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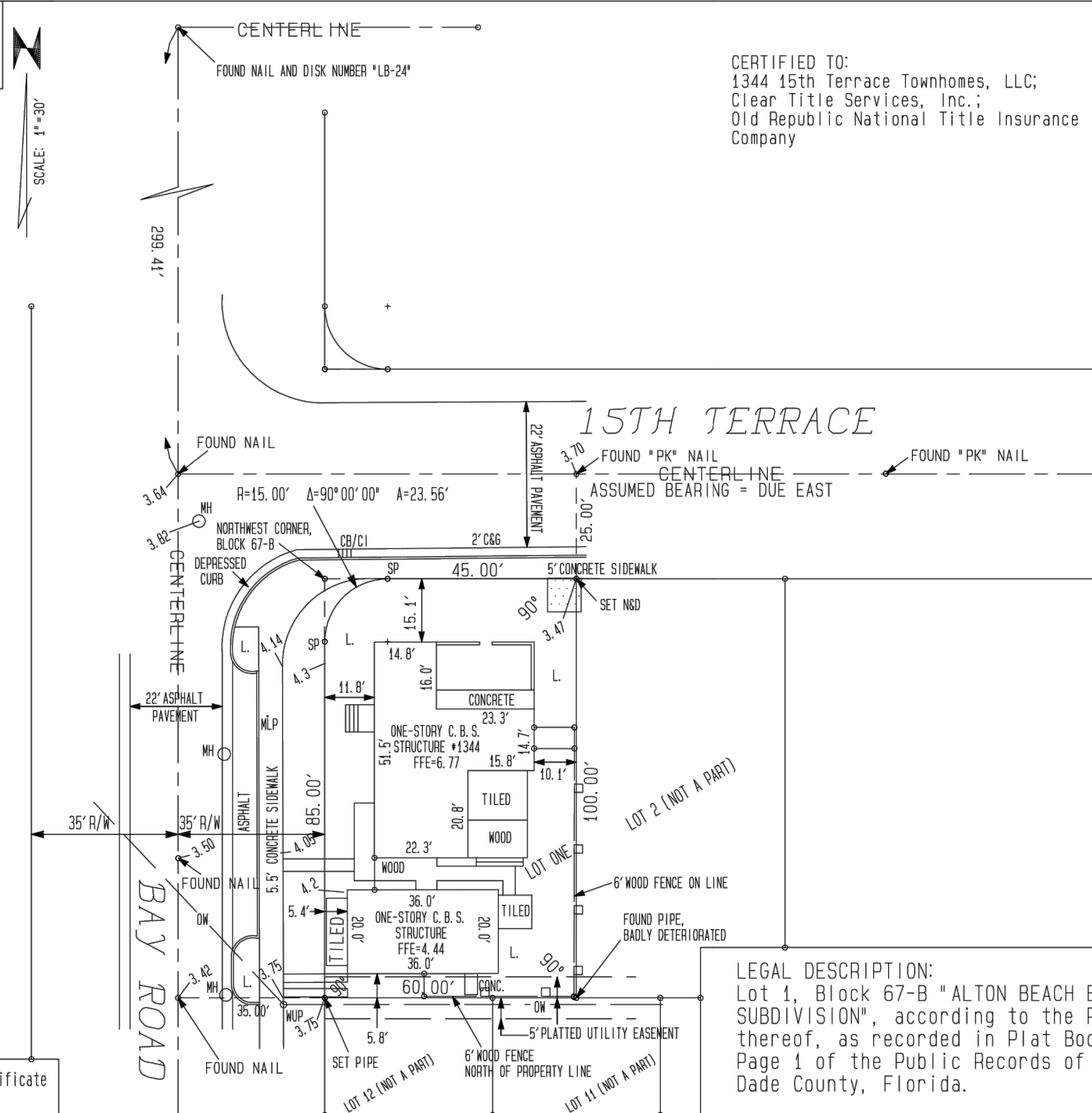
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Residential Townhouse Project

Final Submittal 8/12/2016

PROJECT# 5129	DATE 5-5-2016
DRAWN AC	CHECKED
FIELD BOOK; 324	
PAGES 39 & 40	
CADD FILE 5129	SCALE 1" = 30'



1. Internal angles and North Arrow are based upon the Plat of "ALTON BEACH BAY FRONT SUBDIVISION", and are referenced to the centerline of 15th Terrace, assumed bearing = due East.
2. SET PIPE, SP denotes set 1/2" iron pipe and cap stamped C&A, Inc. LB-1678.
3. Recording references, if any, refer to the Public Records of Miami-Dade County, Florida.
4. Underground utilities were not investigated. Only visible utilities have been located unless otherwise shown.
5. FP, FOUND PIPE denotes found 1/2" iron pipe & cap, cap missing/illegible, location good, unless otherwise noted.
6. FOUND N&D denotes found nail and disk, location good, unless otherwise noted. Number illegible.
7. FOUND REBAR denotes found 1/2" rebar, location deemed good unless otherwise stated.
8. Date of survey/latest revision represents most recent date survey was performed in the field, which is not necessarily the same date as survey issuance.
9. It is strongly recommended that an update of this survey be requested of us prior to commencing any design or construction services.
10. SET N&D denotes set nail and disk stamped "LB-1678".
11. "FN" denotes found nail, location deemed good.
12. According to the National Flood Program's Flood Rate Map Number 12086C, Panel 0317, Suffix "L", Community Number 120651 (City of Miami Beach), dated as revised 9-11-2009, this property lies in Flood Zone "AE", elevation = 8 feet.
13. FOUND 1/2" REBAR denotes found 1/2" rebar, with no cap, location good.
14. Elevations are based upon National Geodetic Vertical Datum (NGVD) and are based upon City of Miami Beach Benchmark #1506, elevation 2.26 NAVD (North American Vertical Datum) and also referenced to Miami-Dade County Benchmark "D-104", elevation = 1.49 NAVD. For the purposes of this survey, a conversion to NGVD has been made.
15. Property contains 5951 square feet.

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1.	8-9-2016	ADD SOME ELEVATIONS/NO UPDATE	BY		
No.	DATE	REVISION DESCRIPTION	BY	CHK.	APV.

SKETCH OF SURVEY
OF
1344 15th Terrace
Miami Beach, Florida 33139
FOR
Gregg Covin Real Estate

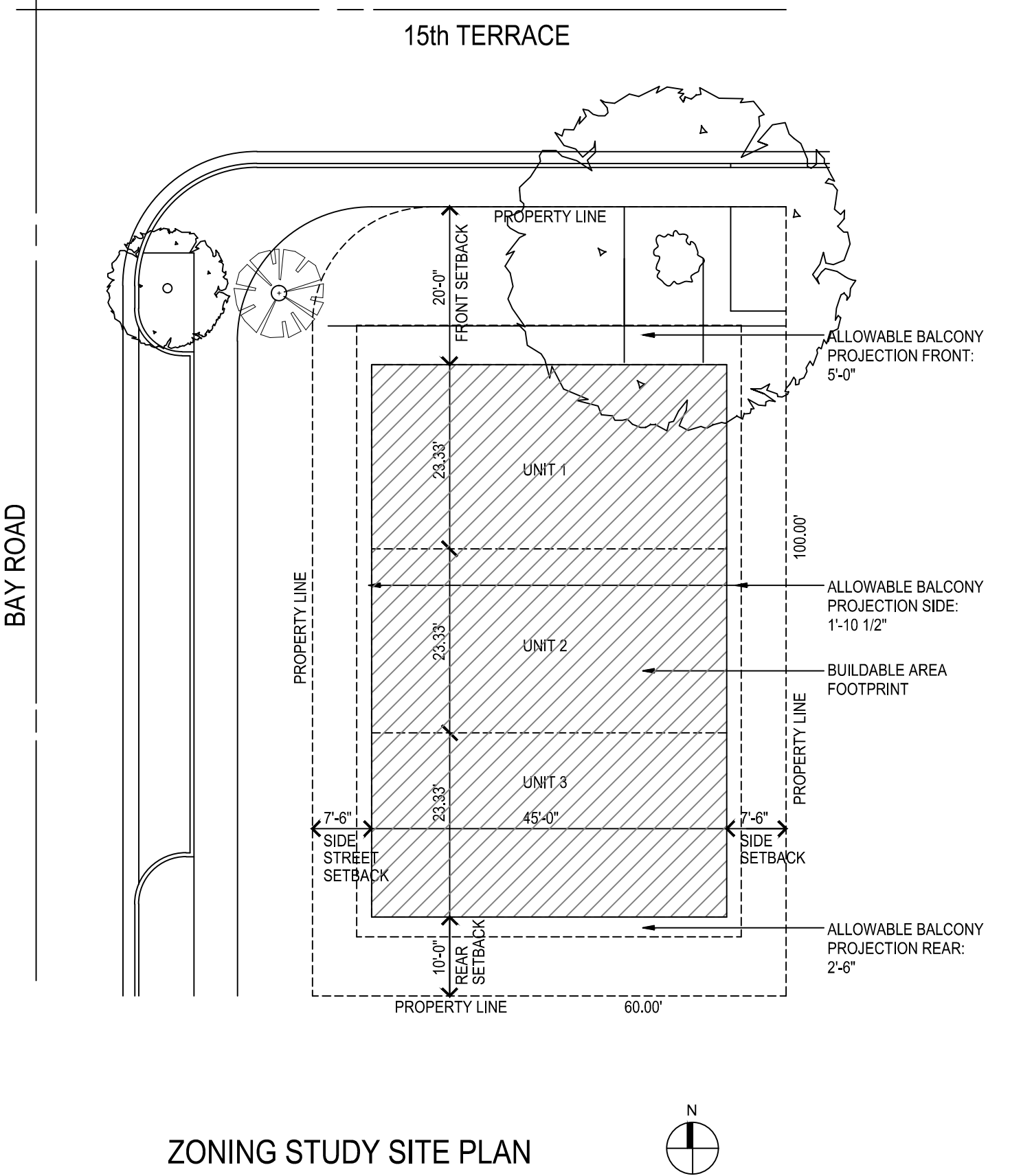
CAMPANILE & ASSOCIATES, INC.

ENGINEERS PLANNERS SURVEYORS

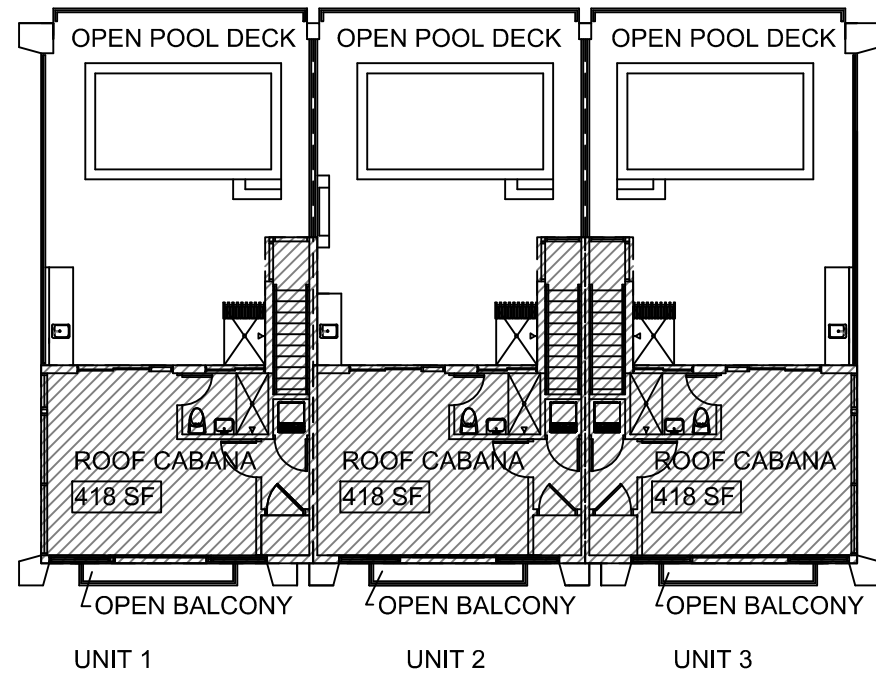
6420 MAHI DRIVE
CORAL GABLES, FLORIDA 33158
(305) 971-1988
ACAMPAN@AOL.COM

CAMPANILE & ASSOCIATES, INC.
Louis R. Campanile
BY: LOUIS R. CAMPANILE
PROFESSIONAL SURVEYOR AND MAPPER No. 1224
STATE OF FLORIDA
THIS SURVEY IS NOT VALID UNLESS SEALED WITH AN
IMPRESSION SEAL OF THE ABOVE NAMED PROFESSIONAL

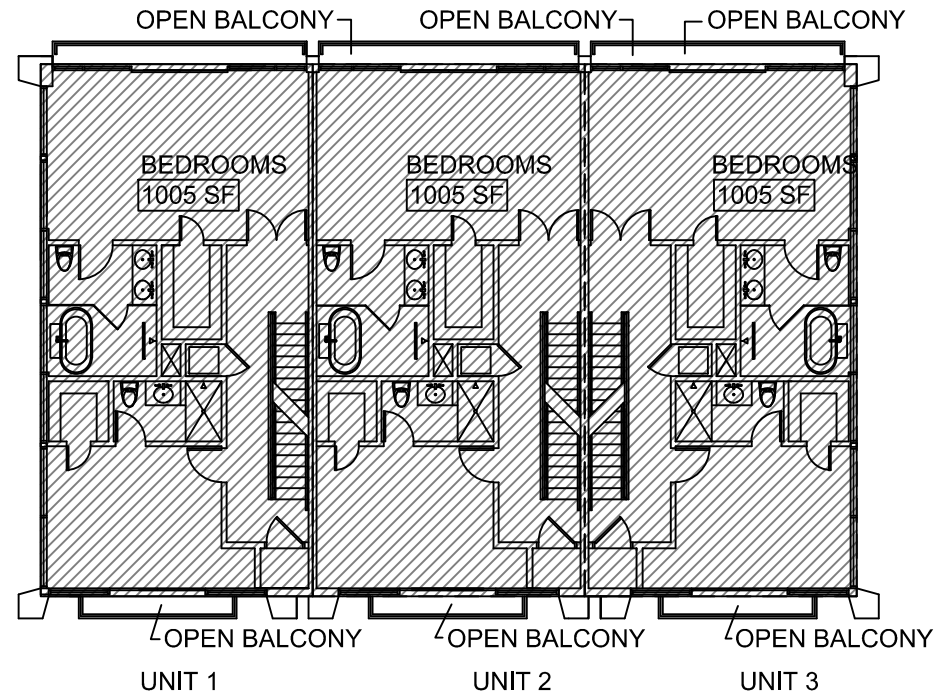
Project Data		
Address:	1344 15th Terrace	
Folio Number:	02-3233-016-0090	
Lot Area:	5951 SF	
Zoning District:	RM-1	
Allowable Use:	Residential Multi-Family, Low Density	
Existing Use:	Residential Multi-Family	
Proposed Use:	3 Unit Multi-Family Residential Development	
FAR:	1.25 X Lot Area	7,438.75 SF
Proposed Project Area:	Per Unit	Total (3 units)
Ground Floor:	169 + 228 + 169	566 SF
2nd Floor:	861 SF	2,583 SF
3rd Floor:	1,005 SF	3,015 SF
Roof Cabana:	418 SF	1,254 SF
Total Project Area:	2,475.3 SF	7,418 SF
Minimum Unit Size Required:	500 SF	
Average Unit Size Required:	800 SF	
Proposed Unit Size:	UNIT 1 & 3: 2,453 SF, UNIT 2: 2,512 SF	
Building Height:	Required 50'-0"	Proposed 47'-10"
Setbacks:	Required	Proposed
Front Setback (15th Terrace) :	20'-0"	22'-0"
Rear Setback:	10'-0"	10'-0"
Side Setback (Bay Road) :	7'-6"	7'-6"
Side Setback:	7'-6"	7'-6"
Parking Spaces:	1.5 per unit = 5	2 per unit = 6
Guest Parking Space	allowable	--
Total Parking Spaces:		6
Legal Description: Lot 1, Block 67-B "ALTON BEACH BAY FRONT SUBDIVISION" , ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 1 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA		



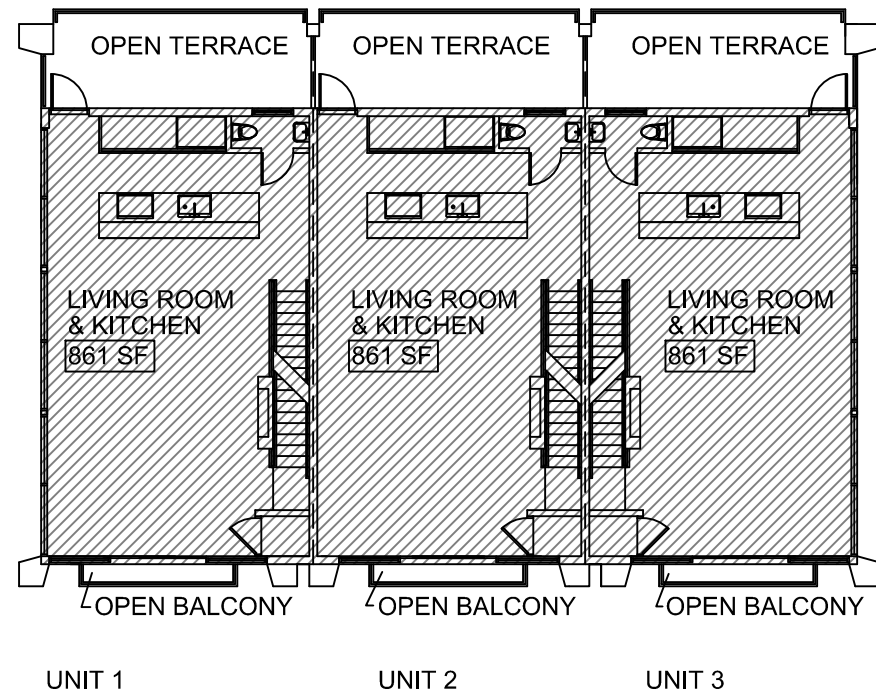
ZONING STUDY SITE PLAN



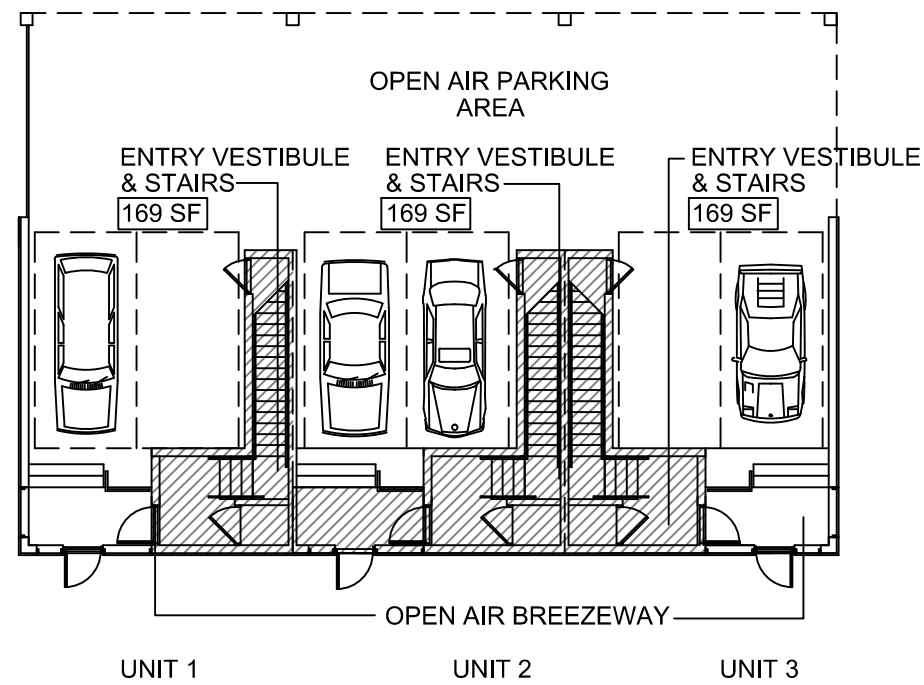
4th Floor Plan 418 SF x 3= 1254 SF



3rd Floor Plan 1005 SF x 3= 3015 SF



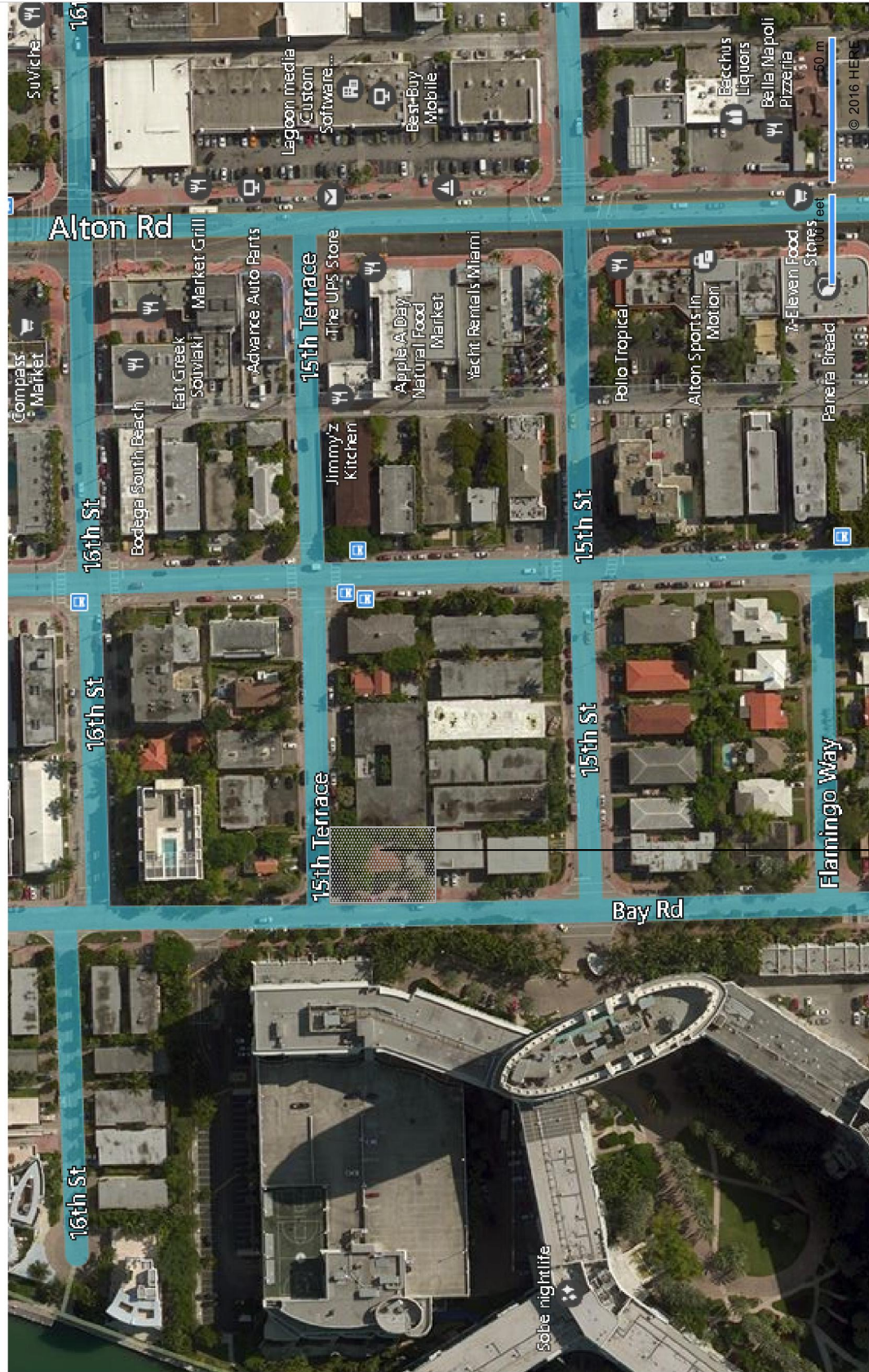
2nd Floor Plan 861 SF x 3= 2583 SF



Ground Floor Plan SEE UNIT BREAKDOWN = 566 SF

FAR:	1.25 X 5951 SF =	7,438.75 SF
Proposed Project Area:	Per Unit	Total (3 units)
Ground Floor:	169 SF	566 SF
2nd Floor:	861 SF	2,583 SF
3rd Floor:	1,005 SF	3,015 SF
Roof Cabana:	418 SF	1,254 SF
Total Project Area:	2,475.3 SF	7,418 SF

Ground Floor Unit Area Breakdown:		
Unit 1:	169 SF	
Unit 2:	228 SF	
Unit 3:	169 SF	
Unit 3:	566 SF	



Data from: Yelp



SITE LOCATION PLAN

PROJECT
LOCATION
1344 15th TERRACE

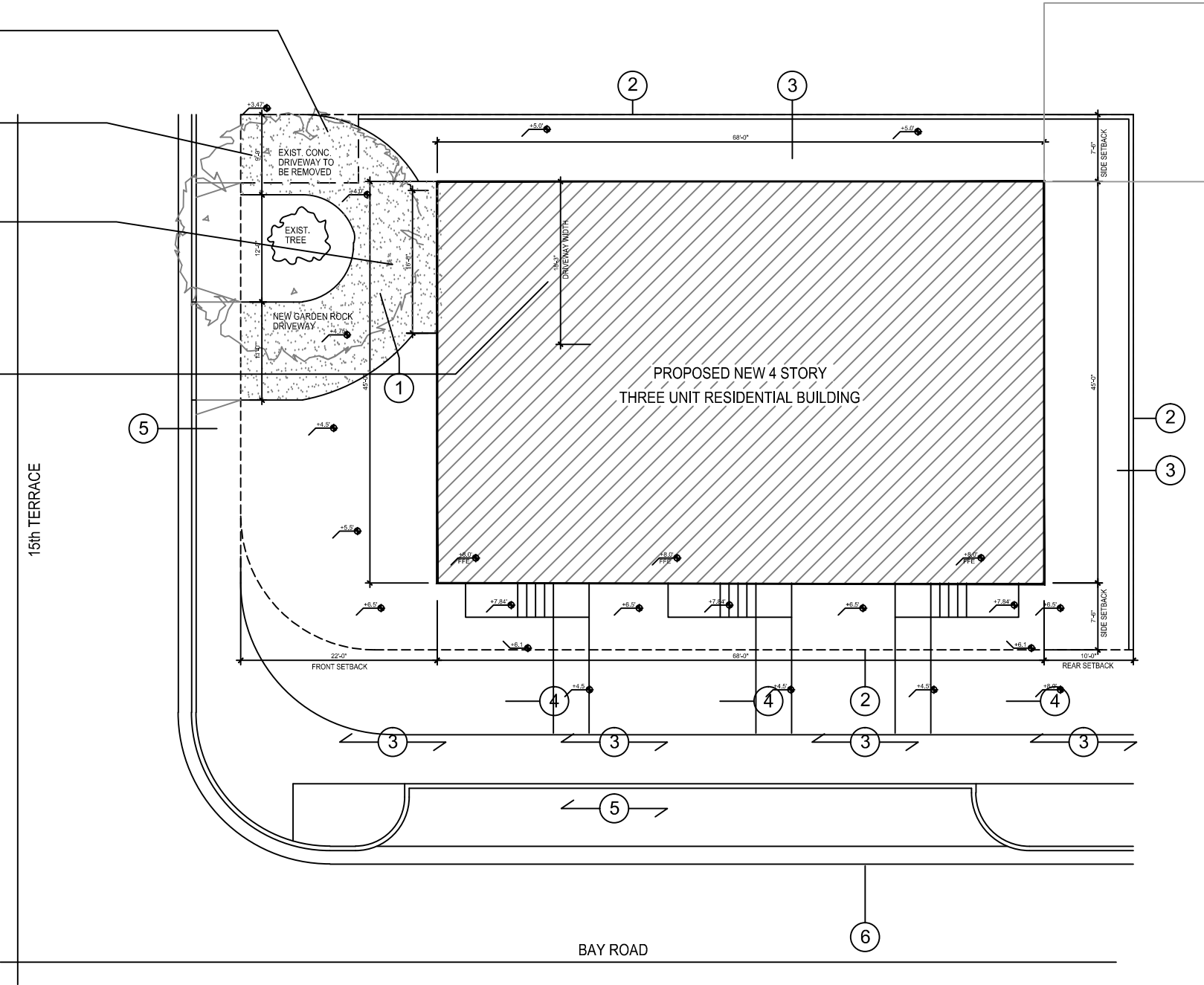
NOTES LEGEND

- 1 NEW GARDEN ROCK DRIVEWAY - PERMEABLE SURFACE
- 2 PROPERTY LINE
- 3 NEW LANDSCAPE AREA
- 4 NEW PAVERED WALKWAY
- 5 EXIST. CONCRETE SIDEWALK
- 6 EXIST. STREET PARKING

- VARIANCE REQUEST #1
SETBACK ENCROACHMENT FOR
EXIST. DRIVEWAY SLAB & NEW
ROCK DRIVEWAY
- VARIANCE REQUEST #2
ONE WAY DRIVEWAY WIDTH
REDUCED FROM 11'-0" TO 9'-0"
- VARIANCE REQUEST #3
GARAGE DOOR WIDTH REDUCED
TO 16'-0" WIDTH
- VARIANCE REQUEST #4
REDUCE DRIVEWAY/BACK-OUT
DIMENSION FROM 22'-0" TO 18'-3"
ROCK DRIVEWAY

BASIS FOR VARIANCE REQUESTS:

1. EXISTING SPECIMEN BANYAN TREE. PROJECT AND CITY GOALS ARE TO SAVE THE TREE. THIS WILL REQUIRE THE REDUCTION OF A DRIVEWAY WIDTH.
2. EXISTING CONC. DRIVEWAY & CURB CUT. THIS DRIVEWAY IS EXISTING AND ENCROACHES ON THE REQUIRED SETBACK. GOAL IS TO KEEP THE DRIVEWAY AS IT CANNOT BE WIDENED WITHOUT REMOVING THE TREE. PARKING BACK-OUT DIMENSION AND REDUCTION IN GARAGE DOOR WIDTH. SUPPORTED BY MINIMAL USE AS THERE IS VERY LOW DENSITY OF THREE RESIDENTIAL UNITS SHARING ONE DRIVEWAY. CONDITIONS JUSTIFY VARIANCES.

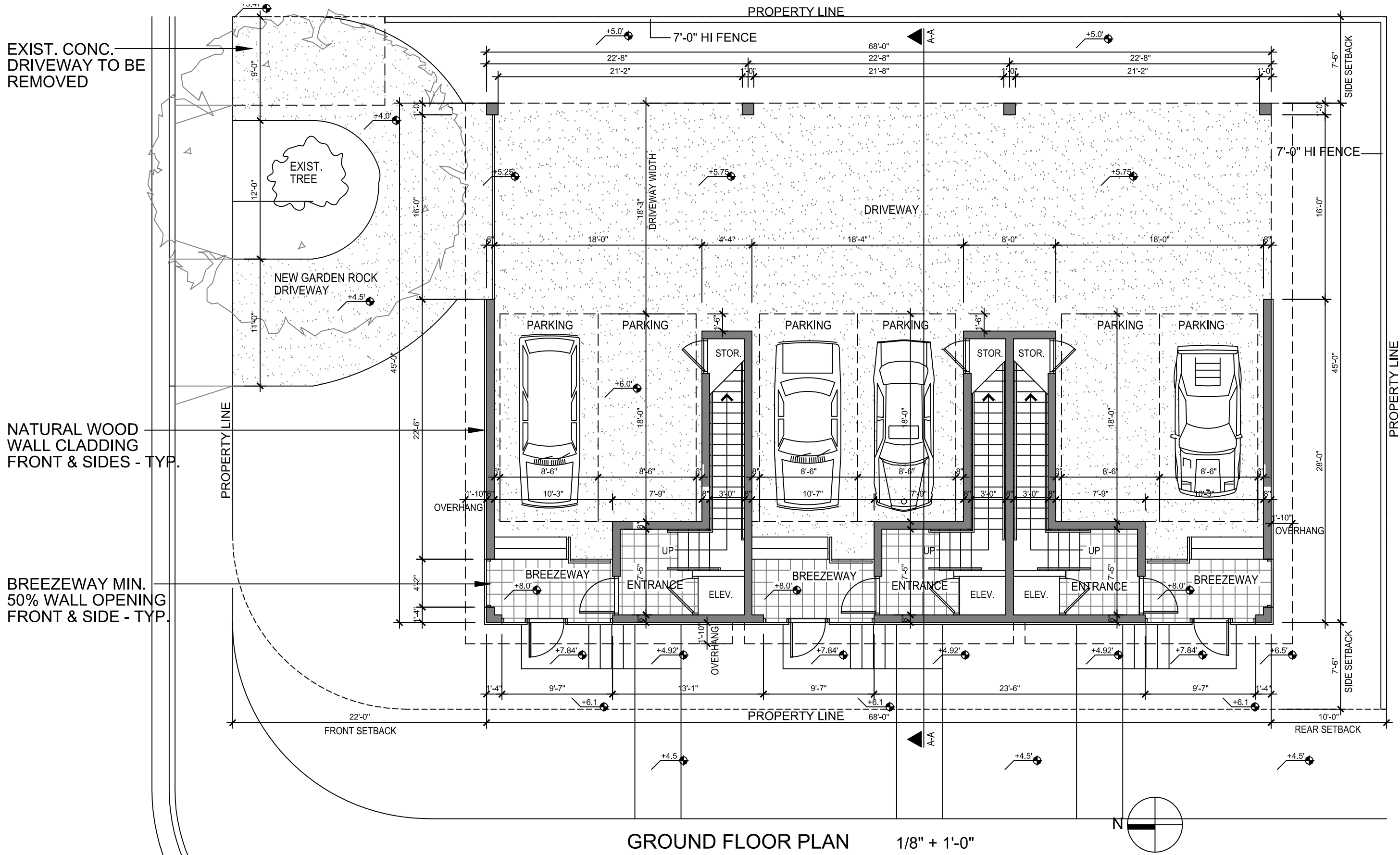


SITE PLAN

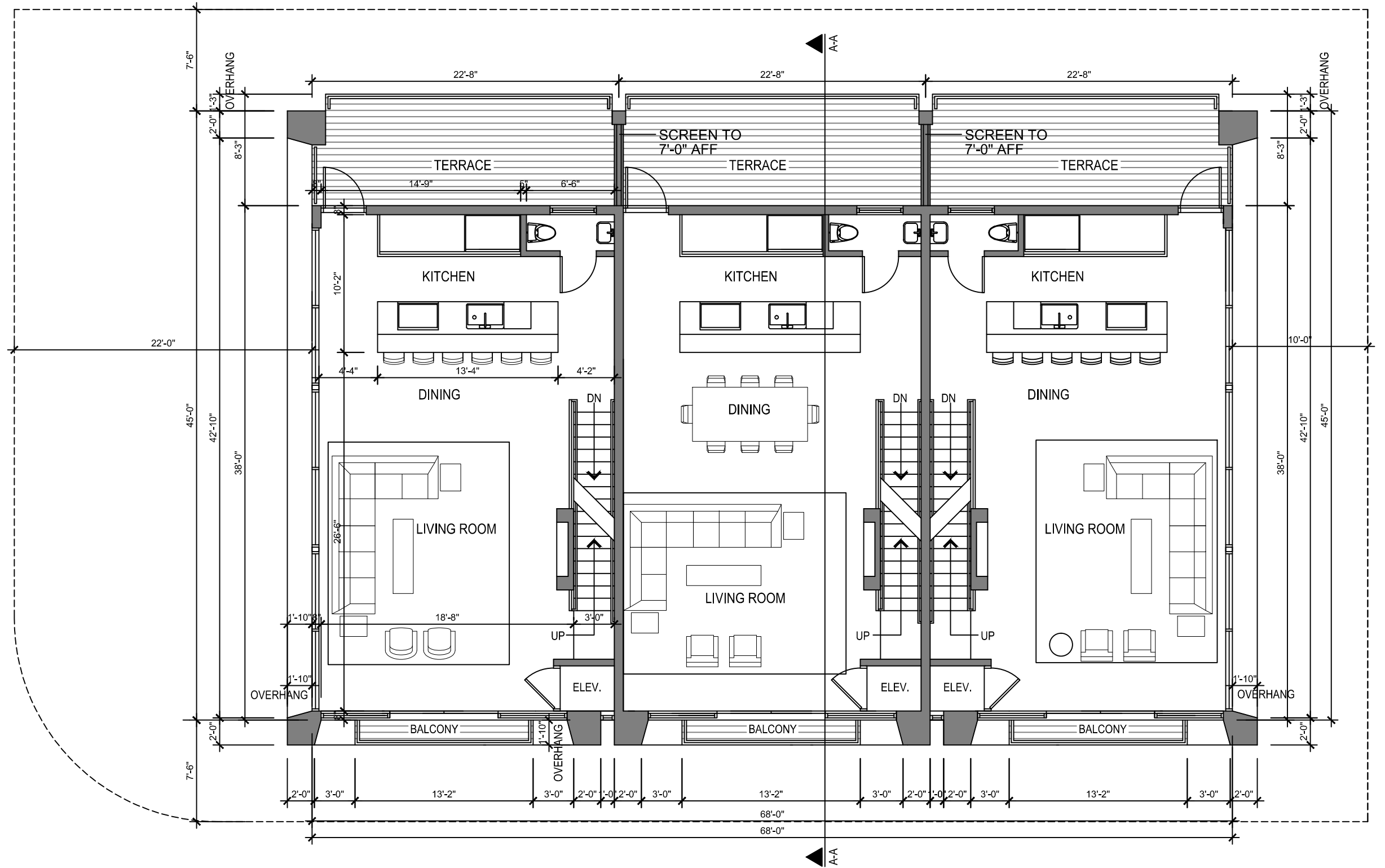
1/16" = 1'-0"



Site Plan

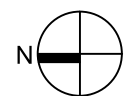


GROUND FLOOR PLAN 1/8" = 1'-0"

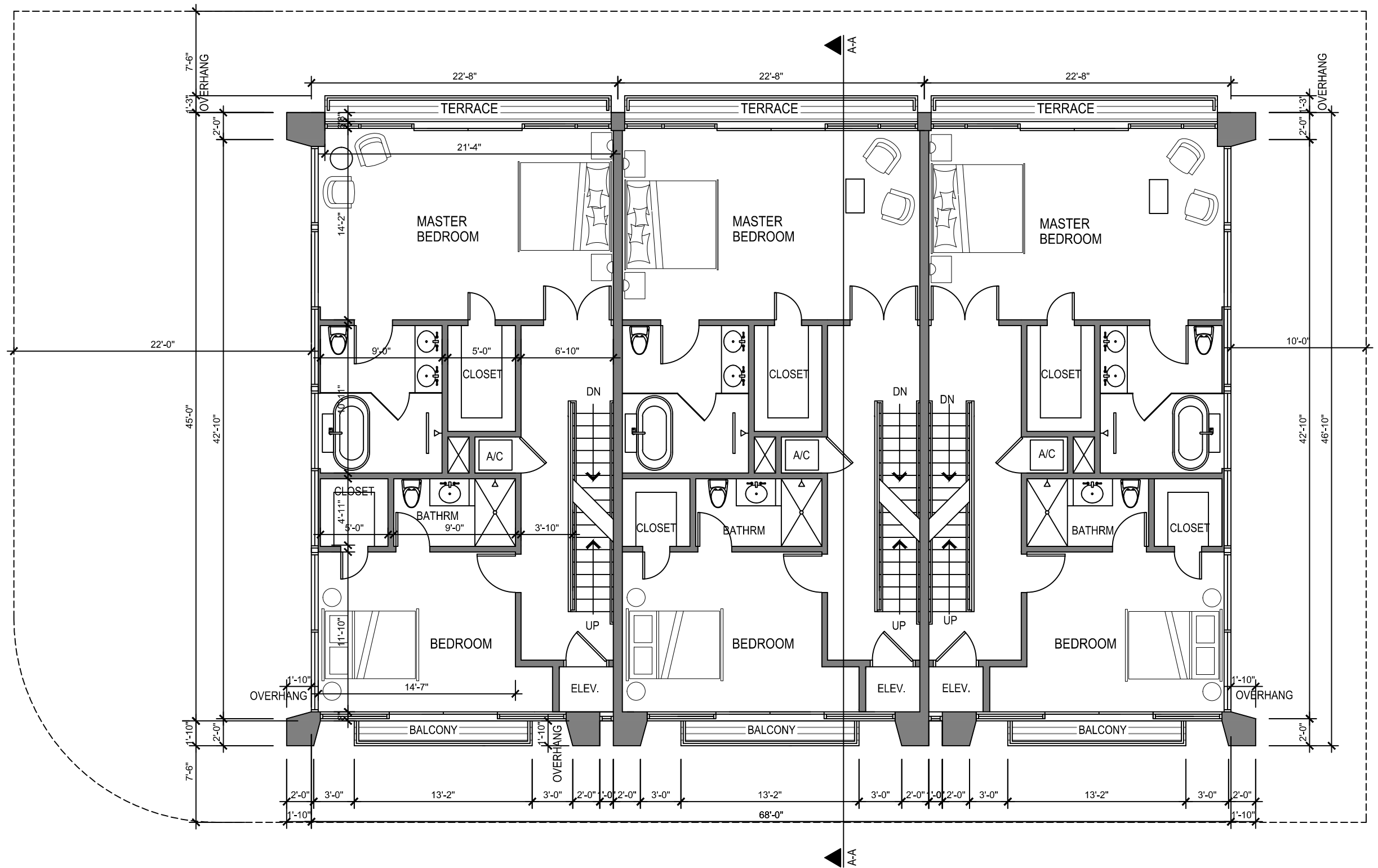


SECOND FLOOR PLAN

1/8" = 1'-0"

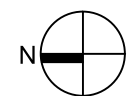


Second Floor Plan

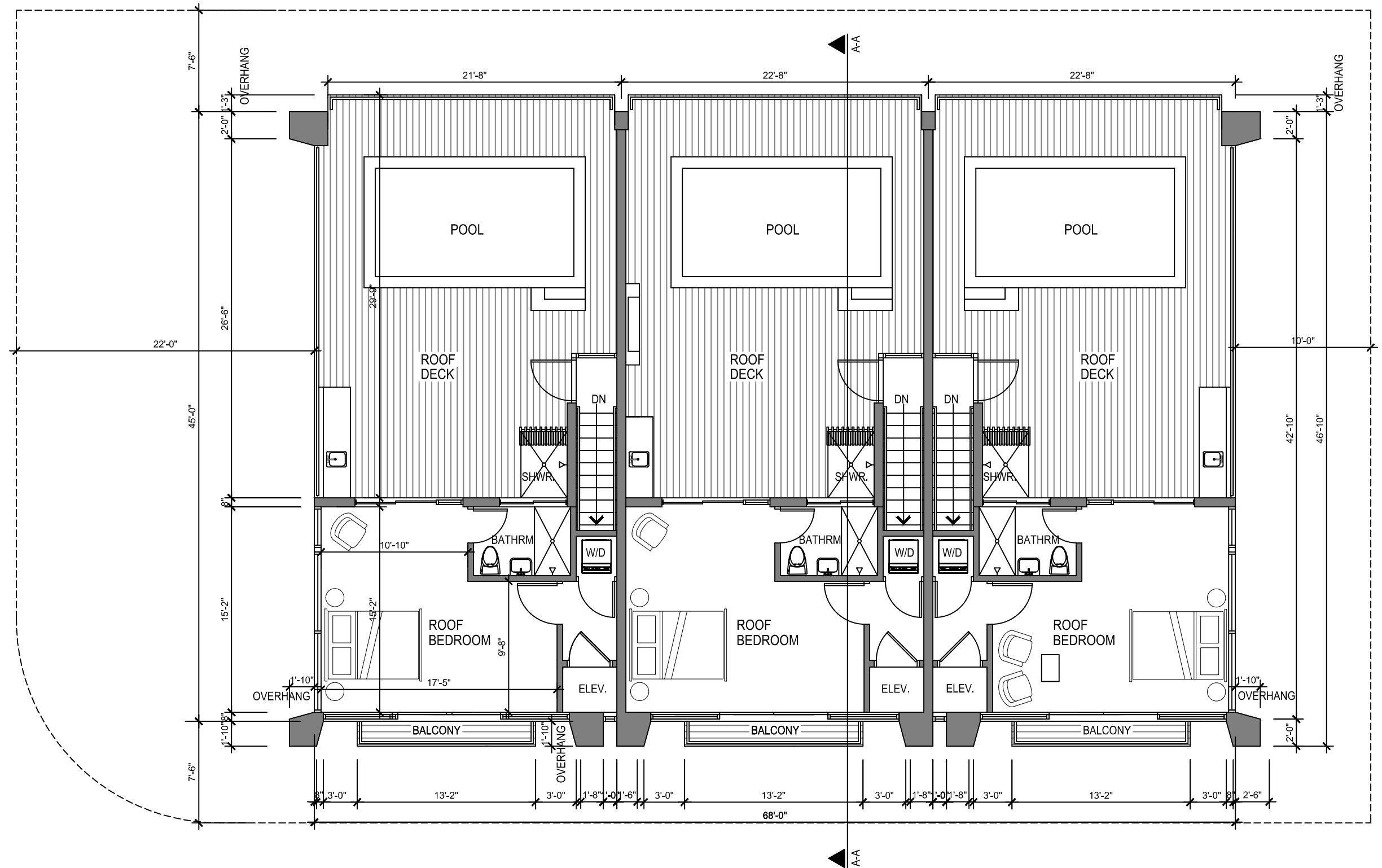


THIRD FLOOR PLAN

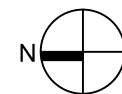
1/8" = 1'-0"

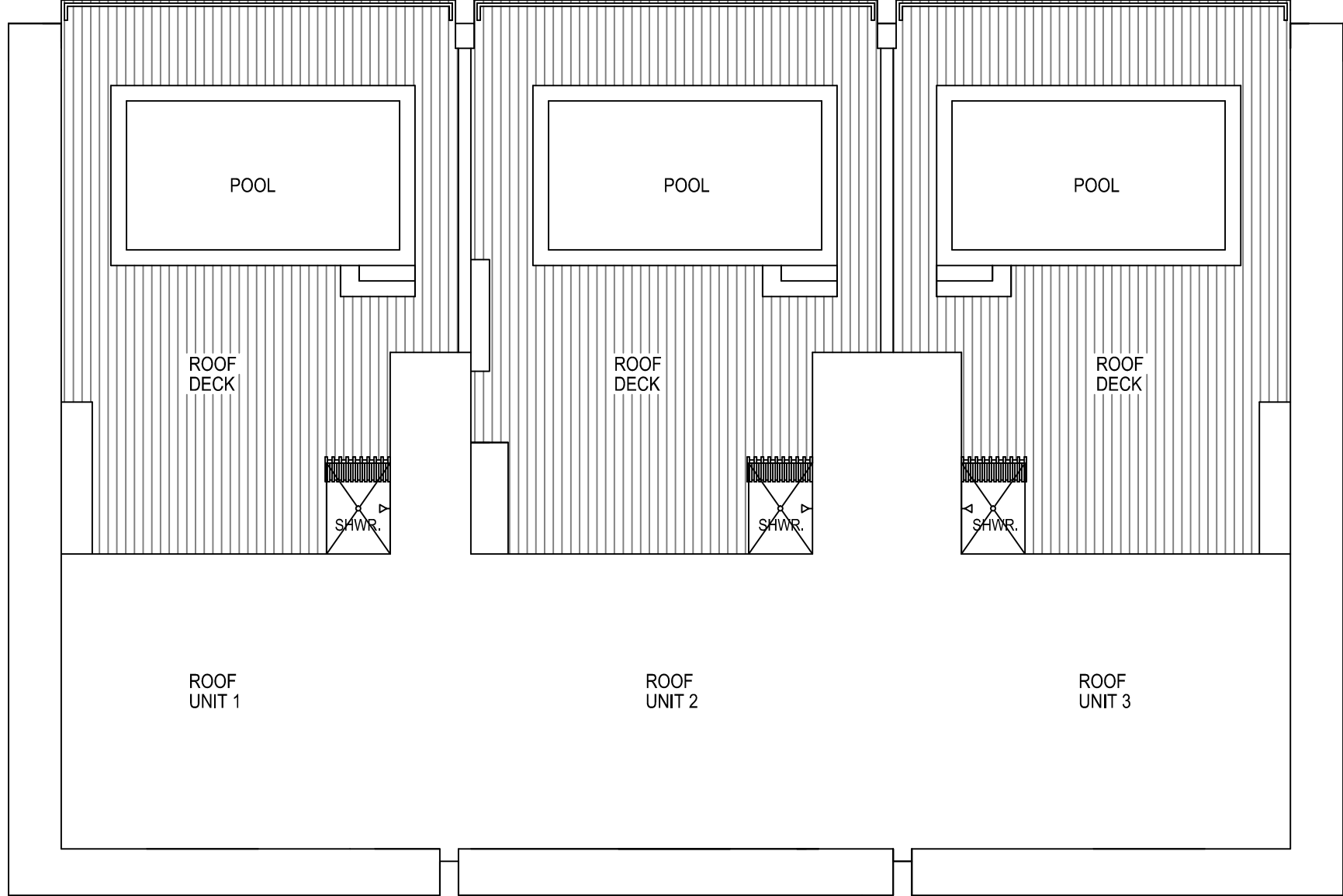


Third Floor Plan



ROOF CABANA FLOOR PLAN 1/8" = 1'-0"





ROOF PLAN

1/8" = 1'-0"

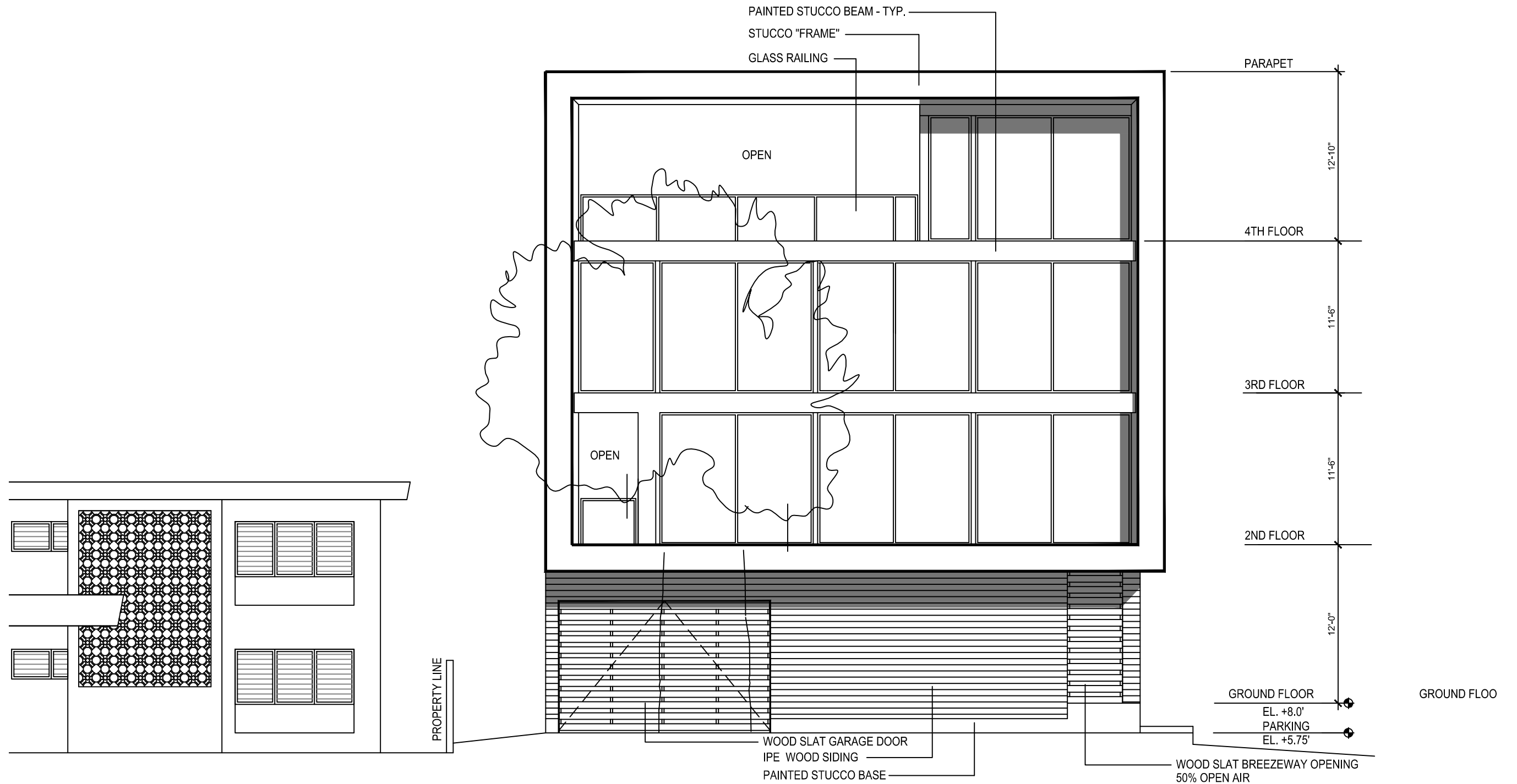


Roof Plan

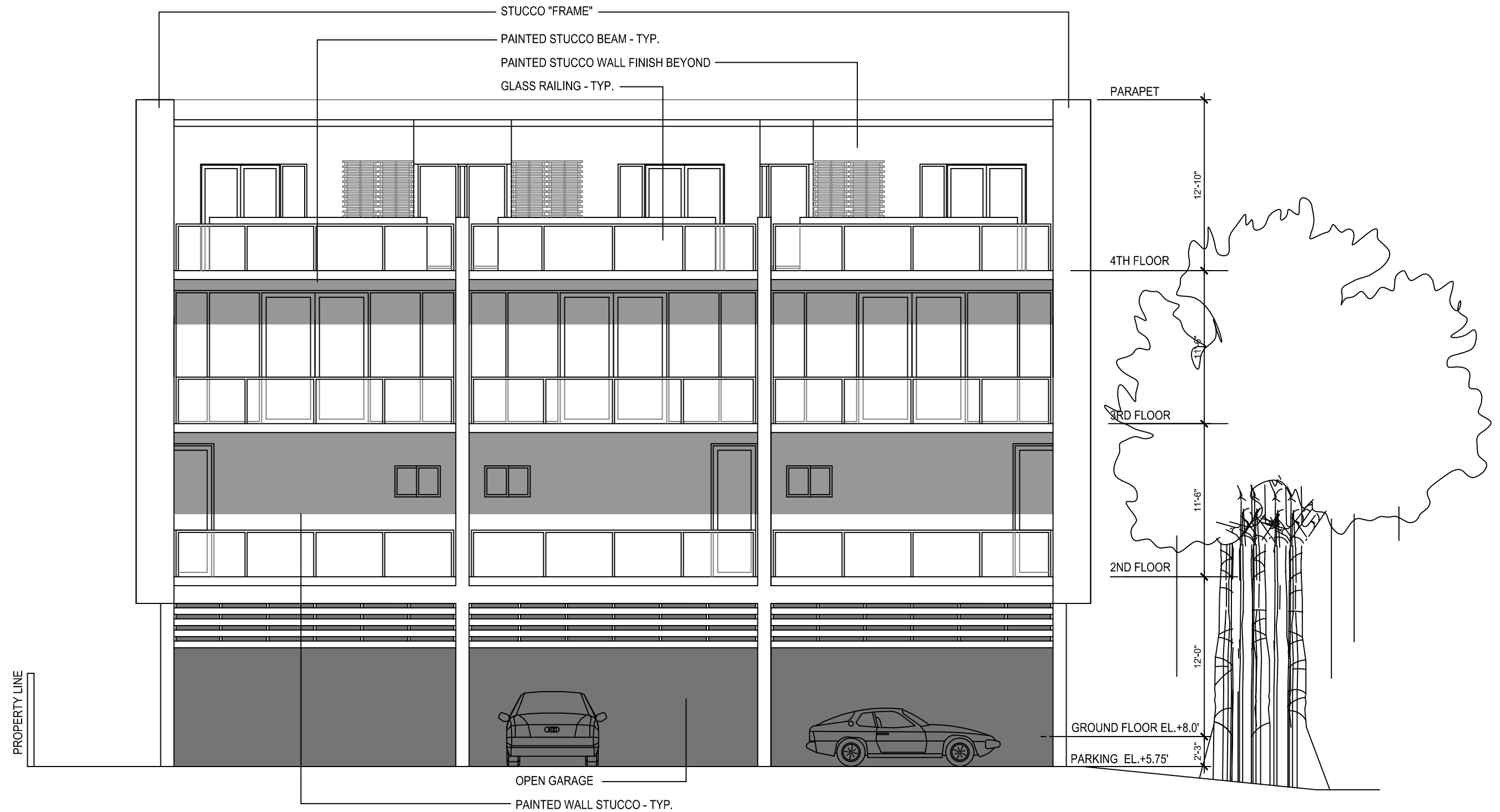


WEST ELEVATION (BAY ROAD)

1/8" = 1'-0"

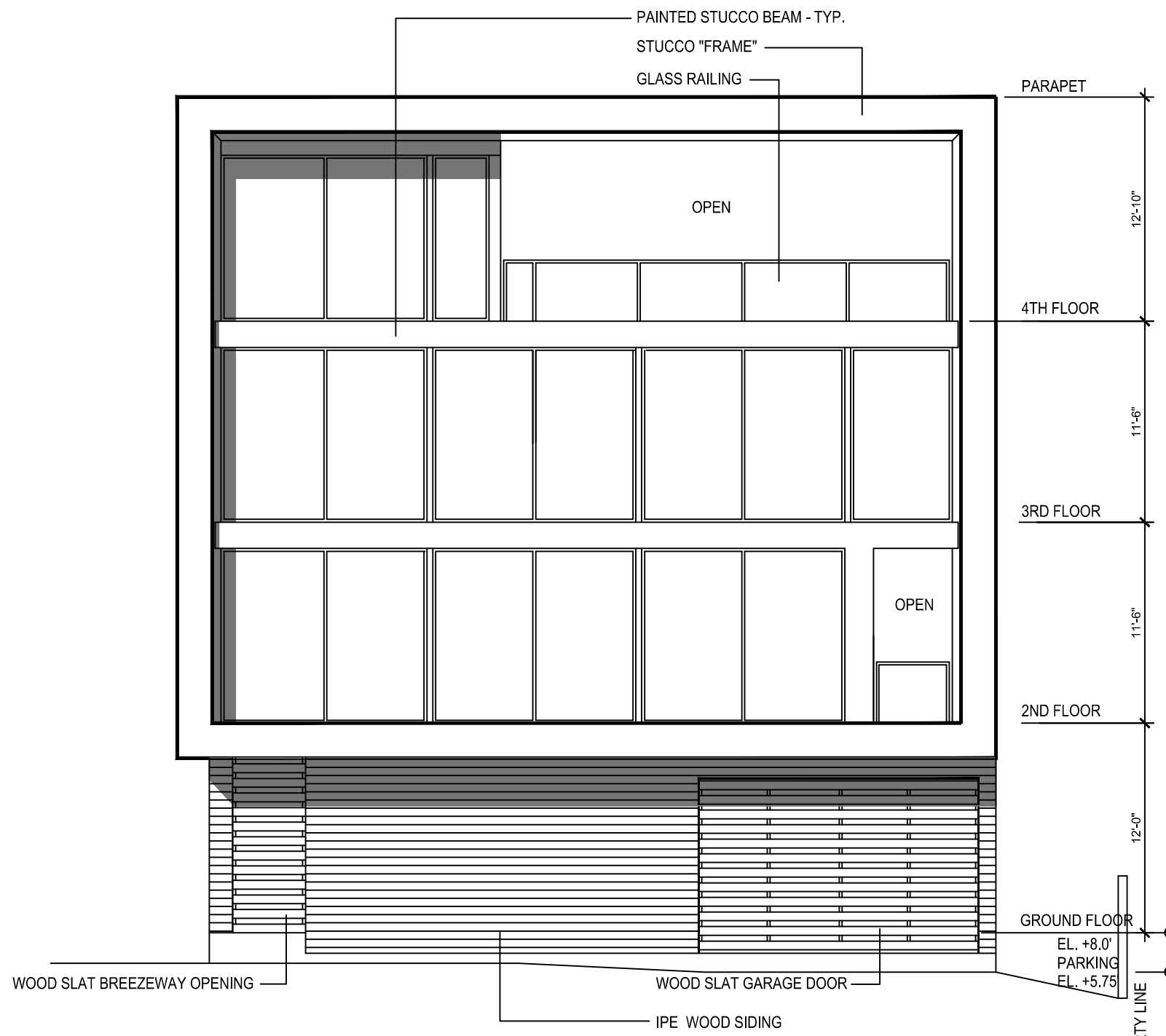


NORTH ELEVATION (15th TERRACE) 1/8" = 1'-0"



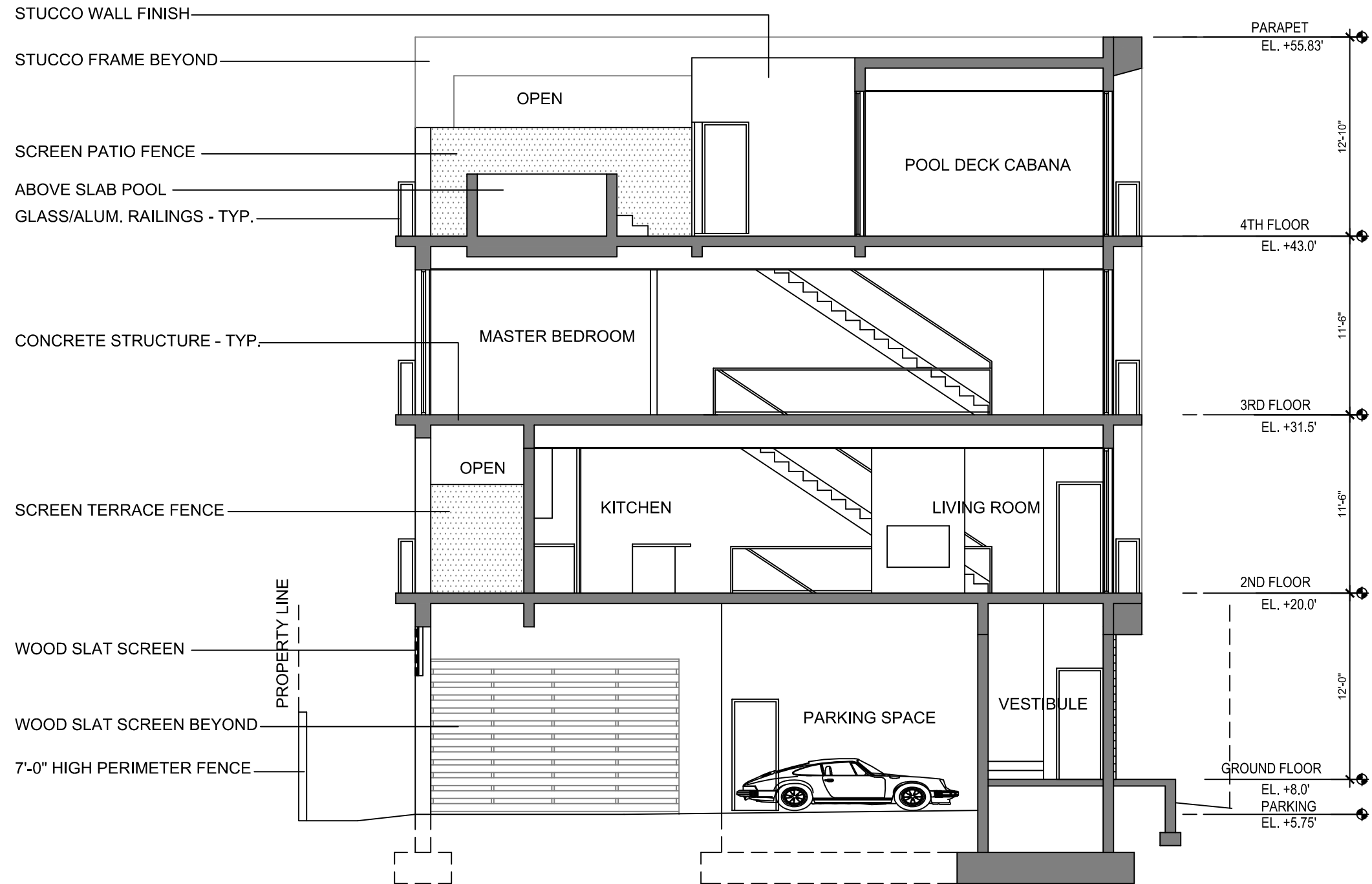
EAST ELEVATION

1/8" = 1'-0"



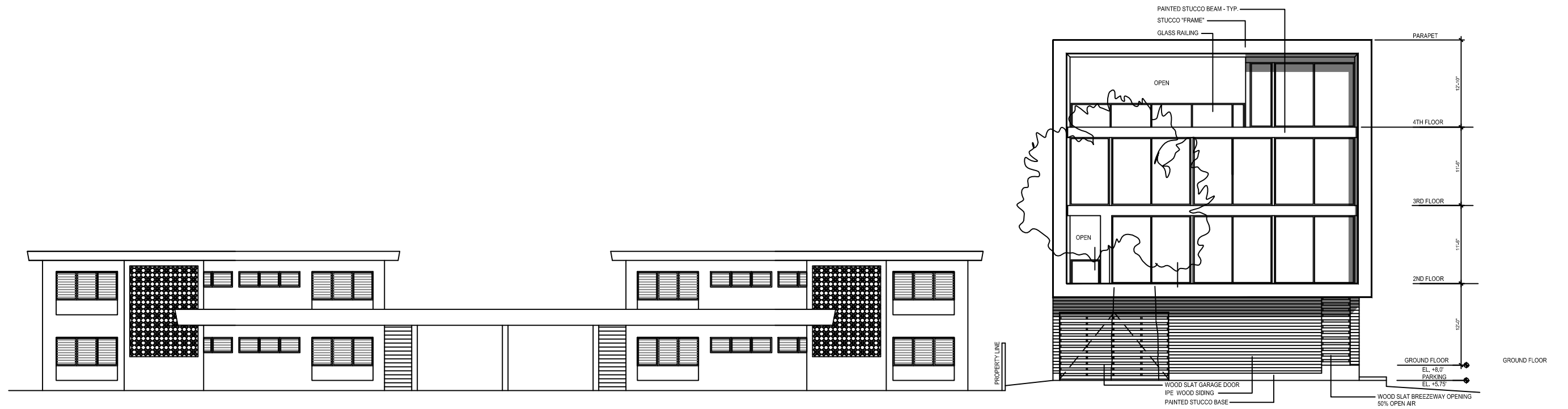
SOUTH ELEVATION

1/8" = 1'-0"



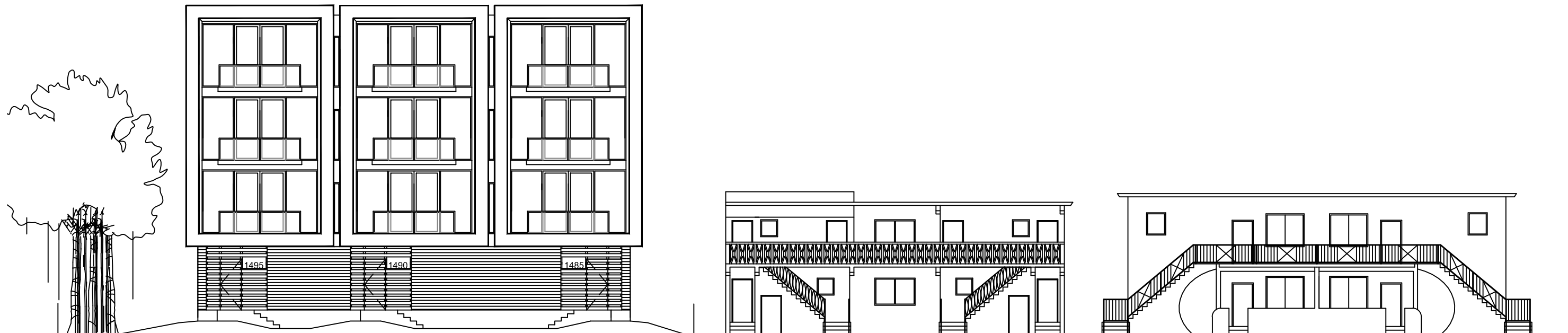
BUILDING SECTION A-A

1/8" = 1'-0"



NORTH ELEVATION

1/16" = 1'-0"



WEST ELEVATION

1/16" = 1'-0"



NORTH ELEVATION



WEST ELEVATION



Project Rendering - View From Southwest



Project Rendering - View From Northwest



Project Rendering - View From Southwest



1



2



3



4

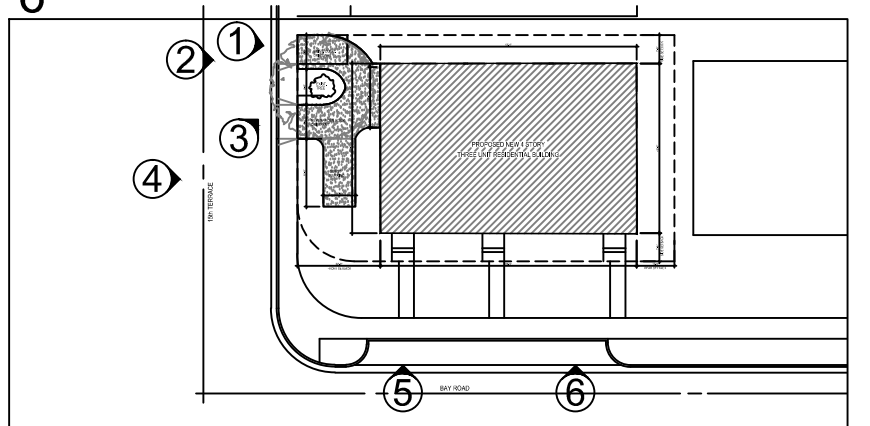


5



6

Existing Property Photographs



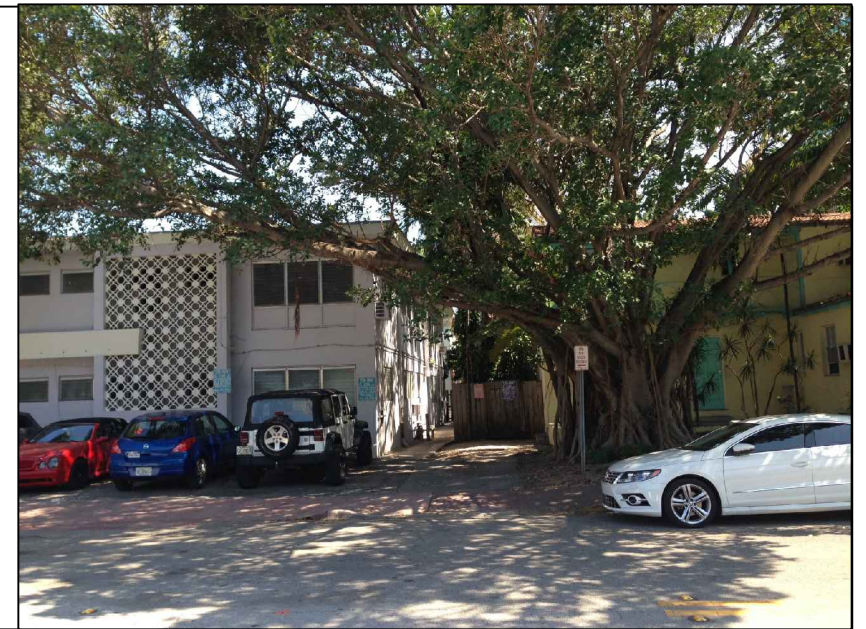
Site Photographs



1



2



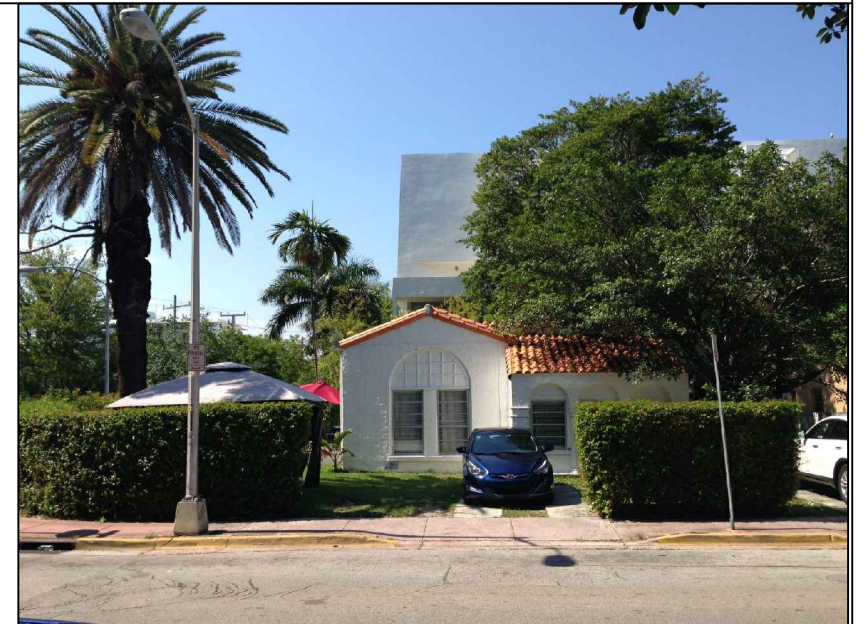
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4

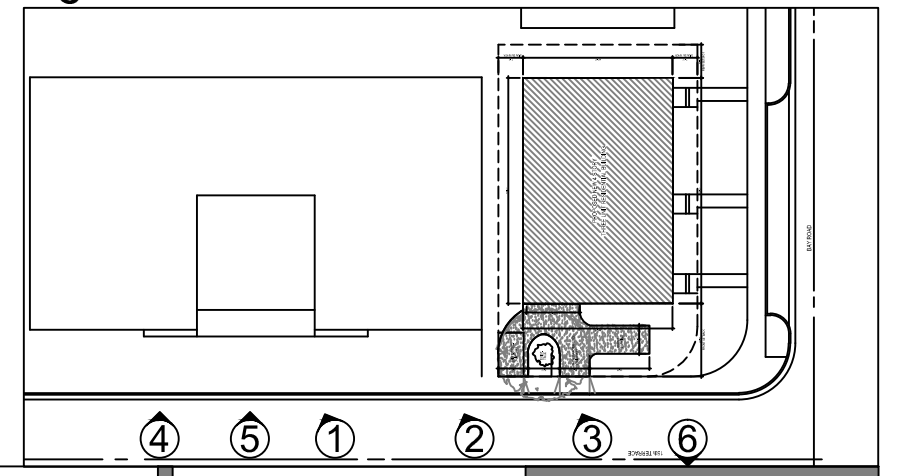


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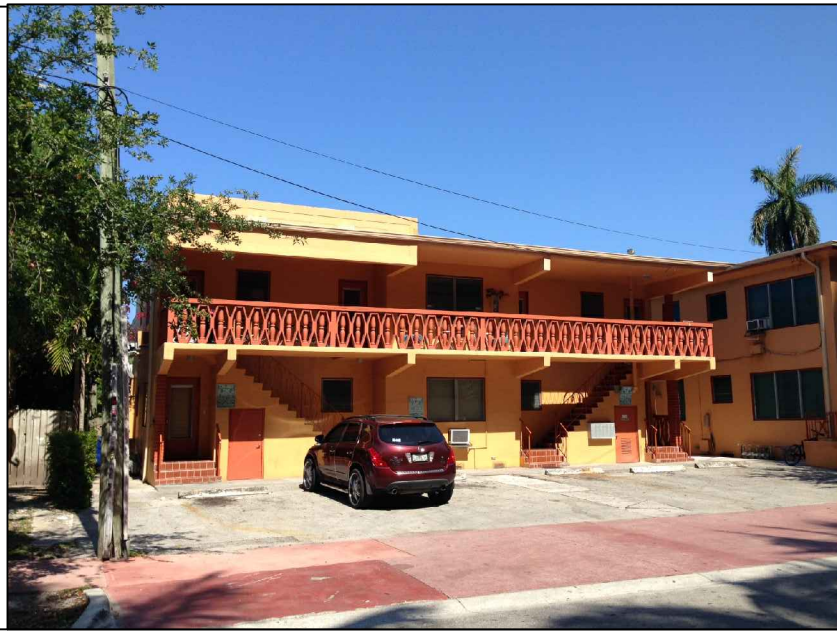


6

Existing Property Photographs



AreaPhotographs



1



2



3



4

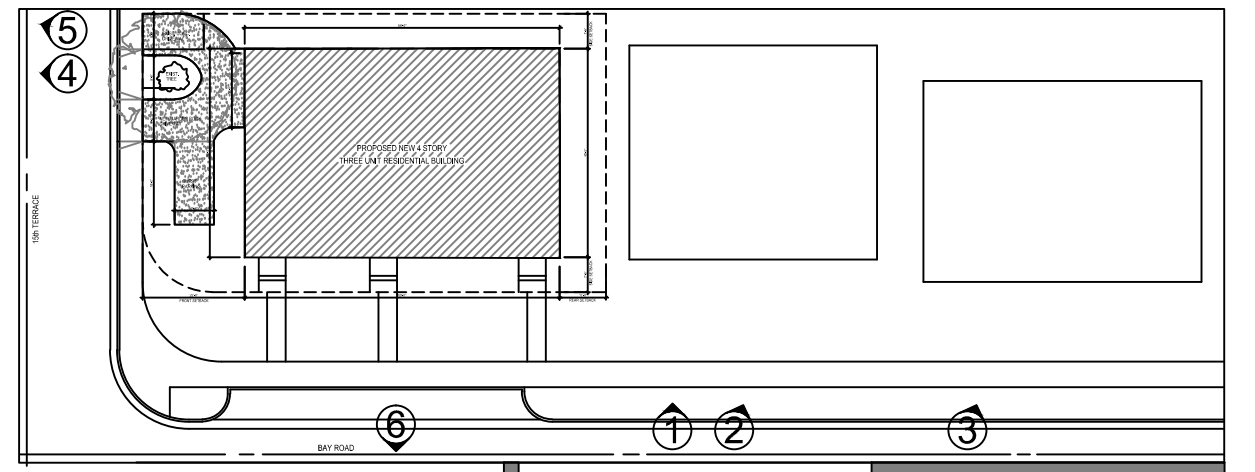


5



6

Existing Property Photographs



AreaPhotographs