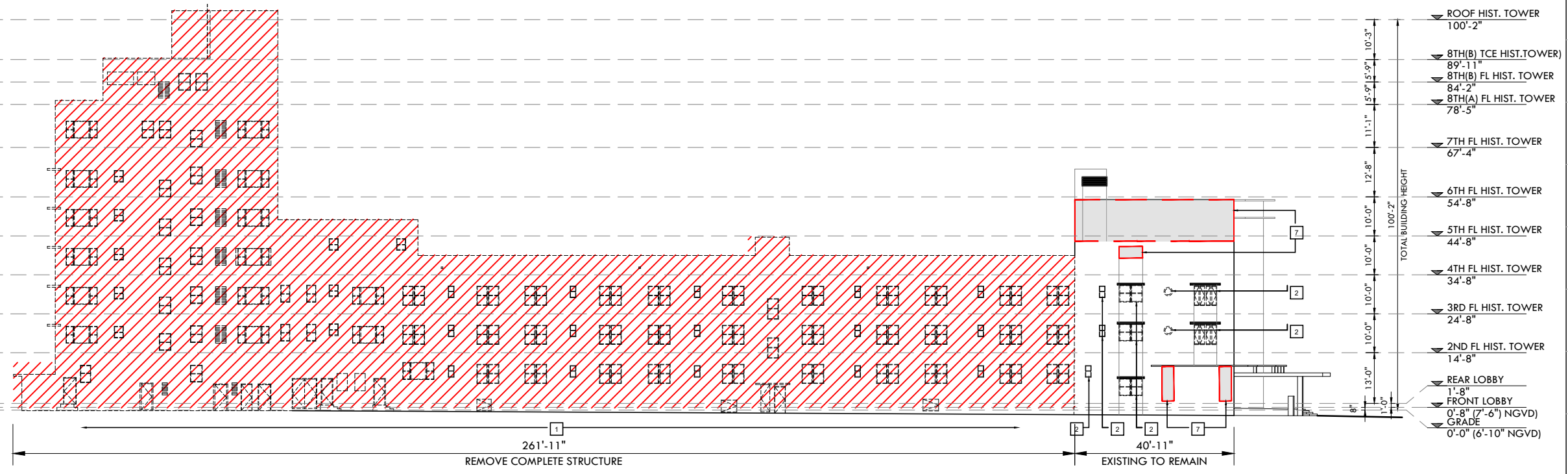
DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS & SLAB ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING TO BE REMOVED

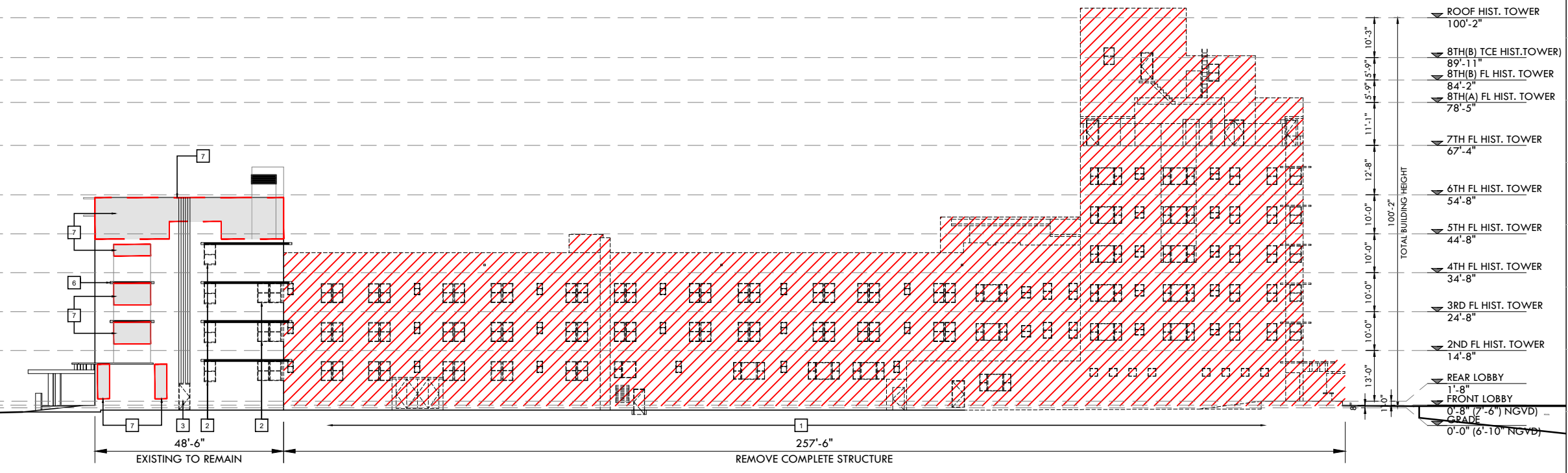
- | | | |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
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| 3 EXISTING CMU BLOCK TO BE REMOVED | 6 EXISTING DOOR / WINDOW TO BE REMOVED | 9 EXISTING COLUMNS TO BE REMOVED |
| | | 10 EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

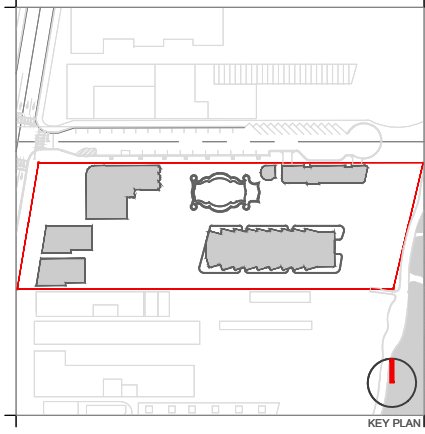
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DEMO ELEVATION - NORTH
SCALE: 1/32" = 1'-0"



DEMO ELEVATION - SOUTH
SCALE: 1/32" = 1'-0"



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DEMO ELEVATIONS
THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-D1.04
Scale	AS SHOWN		
Project	1901		

DEMOLITION LEGEND

	EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
	EXISTING EXTERIOR WALL TO BE REMOVED
	NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

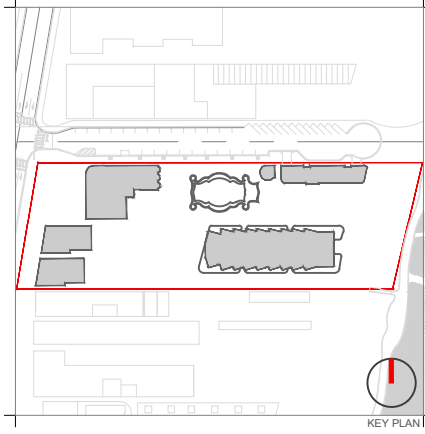
- DEMOLISH AND REMOVE EXISTING STRUCTURE IN ITS ENTIRETY. INCLUSIVE OF BUT NOT LIMITED TO: ROOFING AND ROOF STRUCTURE, ALL EXTERIOR AND INTERIOR WALLS, ALL NON ORIGINAL PLUMBING FIXTURES AND SYSTEMS, MECHANICAL SYSTEMS, ELECTRICAL WIRING AND SYSTEMS, STRUCTURAL ELEMENTS INCLUDING COLUMNS, FLOOR FRAMING AND FOUNDATIONS, FINISHES, ETC.
- REMOVE EXISTING STOREFRONT, WINDOWS AND FRAMES. REPLACE WITH NEW IMPACT RESISTANT TO MATCH HISTORIC WINDOWS. ALL GLAZING, COLORS, MULLIONS AND PROFILES TO MATCH HISTORIC.
- EXISTING WINDOW OR DOOR TO BE REMOVED
- REMOVE PORTION OF WALL. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.
- REMOVE NON HISTORIC CANOPY, COLUMNS AND RAILING. TO BE RE-CONSTRUCTED TO MATCH HISTORIC.

DEMOLITION GENERAL NOTES

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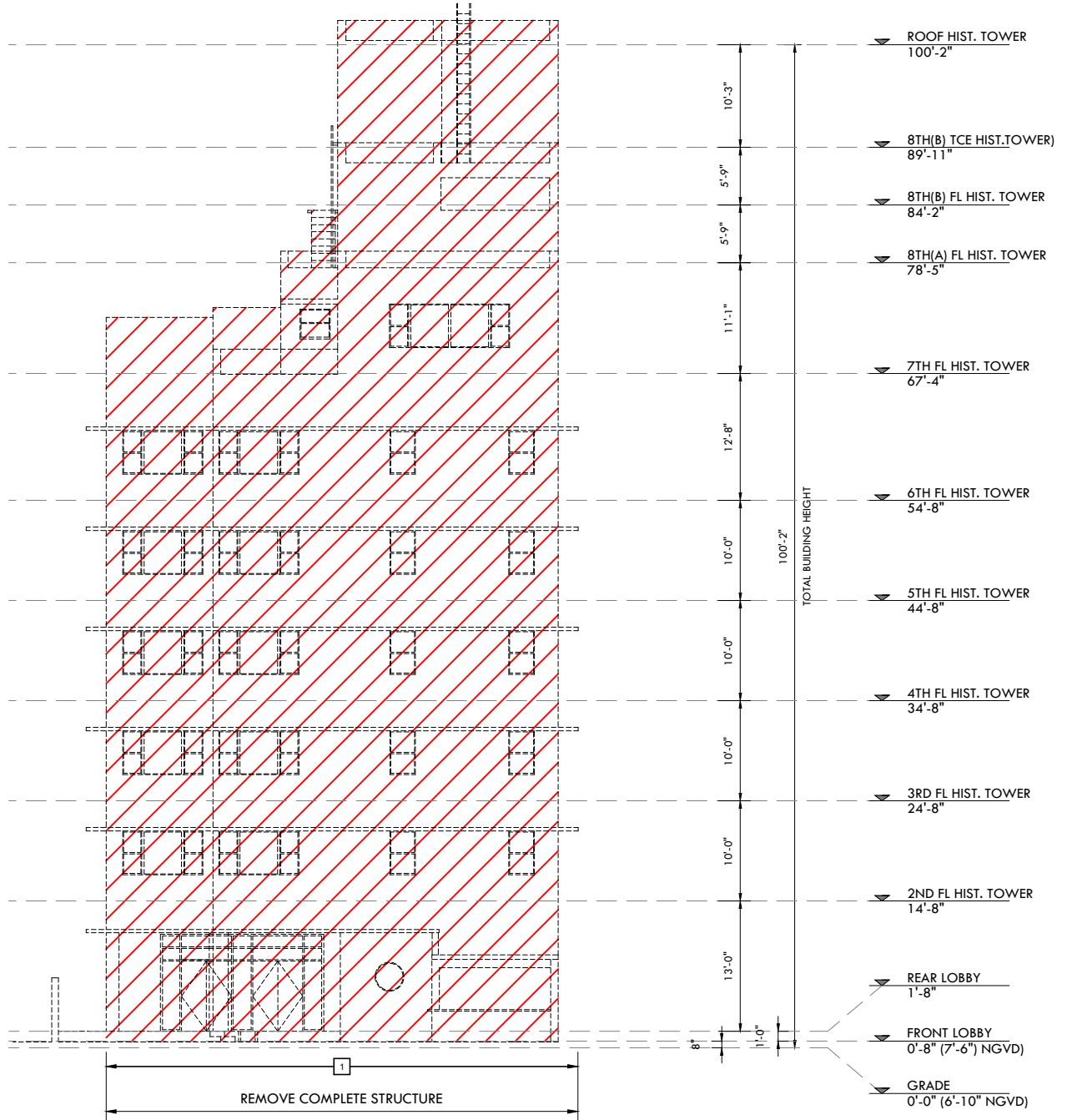
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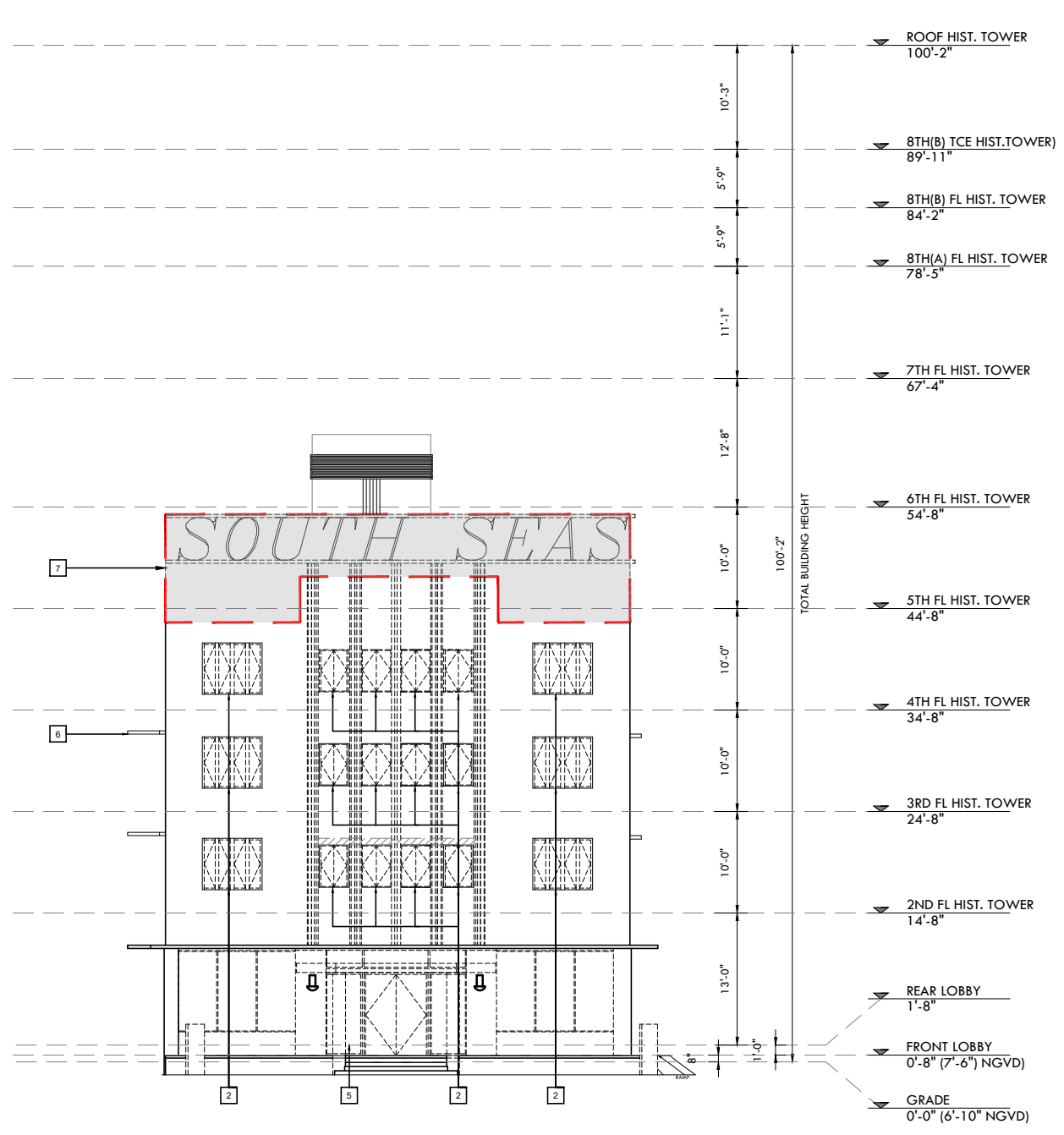
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DEMO ELEVATIONS
 THE SOUTH SEAS

Date	APRIL 06, 2020	Sheet No.	B3-D1.05
Scale	AS SHOWN		
Project	1901		



DEMO ELEVATION - EAST
 SCALE: 1/16"=1'-0"



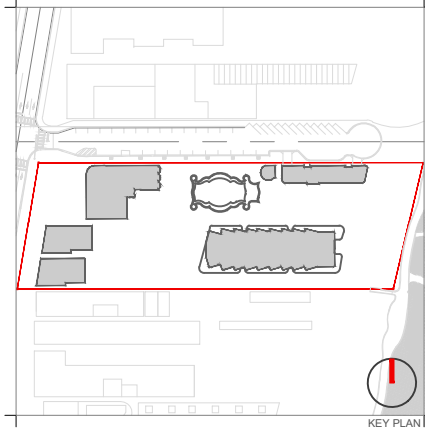
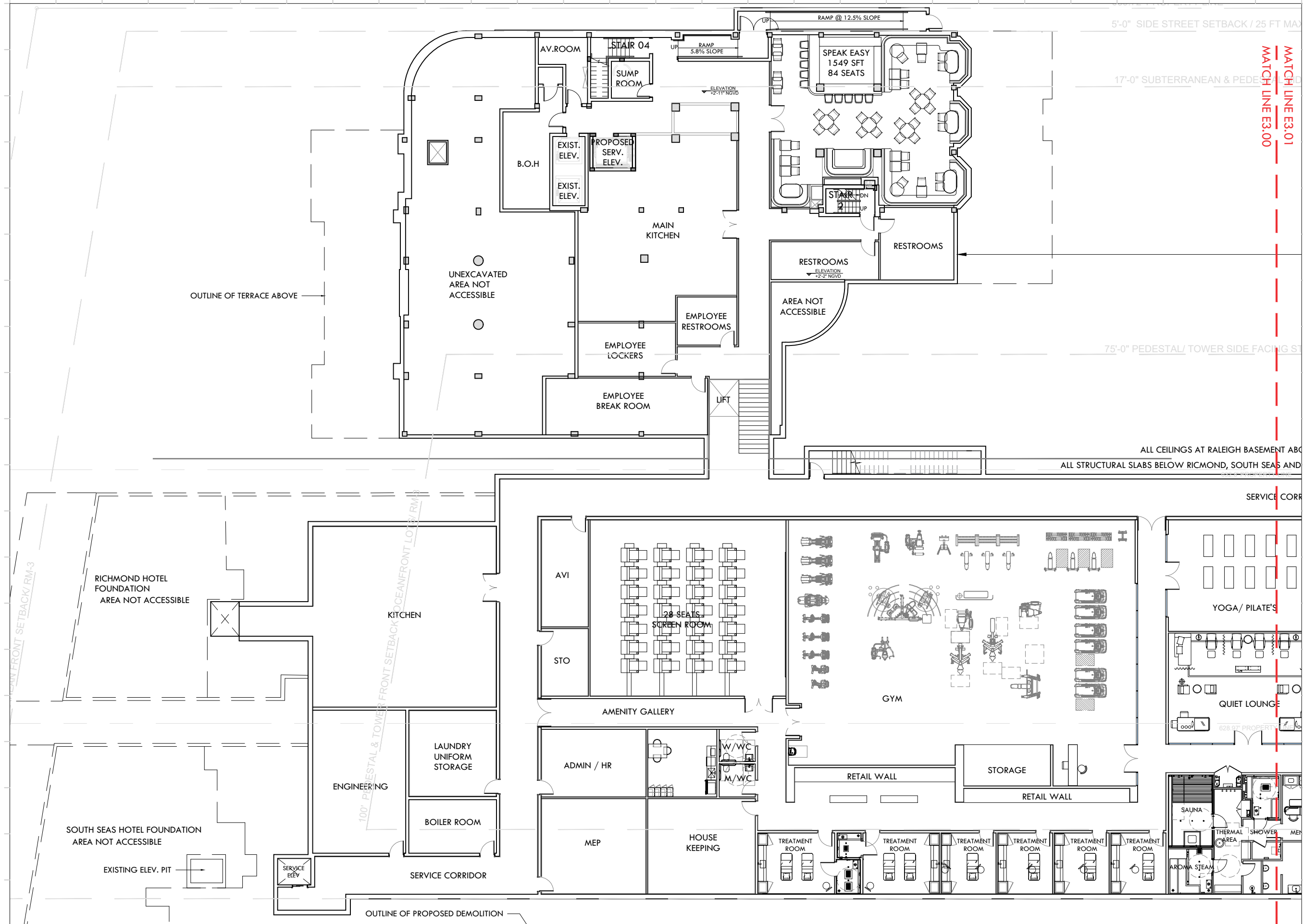
DEMO ELEVATION - WEST
 SCALE: 1/16"=1'-0"

DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR ONLY
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE
- EXISTING WALL TO BE REMOVED
- PREVIOUSLY APPROVED DEMOLITION
- NEW REQUEST DEMOLITION
- 1 EXISTING DOOR / WINDOW TO REMAIN
- 2 EXISTING DOOR / WINDOW TO BE REPLACED
- 3 EXISTING CMU BLOCK TO BE REMOVED
- 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA
- 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED
- 6 COUNTERTOPS/ BARS TO REMAIN
- 7 GLASS BLOCK TO BE REMOVED
- 8 DOOR TO BE REMOVED
- 9 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
- 10 REMOVE PORTIONS OF WALL FOR NEW DESIGN

DEMOLITION GENERAL NOTES

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ENLARGED FLOOR PLAN
LEVEL 0

Date	APRIL 06, 2020	Sheet No.	B4-A3.00
Scale	AS SHOWN		
Project	1901		

ENLARGED FLOOR PLAN - LEVEL 0
 SCALE: 1"=20'-0"

25 FT MAX HEIGH DETACHED ADDITION / RM-3

DEVELOPER SIDE STREET SETBACK/ RM-3

MATCH LINE E3.01
MATCH LINE E3.00

199'-7"

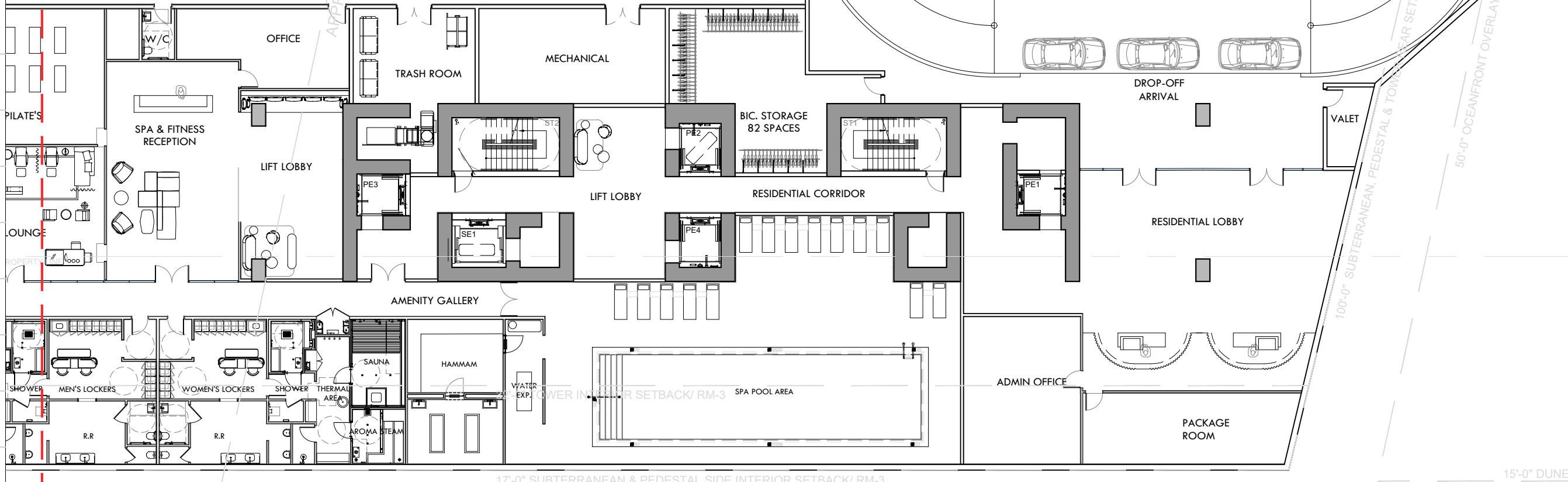
OUTLINE OF EXISTING FOLLY
STRUCTURE @ LEVEL 1

FACING STREET STEBACK/ OCEANFRONT LOTS/ RM-3

BASEMENT ABOVE AVG. GRADE ELEVATION
SOUTH SEAS AND NEW TOWER UNDER AVG. GRADE ELEVATION

SERVICE CORRIDOR

APPROVED COASTAL CONSTRUCTION LINE



17'-0" SUBTERRANEAN & PEDESTAL SIDE INTERIOR SETBACK/ RM-3

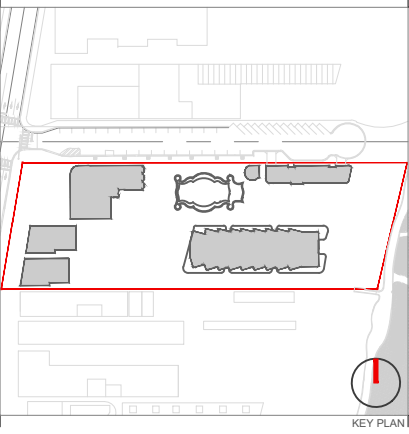
15'-0" DUNE

SERVICE CORRIDOR



13% RAMP

13% RAMP



KEY PLAN

Rev.	Date	Rev.	Date

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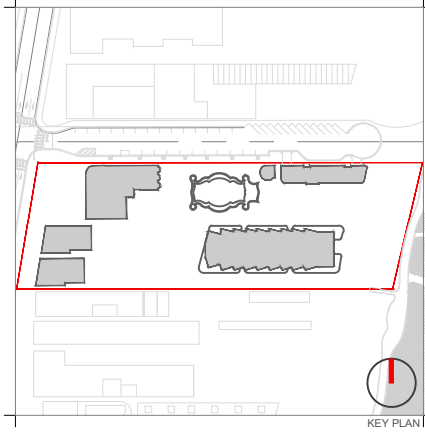
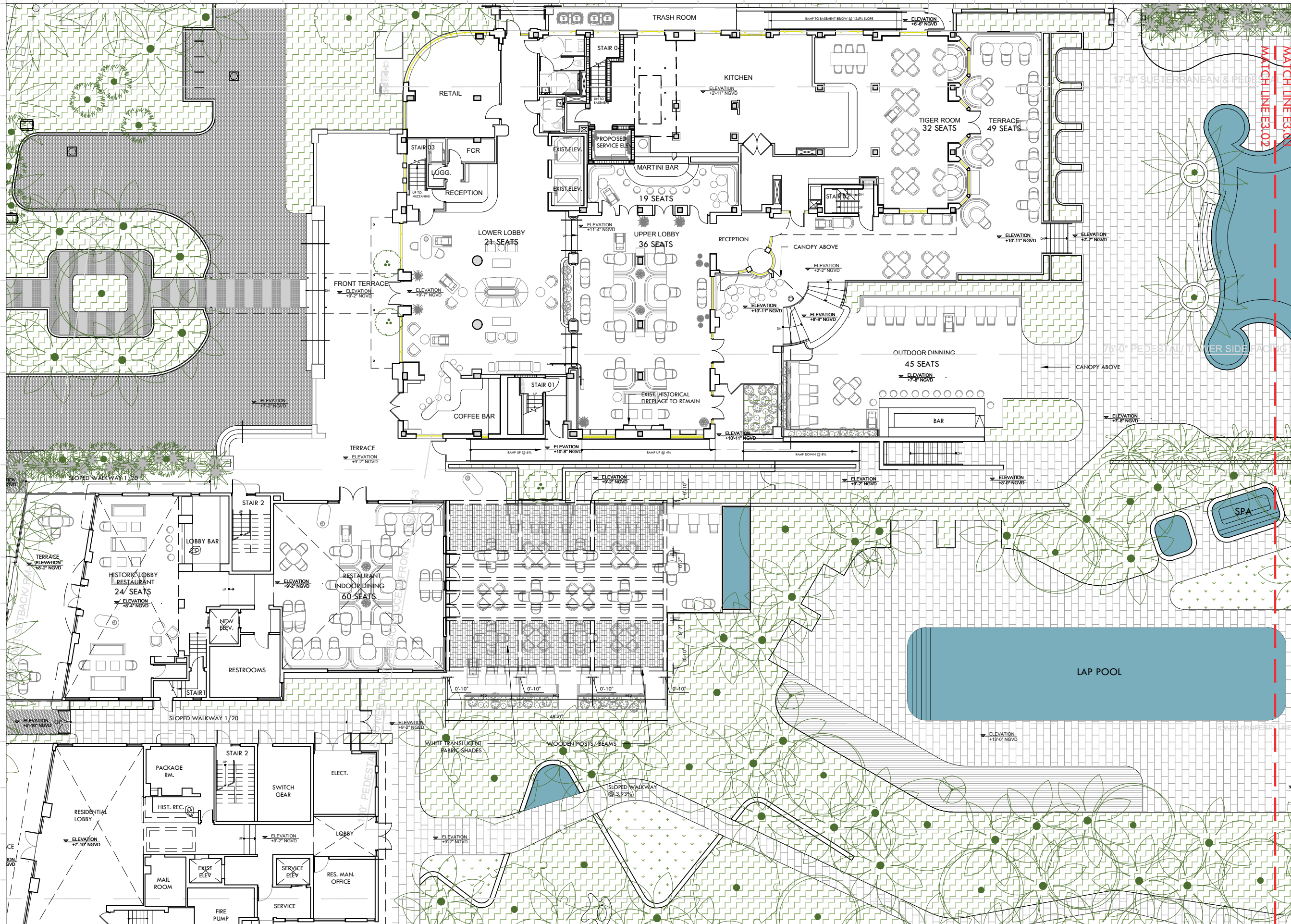
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KOBİ KARP
Lic. # AR0012578
ENLARGED FLOOR PLAN
LEVEL 0

ENLARGED FLOOR PLAN - LEVEL 0
SCALE: 1"=20'-0"

Date	APRIL 06, 2020	Sheet No.	B4-A3.01
Scale	AS SHOWN		
Project	1901		



Rev.	Date	Rev.	Date

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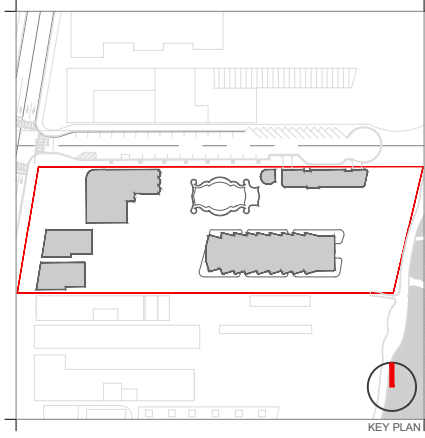
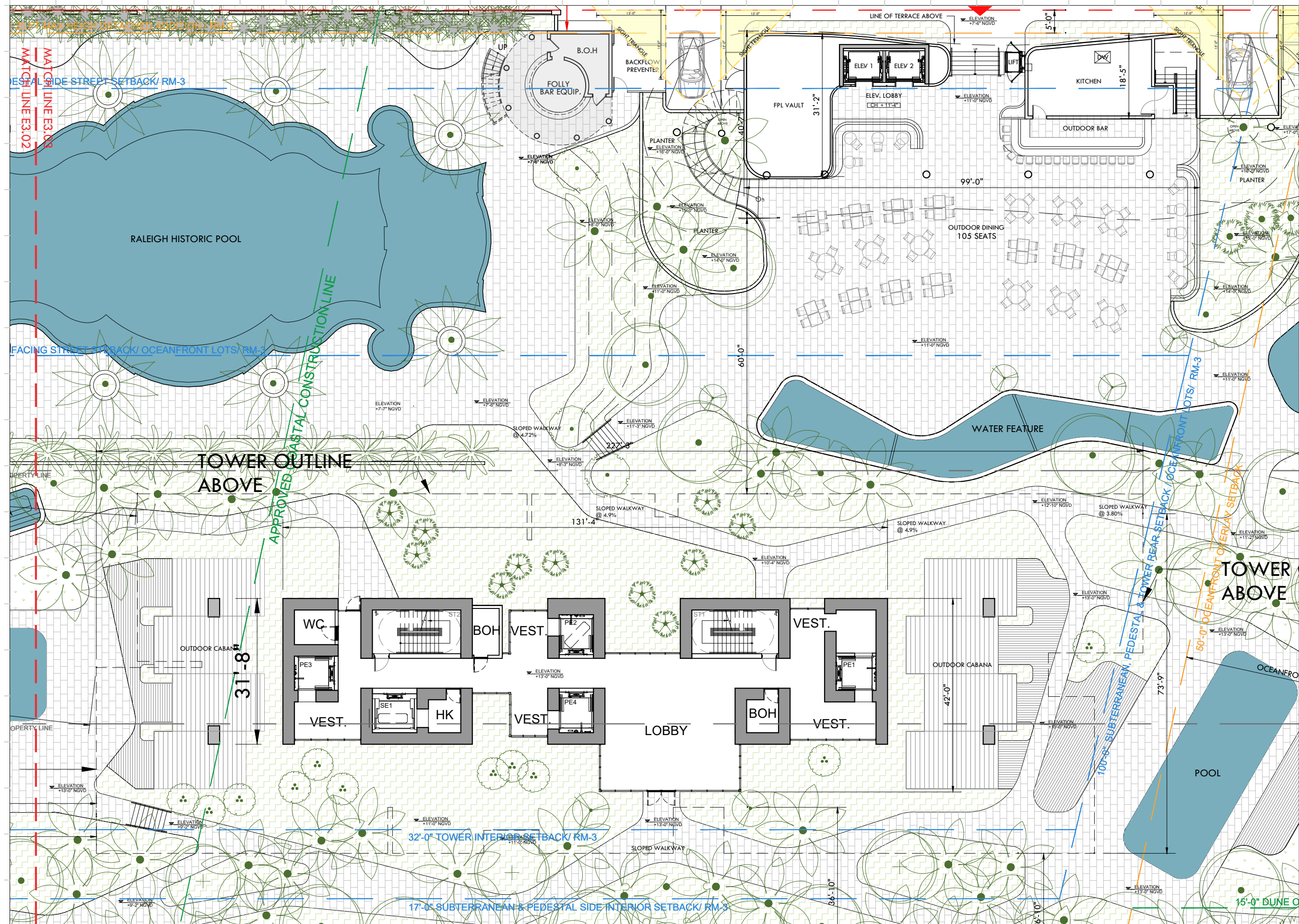


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ENLARGED FLOOR PLAN
LEVEL 1

ENLARGED FLOOR PLAN - LEVEL 1
 SCALE: 1"=20'-0"

Date	APRIL 06, 2020	Sheet No.	B4-A3.02
Scale	AS SHOWN		
Project	1901		



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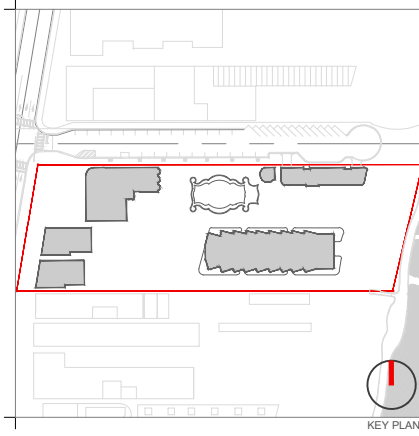


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ENLARGED FLOOR PLAN
LEVEL 1

Date	APRIL 06, 2020	Sheet No.	
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ENLARGED FLOOR PLAN - LEVEL 1
 SCALE: 1"=20'-0"



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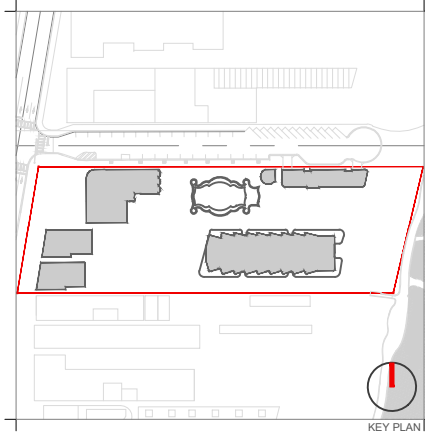
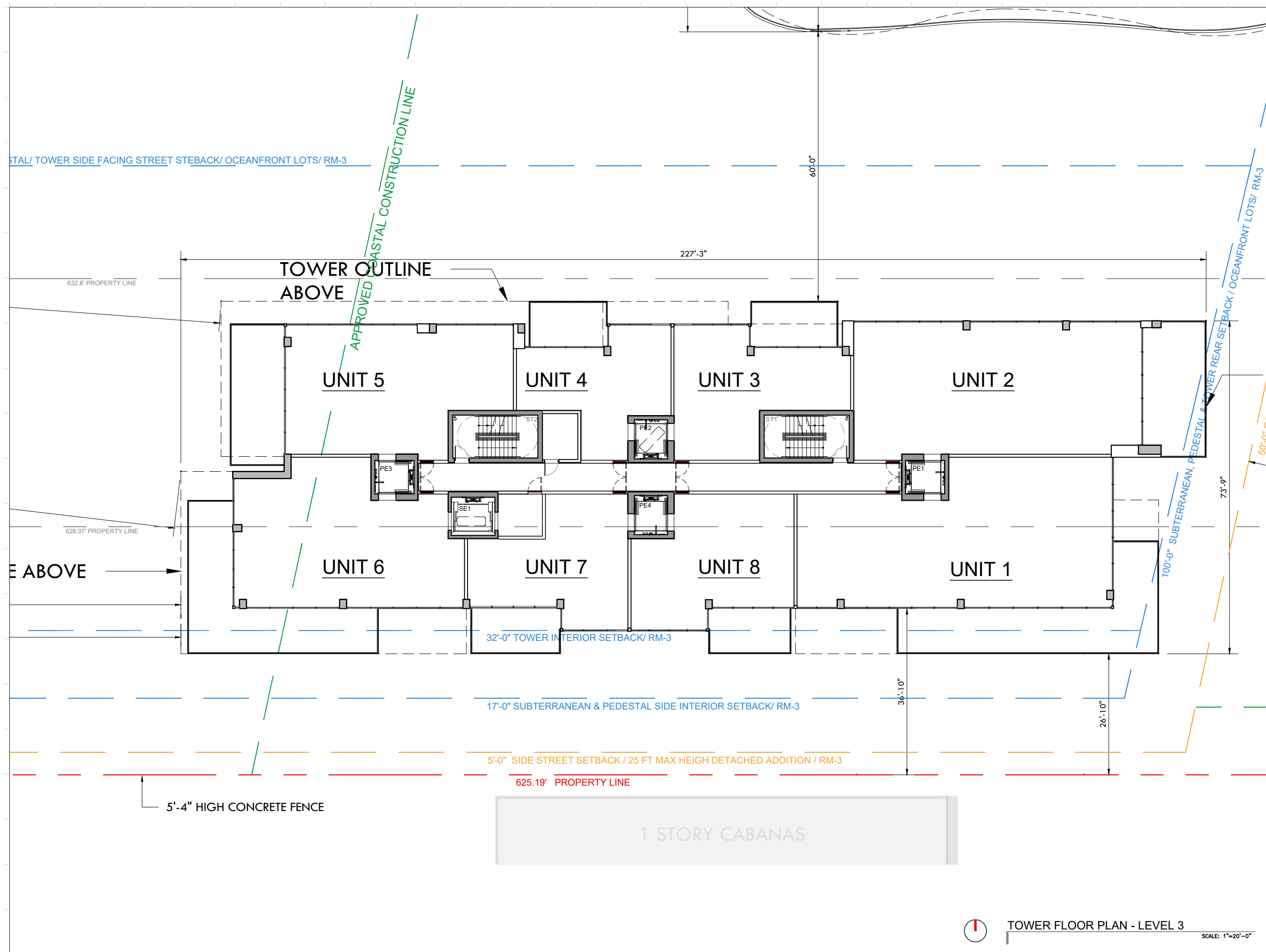
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KOBİ KARP
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TOWER FLOOR PLAN
LEVEL 2

TOWER FLOOR PLAN - LEVEL 2
 SCALE: 1"=20'-0"

Date	APRIL 06, 2020	Sheet No.	B4-A3.04
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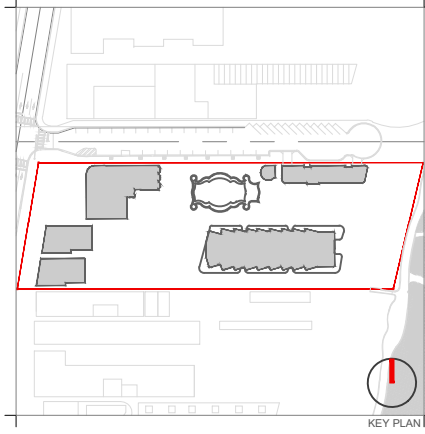
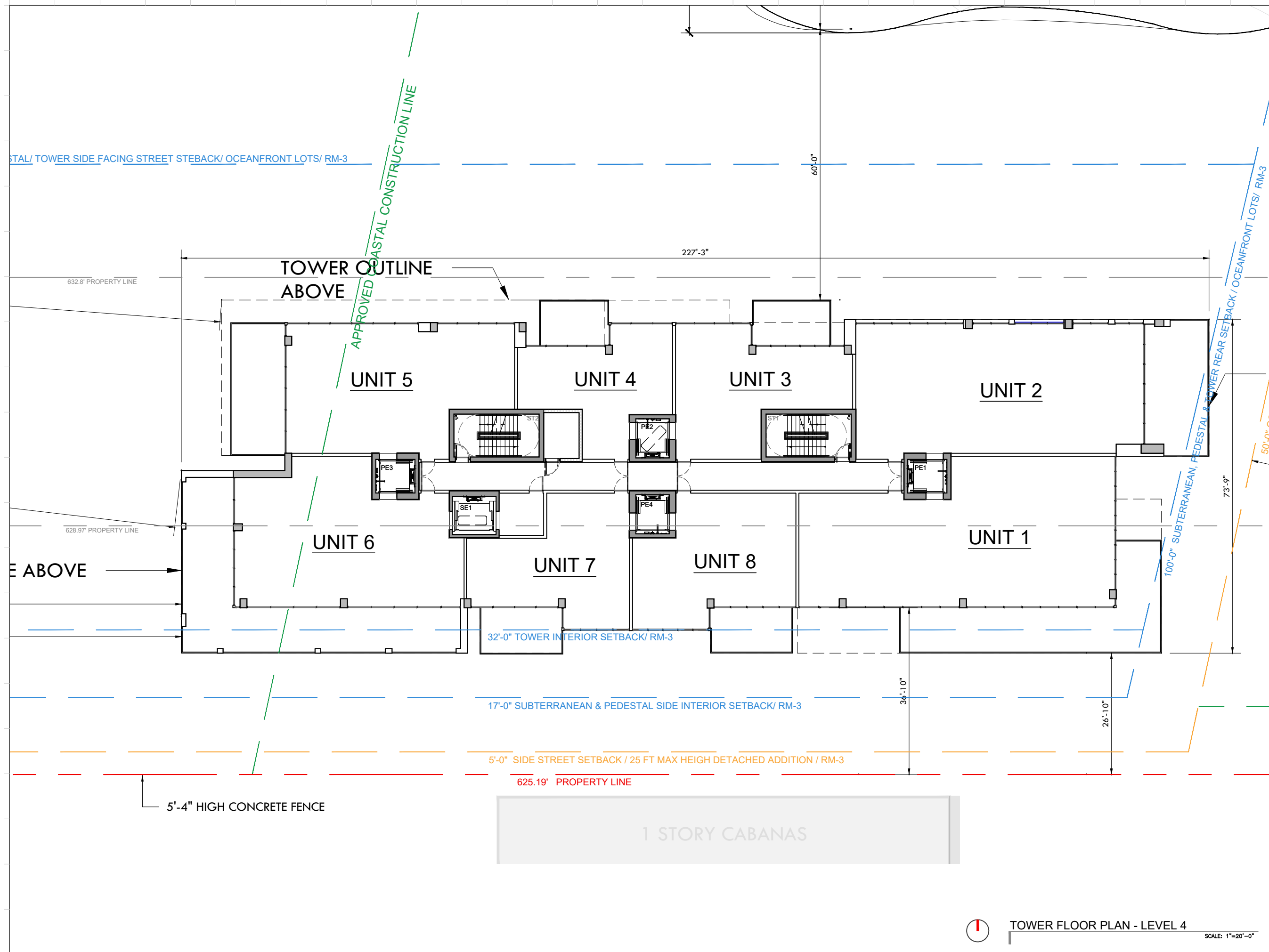
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KOBİ KARP
 Lic. # AR0012578
TOWER FLOOR PLAN
 LEVEL 3

TOWER FLOOR PLAN - LEVEL 3
 SCALE: 1"=20'-0"

Date	APRIL 06, 2020	Sheet No.	B4-A3.05
Scale	AS SHOWN		
Project	1901		



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KOBİ KARP
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TOWER FLOOR PLAN
 LEVEL 4

TOWER FLOOR PLAN - LEVEL 4
 SCALE: 1"=20'-0"

Date	APRIL 06, 2020	Sheet No.	B4-A3.06
Scale	AS SHOWN		
Project	1901		

STAL/ TOWER SIDE FACING STREET STEBACK/ OCEANFRONT LOTS/ RM-3

632.8' PROPERTY LINE

TOWER OUTLINE ABOVE

APPROVED COASTAL CONSTRUCTION LINE

227'-3"

60'-0"

50'-0" OCEANFRONT LOTS/ RM-3

UNIT 5

UNIT 4

UNIT 3

UNIT 2

UNIT 6

UNIT 7

UNIT 8

UNIT 1

E ABOVE

628.9' PROPERTY LINE

32'-0" TOWER INTERIOR SETBACK/ RM-3

100'-0" SUBTERRANEAN, PEDESTAL & TOWER REAR SETBACK/ OCEANFRONT LOTS/ RM-3

73'-9"

17'-0" SUBTERRANEAN & PEDESTAL SIDE INTERIOR SETBACK/ RM-3

36'-10"

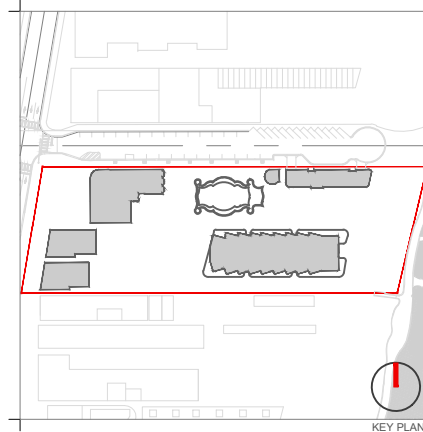
5'-0" SIDE STREET SETBACK / 25 FT MAX HEIGH DETACHED ADDITION / RM-3

26'-10"

625.19' PROPERTY LINE

5'-4" HIGH CONCRETE FENCE

1 STORY CABANAS



KEY PLAN

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TOWER FLOOR PLAN
LEVEL 5



TOWER FLOOR PLAN - LEVEL 5

SCALE: 1"=20'-0"

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Project	1901		