

1575 ALTON RD. MIAMI BEACH, FL. 33139

SHELL BUILDING: SCOPE OF WORK: SEE BELOW
 INTERIOR BUILDOUT OF RESTAURANTS & BAKERY

FIRST SUBMITTAL - 5/11/2020
 FINAL SUBMITTAL - 6/1/2020



NORBERTO ROSENSTEIN ARCHITECT, INC.
 ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY
 SUITE # 202
 DANIA BEACH, FLORIDA 33004
 PH: (954) 922-6551

EMAIL: nrosenstein@rosensteinarchitect.com
 WEB: www.rosensteinarchitect.com

STATE REG. NO. ARO016674
 STATE REG. NO. AA26001896
 NATL. REG. NO. 69178

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 N.R.

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 OF MY KNOWLEDGE, COMPLY WITH ALL
 APPLICABLE CODES.

REVISIONS	

COMM.	DATE
2018-39	4/22/2020

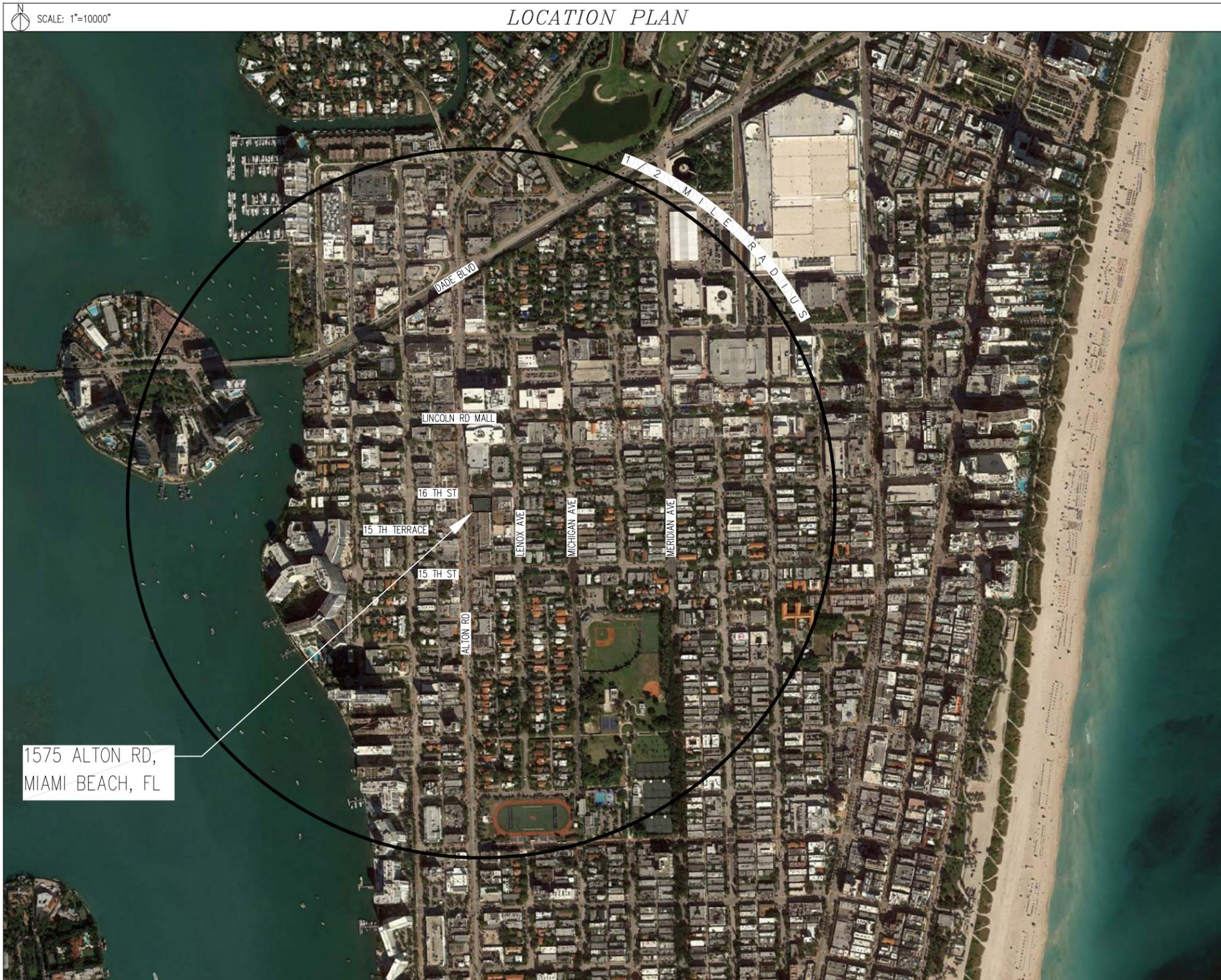
FIRESTONE
 MIAMI BEACH

MIAMI BEACH, FLORIDA
 33139

LOCATION PLAN
 BLDG DATA

A-1.0 OF 7

LOCATION PLAN



LIST OF DRAWINGS

- A-1.0 LOCATION PLAN & BUILDING DATA
 - A-2.0 SURVEY
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 - A-6.4 SECTION ELEVATIONS
 - A-6.5 SECTION ELEVATIONS
 - A-7.0 EXTERIOR RENDERERS
 - A-7.1 INTERIOR RENDERERS
-
- L100 SITE HARDSCAPE PLAN
 - L200 SITE PLANTING PLAN
 - L300 SITE LANDSCAPING LIGHTING PLAN

FULL LEGAL DESCRIPTION

33-34 53 42
 COMMERCIAL SUB PB 6-5
 LOTS 11 & 12 BLK 65
 LOT SIZE 15000 SQUARE FEET
 OR 20090-1219 1201 5

SCOPE OF WORK

- INTERIOR BUILD-UP OF TWO RESTAURANTS AND A BAKERY
 - NEW STOREFRONT ON AN EXISTING STRUCTURE.
 - NEW EQUIPMENT, MILLWORK, FURNITURE AND FINISHES.
-
- EXTERIOR NEW AWNING WILL BE UNDER SEPARATE PERMIT.
 - THIS IS BEING FILED IN CONJUGATION WITH SHELL PERMIT # BC0816-1589

1575 ALTON RD,
 MIAMI BEACH, FL

LEGEND

- SN TRAFFIC SIGN
- CB CATCH BASIN
- WV WATER VALVE
- WM WATER METER
- ⊕ BELL SOUTH MANHOLE
- ⊞ ELECTRIC BOX
- ⊙ SANITARY SEWER MANHOLE
- WPP WOOD POWER POLE
- GY GUY WIRE
- TSP TRAFFIC SIGNAL POLE
- TSB TRAFFIC SIGNAL BOX
- MTLP METAL LIGHT POLE
- MTL METAL
- CONCRETE
- FND. FOUND
- P.B. PLAT BOOK
- PG. PAGE
- O.R.B. OFFICIAL RECORD BOOK
- N&D NAIL AND DISC
- IP IRON PIPE
- CBS CONCRETE BLOCK
- SF SQUARE FEET
- (R) RECORD
- (D) DEED
- (M) MEASURED
- OH OVERHEAD LINES
- +0.00 EXISTING ELEVATION

GENERAL NOTES

NO VISIBLE EVIDENCE OF CEMETERIES ON PROPERTY.
 ALL PAVED AREAS ON PROPERTY ARE CONSTRUCTED OF CONCRETE OR ASPHALT.
 PROPERTY HAS ACCESS TO AND FROM ALTON ROAD AND 16TH STREET.
 THE PROPERTY IS SITUATED IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA AND THEREFORE, IS SUBJECT TO THEIR ORDINANCES.
 EASEMENT AND TITLE INFORMATION ARE PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY FILE No. NCS-739143-CH12 DATED 9/1/2015.
 BEARINGS ARE BASED ON THE CENTER LINE OF ALTON ROAD ASSUMED BEARING NORTH
 ALL FIELD MEASUREMENTS MATCHED RECORDED DIMENSIONS WITHIN THE PRECISION REQUIREMENTS ALTA/ACSM.
 NO WETLANDS HAVE BEEN DELINEATED ON THE PROPERTY.
 NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED AT THE SITE.
 NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WERE OBSERVED AT THE SITE.
 AT THE TIME OF THIS SURVEY WE ARE NOT AWARE OF ANY CHANGES TO THE STREET RIGHT OF WAY LINES.
 ELEVATIONS REFER TO NGVD 1929 DATUM
 MIAMI-DADE COUNTY BENCH MARK W-310, ELEV. 5.47

NOTES CORRESPONDING TO SCHEDULE B II

9. MATTER SHOWN ON PLAT OF COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, RECORDED IN PLAT BOOK 6, PAGE 5, AFFECTS THE PROPERTY BUT CONTAINS NO PLOTTABLE ITEMS.

ENCROACHMENTS

POSSIBLE ENCROACHMENT BY OVERHANG ACROSS PROPERTY LINE

PARKING

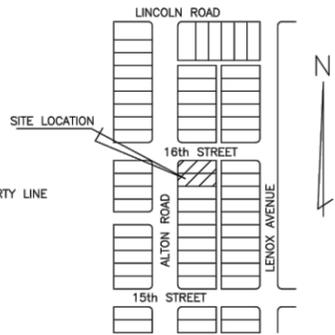
NO STRIPING TO INDICATE PARKING WAS OBSERVED

ZONING

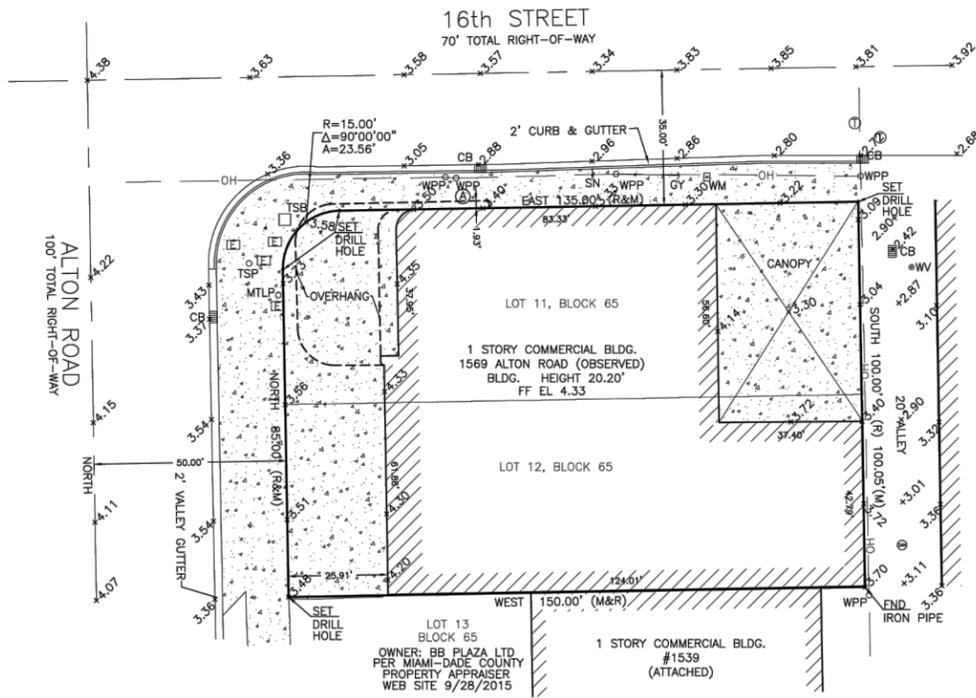
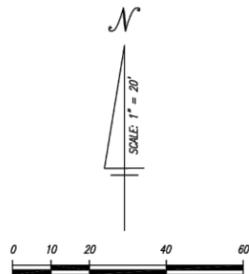
ZONING REPORT NOT PROVIDED

RECORD DESCRIPTION

LOTS 11 AND 12, BLOCK 65, COMMERCIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. NCS-739143-CH12. CONTAINING 14952 SF OR 0.34 ACRES



VICINITY MAP SCALE: 1"=300'



FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE AE-9 OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 12065L, MAP NUMBER 0317 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 11, 2009 AND IS WHOLLY IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV). WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE, AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED SKETCH REPRESENTS A RECENT SURVEY MADE UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY COMPLIES WITH MINIMUM TECHNICAL STANDARDS ESTABLISHED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

AYLWARD ENGINEERING & SURVEYING, INC.
 LB No. 5183

SHARON AYLWARD COX, PSM No. 5450

THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.



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REVISIONS	

COMM. 2018-39	DATE 4/22/2020
---------------	----------------

FIRESTONE MIAMI BEACH

MIAMI BEACH, FLORIDA 33139

SURVEY

NO.	REVISION	DATE

DRAWN CAD
 CHECKED EAM
 APPROVED SAC

PROJECT NAME:
1575 ALTON ROAD MIAMI BEACH, FL

SHEET TITLE
BOUNDARY SURVEY

AYLWARD ENGINEERING & SURVEYING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 3222 Ridge Trace, Davie, Florida 33328
 954-424-5852 or 305-827-2216 Fax 954-424-5852 or 305-827-2216
 EB/LB No. 5183
 aylwardengineer@gmail.com

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE BEFORE PROCEEDING W/WORK
 DATE: 5/19/2016
 SCALE: 1"=20'
 PROJ. NO.: 15-124

SHEET 1 OF 1

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	1575 ALTON ROAD, MIAMI BEACH, FL 33139		
2	Board and file numbers :	N/A		
3	Folio number(s):	02-3234-018-0410		
4	Year constructed:	1935	Zoning District:	CD-2
5	Based Flood Elevation:	8' N.G.V.D.	Grade value in NGVD:	3.04' N.G.V.D.
6	Adjusted grade (Flood+Grade/Z):	5.52' N.G.V.D.	Lot Area:	15000 SQ. FT.
7	Lot width:	50' X 2 LOTS= 100'	Lot Depth:	150'
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	AUTO REPAIR	Proposed use:	RESTAURANT

Zoning Information / Calculations		Maximum	Existing	Proposed	Deficiencies
10	Height	50'	20'-2"	20'-2"	
11	Number of Stories	5	1	1	
12	FAR	1.50	.68	0.81	
13	Gross square footage	N/A	10,142	12,195	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	0	309	
18	Occupancy load	N/A	N/A	525	

Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:				
19 Front Setback:	N/A	N/A	N/A	
20 Side Setback:	N/A	N/A	N/A	
21 Side Setback:	N/A	N/A	N/A	
22 Side Setback facing street:	N/A	N/A	N/A	
23 Rear Setback:	N/A	N/A	N/A	
At Grade Parking:				
24 Front Setback:	0'	25'-10'	25'-10"	
25 Side Setback:	0'	0'	0'	
26 Side Setback:	0'	0'	0'	
27 Side Setback facing street:	0'	0'	0'	
28 Rear Setback:	0'	0'	0'	
Padestal:				
29 Front Setback:	N/A	N/A	N/A	
30 Side Setback:	N/A	N/A	N/A	
31 Side Setback:	N/A	N/A	N/A	
32 Side Setback facing street:	N/A	N/A	N/A	
33 Rear Setback:	N/A	N/A	N/A	
Tower:				
34 Front Setback:	N/A	N/A	N/A	
35 Side Setback:	N/A	N/A	N/A	

App/PlanRev 1-18 v.1

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	
38	Rear Setback:	N/A	N/A	N/A	

Parking	Required	Existing	Proposed	Deficiencies
39 Parking district	6			
40 Total # of parking spaces	78	0	0	
41 # of parking spaces per use (Provide a separate chart for a breakdown calculation)	SPACE A RESTAURANT: 25.5 SPACE B RESTAURANT: 51.75 (SEE CHART ON 04/A-3.2)	0	SPACE A RESTAURANT: 0 SPACE B RESTAURANT: 0	
42 # of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43 Parking Space Dimensions	N/A	N/A	N/A	
44 Parking Space configuration (45o, 60o, 90o, Parallel)	N/A	N/A	N/A	
45 ADA Spaces	N/A	N/A	N/A	
46 Tandem Spaces	N/A	N/A	N/A	
47 Drive aisle width	N/A	N/A	N/A	
48 Valet drop off and pick up	N/A	N/A	N/A	
49 Loading zones and Trash collection areas	1	0	1	
50 Bicycle parking, location and Number of racks	6 SHORT TERM, 3 LONG TERM	0	6 SHORT TERM, 3 LONG TERM	

Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51 Type of use	N/A	N/A	RESTAURANT	
52 Number of seats located outside on private property	N/A	N/A	74	
53 Number of seats inside	N/A	N/A	235	
54 Total number of seats	N/A	N/A	N/A	
55 Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	SPACE A: 102 SPACE B: 207	
56 Total occupant content	N/A	N/A	510	
57 Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	SPACE A: 216 SPACE B: 294	

58 Proposed hours of operation	SPACE A: SUN-THURS 12PM-4AM/FRI-SAT 12PM-5AM ; SPACE B: SUN-THURS 8AM-4AM/FRI-SAT 8AM-6AM			
59 Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	YES			
60 Is dancing and/or entertainment proposed? (see CMB 141-1361)	YES			
61 Is this a contributing building?	NO		Yes or No	
62 Located within a Local Historic District?	NO		Yes or No	

Notes:
If not applicable write N/A

App/PlanRev 1-18 v.1



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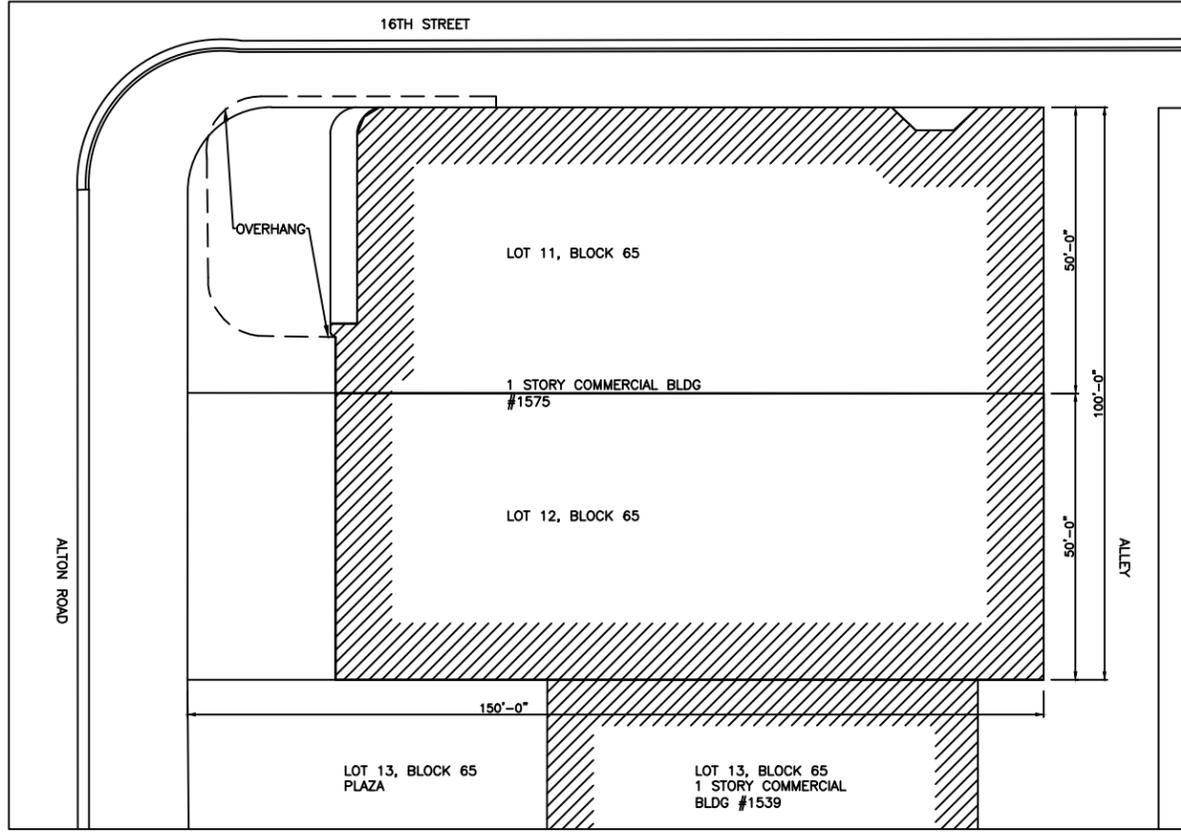
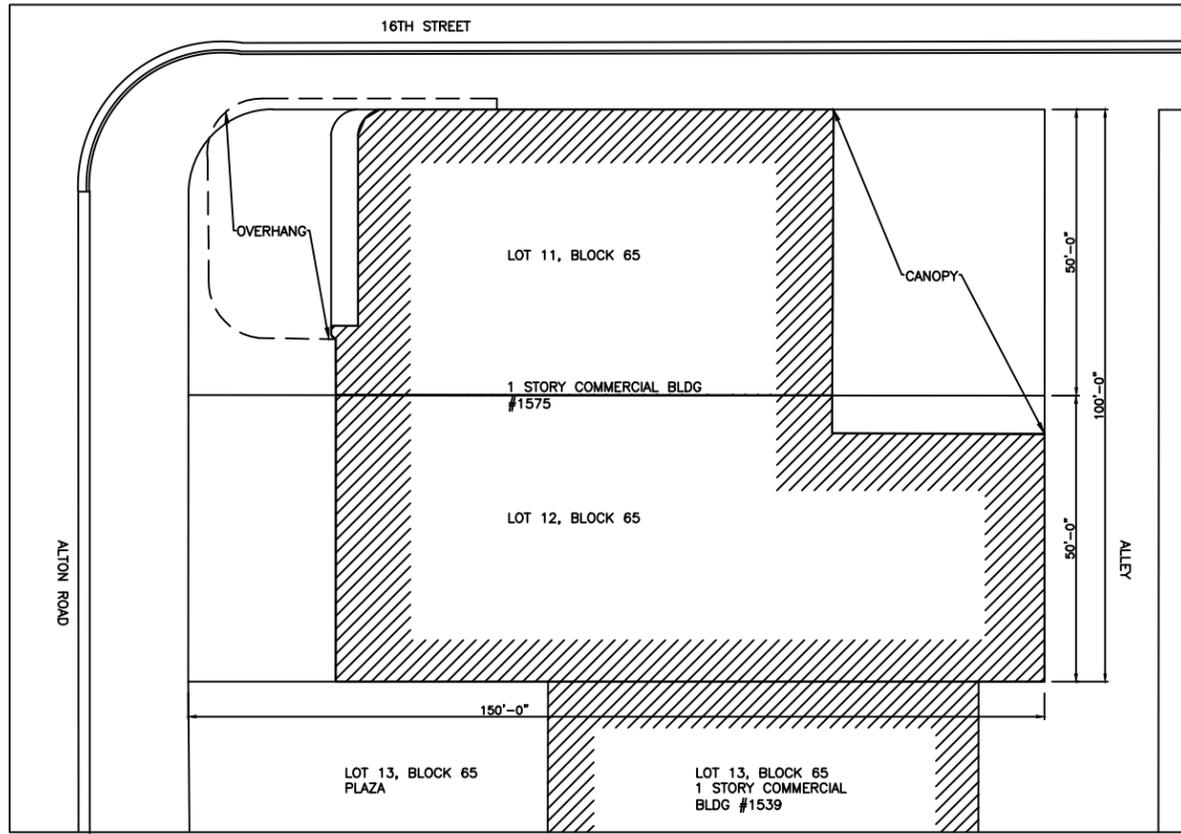
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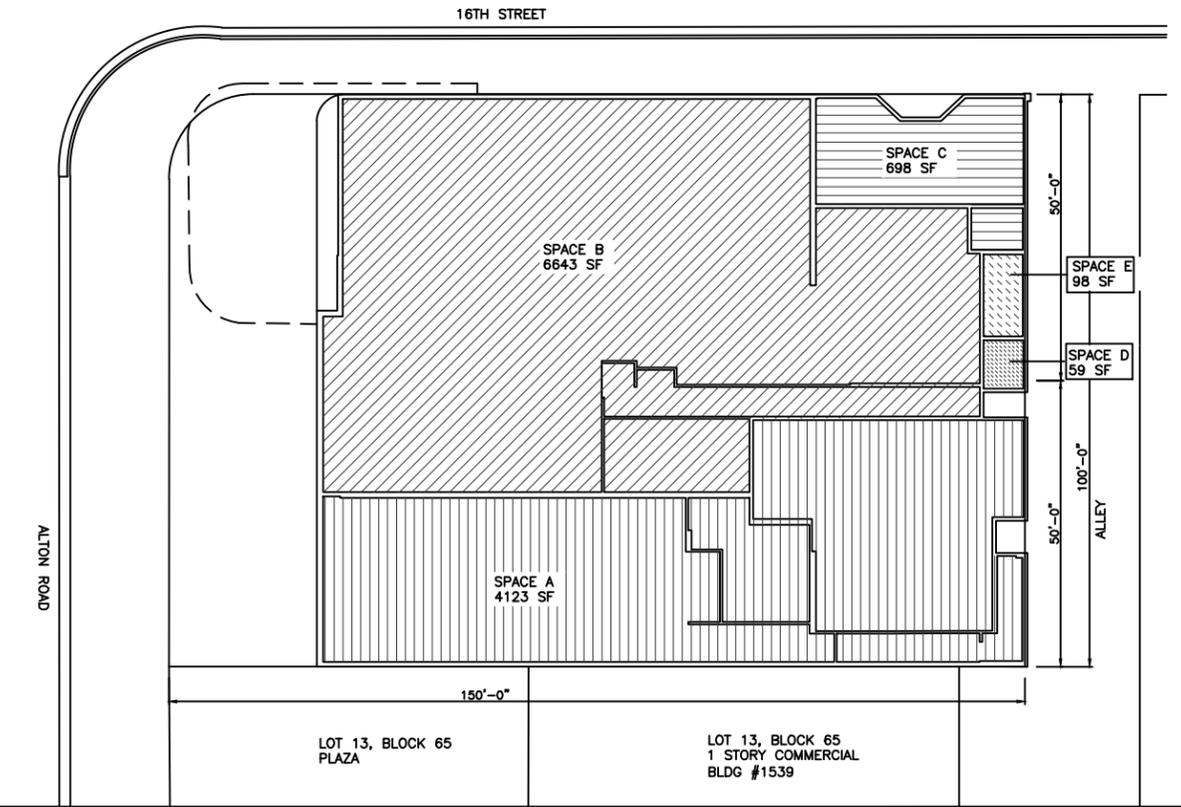
ZONING
INFORMATION

A-3.0 OF 7



01 EXISTING F.A.R. DIAGRAM
1/2" = 1'-0"

02 NEW F.A.R. DIAGRAM
1/2" = 1'-0"



	LOT AREA	EXISTING LOT COVERAGE	EXISTING F.A.R.	NEW LOT COVERAGE	NEW F.A.R.
LOT 11, BLOCK 65	7,500 SqFt	4,197 SqFt	0.56	5,998 SqFt	0.80
LOT 12, BLOCK 65	7,500 SqFt	5,945 SqFt	0.79	6,197 SqFt	0.83
TOTAL	15,000 SqFt	10,142 SqFt	0.68	12,195 SqFt	0.81

03 SPACES DIAGRAM
1/2" = 1'-0"

04 FAR CALCULATIONS
NTS



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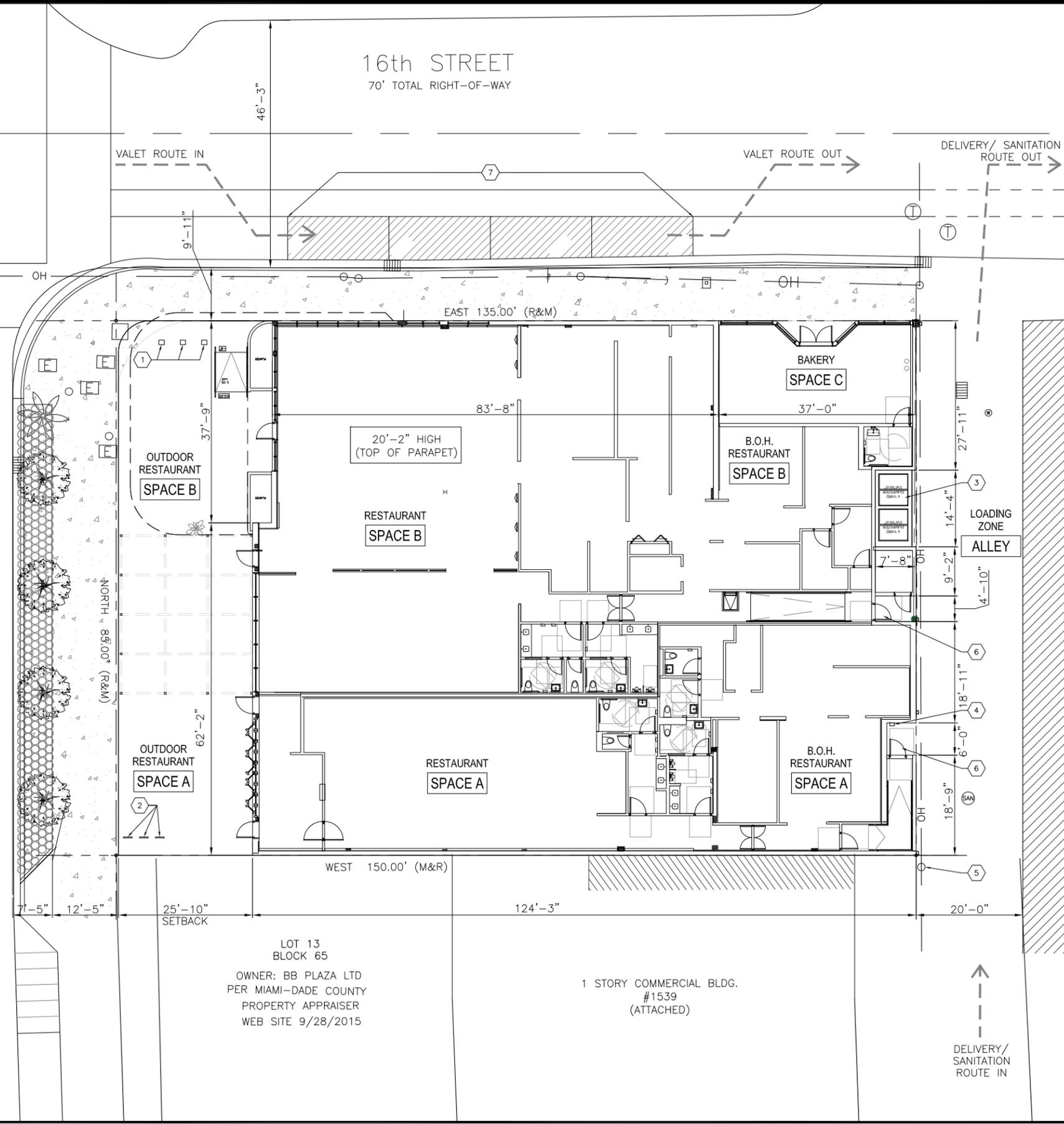
FIRESTONE MIAMI BEACH

MIAMI BEACH, FLORIDA 33139

FAR DIAGRAMS

ALTON ROAD
100' TOTAL RIGHT-OF-WAY

16th STREET
70' TOTAL RIGHT-OF-WAY



SETBACK AREA

LOCATION	REQUIRED	PROVIDED
PRINCIPAL FRONT WEST	0'	25'-10"
SECONDARY FRONT NORTH	0'	0'
SIDE SOUTH	0'	0'
REAR EAST	0'	0'

02 SETBACK INFORMATION

FLOOD MANAGEMENT TABLE

BASE FLOOR ZONE	AE
BASE FLOOR ELEVATION - (ZONE AD, USE BASE FLOOD DEPTH)	8
DESIGN FLOOD ELEVATIONS - DFE	9.0' NGVD
LOWEST FFE OF HABITABLE SPACE	4.2' NGVD
LOWEST GRADE ELEV. ADJACENT TO BUILDING	3.04 NGVD
LOWEST ELEV. OF EQUIPMENT SERVING THE BLDG	4.2' NGVD
CROWN OF ROAD ELEVATION - ALTON ROAD	4.15 NGVD
CROWN OF ROAD ELEVATION - 16TH ST.	3.34 NGVD
ADJUSTED GRADE ELEVATION	N/A
FIRM MAP NUMBER	12086C 0317

CLASSIFICATION OF STRUCTURE FOR FLOOR RESISTANT DESIGN AND CONSTRUCTION ASCE TABLE 1-1	CATEGORY
	III

03 FLOOD MANAGEMENT

PARKING CALCULATION PER: MIAMI BEACH MUNI CODE

SEC. 130-33. - OFF-STREET PARKING REQUIREMENTS FOR PARKING DISTRICTS NOS. 2, 3, 4, 5, 6, 7, 8, AND 9.

(c)
(2) AND (3)

CALCULATION:

SPACE A RESTAURANT: 102 SEATS
102/4 = 25.5 SPACES

SPACE B RESTAURANT: 207 SEATS
207/4 = 51.75 SPACES

SPACE C BAKERY: BUSINESS UNDER 2500 SQ. FT.
= 0 SPACES

TOTAL:
25.5+51.75= 77.25 = 78 SPACES

04 PARKING CALCULATION

- LONG TERM BICYCLE PARKING (3 TOTAL)
- SHORT TERM BICYCLE PARKING (3 RACKS FOR 6 BICYCLES TOTAL)
- STREET LEVEL TRASH ROOM LOCATION (14'-4" X 7'-8"). TRASH ROOM IS ENCLOSED AND HAS ITS OWN A/C SYSTEM
- BACK FLOW PREVENTER LOCATION
- FPL POLE (NO VAULT)
- AREA OF LOADING. NOTE: LOADING OPERATIONS FOR DELIVERIES AND SANITATION VEHICLES WILL BE CONDUCTED WITHIN THE EXISTING ONE-WAY, NORTHBOUND ALLEY LOCATED ALONG THE EAST SIDE OF THE PROPOSED REDEVELOPMENT. LOADING VEHICLES WILL ENTER THE ALLEY ALONG 15TH STREET AND EXIT THE ALLEY ALONG 16TH STREET. AS ALL LOADING ACTIVITIES WILL OCCUR WITHIN THE ALLEY, LOADING VEHICLES WILL NOT IMPACT THE EXTERNAL ROADWAY NETWORK.
- PROPOSED VALET DROP OFF AND PICK UP AREA

05 KEYNOTES



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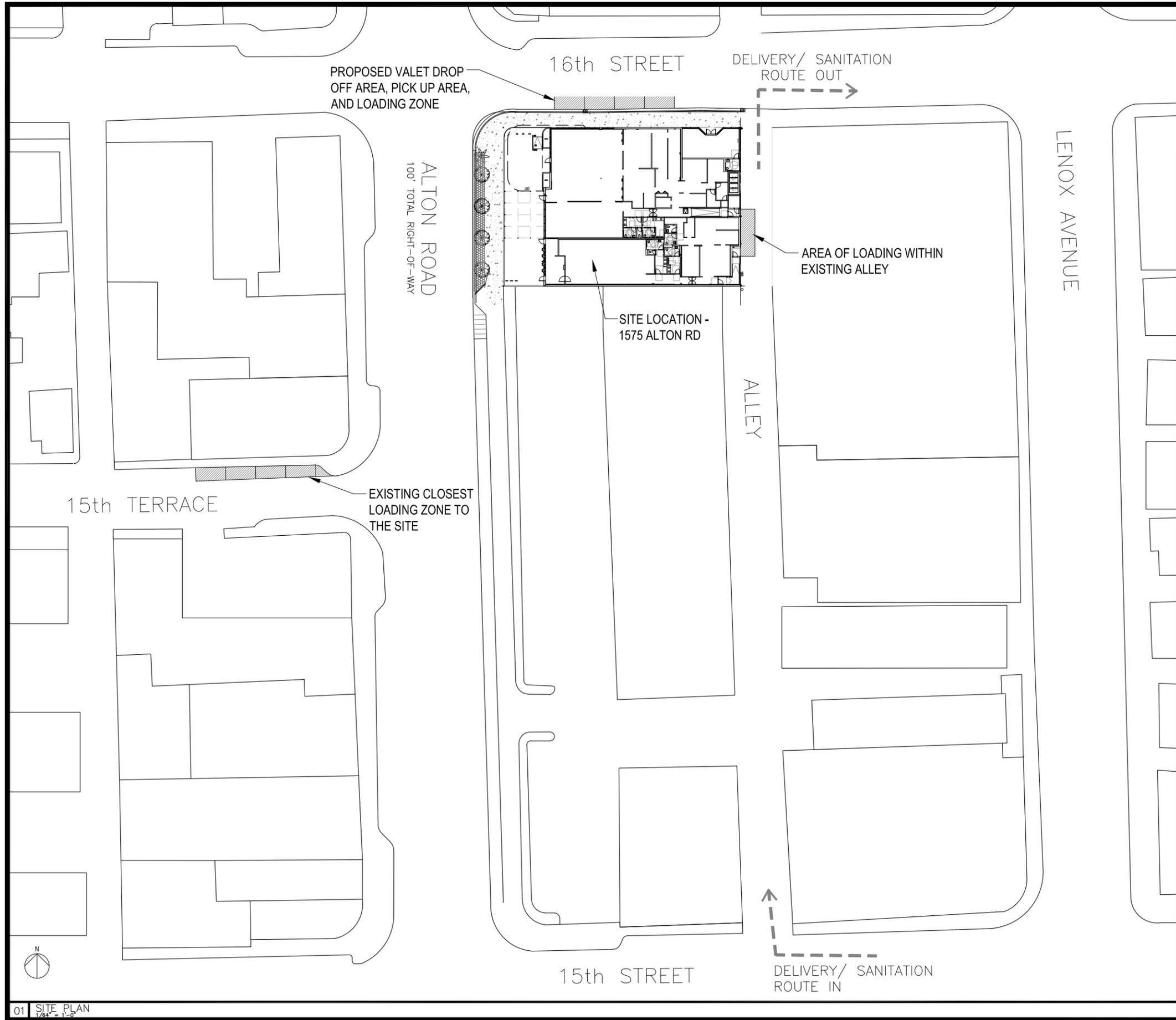
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FIRESTONE MIAMI BEACH

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SITE PLAN

A-3.2 OF 7



NOTE: LOADING OPERATIONS FOR DELIVERIES AND SANITATION VEHICLES WILL BE CONDUCTED WITHIN THE EXISTING ONE-WAY, NORTHBOUND ALLEY LOCATED ALONG THE EAST SIDE OF THE PROPOSED REDEVELOPMENT. LOADING VEHICLES WILL ENTER THE ALLEY ALONG 15TH STREET AND EXIT THE ALLEY ALONG 16TH STREET. AS ALL LOADING ACTIVITIES WILL OCCUR WITHIN THE ALLEY, LOADING VEHICLES WILL NOT IMPACT THE EXTERNAL ROADWAY NETWORK.



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SITE PLAN
LOADING ZONES



PIC #1: CORNER TO CORNER: PARTIAL WEST ELEVATION OF THE PLAZA, PARKING LOT, RETAIL STORES.
DATE: 04/14/2020



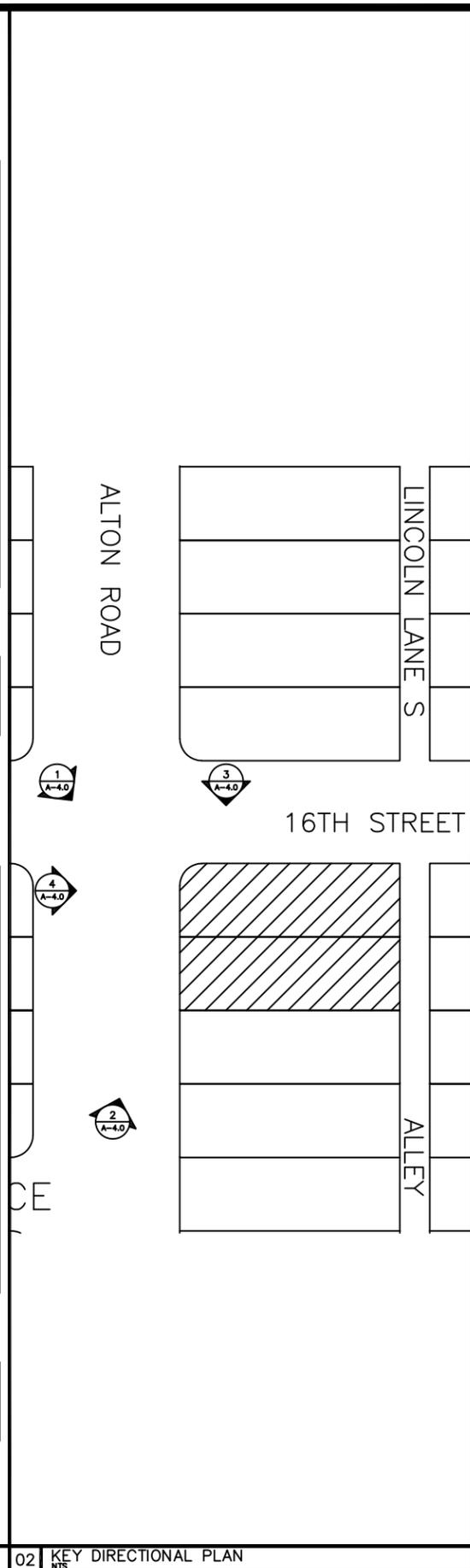
PIC #2: STREET VIEW FACING NORTH-EAST: PARTIAL WEST ELEVATION FACING 16TH STREET AND THE ADJACENT PLAZA. 1111 LINCOLN ROAD PARKING GARAGE IN THE BACKGROUND.
DATE: 04/14/2020



PIC #3: CORNER TO CORNER FACING SOUTH: PARTIAL NORTH ELEVATION.
DATE: 04/14/2020



PIC #4: CORNER TO CORNER FACING EAST: WEST ELEVATION. ADJACENT PLAZA AND PARKING LOT.
DATE: 04/14/2020



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ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

EMAIL: nrosenstein@rosensteinarchitect.com
WEB: www.rosensteinarchitect.com

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COMM.	DATE
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EXISTING STRUCTURES

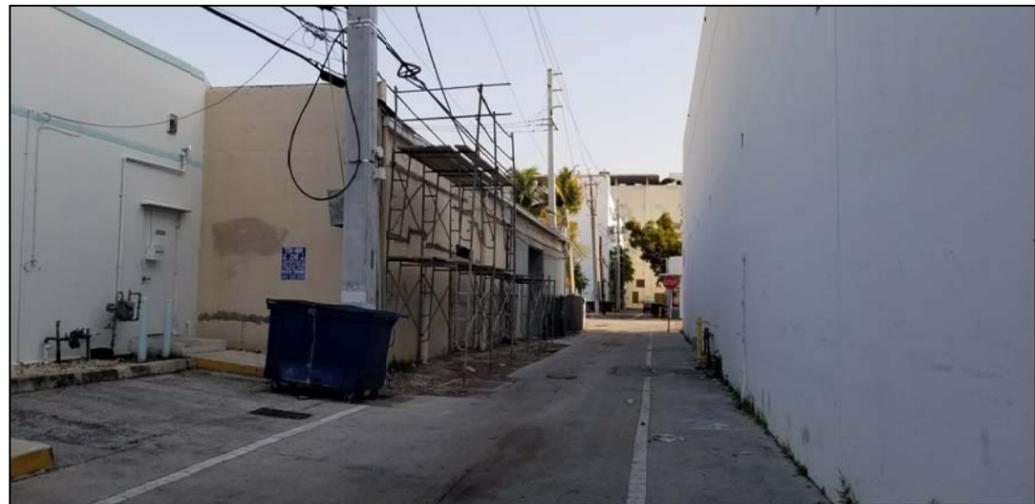
A-4.0 OF 6



PIC #1: SOUTH ELEVATION. PICTURE TAKEN FROM 16TH STREET FACING SOUTH-EAST. ALTON ROAD IN THE BACKGROUND.
DATE: 04/14/2020



PIC #2: SOUTH FACING VIEW TAKEN FROM THE ALLEY.
DATE: 04/14/2020

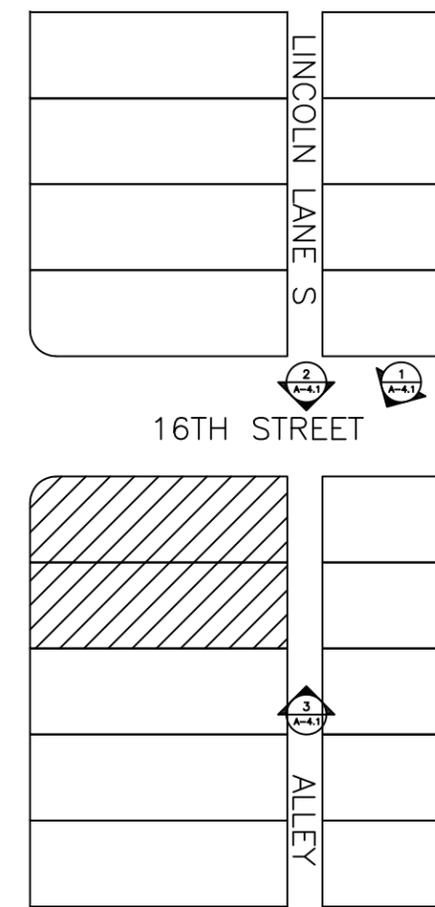


PIC #3: NORTH FACING VIEW TAKEN FROM THE ALLEY.
DATE: 04/14/2020



PIC #4: STREET VIEW FACING NORTH-EAST: PARTIAL WEST ELEVATION FACING 16TH STREET AND THE ADJACENT PLAZA. 1111 LINCOLN ROAD PARKING GARAGE IN THE BACKGROUND.
DATE: 04/14/2020

ALTON ROAD



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DANIA BEACH, FLORIDA 33004
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EXISTING
STRUCTURES

A-4.1 OF 6



PIC #1: SOUTH FACING VIEW: PICTURE TAKEN ON ALTON ROAD FACING 16TH STREET.
DATE: 04/14/2020



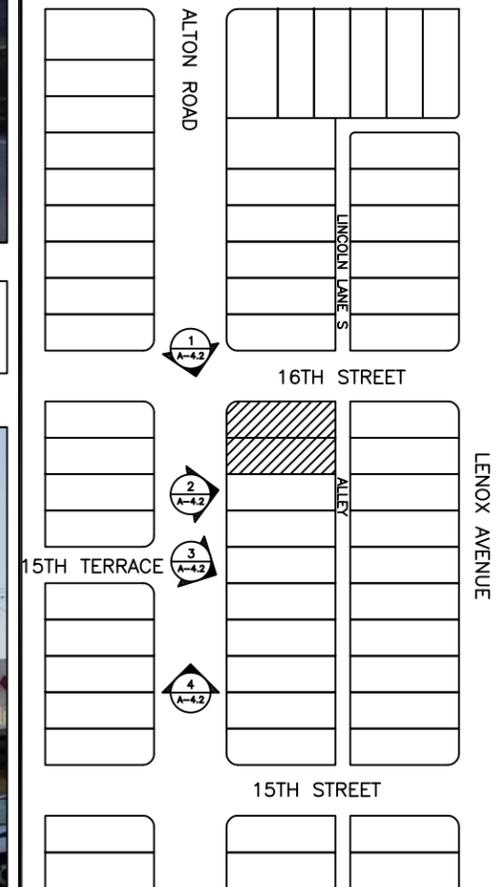
PIC #2: EAST FACING VIEW: RETAIL AND PARKING LOT ADJACENT TO PROJECT BUILDING. TAKEN FROM ALTON ROAD.
DATE: 04/14/2020



PIC #3: NORTH-WEST FACING VIEW: RETAIL AND PARKING LOT ADJACENT TO PROJECT BUILDING. TAKEN FROM ALTON ROAD.
DATE: 04/14/2020



PIC #4: NORTH FACING VIEW: PICTURE TAKEN ON ALTON ROAD FACING 16TH STREET.
DATE: 04/14/2020



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126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

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EXISTING
SURROUNDINGS

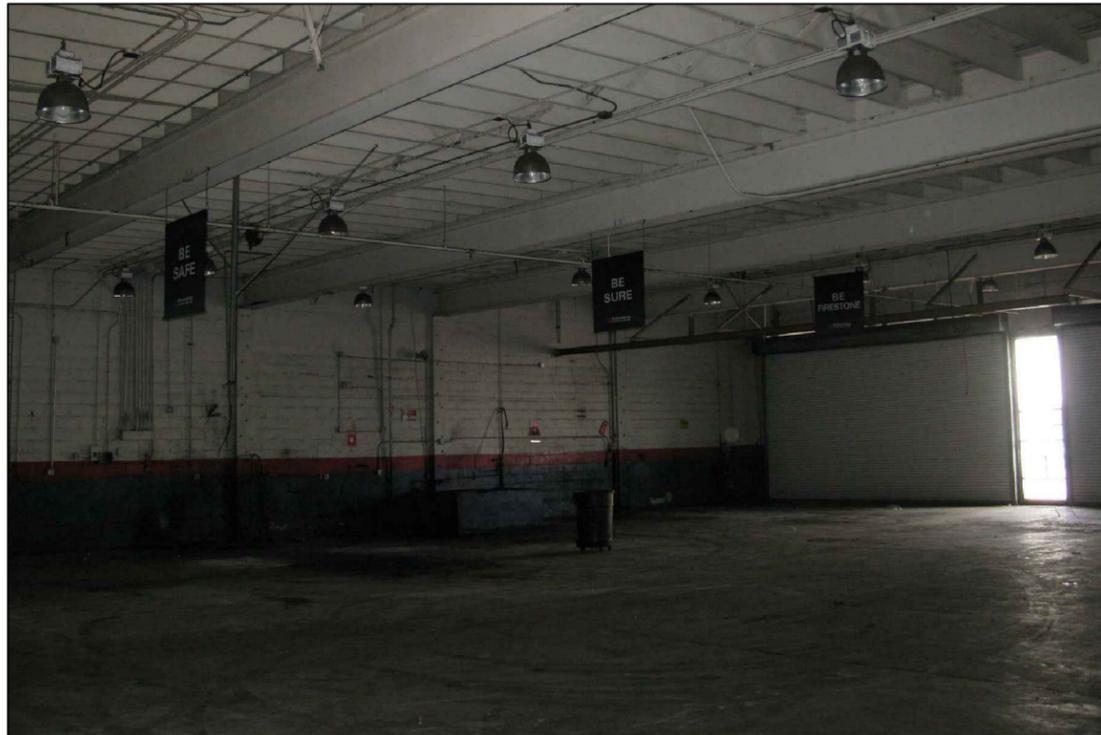
A-4.2 OF 6



PIC #1: WAITING AREA: PARTIAL WAITING AREA FACING OPENING TO GARAGE BAY.
DATE: 02/10/2016



PIC #2: STORAGE 1: PARTIAL STORAGE FACING OPENING TO GARAGE BAY.
DATE: 02/10/2016



PIC #3: GARAGE BAY: PARTIAL GARAGE BAY FACING OPENING TO ALTON RD.
DATE: 02/10/2016



PIC #4: STORAGE 2: PARTIAL STORAGE FACING OPENING TO GARAGE BAY AND OPEN PARKING.
DATE: 02/10/2016

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126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

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WEB: www.rosensteinarchitect.com

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EXISTING
INTERIOR SPACES



PIC #1: SOUTHEAST FACING VIEW: PICTURE TAKEN ON 16TH STREET FACING THE BUILDING
DATE: 02/10/2016



A: PIC #2: SOUTHWEST FACING VIEW: BACK CANOPY. TAKEN FROM CORNER OF 16TH ST AND THE ALLEY
DATE: 02/10/2016



PIC #3: NORTH-FACING VIEW: LOOKING EAST THE BUILDING. TAKEN FROM ALTON ROAD SIDEWALK.
DATE: 02/10/2016



PIC #4: SOUTHEAST FACING VIEW: PICTURE TAKEN ON CORNER OF ALTON ROAD FACING AND 16TH STREET.
DATE: 02/10/2016



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ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

EMAIL: nrosenstein@rosensteinarchitect.com
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EXISTING
EXTERIOR SPACES

NO.	DESCRIPTION

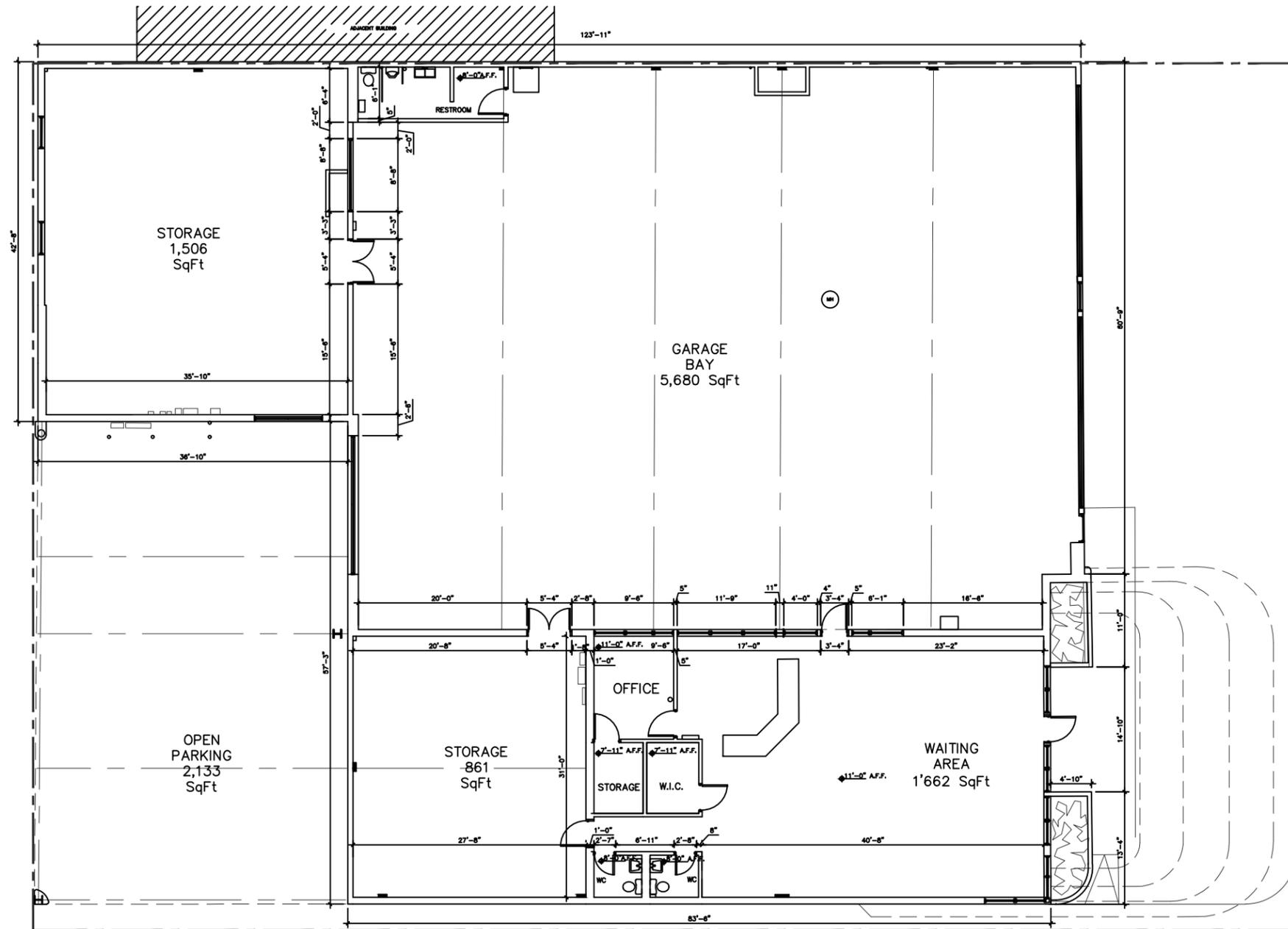
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EXISTING
CONDITION PLAN





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126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

EMAIL: rosenstein@rosensteinarchitect.com
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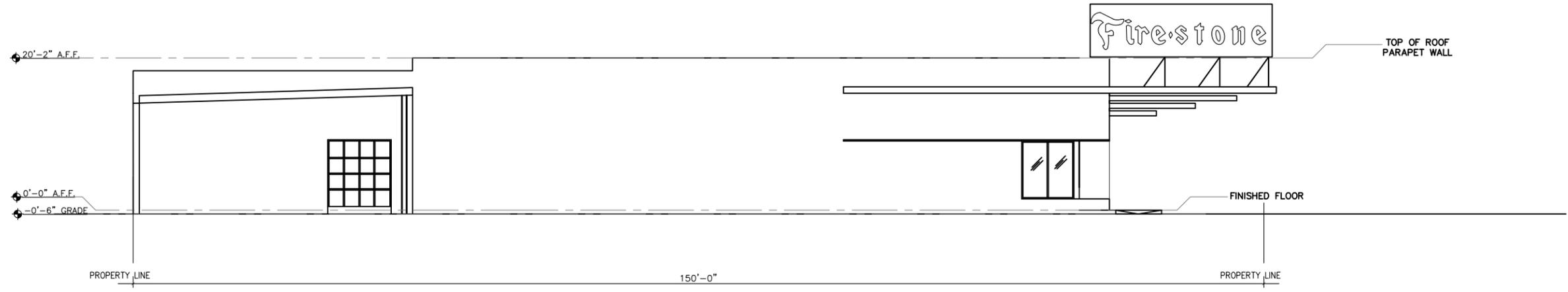
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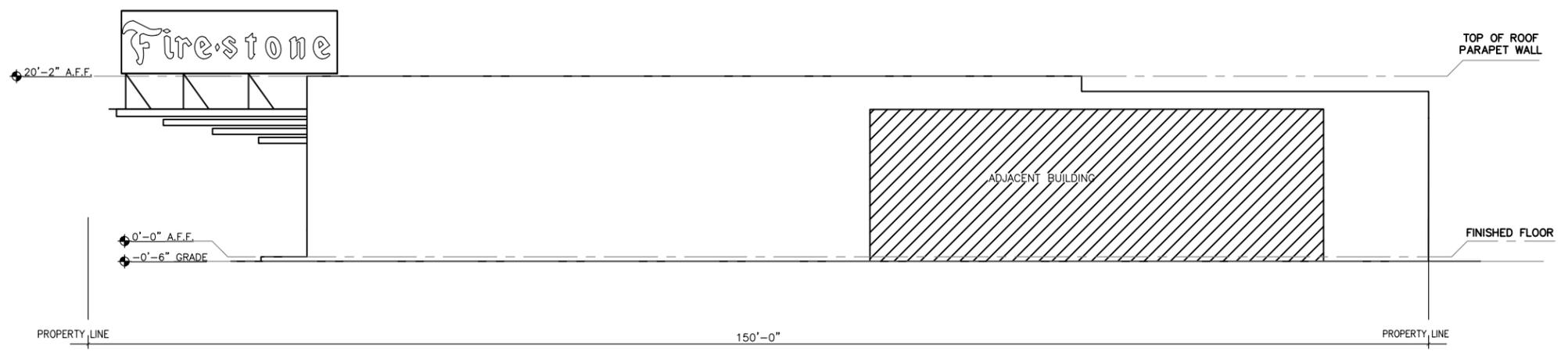
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EXISTING
CONDITIONS
ELEVATIONS



01 EXISTING NORTH ELEVATION
SCALE: 1/16"=1'-0"



02 EXISTING SOUTH ELEVATION
SCALE: 1/16"=1'-0"



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126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

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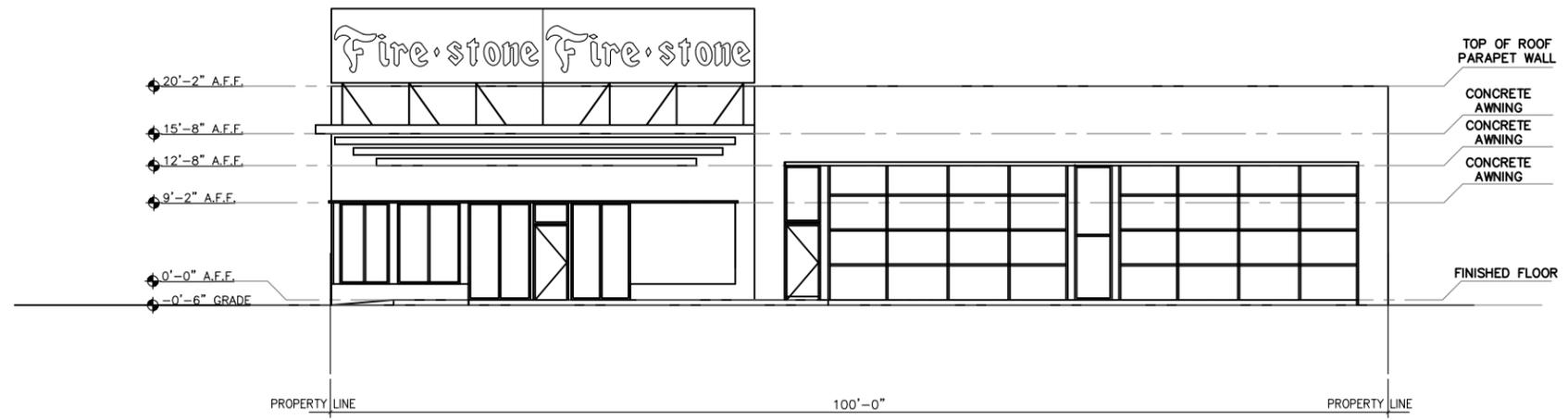
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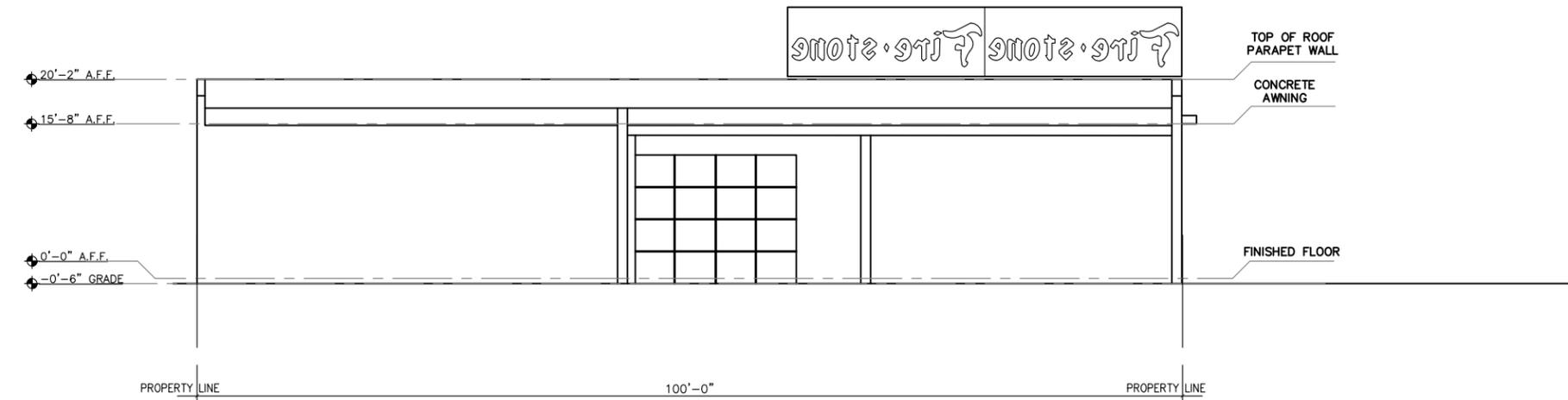
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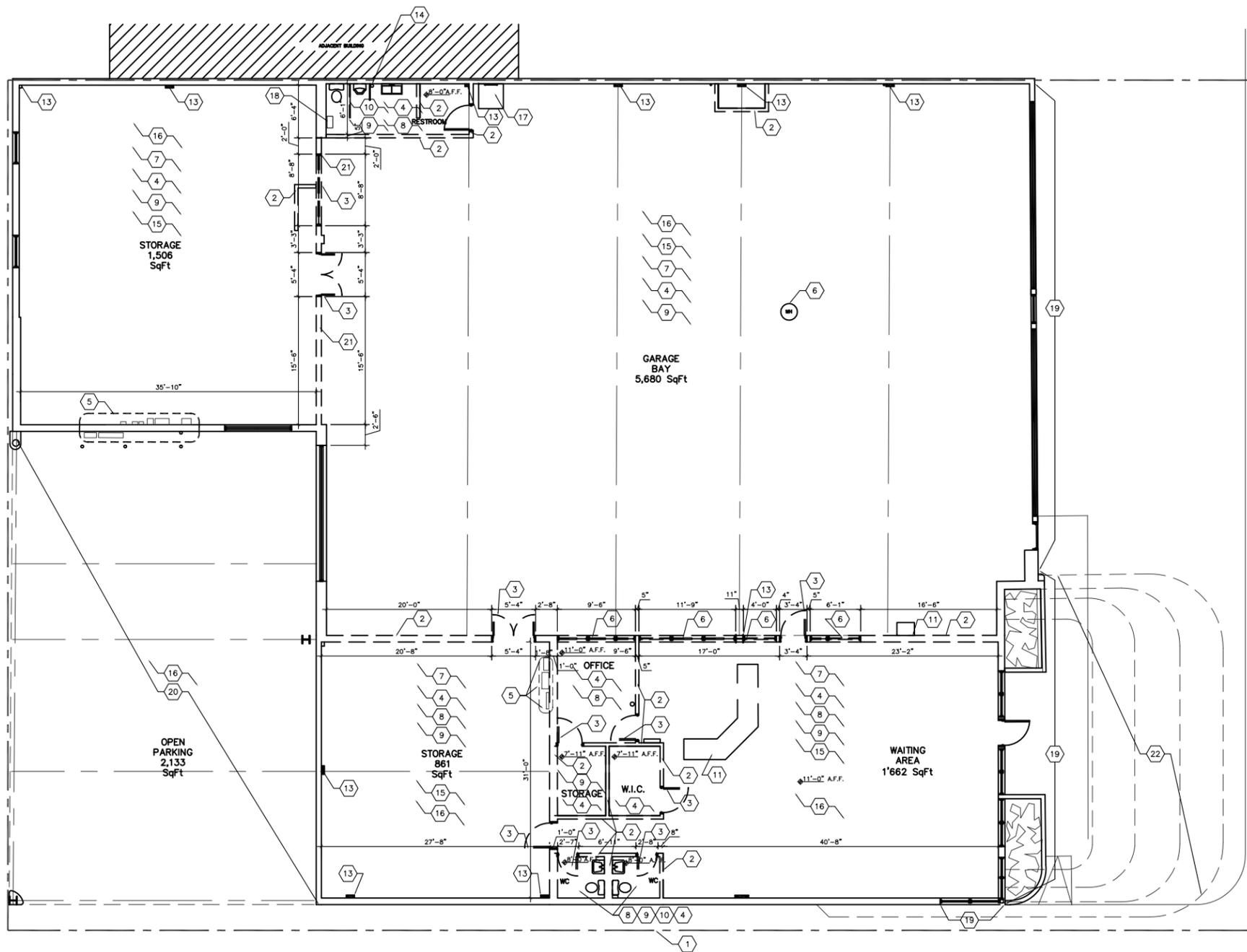
EXISTING
CONDITIONS
ELEVATIONS



01 EXISTING WEST ELEVATION
SCALE: 1/16"=1'-0"



02 EXISTING EAST ELEVATION
SCALE: 1/16"=1'-0"

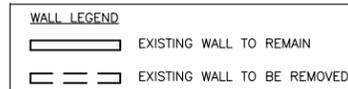


DEMOLITION KEY NOTES:

VERIFY ALL NOTES WITH ID DRAWINGS

1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REMOVE EXISTING FLOOR FINISHES.
5. REMOVE EXISTING ELECTRICAL PANELS AND DATA PANELS.
6. REMOVE MANHOLE.
7. REMOVED ALL MECHANICAL EQUIPMENT AND ASSOCIATED COMPONENTS.
8. REMOVE EXISTING CEILING AND ASSOCIATED COMPONENTS, PROTECT STRUCTURE.
9. REMOVE EXISTING LIGHTING FEATURES AND ASSOCIATED COMPONENTS.
10. REMOVE ALL RESTROOM FIXTURES, COMPONENT AND PARTITIONS.
11. REMOVE EXISTING MILLWORK AND FURNITURE.
12. NOT USED
13. EXISTING COLUMN TO REMAIN, PROTECT DURING DEMOLITION

14. EXISTING RAIN LEADER TO REMAIN.
15. ALL ELECTRICAL CONDUITS AND BOXES TO BE REMOVED THROUGHOUT. PROVIDE CLEAN CMU WALLS AND CEILINGS.
16. ALL ROOF ELEMENTS TO REMAIN: NO WORK.
17. EXISTING LADDER AND ROOF HATCH TO REMAIN.
18. REMOVE WATER HEATER AND ALL ASSOCIATED COMPONENTS
19. EXISTING STOREFRONT TO REMAIN: NO WORK.
20. EXISTING CANOPY AND STRUCTURE TO REMAIN; NO WORK.
21. EXISTING CMU WALL TO BE REMOVED VERIFY IF SHORING IS REQUIRED.
22. EXISTING HISTORICAL CANOPY TO REMAIN; NO WORK.



02 DEMOLITION KEYNOTES

- A. PROVIDE SELECTIVE DEMOLITION WORK AS INDICATED BY DRAWINGS, IN SCHEDULES AND HEREIN SPECIFIED.
- B. PARTIAL DEMOLITION AND REMOVAL: ITEMS INDICATED TO BE REMOVED WITH ON VALUE TO OWNER BUT OF SALVAGABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES.
- B.A. WHERE INDICATED ON DRAWINGS AS "SALVAGE - DELIVER TO THE OWNER", CAREFULLY REMOVE INDICATED ITEMS, CLEAN, STORE AND TURN OVER TO OWNER AT COMPLETION OF DEMOLITION AND OBTAIN RECEIPTS.
- C. PROTECTION: PROVIDE TEMPORARY BARRICADES OR ANY OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER, PROPERTY OF THE OWNER, AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK UNDER THIS CONTRACT.
- C.A. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER, TENANTS AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
- C.B. ERECT TEMPORARY PASSAGeways WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- C.C. REMOVE ALL PROTECTION AT THE COMPLETION OF THE WORK.
- D. UTILITY SERVICES: MAINTAIN EXISTING UTILITY SERVICES AS INDICATED TO REMAIN, OR KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- D.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED AREAS OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO OCCUPIED AREAS.
- D.B. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- E. CLEAN-UP AND REPAIRS:
- E.A. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL EQUIPMENT AND DEMOLISHED DEBRIS AND

- MATERIALS FROM SITE. REMOVE PROTECTION AND COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- E.B. REPAIR ALL AREAS DAMAGED BEYOND THE EXTENT OF THE DEMOLITION REQUIRED. RETURN ALL SURFACES AND STRUCTURES THAT REMAIN TO THE CONDITION THEY WERE; PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION DAMAGED BY DEMOLITION WORK.
- E.C. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER. FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER.
- E.D. REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, FROM THE BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF ALL WASTE OFF SITE.
- E.E. PROTECT FROM DAMAGE ANY AND ALL EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING THE DEMOLITION OPERATION.
- E.F. PROTECT ALL FLOORS THAT ARE EXPOSED WITH SUITABLE COVERING. REPAIR ANY DAMAGE CAUSED BY NEGLIGENCE.

BEGINNING OF DEMOLITION/INSTALLATION WILL BE CONSTRUED AS ACCEPTANCE OF EXISTING SUBSTRATES, SURFACES AND CONDITIONS. MAJOR PROBLEMS IN THE STRUCTURE WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ELECT. SERVICES THAT ARE ABANDONED ARE TO BE TOTALLY REMOVED FROM EXISTING LOCATIONS AND ALL WIRING SCRAPPED. REMOVED FROM EXISTING LOCATIONS AND ALL WIRING SCRAPPED. FIXTURES SO DESIGNATED ARE TO BE PRESENTED TO OWNER.

IF CIRCUITS ARE TO BE REUSED FOR NEW FIXTURES, THE WIRING SHOULD BE CHECKED FOR ANY DEFECTS OR DEVIATIONS IN PROPER ELECTRICAL REQUIREMENTS.

ALL LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE WORK IS BEING PERFORMED



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ARCHITECTURE - INTERIOR DESIGN - PLANNING

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SUITE # 202
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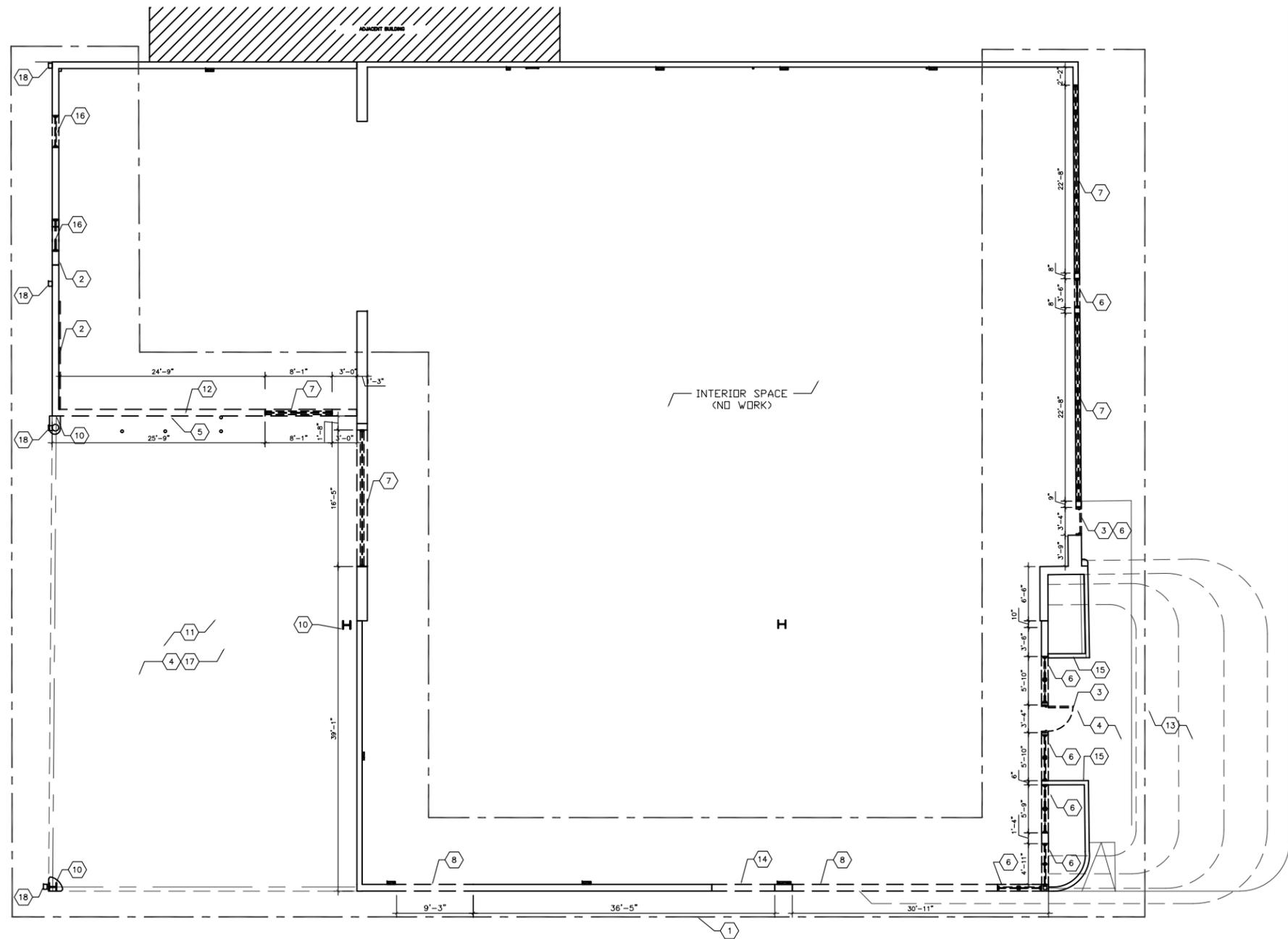
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MIAMI BEACH, FLORIDA
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INTERIOR
DEMOLITION
PLAN

A-5.3 OF 6





DEMOLITION KEY NOTES:

1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS. REPAIR, PATCH AND CLEAN ADJACENT SURFACES. MAINTAIN EXISTING WALL FIRE-RATING.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REPAIR SLAB TO BE SMOOTH AND READY TO RECEIVE NEW FINISHES.
5. REMOVE EXISTING ELECTRICAL PANELS AND DATA PANELS.
6. REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, PATCH AND CLEAN ADJACENT SURFACES AND PREPARE FOR NEW WINDOW.
7. REMOVE ROLL-DOOR AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, CLEAN AND PATCH ADJACENT SURFACES AND PREPARE FOR NEW DOOR.
8. DEMOLITION ON PREVIOUS OPENING. PREPARE FOR NEW WINDOWS OR STORE FRONT, REFER TO ELEVATIONS DWG AND SCHEDULES.
9. EXISTING SIGN TO REMAIN, NO WORK. SEE ELEVATIONS
10. EXISTING COLUMN TO REMAIN.
11. REMOVE EXTERIOR LIGHTING AND ASSOCIATED COMPONENTS.
12. EXISTING CMU WALL TO BE REMOVED, VERIFY IF SHORING IS REQUIRED.
13. EXISTING HISTORICAL CANOPY TO REMAIN.
14. NEW OPENING FOR NEW WINDOW, SEE ELEVATIONS FOR DETAILS.
15. EXISTING CONCRETE PLANTERS TO REMAIN
16. REMOVE WINDOW PATCHES AND REMOVE WINDOWS.
17. EXISTING CANOPY TO REMAIN; NO WORK.
18. EXISTING WATER SPOUTS AND GUTTERS TO BE REPLACED AFTER NEW WALL CONSTRUCTION.

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

02 DEMOLITION KEYNOTES

- A. PROVIDE SELECTIVE DEMOLITION WORK AS INDICATED BY DRAWINGS, IN SCHEDULES AND HEREIN SPECIFIED.
- B. PARTIAL DEMOLITION AND REMOVAL: ITEMS INDICATED TO BE REMOVED WITH ON VALUE TO OWNER BUT OF SALVAGABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES.
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- C.B. ERECT TEMPORARY PASSAGeways WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- C.C. REMOVE ALL PROTECTION AT THE COMPLETION OF THE WORK.
- D. UTILITY SERVICES: MAINTAIN EXISTING UTILITY SERVICES AS INDICATED TO REMAIN, OR KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- D.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED AREAS OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO OCCUPIED AREAS.
- D.B. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- E. CLEAN-UP AND REPAIRS:
- E.A. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL EQUIPMENT AND DEMOLISHED DEBRIS AND MATERIALS FROM SITE. REMOVE PROTECTION AND COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- E.B. REPAIR ALL AREAS DAMAGED BEYOND THE EXTENT OF THE DEMOLITION REQUIRED. RETURN ALL SURFACES AND STRUCTURES THAT REMAIN TO THE CONDITION THEY WERE; PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION DAMAGED BY DEMOLITION WORK.
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- E.D. REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, FROM THE BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF ALL WASTE OFF SITE.
- E.E. PROTECT FROM DAMAGE ANY AND ALL EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING THE DEMOLITION OPERATION.
- E.F. PROTECT ALL FLOORS THAT ARE EXPOSED WITH SUITABLE COVERING. REPAIR ANY DAMAGE CAUSED BY NEGLIGENCE.
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- ALL LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE WORK IS BEING PERFORMED

03 GENERAL DEMOLITION NOTES



NORBERTO ROSENSTEIN ARCHITECT, INC.
 ARCHITECTURE - INTERIOR DESIGN - PLANNING
 126 S. FEDERAL HIGHWAY SUITE # 202
 DANIA BEACH, FLORIDA 33004
 PH: (954) 922-6551
 EMAIL: nrosenstein@rosensteinarchitect.com
 WEB: www.rosensteinarchitect.com

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 N.R.
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 K.R.
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 N.R.

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REVISIONS	
COMM.	DATE
2018-39	4/22/2020

FIRESTONE MIAMI BEACH

MIAMI BEACH, FLORIDA 33139

EXTERIOR DEMOLITION PLAN

REVISIONS

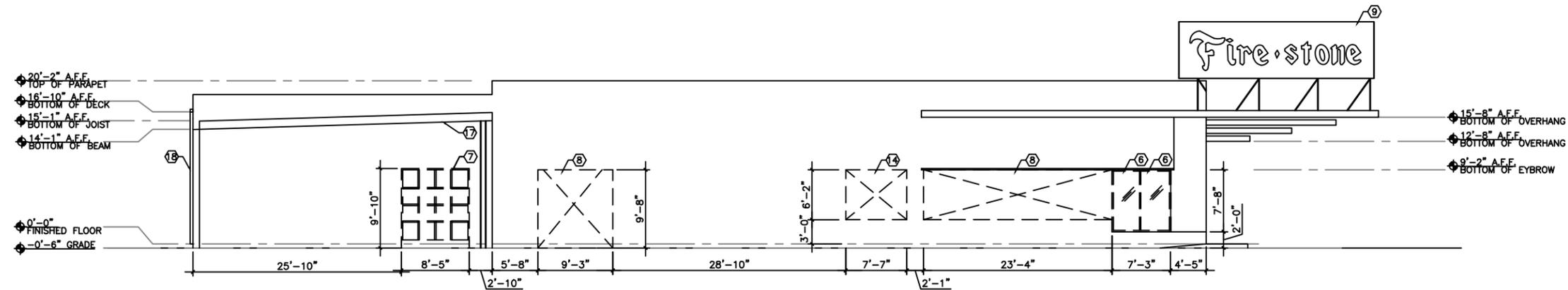
COMM.	DATE
2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

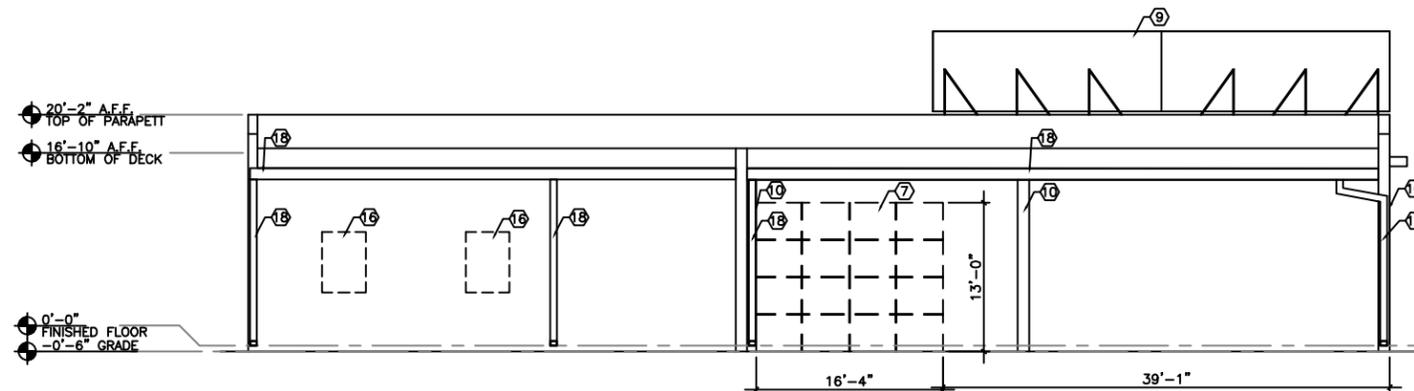
MIAMI BEACH, FLORIDA
33139

DEMOLITION
ELEVATIONS

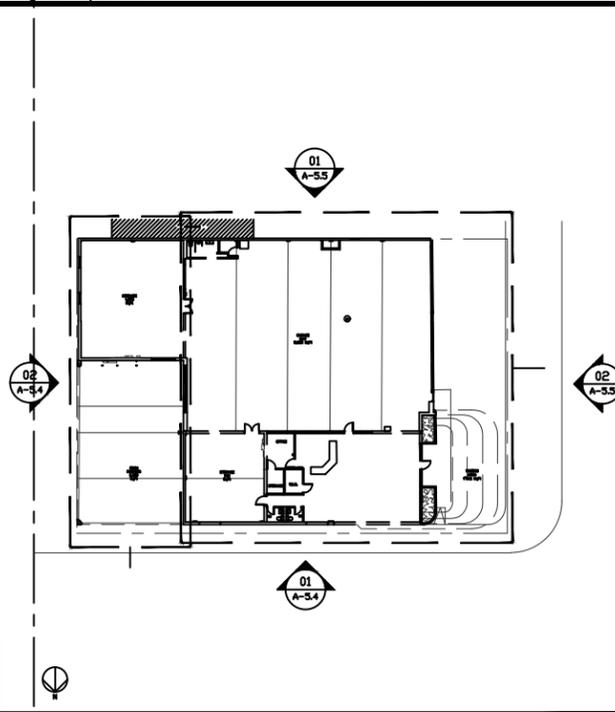
A-5.4 OF 6



01 DEMOLITION NORTH ELEVATION
SCALE: 1/16"=1'-0"



02 DEMOLITION EAST ELEVATION
SCALE: 1/16"=1'-0"



03 KEY PLAN
SCALE: 1/64"=1'-0"

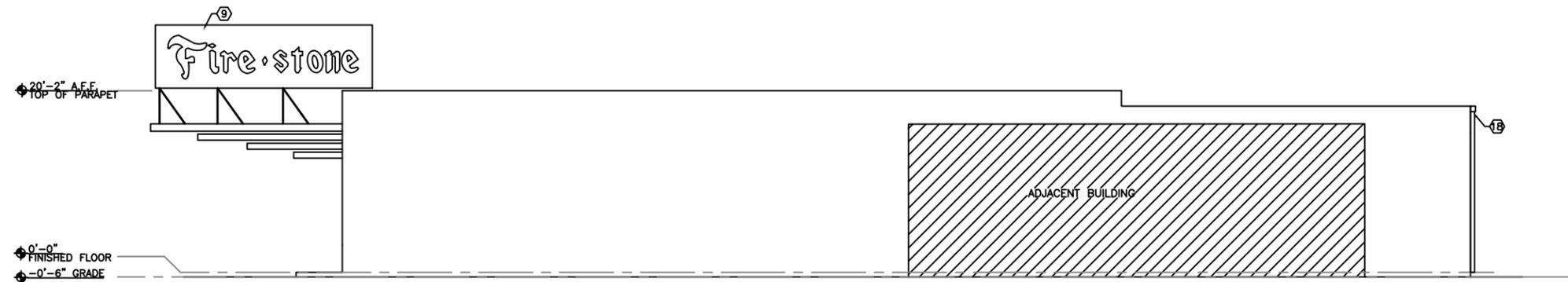
1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS. REPAIR, PATCH AND CLEAN ADJACENT SURFACES. MAINTAIN EXISTING WALL FIRE-RATING.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REPAIR SLAB TO BE SMOOTH AND READY TO RECEIVE NEW FINISHES.
5. REMOVE EXISTING ELECTRICAL PANELS AND DATA PANELS.
6. REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, PATCH AND CLEAN ADJACENT SURFACES AND PREPARE FOR NEW WINDOW.
7. REMOVE ROLL-DOOR AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, CLEAN AND PATCH ADJACENT SURFACES AND PREPARE FOR NEW DOOR.
8. DEMOLITION ON PREVIOUS OPENING. PREPARE FOR NEW WINDOWS OR STORE FRONT, REFER TO ELEVATIONS DWG AND SCHEDULES.
9. EXISTING SIGN TO REMAIN, NO WORK. SEE ELEVATIONS
10. EXISTING COLUMN TO REMAIN.
11. REMOVE EXTERIOR LIGHTING AND ASSOCIATED COMPONENTS.
12. EXISTING CMU WALL TO BE REMOVED, VERIFY IF SHORING IS REQUIRED.
13. EXISTING HISTORICAL CANOPY TO REMAIN.
14. NEW OPENING FOR NEW WINDOW, SEE ELEVATIONS FOR DETAILS.
15. EXISTING CONCRETE PLANTERS TO REMAIN
16. REMOVE WINDOW PATCHES AND REMOVE WINDOWS.
17. EXISTING CANOPY TO REMAIN; NO WORK.
18. EXISTING WATER SPOUTS AND GUTTERS TO BE REPLACED AFTER NEW WALL CONSTRUCTION.

04 DEMOLITION KEYNOTES
RTS

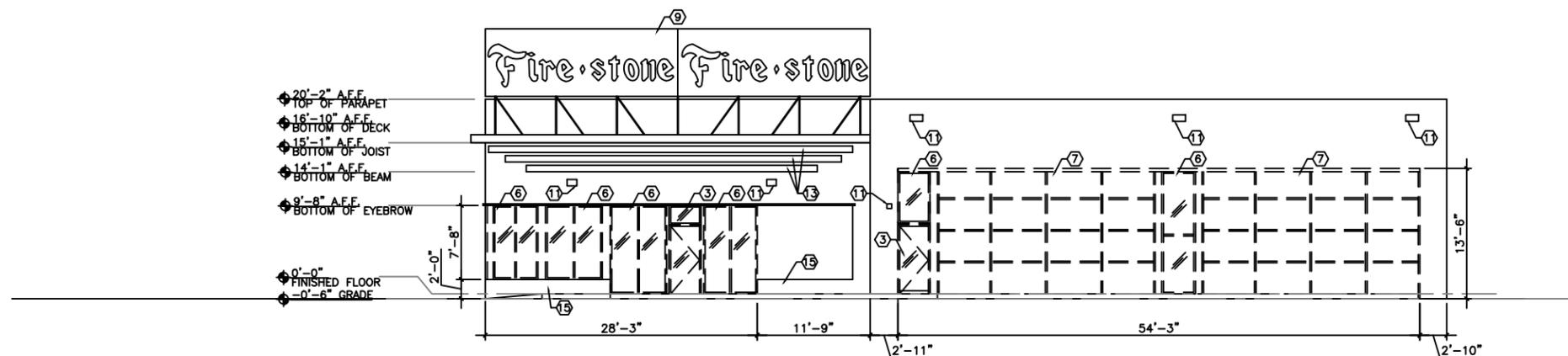
- A. PROVIDE SELECTIVE DEMOLITION WORK AS INDICATED BY DRAWINGS, IN SCHEDULES AND HEREIN SPECIFIED.
- B. PARTIAL DEMOLITION AND REMOVAL: ITEMS INDICATED TO BE REMOVED WITH ON VALUE TO OWNER BUT OF SALVAGABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES.
 - B.A. WHERE INDICATED ON DRAWINGS AS "SALVAGE - DELIVER TO THE OWNER", CAREFULLY REMOVE INDICATED ITEMS, CLEAN, STORE AND TURN OVER TO OWNER AT COMPLETION OF DEMOLITION AND OBTAIN RECEIPTS.
 - B.C. PROTECTION: PROVIDE TEMPORARY BARRICADES OR ANY OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER, PROPERTY OF THE OWNER, AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK UNDER THIS CONTRACT.
 - C.A. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER, TENANTS AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
 - C.B. ERECT TEMPORARY PASSAGEWAYS WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - C.C. REMOVE ALL PROTECTION AT THE COMPLETION OF THE WORK.
 - D. UTILITY SERVICES: MAINTAIN EXISTING UTILITY SERVICES AS INDICATED TO REMAIN, OR KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - D.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED AREAS OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO OCCUPIED AREAS.
 - D.B. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- E. CLEAN-UP AND REPAIRS:
 - E.A. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL EQUIPMENT AND DEMOLISHED DEBRIS AND MATERIALS FROM SITE. REMOVE PROTECTION AND COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - E.B. REPAIR ALL AREAS DAMAGED BEYOND THE EXTENT OF THE DEMOLITION REQUIRED. RETURN ALL SURFACES AND STRUCTURES THAT REMAIN TO THE CONDITION THEY WERE; PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK, REPAIR ADJACENT CONSTRUCTION DAMAGED BY DEMOLITION WORK.
 - E.C. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER. FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER.
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 - E.E. PROTECT FROM DAMAGE ANY AND ALL EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING THE DEMOLITION OPERATION.
 - E.F. PROTECT ALL FLOORS THAT ARE EXPOSED WITH SUITABLE COVERING. REPAIR ANY DAMAGE CAUSED BY NEGLIGENCE.
- F. BEGINNING OF DEMOLITION/INSTALLATION WILL BE CONSTRUED AS ACCEPTANCE OF EXISTING SUBSTRATES, SURFACES AND CONDITIONS. MAJOR PROBLEMS IN THE STRUCTURE WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

05 GENERAL DEMOLITION NOTES
RTS

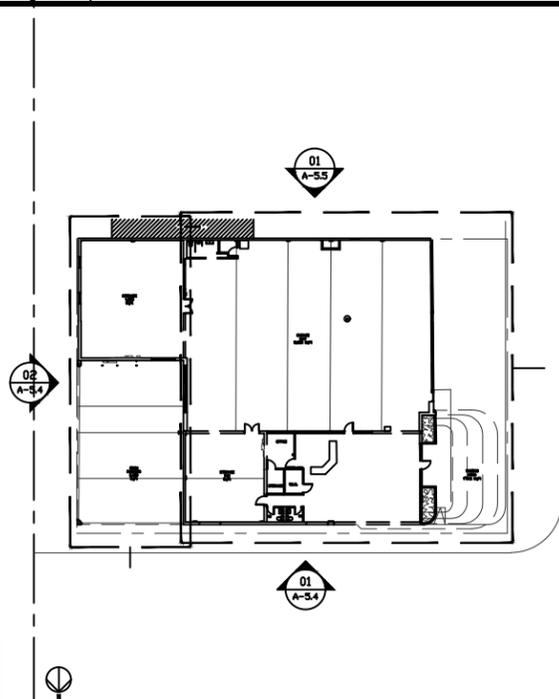
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- H. IF CIRCUITS ARE TO BE REUSED FOR NEW FIXTURES, THE WIRING SHOULD BE CHECKED FOR ANY DEFECTS OR DEVIATIONS IN PROPER ELECTRICAL REQUIREMENTS.
- I. ALL LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE WORK IS BEING PERFORMED



01 DEMOLITION SOUTH ELEVATION
SCALE: 1/16"=1'-0"



02 DEMOLITION WEST ELEVATION
SCALE: 1/16"=1'-0"



03 KEY PLAN
SCALE: 1/64"=1'-0"

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REVISIONS

COMM.	DATE
2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

MIAMI BEACH, FLORIDA
33139

DEMOLITION
ELEVATIONS



NORBERTO ROSENSTEIN ARCHITECT, INC.

ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

EMAIL: nrosenstein@rosensteinarchitect.com
WEB: www.rosensteinarchitect.com

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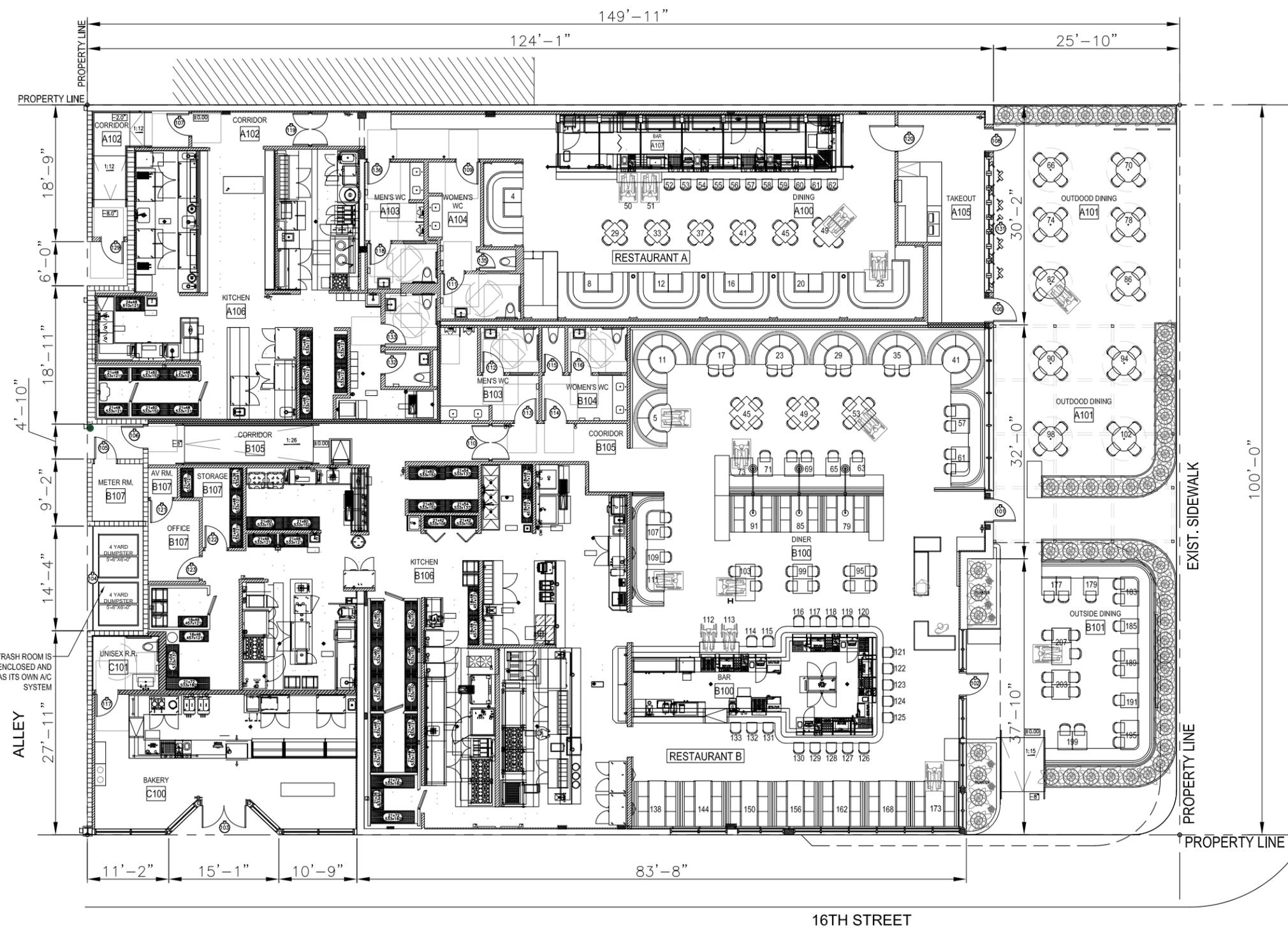
COMM.	DATE
2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

MIAMI BEACH, FLORIDA
33139

FLOOR PLAN

A-6.0 OF 7



SPACE A RESTAURANT : 5,513 SqFt		
USE: A2 ASSEMBLY		
INTERIOR SEATING AREA:	OCCUPANCY	SEATS
UNCONSTRAINED SEATING AREA 993/15	66	49
TAKEOUT AREA 228/15	16	
BAR SEATING: (62.21'x4')/7	23	13
KITCHEN & SERVICE AREAS (1418+66+351)/100	18	
INTERIOR SUB-TOTAL	123	62
EXTERIOR SEATING AREA: 1397 SqFt		
UNCONSTRAINED SEATING AREA 1397/15	93	40
OUTDOOR SUB-TOTAL	93	40
GRAND TOTAL	OCCUPANCY 216	SEATS 102
INCLUDING 5 ADA SEATS		

SPACE B RESTAURANT : 7,472 SqFt		
USE: A2 ASSEMBLY		
INTERIOR SEATING AREA:	OCCUPANCY	SEATS
UNCONSTRAINED SEATING AREA 2,386/15	156	151
BAR SEATING: (79.75'x4')/7	49	22
KITCHEN & SERVICE AREAS (2,655+402)/100	31	
INTERIOR SUB-TOTAL	236	173
EXTERIOR SEATING AREA: 867 SqFt		
UNCONSTRAINED SEATING AREA 867/15	58	34
OUTDOOR SUB-TOTAL	58	34
GRAND TOTAL	OCCUPANCY 294	SEATS 207
INCLUDING 8 ADA SEATS		

SPACE C BAKERY: 770 SqFt	
USE: MERCHANTILE	
359 SqFt/30 =	12 PEOPLE
267 SqFt/100 =	3 PEOPLE (SERVICE AREA)
144 SqFt =	0 PEOPLE (RESTROOM - NO OCCUPIED)
TOTAL	= 15 PEOPLE

UTILITY D : 60 SqFt

TRASH E : 100 SqFt

TOTAL AREA : 13915 SqFt

TOTAL INTERIOR AREA : 11651 SqFt

* ALL SEATING IS CONTAINED WITHIN PROPERTY LINE

03 OCCUPANCY LOAD/ SEATING BREAKDOWN
N.T.S.

01 FLOOR PLAN
SCALE: 1/16"=1'-0"

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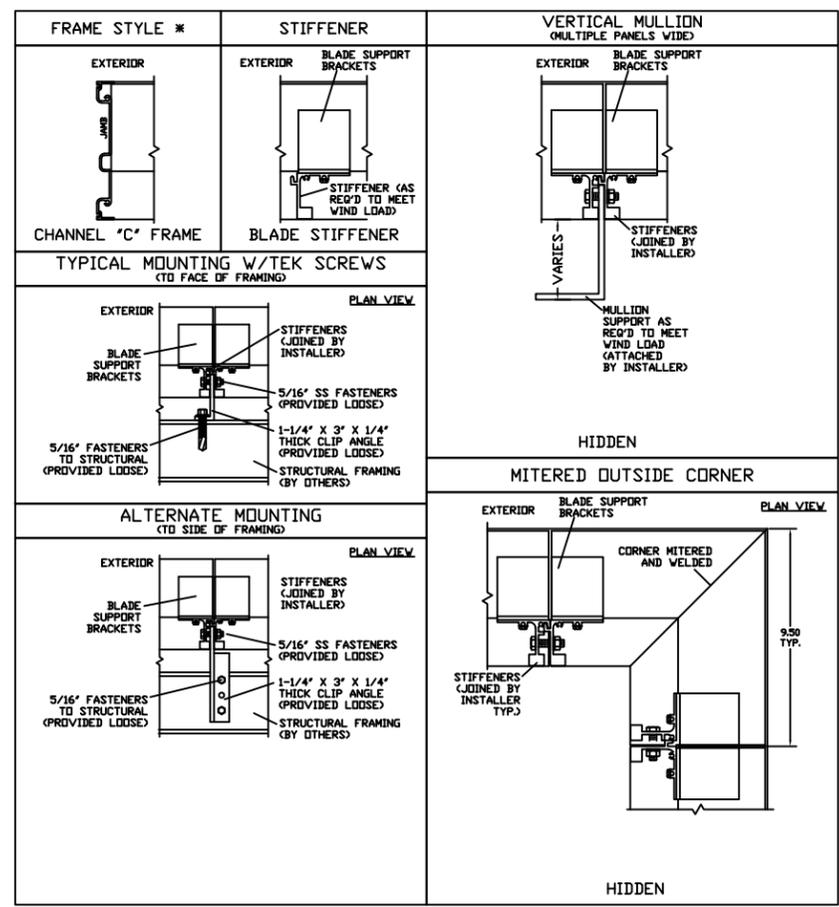
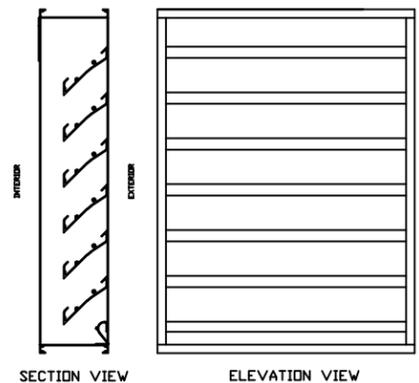
MIAMI BEACH, FLORIDA
33139

ROOF PLAN

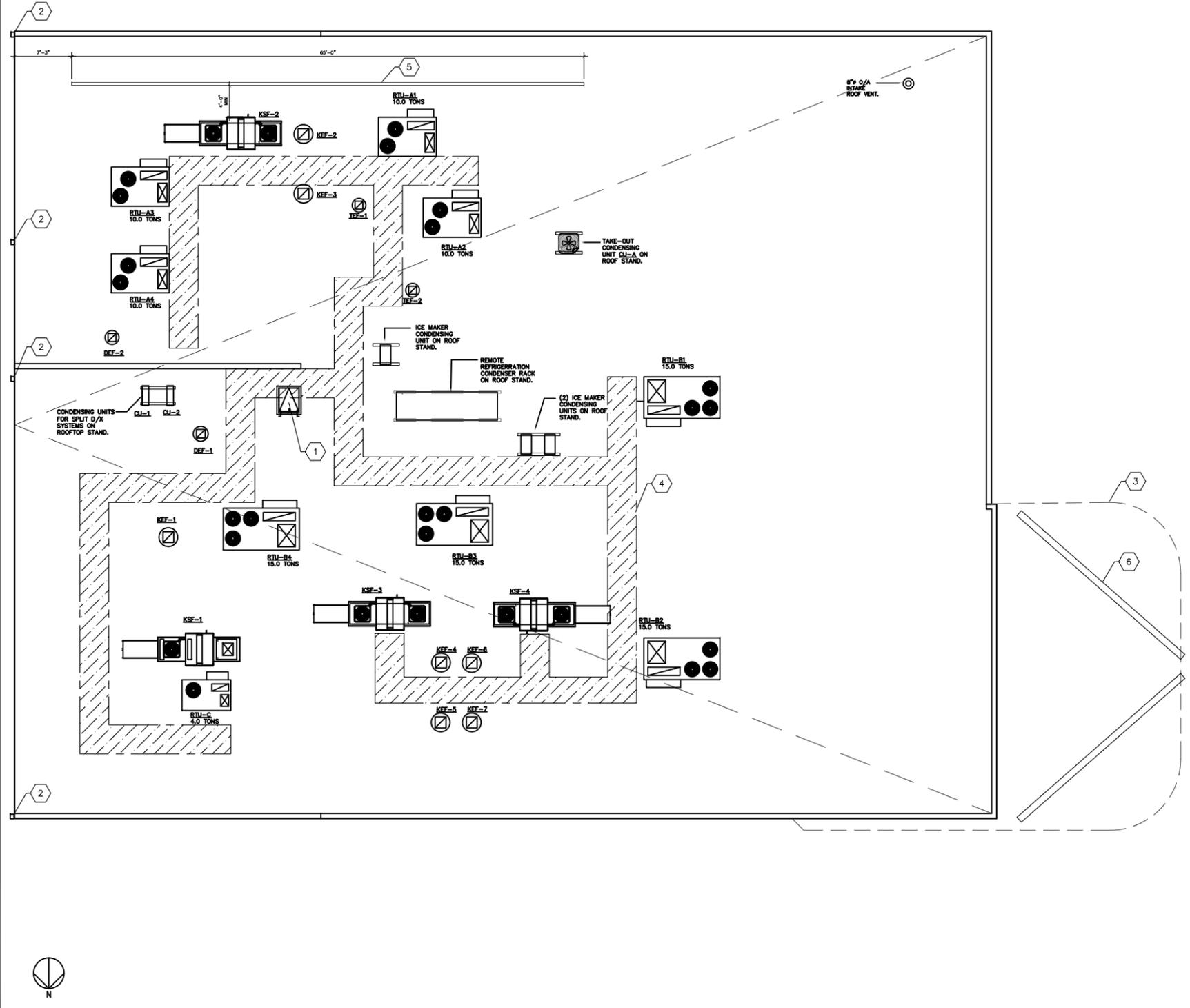
VERIFY ALL NOTES WITH ID DRAWINGS

1. ROOF HATCH
2. DOWN SPOUTS
3. EXISTING HISTORICAL AWNING
4. ROOF PATH PAD
5. MECHANICAL SCREEN. SEE 03/6.1.
SCREEN TO BE 7'-7" TALL AND
POWDER COATED.
6. EXISTING SIGN

02 KEYNOTES



03 MECHANICAL SCREEN DETAIL



01 ROOF PLAN

SCALE: 1/16"=1'-0"

03

NO.	DATE	DESCRIPTION

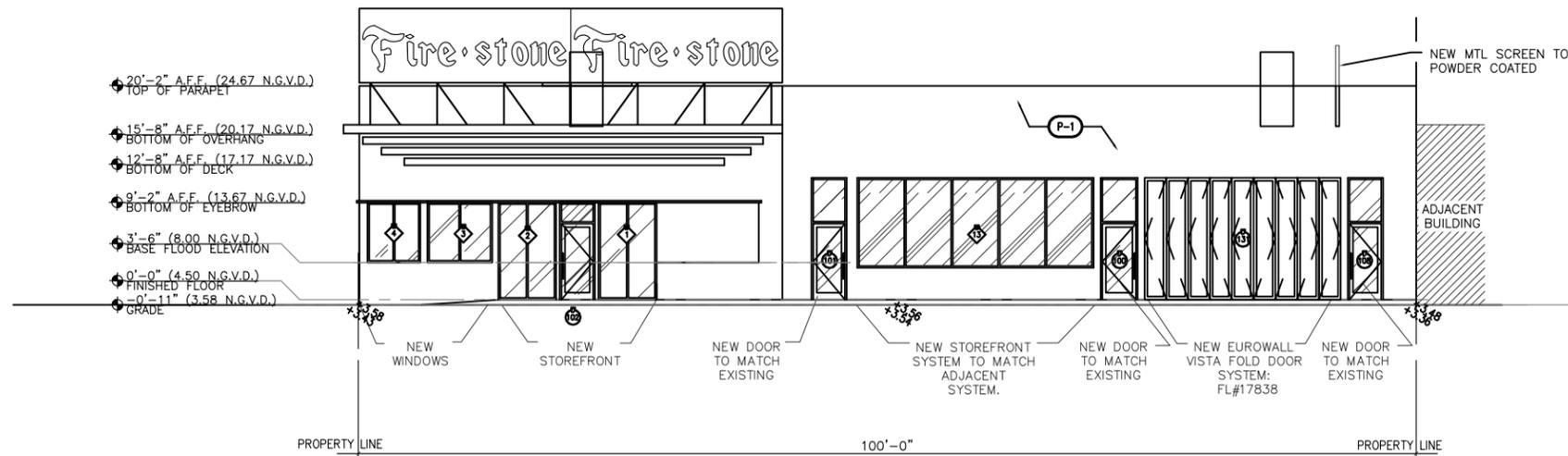
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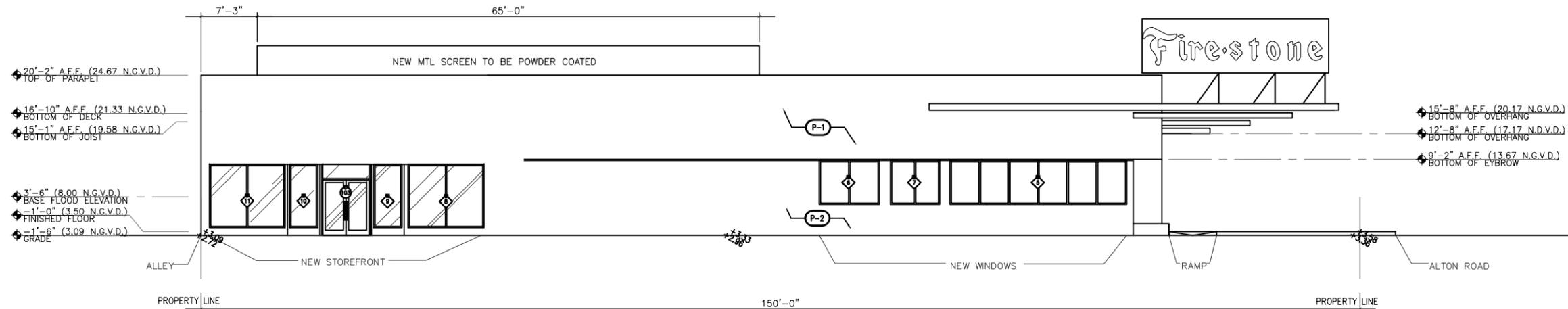
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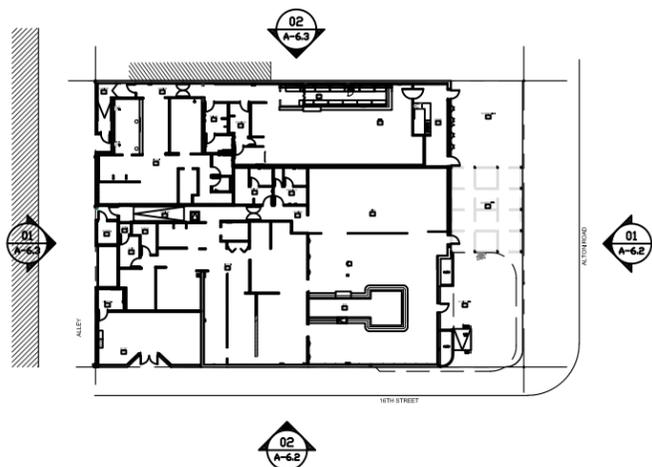
EXTERIOR
ELEVATIONS



01 WEST ELEVATION
SCALE: 1/16"=1'-0"



02 NORTH ELEVATION
SCALE: 1/16"=1'-0"



03 KEY PLAN
SCALE: 1/64"=1'-0"

FINISH SCHEDULE						
GC		OWNER		MATERIAL		
FURNISH	INSTALL	FURNISH	INSTALL	TAG	DESCRIPTION AND SPECIFICATIONS	REMARKS
Q	Q			(P-1)	PAINT COLOR NAME: TBD	
Q	Q			(P-2)	PAINT COLOR NAME: TBD	
NOTE:						
Q	Q			(FL-1)	EXTERIOR PATIO FLOOR MANUFACTURER: COLOR NAME: FRENCH GRAY C14 PRODUCT: CONCRETE-ROCK SALT FINISH	

NOTE: FLOOR MUST COMPLY WITH FFPC 101 7.1.6.4. THE WALKING SURFACE OF EACH ELEMENT IN THE MEANS OF EGRESS SHALL BE UNIFORMLY SLIP RESISTANT ALONG THE NATURAL PATH OF TRAVEL.

04 FINISH SCHEDULE
SCALE: N/A

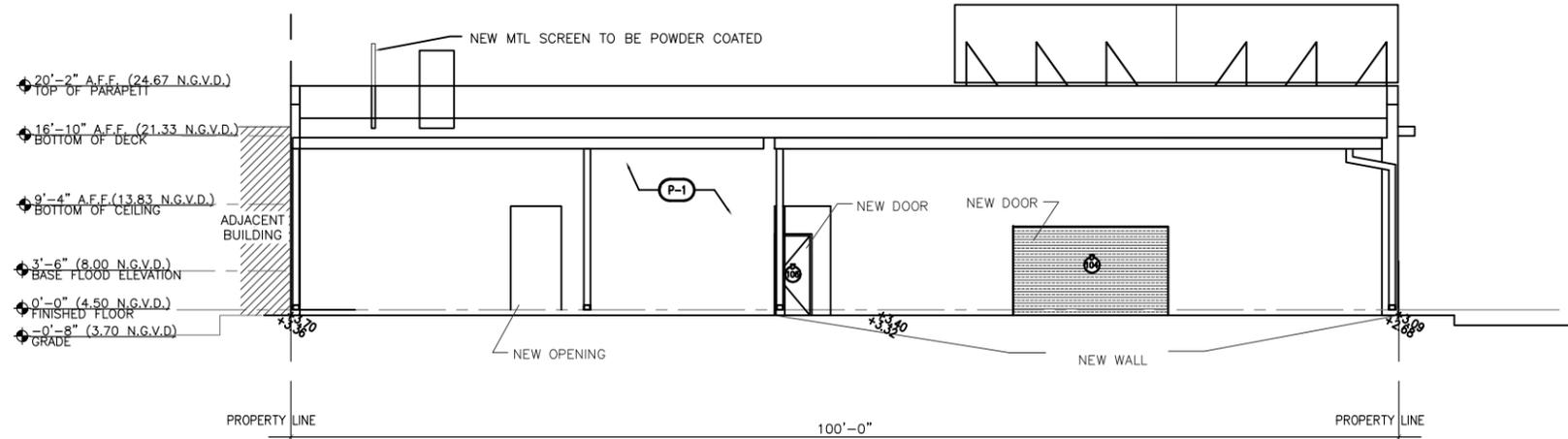
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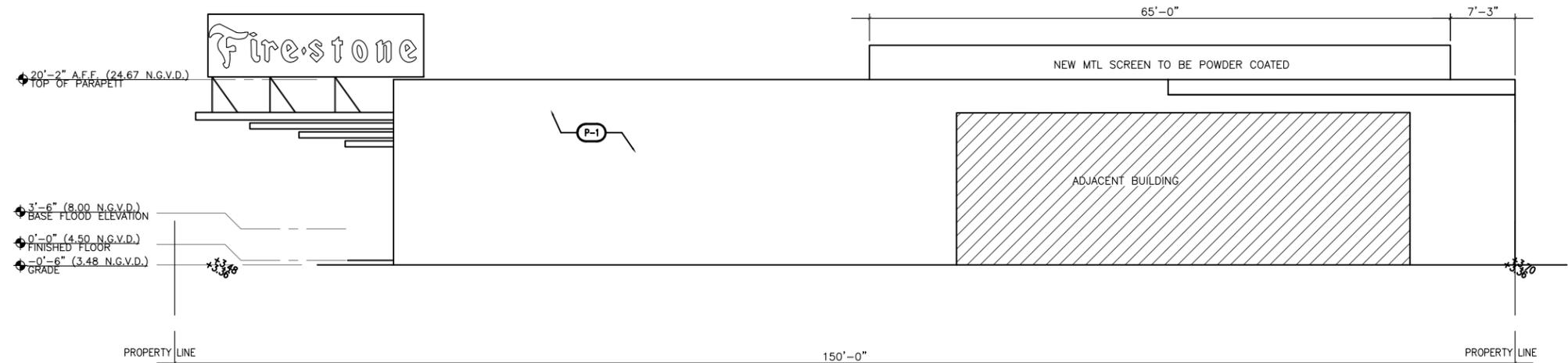
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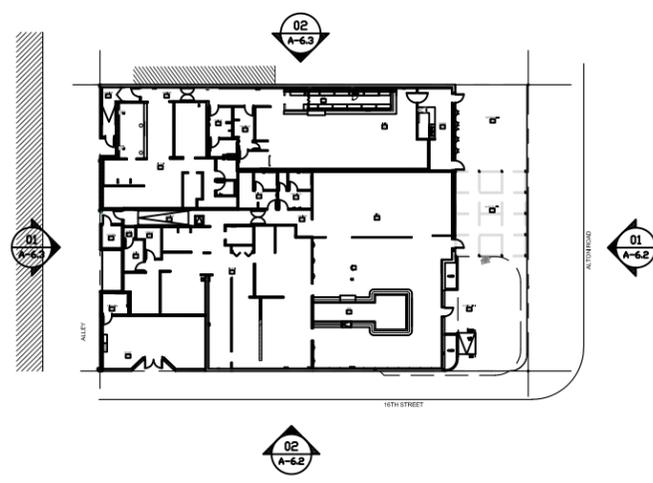
EXTERIOR
ELEVATIONS



01 EAST ELEVATION
SCALE: 1/16"=1'-0"



02 SOUTH ELEVATION
SCALE: 1/16"=1'-0"



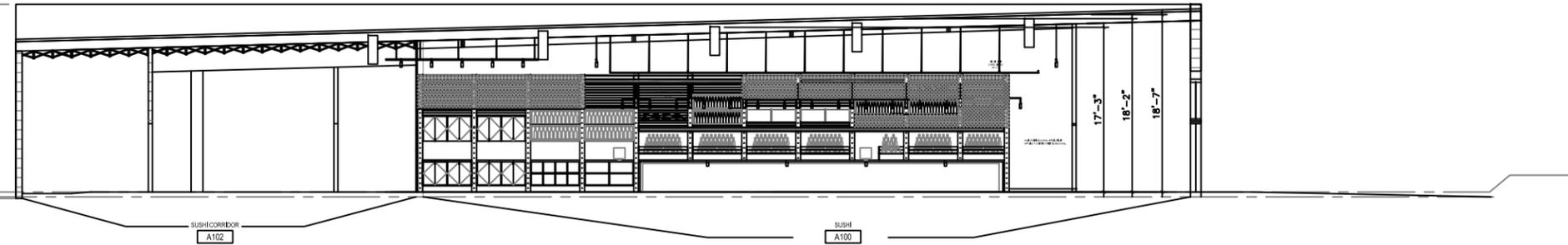
03 KEY PLAN
SCALE: 1/8"=1'-0"

FINISH SCHEDULE						
GC		OWNER		MATERIAL		
FURNISH	INSTALL	FURNISH	INSTALL	TAG	DESCRIPTION AND SPECIFICATIONS	REMARKS
Ⓚ	Ⓚ			(P-1)	PAINT COLOR NAME: TBD	
Ⓚ	Ⓚ			(P-2)	PAINT COLOR NAME: TBD	
NOTE:						
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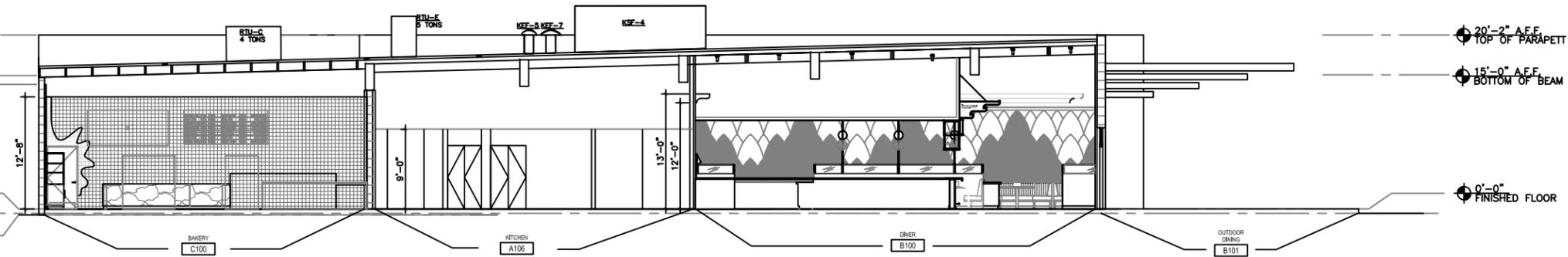
04 FINISH SCHEDULE

20'-2" A.F.F.
 TOP OF PARAPET
 0'-0" FINISHED FLOOR
 -0'-6" GRADE
 -0'-8" ALLEY

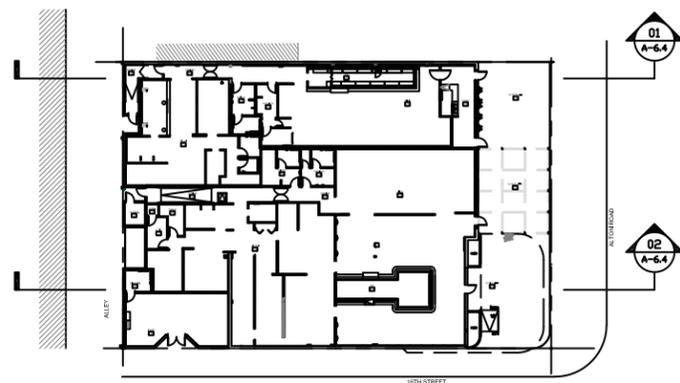


01 SECTION ELEVATION
SCALE: 1/16"=1'-0"

20'-2" A.F.F.
 TOP OF PARAPET
 15'-1" A.F.F.
 BOTTOM OF JOIST
 14'-1" A.F.F.
 BOTTOM OF BEAM
 0'-0" FINISHED FLOOR
 -0'-6" GRADE
 -0'-8" ALLEY



02 SECTION ELEVATION
SCALE: 1/16"=1'-0"



03 KEY PLAN
SCALE: 1/64"=1'-0"



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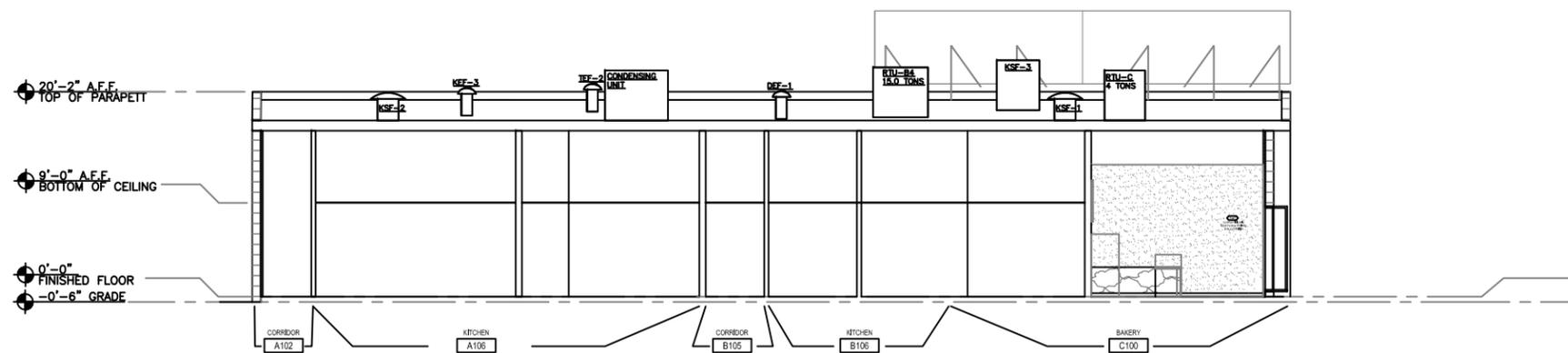
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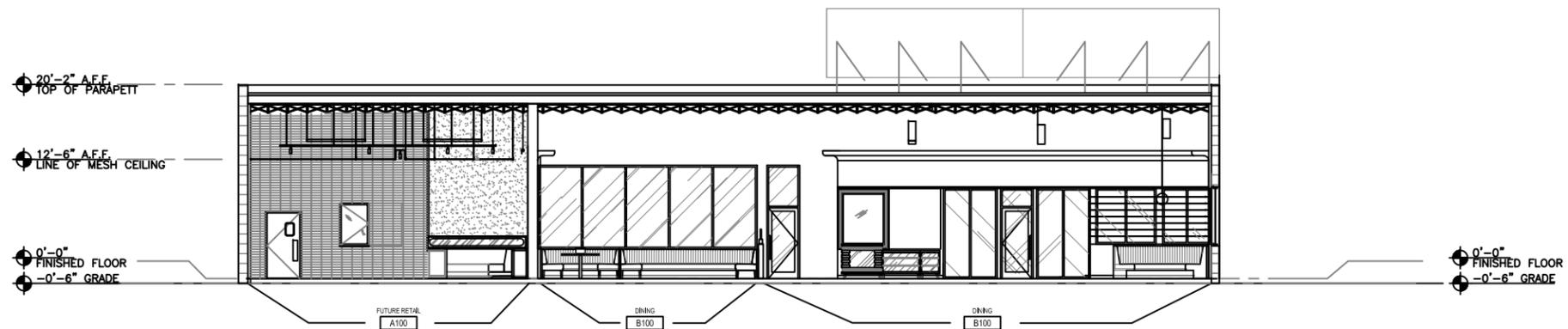
SECTION ELEVATIONS

A-6.4 OF 6

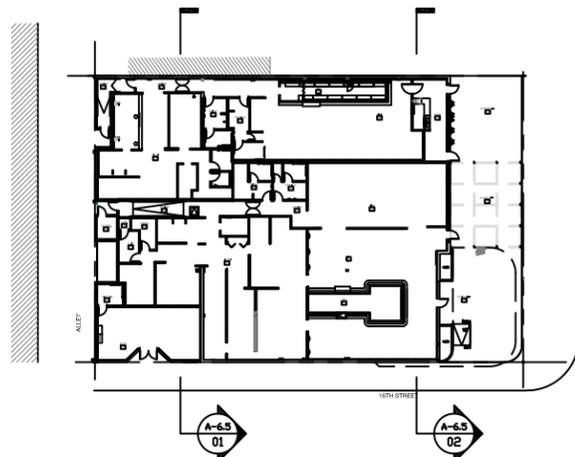
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01 SECTION ELEVATION
SCALE: 1/16"=1'-0"



02 SECTION ELEVATION
SCALE: 1/16"=1'-0"



03 KEY PLAN
SCALE: 1/64"=1'-0"



NORBERTO ROSENSTEIN
ARCHITECT, INC.

ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY
SUITE # 202
DANIA BEACH, FLORIDA 33004
PH: (954) 922-6551

EMAIL: nrosenstein@rosensteinarchitect.com
WEB: www.rosensteinarchitect.com

STATE REG. NO. AR0016674
STATE REG. NO. AA26001896
NATL. REG. NO. 69178

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DESIGNED
N.R.
DRAWN
K.R.
CHECKED
N.R.

I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED BY ME OR UNDER
MY SUPERVISION, AND TO THE BEST
OF MY KNOWLEDGE, COMPLY WITH ALL
APPLICABLE CODES.

REVISIONS

COMM.	DATE
2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

MIAMI BEACH, FLORIDA
33139

SECTION
ELEVATIONS

A-6.5 01 6

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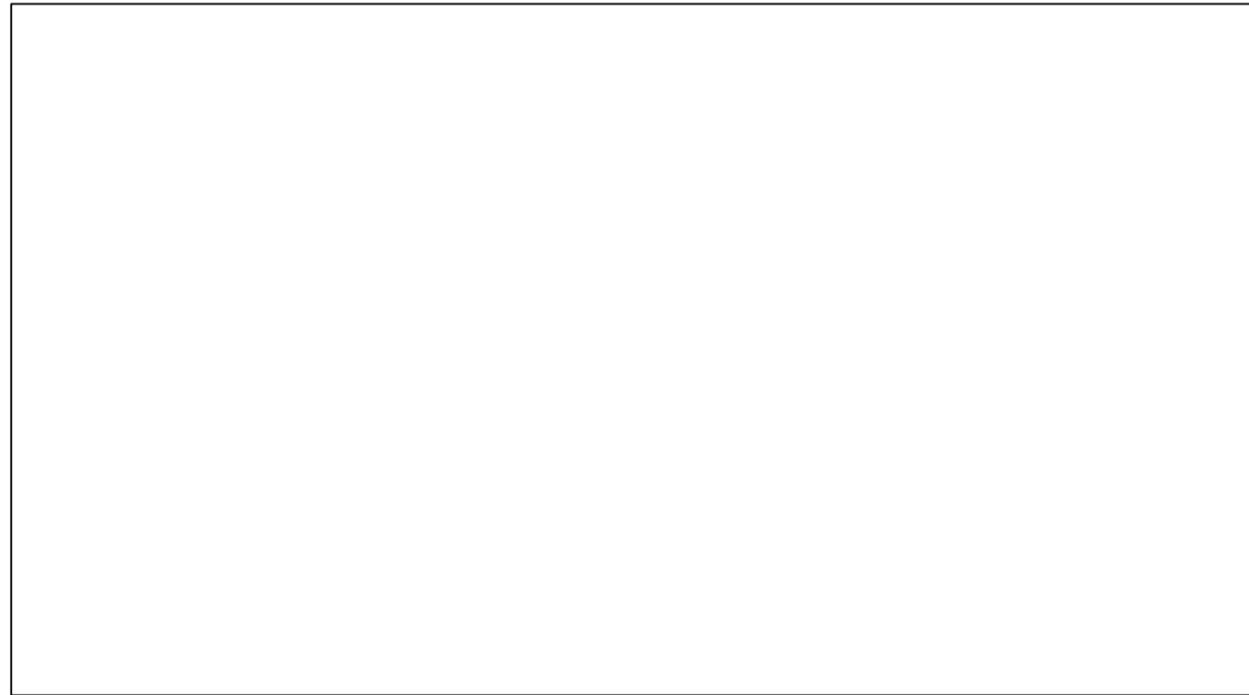
RENDER #1: NORTH ELEVATION ON 16TH STREET: PARTIAL EXTERIOR OF BAKERY ENTRANCE.



RENDER #2: NORTH-WEST CORNER: ON 16TH STREET AND ALTON RD. MAIN ENTRANCE TO RESTAURANT B.



RENDER #3: WEST ELEVATION: ON ALTON RD. MAIN ENTRANCE TO RESTAURANT B AND RESTAURANT A.



N/A



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COMM.	DATE
2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

MIAMI BEACH, FLORIDA
33139

EXTERIOR
RENDERS



RENDER #1: RESTAURANT B: PARTIAL SEATING AREA AND BAR VIEW.



RENDER #2: RESTAURANT B: PARTIAL ENTRANCE AND BAR VIEW, SEATING AREA IN THE BACKGROUND.



RENDER #3: RESTAURANT A: SEATING AREA AND BAR.



RENDER #4: BAKERY: MAIN BAKERY SPACE VIEW..

NR
architect

NORBERTO ROSENSTEIN ARCHITECT, INC.
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2018-39	4/22/2020

FIRESTONE
MIAMI BEACH

MIAMI BEACH, FLORIDA
33139

INTERIOR
RENDERS

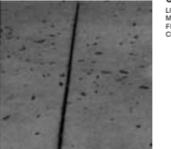
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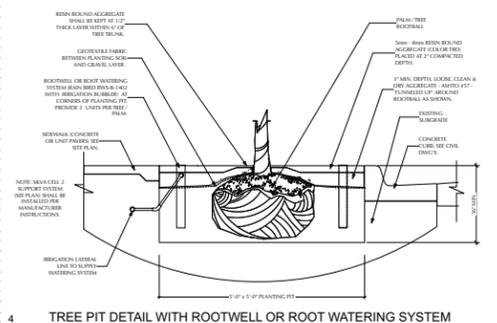
CONCRETE TYPE 1
 LOCATION: Hardship Plan (Sidewalk)
 MATERIAL: Colored Concrete
 FINISH: Chroma Admixture Brushed Finish
 COLOR: Miami Beach Red IV
 L.M. Scofield Company
 4100 Scofield Rd.
 Douglasville, GA 30134
 Phone: (770) 920-6000



CONCRETE TYPE 2
 LOCATION: Hardship Plan (Patio)
 MATERIAL: Colored Concrete
 FINISH: Chroma Admixture Rock Salt Finish
 COLOR: French Gray C-14
 L.M. Scofield Company
 4100 Scofield Rd.
 Douglasville, GA 30134
 Phone: (770) 920-6000



MOVED TO SHEET L101



Planter Options

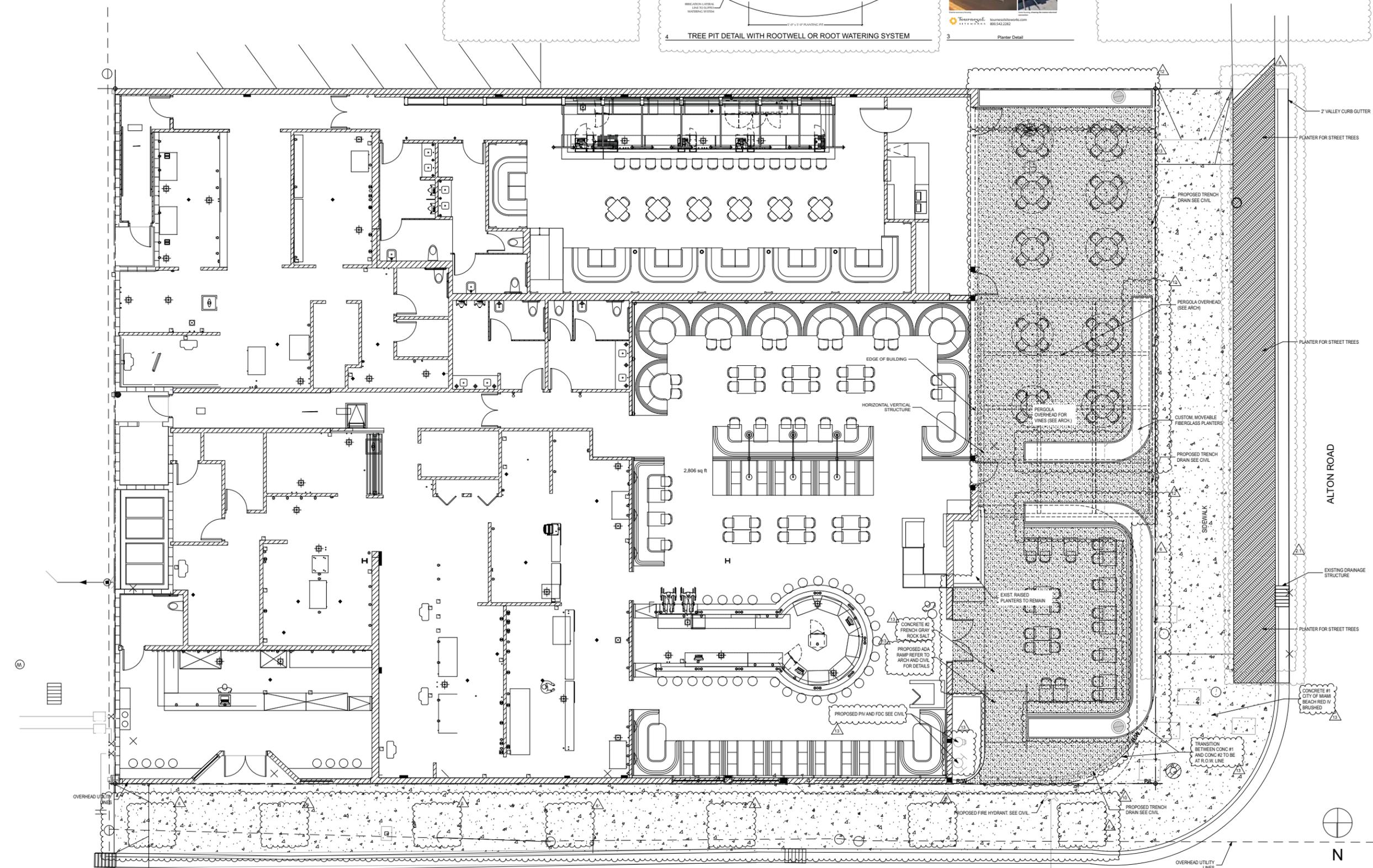


Call to Action Panel

Urban Robot LLC
 4201 LINCOLN ROAD, S. 800
 MIAMI BEACH, FL 33139
 (786) 246-4857
 WWW.URBANROBOT.NET

REMOVED

LANDSCAPE ARCHITECT:
 URBAN ROBOT LLC
 4201 LINCOLN ROAD, S. 800
 MIAMI BEACH, FL 33139
 (786) 246-4857
 WWW.URBANROBOT.NET



FIRESTONE
 BUILDING PERMIT
 1575 Alton Rd.
 Miami Beach, FL

REVISIONS

1	CITY COMMENTS 12.5.2016
2	COORDINATION 2.1.2017
3	COORDINATION 7.7.2017
4	COORDINATION 5.8.2019
5	CITY COMMENTS 07.11.2019

SEAL

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 MIAMI BEACH, FL 33139
 (786) 246-4857
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1616
 09/21/2016
 PS / JV

Site Hardscape Plan

L100

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 16 17 16

FIRESTONE
BUILDING PERMIT
1575 Alton Rd.
Miami Beach, FL

REVISIONS

△	CITY COMMENTS 12.5.2016
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△	COORDINATION 7.7.2017
△	COORDINATION 5.8.2019
△	CITY COMMENTS 07.11.2019

SEAL

URBAN ROBOT LLC
PROJ: 1575 ALTON RD L20000016

1616
REVISION
09/21/2016
DR
PS / JV
DRS / PDR

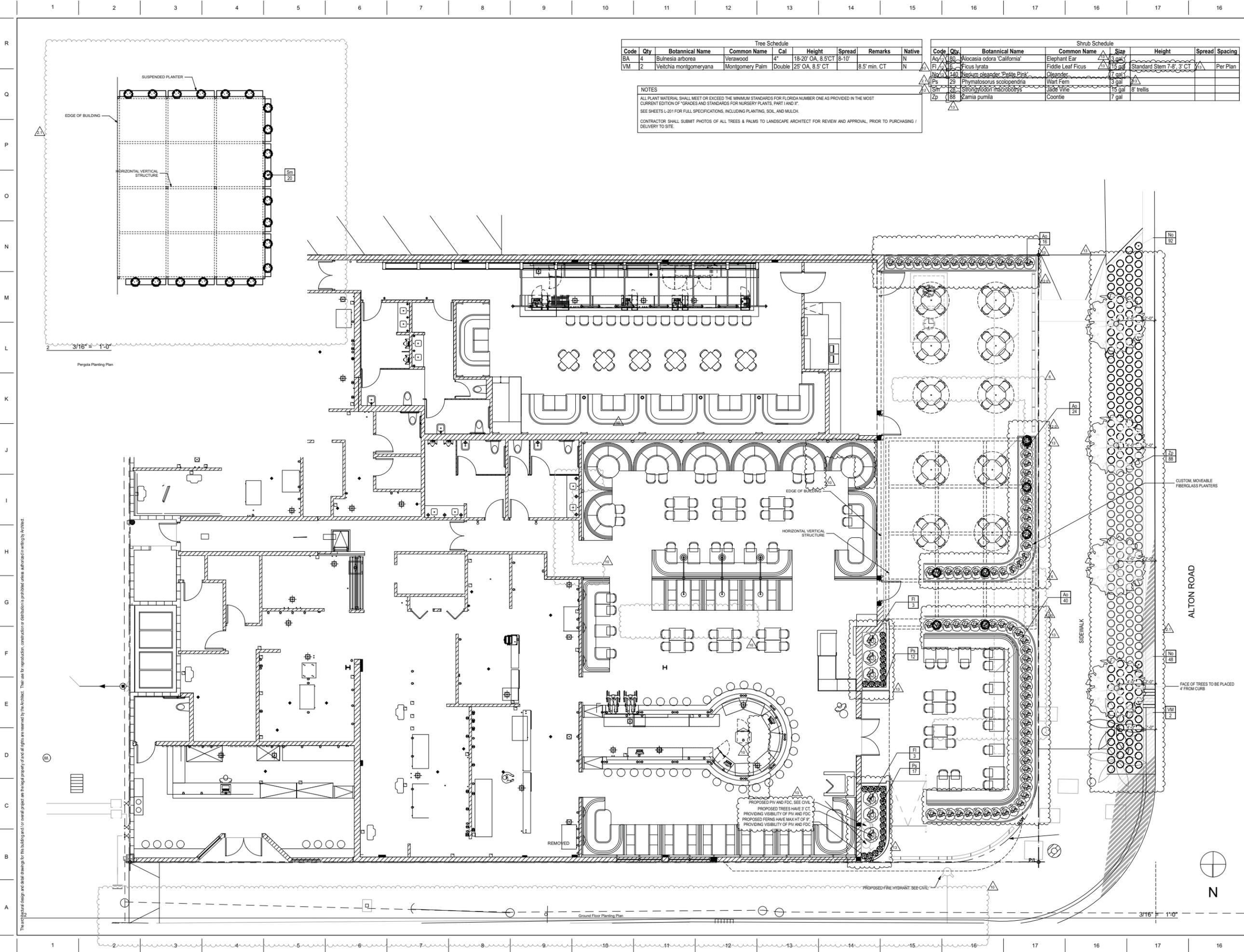
Site Planting Plan

L200

Tree Schedule							
Code	Qty	Botanical Name	Common Name	Cal	Height	Spread	Remarks
BA	4	Bulnesia arborea	Verawood	4"	18-20' OA, 8.5' CT	8-10'	
VM	2	Veitchia montgomeryana	Montgomery Palm	Double	25' OA, 8.5' CT		8.5' min. CT

NOTES
ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NUMBER ONE AS PROVIDED IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1 AND II".
SEE SHEETS L-201 FOR FULL SPECIFICATIONS, INCLUDING PLANTING, SOIL, AND MULCH.
CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES & PALMS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO PURCHASING / DELIVERY TO SITE.

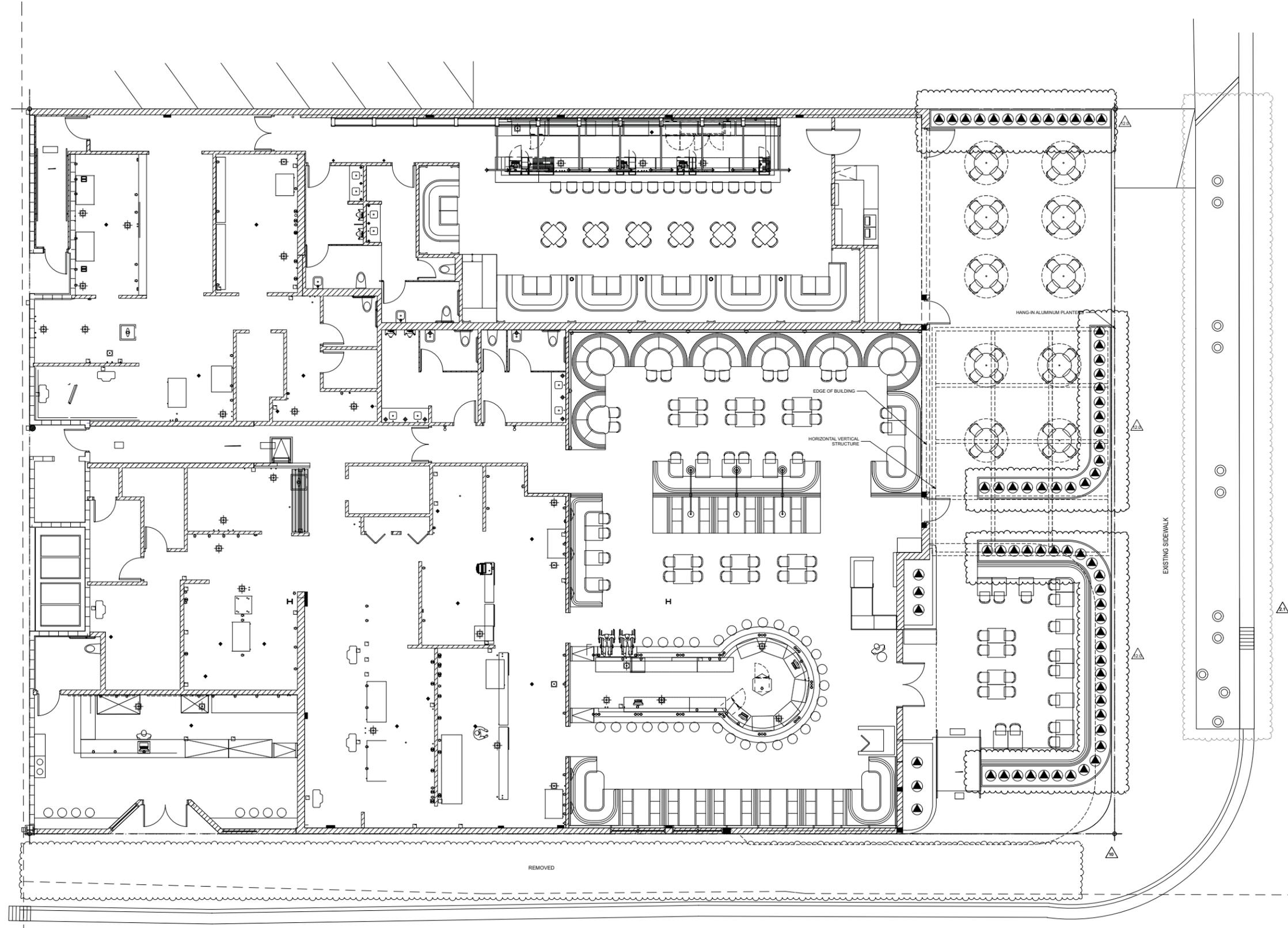
Shrub Schedule					
Code	Qty	Botanical Name	Common Name	Size	Height
Al	80	Alcousia odora 'California'	Elephant Ear	13 gal	
Fl	16	Ficus lyrata	Fiddle Leaf Ficus	15 gal	Standard Stem 7-8' 3 CT
Np	140	Nerium oleander 'Petite Pink'	Oleander	7 gal	
Ps	29	Phymatosorus scolopendria	Wart Fern	13 gal	
Sh	24	Strongylodon macrobotrys	Jade Vine	15 gal	8' trellis
Zp	88	Zamia pumila	Coontie	7 gal	



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Lighting Schedule									
Sym	Qty	Light Fixture	Name/Model	Wattage	Lamp	Color	Optics	Voltage	Finish
⊙	11	Well Light	KIM Lighting	3.6W	LED 3000K	White	Adjustable	120-277V	Die-cast brass with natural finish
▲	69	Mini Wall Washer	Garden Light	2.8/20W	LED 2700K	Warm White	N/A	10.5-18V	Architectural Bronze (AB)

NOTES
 Locations shown are approximate; verify exact fixture placement and orientation in the field with Landscape Architect.
 Verify zoning & controls with Landscape Architect.
 Verify fixtures and finishes with Landscape Architect before purchase.
 All fixtures to be UL rated.



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Ground Floor Landscape Lighting

3/16" = 1'-0"

LANDSCAPE ARCHITECT:
 URBAN ROBOT LLC
 4281 LINCOLN ROAD, S. 900
 MIAMI BEACH, FL 33139
 (786) 246-4857
 WWW.URBANROBOT.NET

FIRESTONE
 BUILDING PERMIT
 1575 Alton Rd.
 Miami Beach, FL

REVISIONS

- ▲ CITY COMMENTS 12.5.2016
- ▲ COORDINATION 1.7.2017
- ▲ COORDINATION 5.8.2019

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 ARCHITECT 020011001.L2000010

1616
 REGISTERED

05/07/2019
 DATE

PS / JV
 DRAWN / CHECKED

Site Landscape
 Lighting Plan

L300