

SUN & SAND
1438 Collins Avenue
HPB20-0374

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1. HISTORIC RESOURCES REPORT



HISTORIC RESOURCES REPORT

January 17th,

2020 Sun &

Sand

1438-1444 Collins
Avenue, Miami Beach,
FL 33139

Prepared for: The city of Miami Beach Historic Preservation
Board



Construction date: 1940

Architect: Henry

Hohauser **Builder:**

Masterbilt Corp. **Folio**

number: 3234-13-003



Square One Architecture, Inc.
5450 Griffin Rd - Suite A - Davie, FL 33314
phone (954) 861-0852 AA2600184
john@squareonearchitecture.com



Architectural Description & Existing Condition Analysis

This is a two-story commercial building located in the Ocean Dr/Collins Ave Historic District developed in the 1940's. The predominant architectural styles at this time that were being developed were: Art Deco, Mediterranean Revival and Miami Modernism. This building is a great example of Miami modernism architecture.

The exterior structural system consists of a shallow concrete foundation, masonry block walls and black steel mullions that frame out the store front windows. Opaque glass blocks are located above and below the windows and white marble tile surrounds the perimeter of the window openings. The primary exterior finish is white stucco; however, the building has yellow, red and blue horizontal decorative stucco relieves on the top part of the building.

The interior structural system consists of a concrete first floor slab, steel columns and beams, wood framed walls and joist for the second-floor framing. The interior walls are finished with drywall and brown, beige and yellow paint.

The primary entry is a double glass door surrounded by fixed windows. This entry is located on the corner of Collins Avenue and Espanola Way. There are two other single glass door entrances along Collins Ave, one steel door entry along Espanola Way and one steel door entry along the back alley of the building.



Neighborhood History



“At the turn of the century, the expanded district was part of the coconut plantation owned by Ezra Osborn and Elnathan Field of Red Bank, New Jersey. In the 1880’s, Osborn and Field purchased a 65 mile strip of land along the ocean beginning at the Lum Plantation (approximately 14th Street) and extending north to present day Jupiter.” (1)

“When the initial attempts at coconut farming failed, John Styles Collins (a New Jersey farmer and investor in the Osborn/Field plantation) bought out Osborn for control of approximately 1,675 acres of land north of present day 14th street, ocean to bay. Collins and Field then utilized the property for the farming of avocados. In 1909 Field sold his percentage to Collins making him the sole owner of the property.”(2)

“The expanded district includes the developments of Collins and Fisher, two of the most important pioneer developers of Miami Beach. The northern portion of the district was first platted by Collins’ Miami Beach Improvement Company on February 10, 1916 (19th Street north to 27th Street).” (5)

“The first road through the expanded district was Collins Avenue (originally known as Atlantic Boulevard), in 1913, paid for by Dade County, J.N. Lummus and Carl Fisher. Lummus, Fisher and Collins paid Miami Electric Company to have the first electrical lines laid across Biscayne Bay.” (2)

“Originally, in both the Fisher and Collins developments, Collins Avenue was predominantly single family. Photo aerals from 1921 and 1927 indicate the presence of large estate type residences north of 15th Street on both sides of Collins Avenues and to the west.” (3)

“The land west of the district, now occupied by the Jackie Gleason Theatre of the performing Arts and the Miami Beach Convention Center was originally the Alton Beach Golf and Country Club, a private golf course developed by Carl Fisher. The 21st Street Community Center was designated a local historical site in 1984.” (3)



“Within the district, at James Avenue north of Lincoln Road, Fisher developed an indoor tennis complex within iron trussed supporting a glass roof.” (3)

“In the 1930’s the development of the property within the expanded district reflected the character of Miami Beach in the post-depression recovery period. Numerous small hotels and apartment buildings, designed in the Modern style, were rapidly built to attract the growing numbers of middle class tourists.” (4)

“Small investors, many of them Jewish businessmen who came south for health reasons, began their semi-retirement by building and operating small apartment houses. A nice building could be put up for \$50,000.” (4)

“Resort owners from the Catskills, whose early development predated Miami Beach, expanded south in the 1930’s. Thus the ... Plymouth (1940) and the Adams (1938) Hotels belonged to the White Roe (family).” (5)

“The basic form and layout of the expanded district was established during the early platting of property between 1912 and 1916. The uniformity of plat seen in the Lummus developments south of Lincoln Road are to some degree, absent in the neighborhood surrounding Collins Park. Although still platted at right angles, blocks vary in size and shape and tend to be wider allowing greater landscape setbacks and courtyards.” (5)

“One of the earliest centers for the development in south beach centered on the area around the original Roney Plaza Hotel at 23rd and Collins, completed in 1926. Development spread to both the north and south sides of Collins Park, especially after completion of the Bass Museum in 1935.” (5)

(1) Museum Historic District- Expanded District Designation Report, May 1992 pp. 3-4

(2) Ibid, p.4.

(3) Ibid, p.5.

(4) Ibid, pp.5-6.

(5) Ibid, p.8.



Building Permit Card & Subsequent modifications

ADDRESS : 1438 COLLINS AVE
FULL ADDRESS : 1438-1444 COLLINS AVE SECOND ADDRESS: STATUS : HISTORIC

BUILDING NAME : VARIOUS ORIGINAL NAME : SWEDE BUILDING
PREVIOUS NAME : ORIG. ARCH. : HOHAUSER
BUILDER : MASTERBILT CORP CONST. DATE : 1940 FOLIO#: 3234-13-003
LEGAL : L1,2B2-B ESP VILLAS ZONING : MXE DISTRICT : ODCA / EW
STYLE : AD BUILDING SHAPE:
EXT. FABRIC : ST STORIES : 1 HEIGHT : 24
ROOF : FL WINDOWS : SP
DOORS : CONSTR. TYPE :
ALTERATIONS : MAJOR PHOTO : N
SPEC. FEATURES: CUT-CORNER ENTRANCE ROTUNDA AFM RELIEF WORK AT PARAPET/HORIZONTALLY FLUTED CONTINUOUS
BAND EYEBROW/RACING STRIPES/WIDE BANDS OF GLASS BLOCK ABOVE & BELOW WINDOWS/STONE PANELS ON FACAD

INTERIOR : ALPI MARKET OCCUPIES MAJORITY OF BLDG,6-7 OTHER STOREFRONTS

SITE : TRIANGLE-MOTIF ROUNDED TERRAZZO FLOOR AT CUT CORNER W"1444"
SIGNAGE : ADJACENT SITE :
STAT. SIGNIF. : A VERY FINE AD BLDG WITH A STRONG GEOMETRIC COMPOSITION AND FINELY EXECUTED DETAILS

ADDITION : N ADD. ARCH. : ADD. DATE: 0
ADD. COMMENTS :
SURVEYED BY : CH RECORDING DATE: 08/27/85 UPDATE : 10/19/87 MHF
ORIG. USE/COST: 10 STORES @\$30,000

OWNER : _____



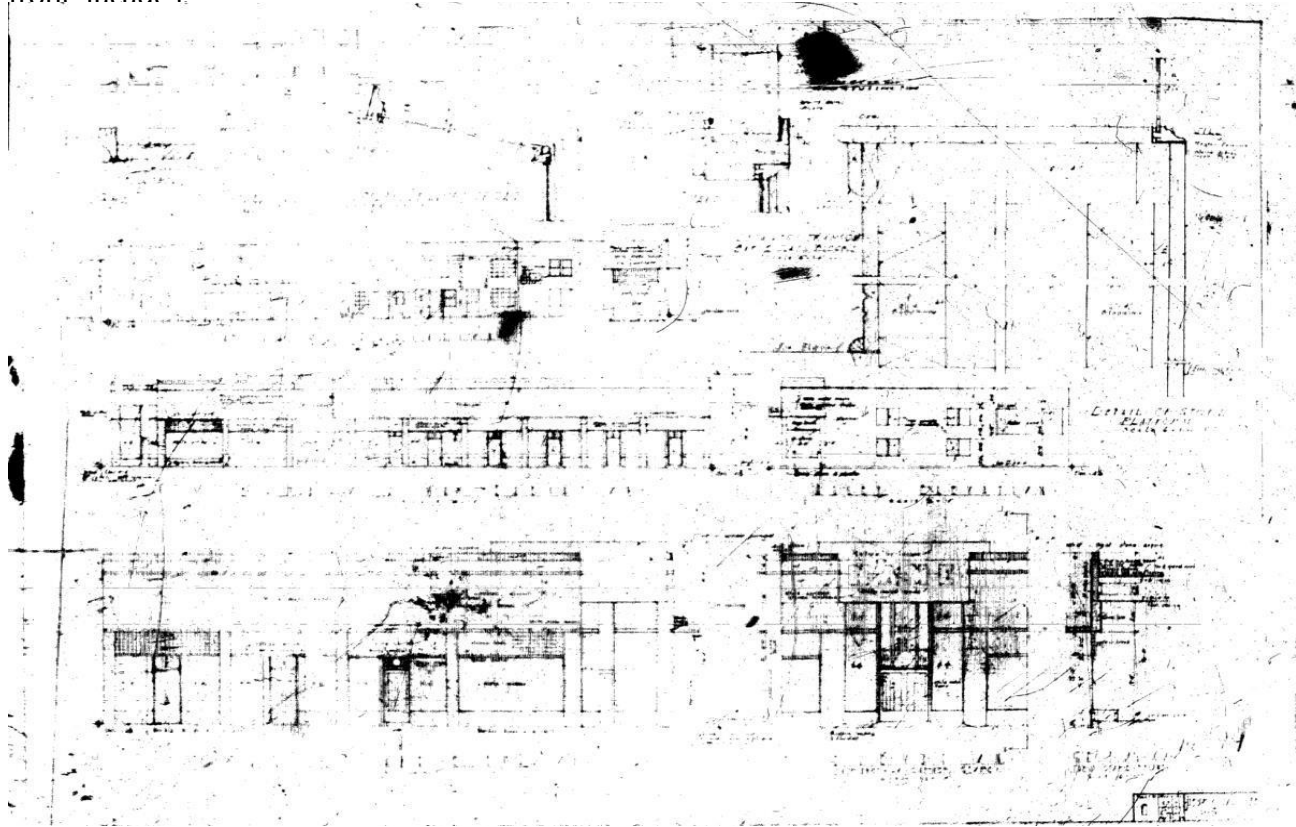
Building Permit History

PERMIT #	COMP. TYPE	SUB. TYPE	APPLIED	APPROVED	EXPIRED	STATUS	DESCRIPTION	STREET_NO	TREET_DIRECTIO	STREET_NAME	PARCEL_NO
BA910154	AUTOPROJ	OTH	10-Jul-89	10-Jul-89	06-Jan-90	CLOSED	EXTERIOR PAINT-CODE ENFRC CASE #33657 PM	1438		COLLINS AV	32340130030
BA908029	AUTOPROJ	OTH	01-Jun-90			CLOSED	BLDG. RECERT. 10 YR. SHOPS AND STORES	1438		COLLINS AV	32340130030
BCC0100122	BCCOMP		08-Feb-01	14-Feb-01		VOID	Cert. of Comp. for Interior Remdl(kitch/bath/add)	1438		COLLINS AV	32340130030
BCC0100139	BCCOMP		05-Mar-01			VOID	OCCUPANT CONTENT FOR RESTAURANT	1438		COLLINS AV	32340130030
BCO97226	BCOCC	OTH	20-Jun-97	08-Jul-97		APPROVED	CO FOR LIQUOR STORE (RETAIL) B9701531	1438		COLLINS AV	32340130030
BCO011255	BCOCC		21-Sep-01	11-Jun-14		APPROVED	CO for New Grocery Store.	1438		COLLINS AV	32340130030
BCO011113	BCOCC		20-Mar-01	20-Mar-01		APPROVED	C.O. FOR EXPANSION OF EXSITING RESTAURANT &BAR- GRILL FISH.	1438		COLLINS AV	32340130030
BE012373	BELEC		31-Aug-01	31-Aug-01	05-Jun-02	FINAL	NEW OUTLETS AND FIXTURES	1438		COLLINS AV	32340130030
BE911492	BELEC	OTH	26-Sep-91	26-Sep-91	06-Jan-93	FINAL	OUTLETS,MOTORS,APPLS	1438		COLLINS AV	32340130030
BE020614	BELEC	ALTRMDL	14-Dec-01	14-Dec-01	15-Jun-02	FINAL	NEW SMOKE DETECTOR FOR A/C EXHAUST FAN	1438		COLLINS AV	32340130030
BE971396	BELEC	OTH	10-Jun-97	10-Jun-97	13-Apr-98	FINAL	ELECTRIC SIGN	1438		COLLINS AV	32340130030
BE071142	BELEC	SIGNAGE	30-Jan-07	30-Jan-07	29-Jul-07	CLOSED	Connect extst ele	1438		COLLINS AV	32340130030
BE910474	BELEC	ALT	22-Jan-91	22-Jan-91	21-Jul-91	CLOSED	AIR COND. AND STRIP HEATER (MF)	1438		COLLINS AV	32340130030
BE010441	BELEC		06-Dec-00	11-Dec-00	01-Aug-01	FINAL	ADD TO EXISTING F/A SYSTEM	1438		COLLINS AV	32340130030
BE910438	BELEC	OTH	16-Jan-91	16-Jan-91	15-Jul-91	CLOSED	OUTLETS,SERVICE,PANELS	1438		COLLINS AV	32340130030
BE002049	BELEC		30-Aug-00	31-Aug-00	28-Jul-01	FINAL	ELECTRICAL DEMOLITION -80004603=	1438		COLLINS AV	32340130030
BE010313	BELEC		14-Nov-00	14-Nov-00	11-Aug-01	FINAL	SERVICE,OUTLETS,LIGHT FIXTURES(REST)	1438		COLLINS AV	32340130030
BM111422	BMECH	A/C	06-Sep-11	06-Sep-11	04-Mar-12	FINAL	Replacement of 1-Stons 1-10tons package unit 15kw heat.	1438		COLLINS AV	32340130030
BM141682	BMECH	A/C	04-Aug-14	04-Aug-14	04-May-15	FINAL	Replacement of one 5 ton oackage 10kw and two 10 ton package 10 kw to existing roof curbs	1438		COLLINS AV	32340130030
BM010179	BMECH		01-Dec-00	01-Dec-00	11-Aug-01	FINAL	INSTALLATION OF 16 FT OF EXHAUST HOOD/20 TONS ROOF TOP A/C	1438		COLLINS AV	32340130030
BM920102	BMECH	NEW	05-Nov-91	05-Nov-91	04-Jul-92	CLOSED	REF. DUCT WORK	1438		COLLINS AV	32340130030
BM021199	BMECH	ELEVATOR	20-Sep-02	23-Sep-02	22-Mar-03	FINAL	INSTALL A HYDRAULIC ELEVATOR MB-2037	1438		COLLINS AV	32340130030
BM010295	BMECH		11-Jan-01	16-Jan-01	25-Jul-01	FINAL	INST FIRE SUPP SYS	1438		COLLINS AV	32340130030
BM50101572	BMISC		05-Mar-01			VOID	GRILL FISH RESTAURANT & BAR-168 PERSONS	1438		COLLINS AV	32340130030
BM50100940	BMISC		10-Jan-01	16-Jan-01		FINAL	REVISION/FRAMING #B0100036	1438		COLLINS AV	32340130030
BM530929	BMISC	OTH	18-Mar-93			VOID	OCCUPANT CONTENT 57 PERSONS	1438		COLLINS AV	32340130030
BM50100412	BMISC		14-Nov-00	20-Nov-00		FINAL	REVISION TO PERMIT #B0100036	1438		COLLINS AV	32340130030
BM530769	BMISC	OTH	19-Feb-93	19-Feb-93		CLOSED	BUILDING CARD PHOTOCOPIES (8)	1438		COLLINS AV	32340130030
BM50203894	BMISC		26-Sep-02	26-Sep-02		FINAL	Violation 1107A unlawfully failed to maintain struc in a safe condition.	1438		COLLINS AV	32340130030
BM50003695	BMISC		19-Sep-00	19-Sep-00		CLOSED	EIGHT PHOTOCOPIES OF ORG BLDG CARD	1438		COLLINS AV	32340130030
BM50403001	BMISC	DOC HIST	03-Jun-04	03-Jun-04	30-Nov-04	CLOSED	2 PHOTOCOPIES	1438		COLLINS AV	32340130030
BM50002554	BMISC		02-Jun-00	02-Jun-00		CLOSED	1 MICROFILM.	1438		COLLINS AV	32340130030
BM50003676	BMISC		18-Sep-00	18-Sep-00		CLOSED	ONE MICROFILM COPY	1438		COLLINS AV	32340130030
BP001396	BPLUM		30-Aug-00	30-Aug-00	28-Jul-01	CLOSED	DEMO	1438		COLLINS AV	32340130030
BP010209	BPLUM		14-Nov-00	14-Nov-00	11-Aug-01	FINAL	30R,25SETS,2 WTR LINES,Int Rmdl (kitch/bath/add bar). see comments.	1438		COLLINS AV	32340130030
BP970897	BPLUM	OTH	25-Jun-97	25-Jun-97	11-Jan-98	FINAL	REPL PLUMBING FIXTURES,CAP FLR DRNS	1438		COLLINS AV	32340130030
BP911202	BPLUM	OTH	26-Sep-91	26-Sep-91	06-Jan-93	FINAL	RENEW PL SYSTEM	1438		COLLINS AV	32340130030
BR030118	BREC		28-Jul-03	07-Oct-03	07-Oct-13	CLOSED	Ten Years Re-Certification.	1438		COLLINS AV	32340130030
BR900297	BREC	OTH	01-Jun-90	24-Sep-90	28-May-01	CLOSED	BLDG. RECERT. 10 YR. SHOPS AND STORES	1438		COLLINS AV	32340130030
BR140007	BREC		08-Oct-13	10-Jun-10	10-Jun-20	APPROVED	RECERTIFICATION OF BUILDING 40 YEAR OLD - MIAMI DADE COUNTY CODE Ordinance Section 8-11(f).	1438		COLLINS AV	32340130030
B0104561	BSBUILD		30-Aug-01	31-Aug-01	05-Jun-02	CLOSED	Int painting & tile. (214 Espanola Wy).	1438		COLLINS AV	32340130030
B0701673	BSBUILD	SIGNAGE	27-Dec-06	30-Jan-07	29-Jul-07	CLOSED	Install rvs chnl ltrs, illuminated "GRILLFISH CRUST GILLED PIZZA". 18.26sf	1438		COLLINS AV	32340130030
BS910457	BSBUILD	OTH	04-Dec-90	04-Dec-90	15-Jul-91	CLOSED	REPLACE WINDOW(1 OPENING) CE#35785	1438		COLLINS AV	32340130030
BS920412	BSBUILD	OTH	20-Nov-91	21-Nov-91	04-Aug-06	CLOSED	REPLACE BLOCK WALL & GLASS FRONT	1438		COLLINS AV	32340130030
B0403774	BSBUILD	PAINT	03-Jun-04	03-Jun-04	30-Nov-04	VOID	EXTERIOR PAINTING.	1438		COLLINS AV	32340130030
B9701186	BSBUILD	OTH	28-Jan-97	28-Jan-97	27-Jul-97	CLOSED	EXTERIOR CLEANING, SEALING & PAINTING	1438		COLLINS AV	32340130030
B1302296	BSBUILD	PAINT	11-Feb-13	12-Feb-13	31-Oct-13	FINAL	Exterior painting	1438		COLLINS AV	32340130030
B0203022	BSBUILD	SIGNAGE	02-May-02	03-May-02	28-Apr-03	CLOSED	inst raised plastic letters on facade "mini marts wime & cigars "	1438		COLLINS AV	32340130030
BS910707	BSBUILD	OTH	18-Jan-91	18-Jan-91	17-Jul-91	CLOSED	REMOVAL OF WALL	1438		COLLINS AV	32340130030
BS911961	BSBUILD	OTH	23-Jul-91	23-Jul-91	16-Feb-92	FINAL	RE-ROOF GRAVEL TO GRAVEL 97 SQUARES	1438		COLLINS AV	32340130030
B0403533	BSBUILD	ALTRMD	18-May-04	25-May-04	14-Dec-04	FINAL	REPAIR OVERHANG (EYE-DROW) (CANTILEVER)	1438		COLLINS AV	32340130030
B9702477	BSBUILD	OTH	30-May-97	02-Jun-97	13-Apr-98	FINAL	ALUMNM CHANNEL LETTERS SIGN-NEON STRIPES	1438		COLLINS AV	32340130030
BS933483	BSBUILD	OTH	30-Aug-93	02-Sep-93	01-Mar-94	CLOSED	EXTERIOR PRESSURE CLEAN, PAINT & STUCCO	1438		COLLINS AV	32340130030
BS910953	BSBUILD	OTH	28-Feb-91	28-Feb-91	16-Sep-91	CLOSED	REPLACE STOREFRONT WINDOW & DOOR	1438		COLLINS AV	32340130030
B0004603	BSBUILD		18-Aug-00	01-Sep-00	28-Jul-01	CLOSED	PARTIAL INTERIOR DEMOLITION	1438		COLLINS AV	32340130030
BS920897	BSBUILD	OTH	06-Feb-92	06-Mar-92	02-Sep-92	CLOSED	SKELETON NEON SIGN FOR TUTO'S RESTRN LNG	1438		COLLINS AV	32340130030
B9701531	BSBUILD	OTH	04-Mar-97	04-Mar-97	11-Jan-98	FINAL	INTERIOR CABINET & SHELF WORK /SEE COMM	1438		COLLINS AV	32340130030
B9100392	BUILD	ALT	27-Aug-91	03-Sep-91	06-Jan-93	FINAL	RMDL RSTR-NEW BTHRMS,ACUSTICAL CLNGS-CM	1438		COLLINS AV	32340130030
B0204276	BUILD	SIGNAGE	19-Jul-02	19-Jul-02	15-Jan-03	CLOSED	INSTALL CHANNEL LETTER SIGN"GRILLFISH"	1438		COLLINS AV	32340130030
B0100036	BUILD		04-Oct-00	13-Nov-00	11-Aug-01	FINAL	Int Rmdl (kitch/bath/add bar). see comments.	1438		COLLINS AV	32340130030
B0702202	BUILD	SIGNAGE	30-Jan-07			VOID	Connect to extst ele	1438		COLLINS AV	32340130030
							NOTICE OF VIOLATION ISSUED. Process BR140007 not in compliance, therefore, as per the Florida Building Code and Miami-Dade County chapter 8-5 (6) the property is deemed unsafe if a 40 Year Recertification report is not completed, You must have the 40 Year Rec. processes completed within thirty calendar days from the posting of this notice.				
BV14000308	BVIO	ENGINEER	10-Jan-14	10-Jan-14	18-Jul-14	CLOSED	Sec. 8-5 - Unsafe Structures (6) Buildings or structures subject to the recertification requirements in Section 8-11(f) of this Code which the owner fails to timely respond to the Notice of Required Inspection or fails to make all required repairs or modifications found to be necessary resulting from the recertification inspection by the deadline specified in the Code or any written extension granted by the Building Official will be demolished	1438		COLLINS AV	32340130030
							NO PERMIT POSTED OR SHOWN IN SYSTEM. NEW ELECTRICAL, MECHANICAL, PLUMBING WORK WITHOUT PLANS OR SPECIFICATIONS. SUBMIT PLANS AND SPECIFICAITONS FOR NEW AND PROPOSED WORK. DOUBLE FEE & 100.00 FINE.				
BV02000513	BVIO	BVIO	07-Aug-01	07-Aug-01	25-Apr-02	CLOSED	AKA 214 ESPANOLA WY 04/25/2002-CLOSED COMPLIANCE BCO 01113 APPROVED IN COMPUTER SYSTEM FOR EXPANSION. FAILURE TO MAINTAIN SAFE STRUCTURE NOV & CITATION ISSUED.	1438		COLLINS AV	32340130030
							03/27/2001-CLOSED, COMPLIANCE PERMIT APPROVED B0100036 WITH LAST APPROVED INSPECTION ON 01/17/2001.				
BV01000087	BVIO	BVIO	06-Nov-00	06-Nov-00	27-Mar-01	CLOSED		1438		COLLINS AV	32340130030
BS891629	SBUIL	OTH	10-Jul-89	10-Jul-89	06-Jan-90	CLOSED	EXTERIOR PAINT-CODE ENFRC CASE #33657 PM	1438		COLLINS AV	32340130030



Micro Films Records & Original Plans

The original plans and microfilm records found in the city are not completely legible; however, there is enough evidence of the original architecture features on this building as shown on the elevation below. Some of these include storefront windows, glass block and horizontal stucco relieves in the front facades.



Historic Photographs & Description of The History & Evolution of the Original Building



The original building was designed to house commercial tenant spaces such as food markets, restaurants and pharmacies. These were the type of occupancies until the 1990's. In 1993, the Grill Fish Restaurant occupied 1438 Collins Ave for next 25 years. The restaurant opened their doors back in 1993 and operated until 2018. The zoning of the building has been predominately commercial due to the location.



Square One Architecture, Inc.
5450 Griffin Rd –Suite A- Davie, FL 33314
phone (954) 861-0852 AA2600184
john@squareonearchitecture.com



2. LETTER OF INTENT



LETTER OF INTENT

January 17th, 2020

Sun & Sand
1438-1444 Collins
Avenue, Miami
Beach, FL 33139

Prepared for: The city of Miami Beach Historic Preservation

Board To whom it may concern,

Please accept this letter as a sincere expression of our intent to renovate part of the existing building located at the address referenced above. The intention is to enhance an existing, deteriorated and abandoned building by following all the parameters and recommendations instructed by the Chief of Historical preservation, Deborah Tackett, principal planner James Seibring and of course the historic committees' feedback.

We do not propose to change the building footprint, envelope and overall essence. The only proposed work to the exterior façade is to replace two existing single doors with a new double door along Collins Avenue and also replace an existing exterior pocket/door opening to a store front window in order to match the rest of the building.

This pocket area on Española way is used by the homeless as sleeping grounds and is considered a dangerous architectural feature as per CPTED (crime prevention through environmental design) consultants. The reason being that someone can use it to hide at night and surprise a person walking on Española way.

All other window/door openings shall be direct replacement as well as the exterior façade materials in order to preserve the essence of the original architecture. Our objective is to get approved by the historic preservation committee considering the proposed renovation will provide aesthetic, economic, and social value to vendors, tourist and most importantly the local community.

Respectfully yours,

Enrique Ardila – Project Architect



Square One Architecture, Inc.
5450 Griffin Rd –Suite A- Davie, FL 33314
phone (954) 861-0852 AA2600184
john@squareonearchitecture.com



SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

Criteria for development orders:

1. A recycling or salvage plan for partial or total demolition shall be provided.
Response: Contractor will provide plan once the project is approved.
2. Windows that are proposed to be replaced shall be hurricane proof impact windows.
Response: Acknowledged, impact windows shall be provided.
3. Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.
Response: Acknowledged, operable doors shall be provided.
4. Resilient landscaping (salt tolerant, highly water-absorbent, native, or Florida-friendly plants) shall be provided, in accordance with chapter 126 of the city Code.
Response: No site work proposed.
5. The project applicant shall consider the adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact. The applicant shall also specifically study the land elevation of the subject property and the elevation of surrounding properties.
Response: Acknowledged.
6. The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-way and adjacent land, and shall provide sufficient height and space to ensure that the entry ways and exits can be modified to accommodate a higher street height of up to three additional feet in height.
Response: Floor elevation shall remain the same. No worked proposed.
7. As applicable to all new construction, all critical mechanical and electrical systems shall be located above base flood elevation. All redevelopment projects shall, whenever practicable and economically reasonable, include the relocation of all critical mechanical and electrical systems to a location above base flood elevation.
Response: Acknowledged, all the equipment above is proposed to be installed above BFE.
8. Existing buildings shall, wherever reasonably feasible and economically appropriate, be elevated up to base flood elevation, plus City of Miami Beach Freeboard.
Response: It would not be reasonably feasible and economical appropriate to elevate the building to BFE. The difference is more than one foot.
9. When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with chapter 54 of the city Code.
Response: No habitable spaces proposed.
10. As applicable to all new construction, stormwater retention systems shall be provided.
Response: No site work proposed.
11. Cool pavement materials or porous pavement materials shall be utilized.
Response: No site work proposed.
12. The design of each project shall minimize the potential for heat island effects on-site.
Response: No site work proposed.



3. PROPOSED PLANS

SCOPE OF WORK

- INTERIOR ALTERATION TO AN EXISTING TENANT UNIT OF 4,676 S.F. TO ACCOMMODATE NEW RETAIL STORE.
- THERE IS NO WORK TO THE EXTERIOR SHELL OR ROOF.
- NO SQUARE FOOTAGE SHALL BE ADDED OR REMOVED FROM THE BUILDING.
- MECHANICAL:
SHALL BE MODIFIED AS SHOWN.
- ELECTRICAL:
THE EXISTING ELECTRICAL SERVICE, METER AND PANEL SHALL REMAIN UNDISTURBED. RECEPTACLES AND LIGHTING SHALL BE MODIFIED AS SHOWN.
- PLUMBING:
THE EXISTING SANITARY AND WATER SUPPLY LINES SHALL BE MODIFIED AS SHOWN.

BUILDING INFORMATION

OCCUPANCY TYPE: M (MERCANTILE)

GROSS BUILDING AREA: 4,676 S.F.

EXISTING CONSTRUCTION TYPE: IIA

LEVEL OF ALTERATION: LEVEL 3

FIRE SPRINKLERS: NO

FIRE EXTINGUISHERS: YES

HAZARDOUS MATERIALS IN OCCUPANCY GROUP M SHALL NOT EXCEED THE MAXIMUM ALLOWABLE QUANTITIES IN ACCORDANCE WITH F.B.C. SECTION 414.2.5 PROVIDED THAT THEY ARE DISPLAYED AND STORED IN ACCORDANCE WITH THE FLORIDA FIRE PREVENTION CODE.

FLORIDA FIRE PREVENTION INFORMATION

FFPC & NFPA OCCUPANCY: MIXED OCCUPANCY
*As per NFPA 1 - Table 5.1.14.4.1. (a) - Required separation shall be 2-hour fire rating.

FFPC & NFPA OCCUPANCY: MERCANTILE
*As per NFPA 1 - 20.12.2.2 Interior Wall and Ceiling Finish: Interior wall and ceiling finish materials shall be Class A, Class B, or Class C.

Exterior Adjacent Tenant Compartment fire work - shown for reference only

Work adjacent tenant: Pink Rock Gels - a restaurant

FFPC & NFPA Occupancy: Assembly (less than 300)

Unit Area: approx. 1,700 sq ft.

REMODELING AREA

MECHANICAL: ~Approx. 750 sq ft.

ELECTRICAL: ~Approx. 110 sq ft.

PLUMBING: ~Approx. 40 sq ft.

FLOORING:
- FIRST FLOOR ~Approx. 4,400 sq ft.
- SECOND FLOOR ~Approx. 370 sq ft.
~Approx. 4,620 sq ft.

CODE REFERENCES

FLORIDA BUILDING CODE 2017, 6th EDITION

FLORIDA BUILDING CODE EXISTING BUILDING 2017, 6th EDITION

FLORIDA BUILDING CODE ACCESSIBILITY 2017, 6th EDITION

FLORIDA BUILDING CODE, 6th EDITION (2017) ELECTRICAL CODE (N.E.C.) CURRENT EDITION.

NATIONAL FLORIDA EXISTING CODE, 6TH EDITION (2017)

FLORIDA FIRE PREVENTION CODE, 6th EDITION.

EGRESS REQUIREMENTS

TABLE 1006.3.1, FBC 2017
MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY

OCCUPANT LOAD REQUIRED	EXITS
1-500	2
501-1000	3
MORE THAN 1,000	4
TOTAL EXITS REQUIRED	2
TOTAL EXITS PROVIDED	5

FBC OCCUPANT LOAD

MECHANICAL: 1 PER 50 s.f. gross 4,016 s.f. / 50 = 134 occupants

STORAGE: 1 PER 200 s.f. gross 660 s.f. / 200 = 3 occupants

TOTAL OCCUPANTS: 137 occupants

Per Plumbing Table 403.1
(1) water closet, (3) lavatory, (2) drinking fountain and (1) service sink are required.

FIXTURE LOAD CALCULATIONS

TABLE 2002.1, FBC 2017 TOTAL OCCUPANTS: 137

FIXTURE TYPE	REQUIRED BY CODE	PROVIDED
MALE WATER CLOSET	1 PER 500	137 OCCUPANTS/500 = 1 W.C.
FEMALE WATER CLOSET		
MALE LAVATORY	1 PER 750	137 OCCUPANTS/750 = 1 LAVATORY
FEMALE LAVATORY		
DRINKING FOUNTAIN	1 PER 1000	1

CL

ESPANOLA WAY

CL

COLLINS CT.

ADJACENT TENANTS
"NO WORK"

SUN AND SAND
FFE-XX

ALLEY

N

SUN AND SAND

PROJECT TEAM

ARCHITECT

SQUARE ONE ARCHITECTURE

CONTACT: JOAN N. GARRA
ADDRESS: 5230 S UNIVERSITY DR SUITE # 106D,
DAVE, FL 33328
PHONE: (254) 961-0852
EMAIL: JOAN@SQ-1.NET

STRUCTURAL ENGINEER

SPECIALTY ENGINEERING CONSULTANTS, INC.

CONTACT: ADAM LE BLANC
PHONE: (561) 752-5440
EMAIL: adam@sepcad.com

M/E/P ENGINEERS

RCI Engineering

CONTACT: BRIAN GOLDWELL
ADDRESS: 5230 S UNIVERSITY DR SUITE # 106D,
DAVE, FL 33328
PHONE: (254) 960-2690

OWNER

SUN AND SAND

ADDRESS: 1438 Collins Ave, Miami Beach, FL 33139

DRAWING INDEX

ARCHITECTURAL

A000 PROJECT INFORMATION

A010 CONTEXT LOCATION PLAN

SUNNY

A011 SITE PLAN

A012 PROJECT SITE AND EXISTING IMAGES

A013 EXISTING INTERIOR IMAGES

A014 CONTEXT IMAGES

DI 101 EXISTING PLANS

DI 201 EXISTING ELEVATIONS

D101 DEMOLITION PLANS

D201 DEMOLITION ELEVATIONS

A101 PROPOSE FIRST & SECOND FLOOR PLAN

A102 PROPOSE LIFE SAFETY PLANS

A103 PROPOSE ROOF PLAN

A201 PROPOSE ELEVATIONS

A202 PROPOSE SECTIONS & DETAILS

A203 RENDER - NEW ELEVATIONS

A204 RENDER - NEW ELEVATIONS

A205 RENDERERS

LOCATION MAP





5230 S University Dr #106D,
Dave, FL 33328
AA26001846
954-961-0852
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

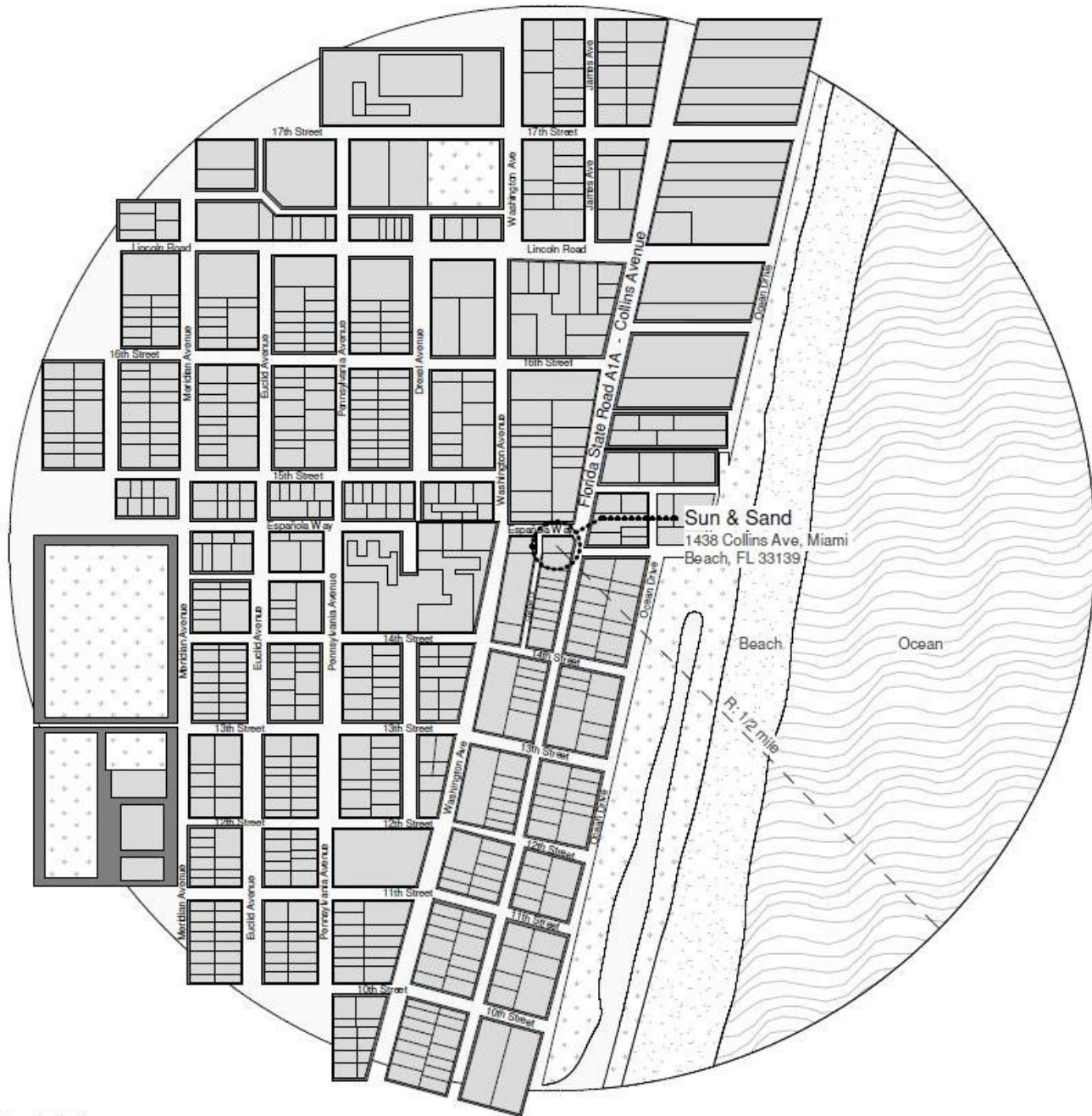
John Norman Garra
Florida Architect AP92545

Project Information

Date: 05/07/2019
Drawn by: LFF

A000

Scale: As indicated



○ Context location plan
1 : 6000



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John Norman Garra
Florida Architect AR92545

Context
Location Plan

Date 05/07/2019
Drawn by Author

A010

Scale 1 : 6000

2/11/2020 11:57:46 AM



LOCATION MAP
NOT TO SCALE

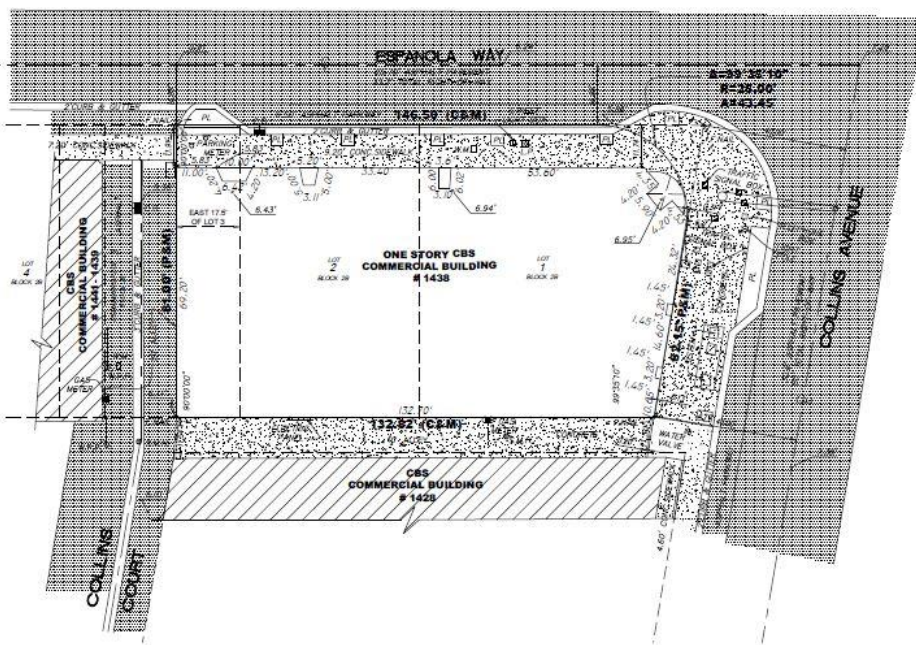
WASHINGTON AVENUE

ESPANOLA WAY



COLLINS AVENUE

COLLINS COURT



PROPERTY ADDRESS: 1438 COLLINS AVE., MIAMI BEACH, FL 33139

LEGAL DESCRIPTION: THE EAST 17.5 FEET OF LOT 3, AND ALL OF LOTS 1 AND 2, BLOCK 2, ESPANOLA VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 45, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
 - 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
 - 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
 - 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
 - 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - 7) OWNERSHIP OF FENCES ARE UNKNOWN.
 - 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 - 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
 - 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
 - 11) ELEVATIONS BASED OFF OF BM# D-148-R LOCH 3220 N ELEV. 6.35'
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES
- BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 7 PG: 45

BOUNDARY SURVEY

LEGEND & ABBREVIATIONS:







SYMBOLS CONCRETE WOOD DECK COVERED AREA ASPHALT CHAIN LINK FENCE (CLF) WOOD FENCE (WF) IRON FENCE (IF) ARC DISTANCE CENTRAL ANGLE / DELTA RADIUS TANGENT POINT OF TANGENCY POINT OF CURVATURE POINT OF COMPOUND CURVE CATCH BASIN CABLE UTILITY BOX	SYMBOLS BLOCK CORNER PROPERTY LINE CENTER LINE MONUMENT LINE CALCULATED FIELD MEASURED FBI PLAT TYPICAL PERMANENT REFERENCE MONUMENT PERMANENT CONTROL POINT FOUND NAIL FOUND DRILL HOLE FOUND IRON PIPE CONCRETE MONUMENT WATER METER FRONT OF WAY	SYMBOLS UTILITY EMBLEMMENT ANCHOR EMBLEMMENT DRAINAGE EMBLEMMENT ENCROACHMENT ELEVATION NOT TO SCALE PLAT BOOK OFFICIAL RECORD BOOK MAN HOLE CONCRETE BLOCK STRUCTURE BUILDING OVERHEAD UTILITY LINES TELEPHONE FACILITIES	SYMBOLS POINT OF REVERSE CURVE CHORD BEARING CHORD BEARING REFERENCE POINT OF COMMENCEMENT POINT OF BEGINNING TEMPORARY BECH MARK TEMPORARY BECH MARK FOUND IRON REBAR FOUND PAIRED-KALON NAIL PROFESSIONAL SURVEYOR AND MAPPER ANCHOR EMBLEMMENT POWER POLE DRAINAGE & MAINTENANCE EMBLEMMENT EXISTING ELEVATION	SYMBOLS ELEVATION SECTION TOWNSHIP RANGE SECTION	<p>I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EMBLEMMENTS APPEARING ON THE PLAT OR FIELD EMBLEMMENTS OTHER THAN AS SHOWN HEREON.</p> <p><i>[Signature]</i></p> <p>ADRIAN NUNEZ REGISTERED LAND SURVEYOR STATE OF FLORIDA #00024</p>	<p>SINCE 1987</p> <p>BLANCO SURVEYORS INC. Engineers • Land Surveyors • Planners • LB # 0007059 555 NORTH SHORE DRIVE MIAMI BEACH, FL 33141</p> <p>(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810</p> <p>FLOOD ZONE: AE PANEL: 0317 DATE: 11/27/19 SCALE: 1" = 30'</p> <p>SUFFIX: L FEMA DATE: 09/11/09 COMMUNITY # 120651 DWN. BY: R.BELLO JOB NO. 19-742</p>	<p>NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL</p> <p></p> <p>REVISED:</p>
--	---	--	---	--	--	---	---

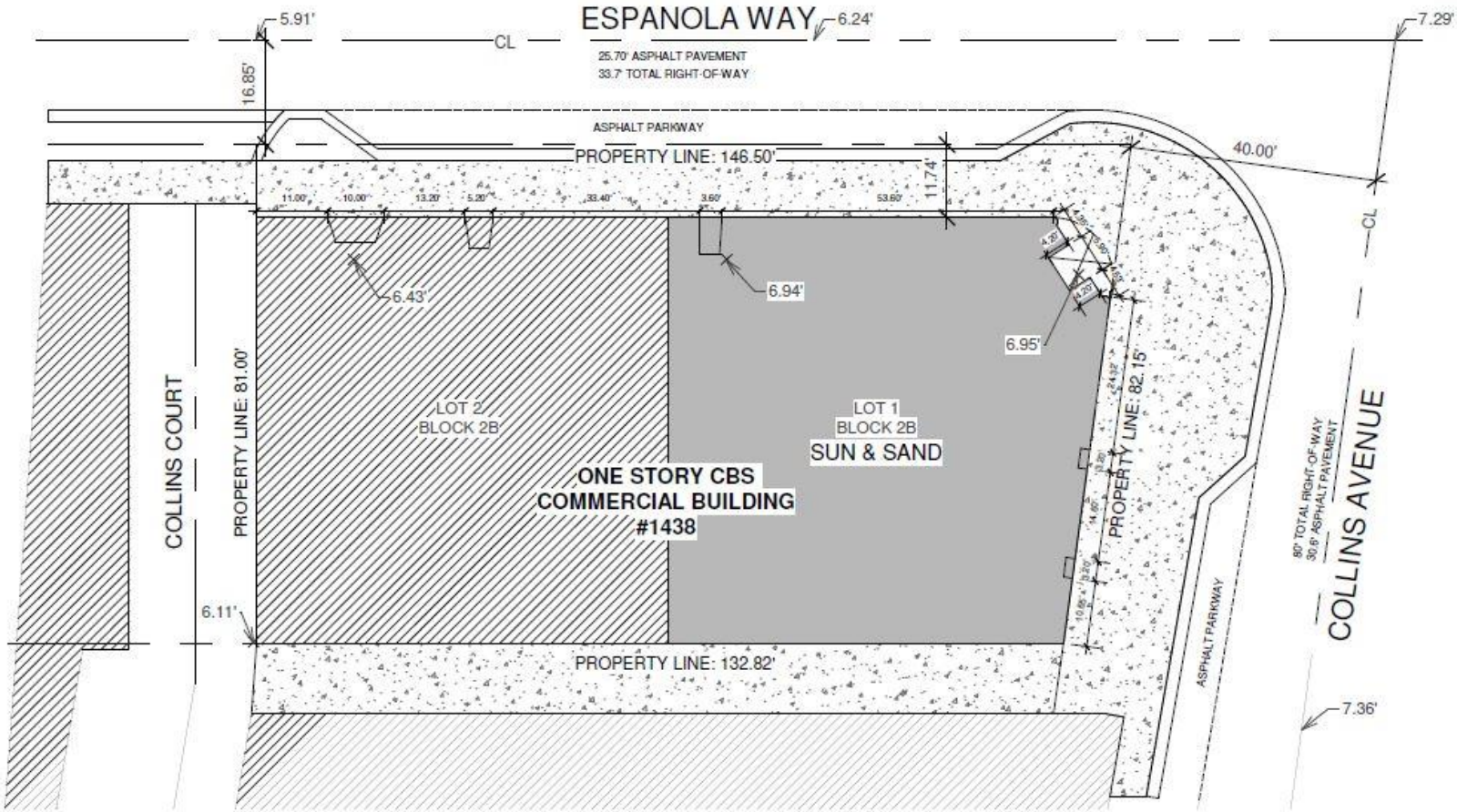
CODE REFERENCES:
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FLORIDA BUILDING CODE EXISTING BUILDING 2017, 6th EDITION
FLORIDA BUILDING CODE ACCESSIBILITY 2017, 6th EDITION
FLORIDA BUILDING CODE, 6th EDITION (2017) - ELECTRIC CODE (N.E.C.) CURRENT EDITION
NATIONAL FLORIDA EXISTING CODE, 6th EDITION (2017)
FLORIDA FIRE PREVENTION CODE, 6th EDITION

FLOOD ZONE INFORMATION:
NFIP COMMUNITY NUMBER: 120651
MAP PANEL #: 0517
SUFFIX: L
FLOOD ZONE: AE
BASE FLOOD ELEVATION: -1' NAVD
EXISTING AND NEW FIRST FLOOR ELEVATION: 5.0' NAVD
LEGAL DESCRIPTION
THE EAST 17.5 FEET OF LOT 2 AND ALL OF LOTS 1 AND 2, BLOCK 2, ESPANOLA VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 45, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

LOT AREA
LOT 1 AREA: 4,030 sq.ft.
LOT 2 AREA: 4,590 sq.ft.

CALL BEFORE YOU DIG
<p>Sunshine State One Call of Florida Call before you dig 1-800-433-4773</p> <ul style="list-style-type: none"> Call two full business days before digging. Call 10 days before digging when digging under water. Wait the required time for buried utilities to be located and marked. Protect the marks during your project. If marks are destroyed, call again. Dig safely, using extreme caution when digging within 24 inches on either side of the marks to avoid hitting the buried utility lines. This is a free service to help keep Florida safe!

GRAPHIC LEGEND	
	NEW PARTITION WALL
	EXISTING ASPHALT PAVEMENT
	NEW CMU WALL
	EXISTING BUILDING - NO WORK
	CONCRETE
	AREA OF WORK



1.0 - Site Plan
1" = 20'-0"



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 Davie, FL 33328
 AA26001846
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 www.sq1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

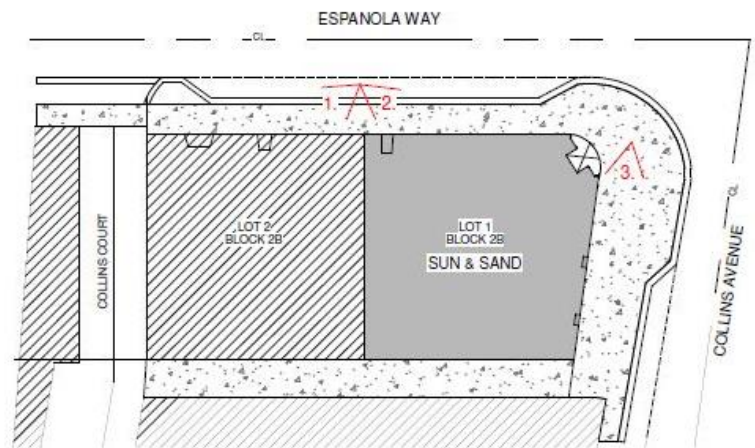
Site Plan

Date: 09/07/2019
 Drawn by: LFP

A011

Scale: As indicated

2/11/2020 11:57:47 AM



1.5 - Directional plan - B
1" = 40'-0"

*NOTE: Pictures from 2020.01.06



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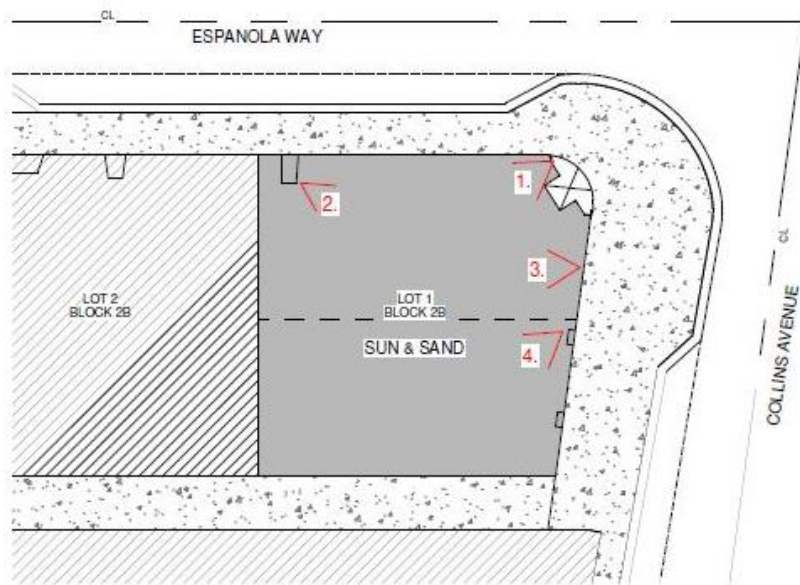
Project site and
existing

Date 05/07/2019
Drawn by Author

A012

Scale 1" = 40'-0"

2/11/2020 11:57:47 AM



① 1.4 - Directional plan - A
1" = 30'-0"

*NOTE: Pictures from 2017.05



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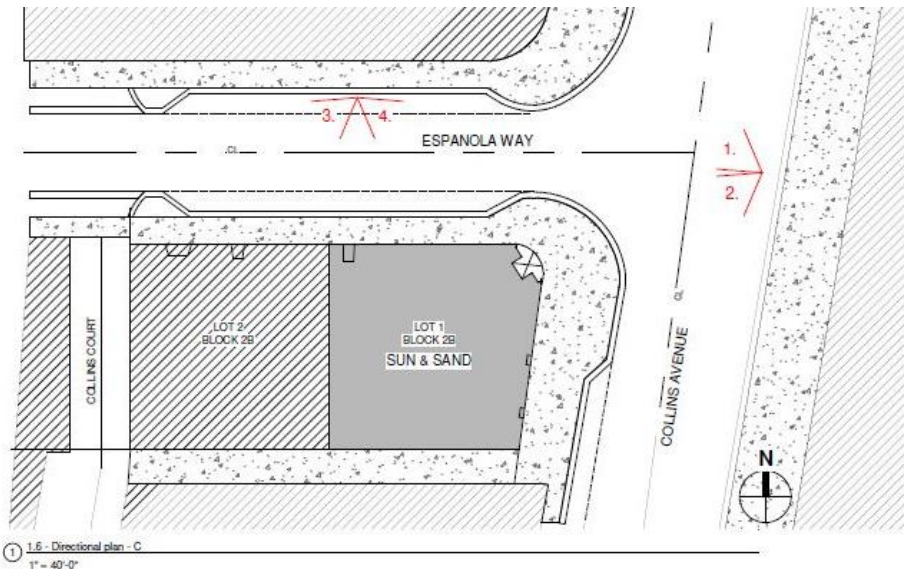
Existing interior
images

Date 09/07/2019
Drawn by LFF

A013

Scale 1" = 30'-0"

2/11/2020 11:57:47 AM



1.6 - Directional plan - C
1" = 40'-0"

*NOTE: Pictures from 2020.01.06



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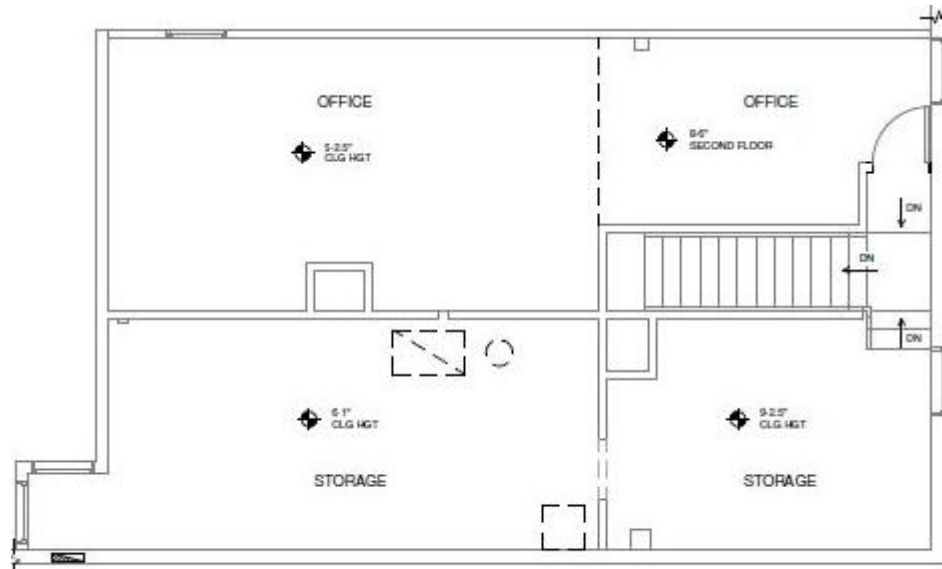
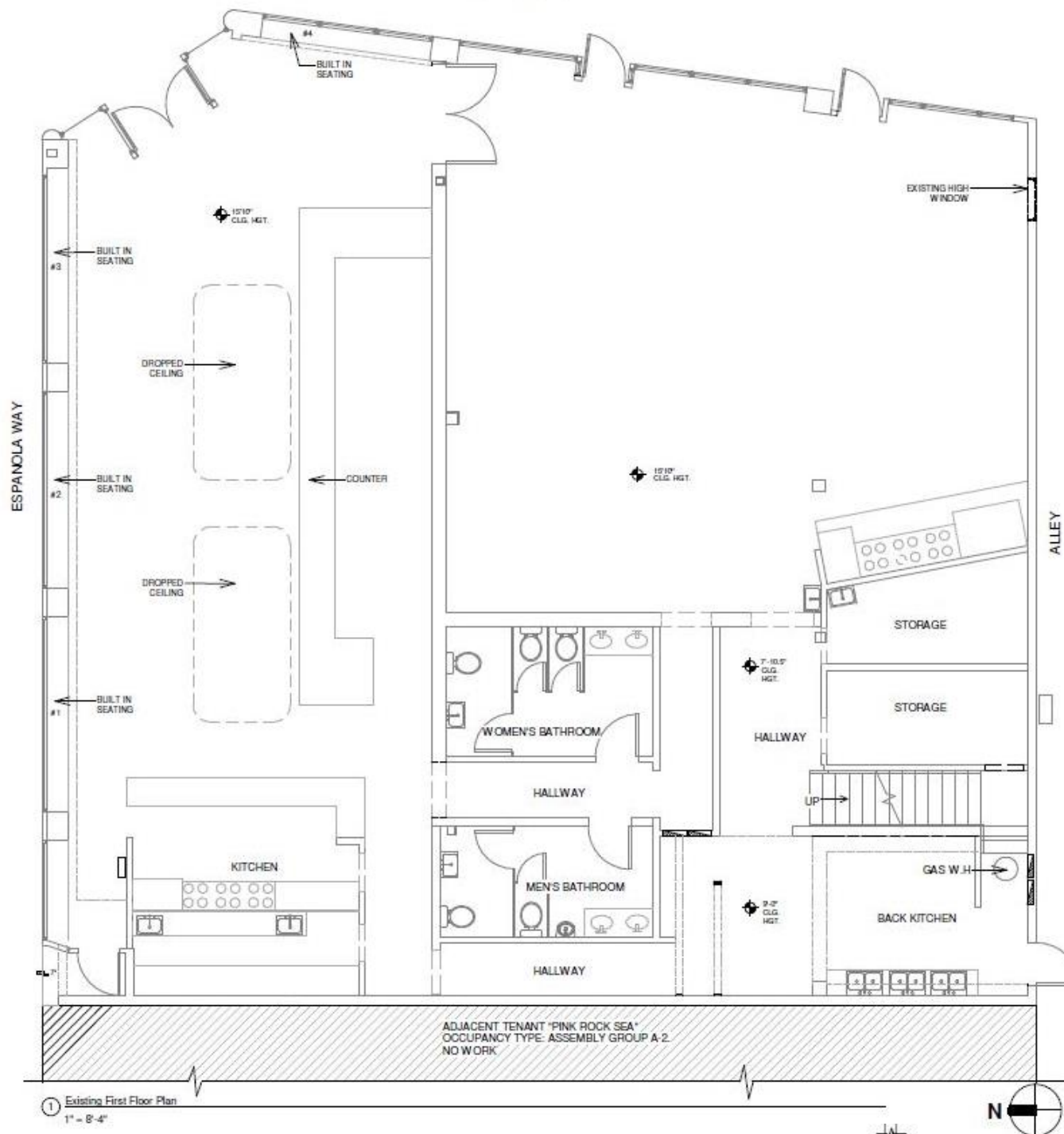
Context images

Date 05/07/2019
Drawn by LFF

A014

Scale 1" = 40'-0"

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Existing Plans

Date 05/07/2019
Drawn by LFF

EX101

Scale 1" = 8'-4"

2/11/2020 12:02:48 PM



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2	FINAL SUBMITTAL	02/10/20

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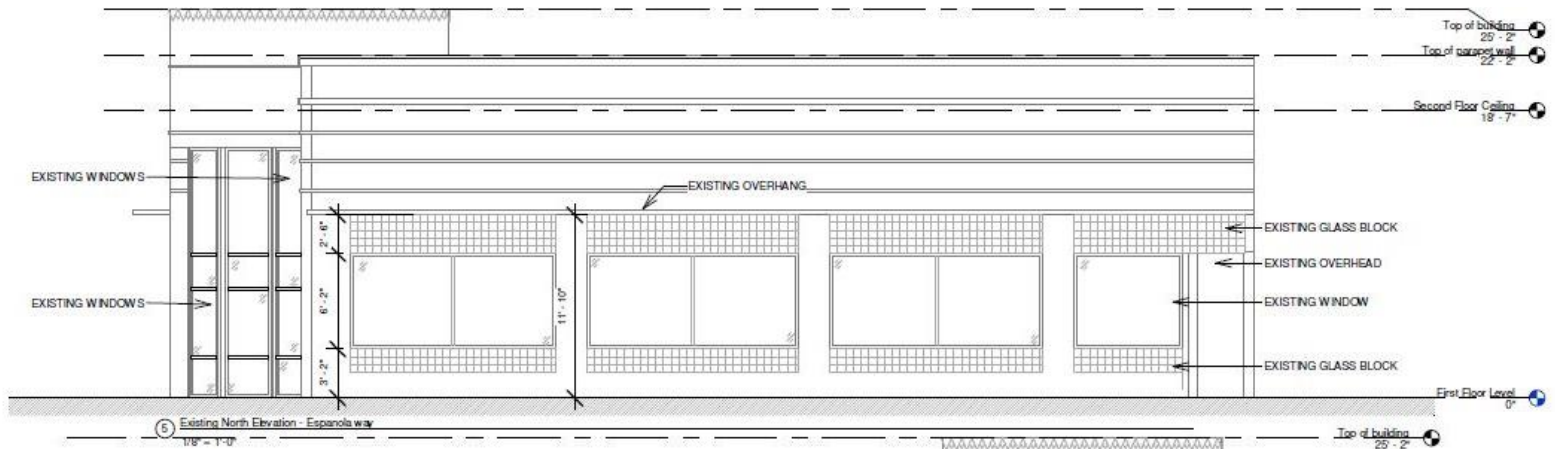
Existing
Elevations

Date 05/07/2019
Drawn by LFF

EX201

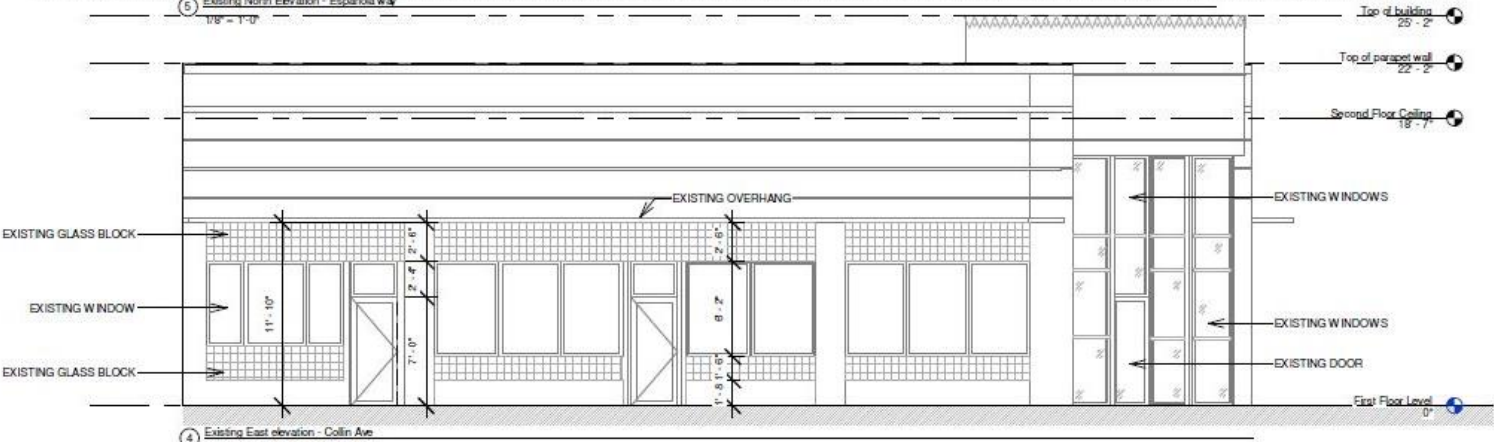
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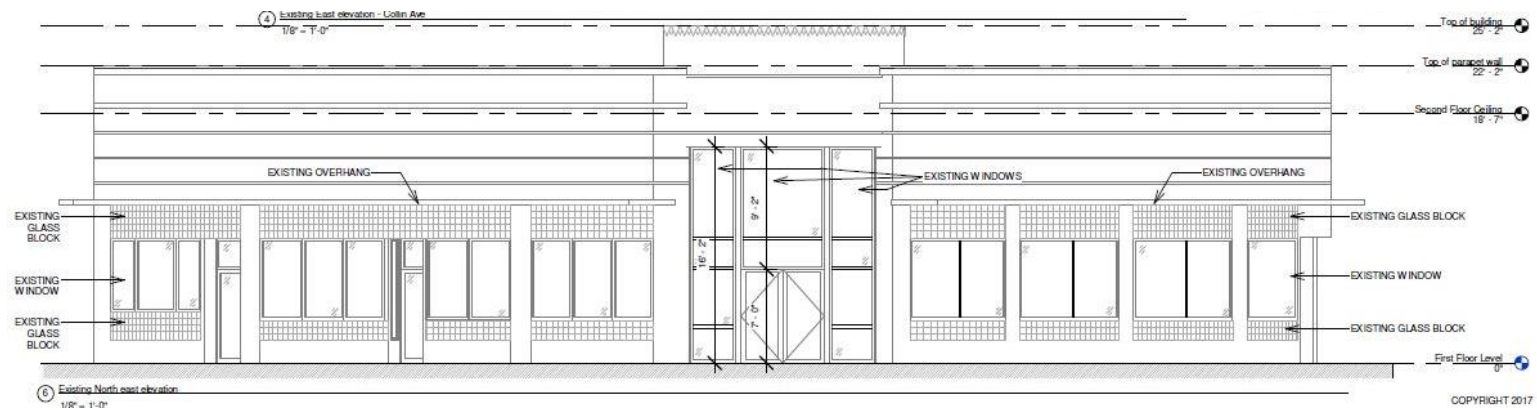
5 Existing North Elevation - Espanola way

1/8" = 1'-0"



4 Existing East elevation - Collin Ave

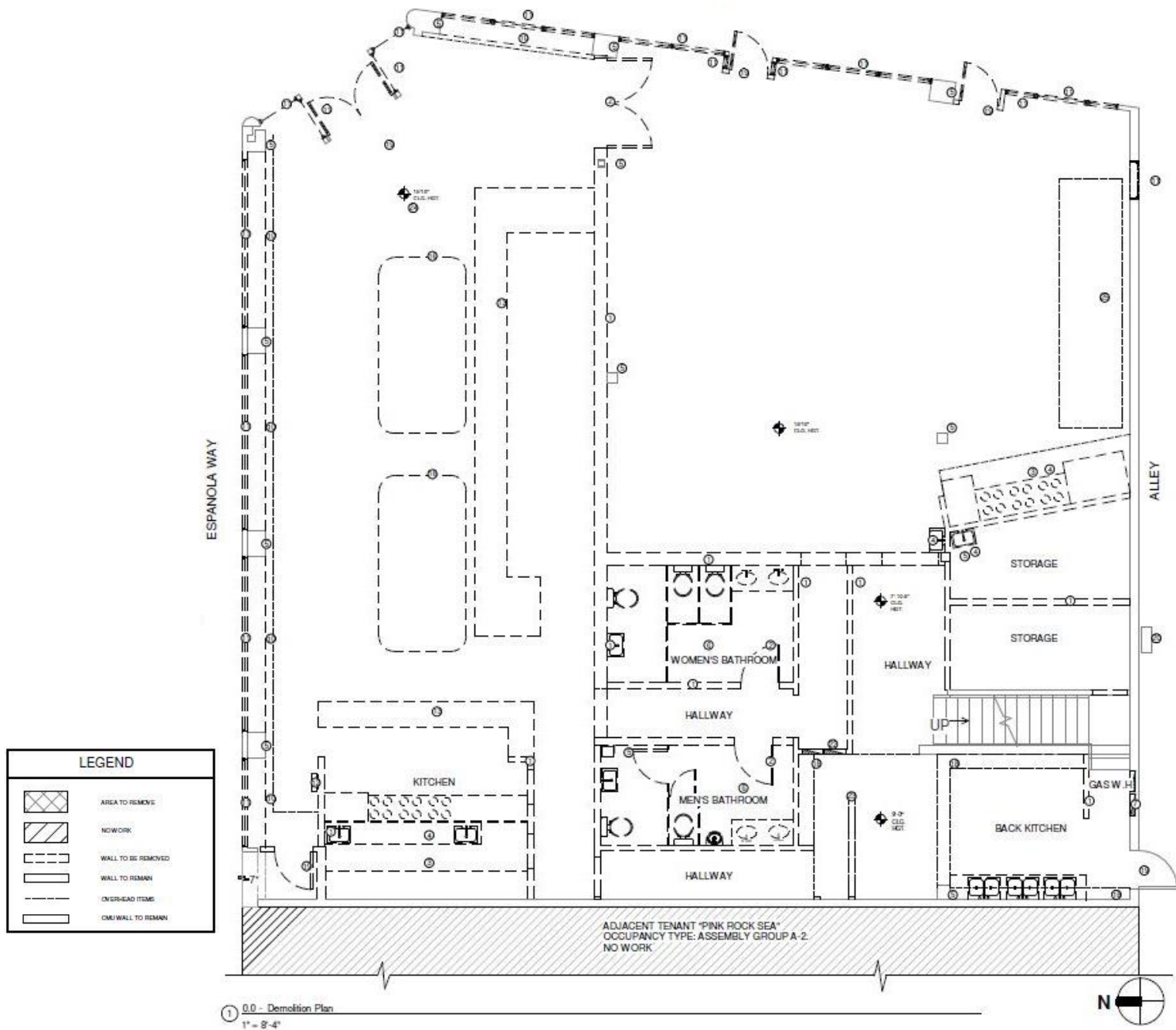
1/8" = 1'-0"



6 Existing North east elevation

1/8" = 1'-0"

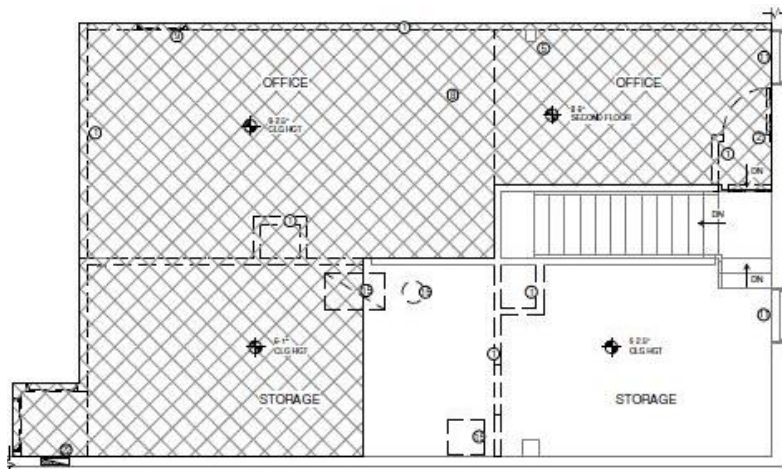
COPYRIGHT 2017



① 0.0 - Demolition Plan
1" = 8'-4"



DEMO PLAN LEGEND	
NO.	DESCRIPTION
1	REMOVE EXISTING PARTITION WALL
2	REMOVE EXISTING DOOR
3	REMOVE EXISTING KITCHEN EQUIPMENT, HOOD, SINKS & APPLIANCES
4	PLUMBING FIXTURES SHALL BE REMOVED AND CAPPED
5	EXISTING COLUMN, DO NOT DISTURB
6	REMOVE EXISTING BATHROOM FIXTURES & FIXTURES. PLUMBING FIXTURES SHALL BE REMOVED AND CAPPED
7	EXISTING ELECTRICAL PANEL, DO NOT DISTURB
8	REMOVE EXISTING HATCHED PORTION OF SECOND FLOOR FRAMING & INTERIOR WALLS, SEE GENERAL NOTE #1
9	REMOVE EXISTING WINDOW
10	REMOVE BUILT IN SEATING
11	EXISTING WINDOW, DO NOT DISTURB
12	REMOVE & SALVAGE EXISTING FIRE ALARM PANEL
13	REMOVE EXISTING COUNTER
14	EXISTING BATHROOM FIXTURES AND FIXTURES SHALL REMAIN
15	REMOVE EXISTING AC DUCTS
16	REMOVE EXISTING CEILING
17	REMOVE EXISTING WINDOWS, GLASS BLOCK BELOW AND GLASS BLOCK ABOVE
18	EXISTING BEAM, DO NOT DISTURB
19	EXISTING DOOR, DO NOT DISTURB
20	EXISTING GAS METER SHALL REMAIN. MAIN SHALL BE CAPPED AND ALL INTERIOR GAS PIPING SHALL BE REMOVED
21	REMOVE EXISTING GLASS, MULLIONS AND DOORS
22	REMOVE & SALVAGE EXISTING ELECTRICAL PANELS
23	SHORE UP & REMOVE EXISTING COLUMN
24	REMOVE EXISTING CEILING FRAMING
25	LOCATION TO STORE DEMOLISHED NEW MATERIAL
NOTES	
1. CONTRACTOR SHALL VERIFY THAT WALLS NOTED TO BE DEMOLISHED ARE NOT LOAD BEARING.	
2. CONTRACTOR SHALL CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE FIELD.	
3. SHORE TO ELECTRICAL CIRCUITS TO BE DISTURBED AND REMOVAL ALL ELECTRICAL WIRING AND DEVICES WITHIN WALLS AND CEILING BEING REMOVED.	
4. REMOVE ALL DUCTWORK WITHIN WALLS AND CEILING BEING REMOVED. CLEANLY CUT ALL SPANCH DUCTWORK TO BE REMOVED FROM TRUNKS TO REMAIN. PROTECT PORTION OF DUCTWORK TO REMAIN.	
5. CONTRACTOR SHALL SHORE UP LOAD BEARING WALLS/COLUMNS PRIOR TO REMOVAL.	
6. SINKS SHALL NOT BE OCCUPIED DURING DEMOLITION.	
7. ALL LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION.	



② 0.1 - Demolition Plan Second Floor
1" = 100'



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Sun & Sand
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No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
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John Norman Garra
Florida Architect AR92545

Demolition Plans

Date 05/27/2020
Drawn by LFF

D101

Scale As indicated



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Demo
Elevations

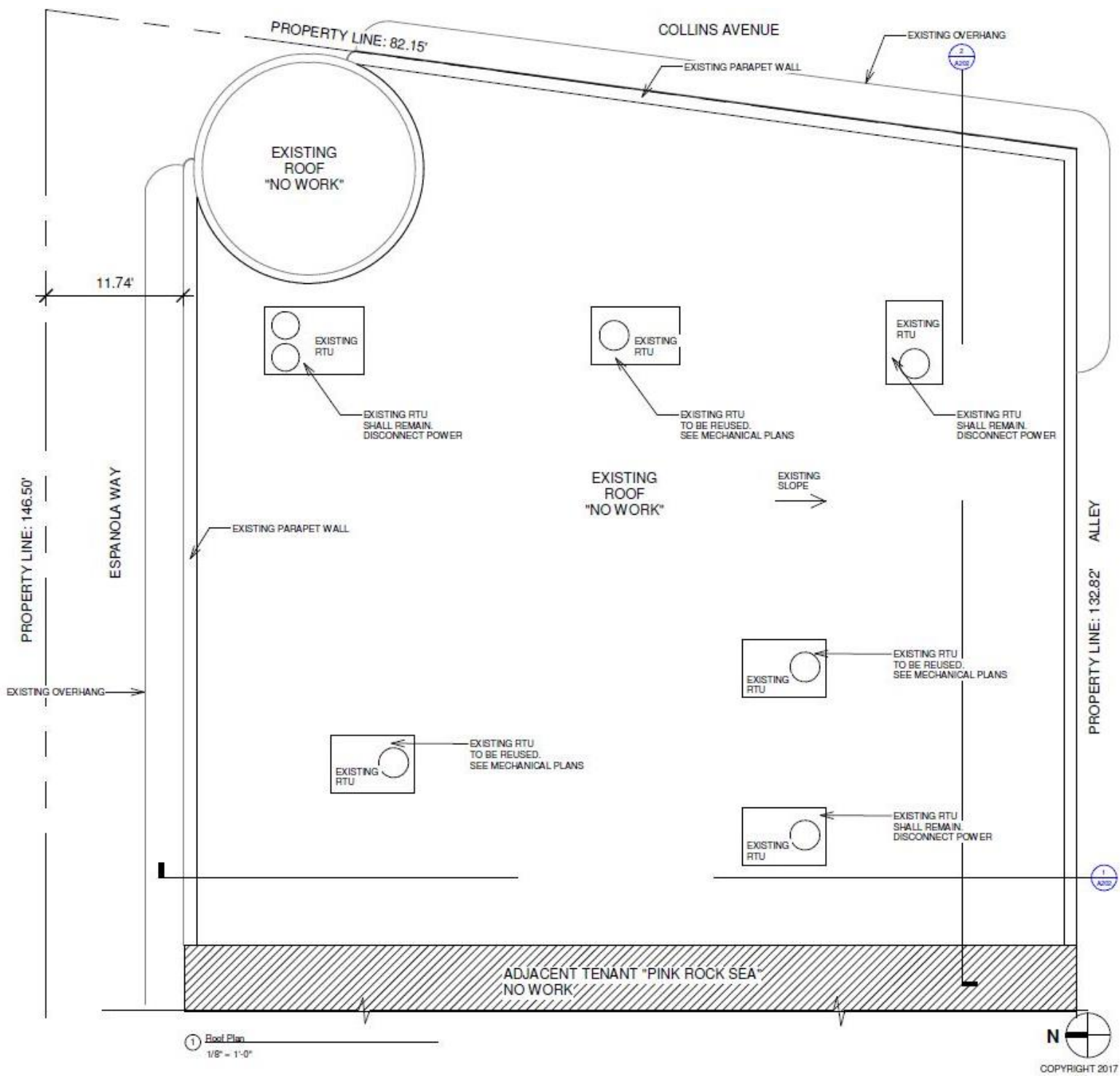
Date 09/07/2019
Drawn by LFF

D201

Scale 1/8" = 1'-0"



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Propose
Elevations

Date 05/07/2019
Drawn by LFF

A201

Scale 1/8" = 1'-0"





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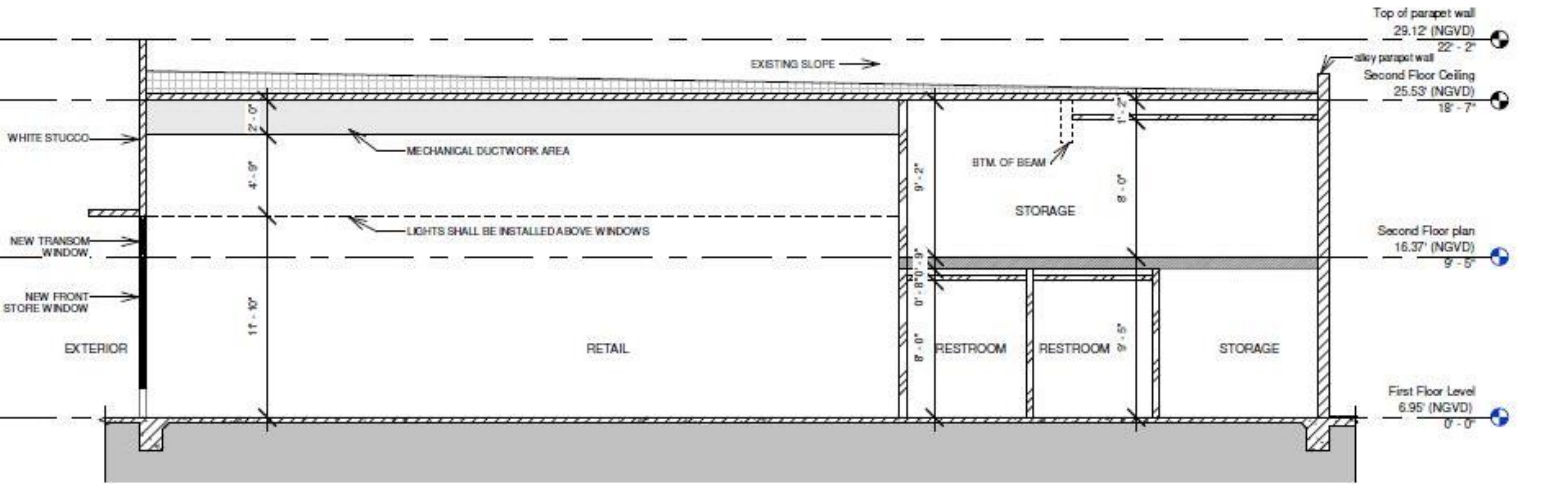
Propose
Sections

Date 05/07/2019
Drawn by LFF

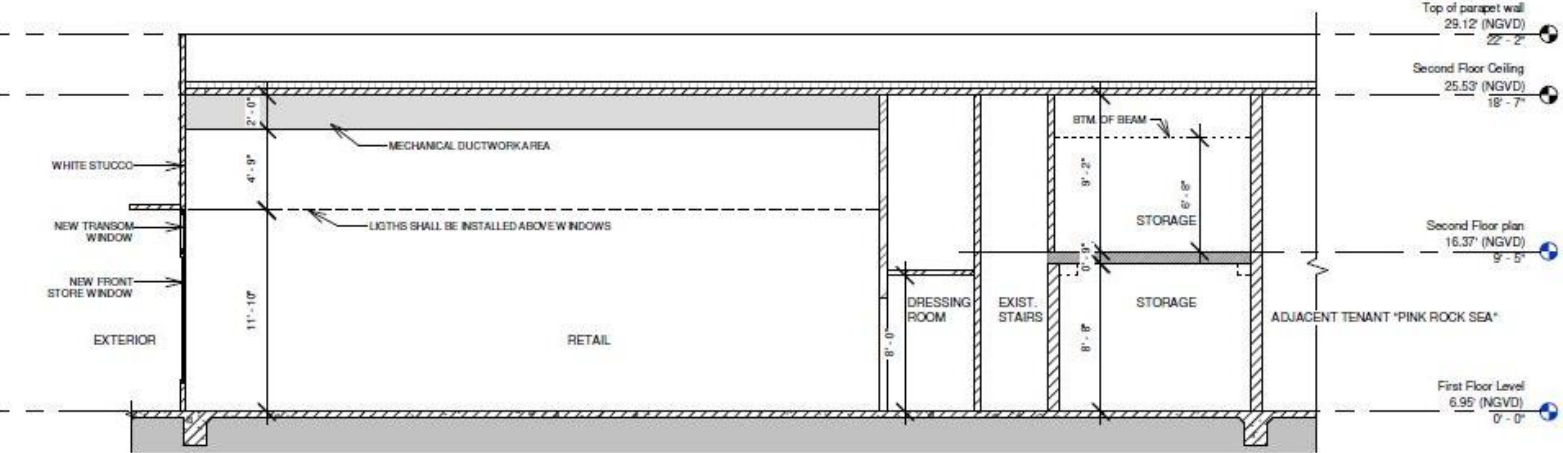
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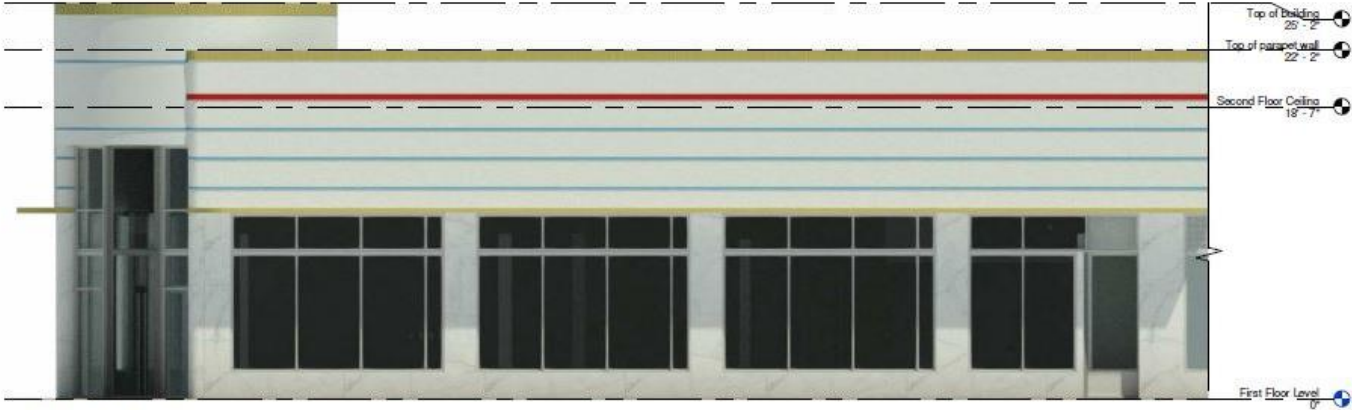


① Section 1 North-South
1/8" = 1'-0"

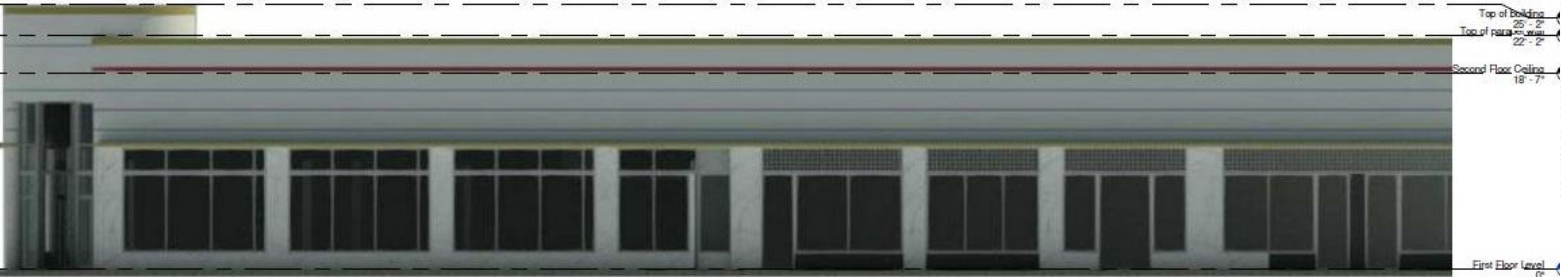


② Section 2 East-West
1/8" = 1'-0"

EXISTING	
NEW CMU	
CONCRETE	
WOOD	
METAL FRAMING	



① North Elevation - Sun & Sand
1/8" = 1'-0"



② North Elevation - Complete facade
3/32" = 1'-0"



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Render - New
Elevations

Date 05/07/2019
Drawn by Author

A203

Scale As indicated



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Florida Architect AP92545

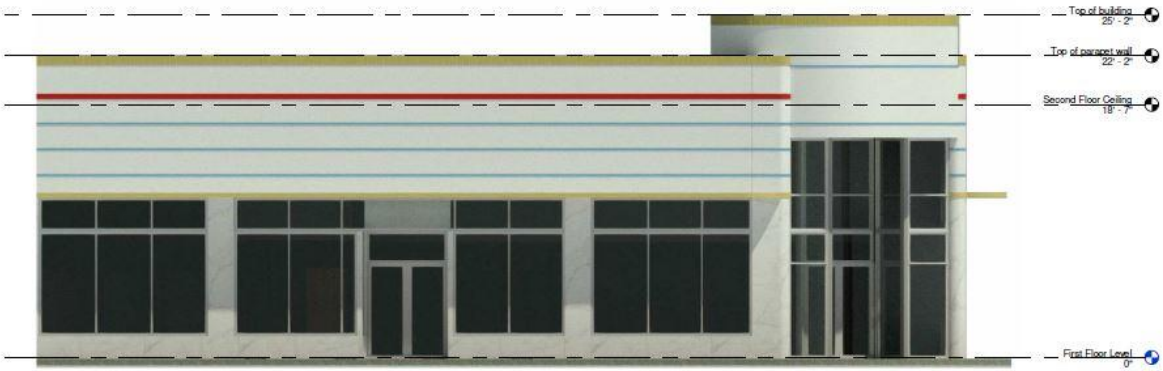
Render - New
Elevations

Date 09/07/2019
Drawn by LFF

A204

Scale 1/8" = 1'-0"

2/11/2020 12:07:19 PM



2 East Elevation
1/8" = 1'-0"



1 North East Elevation
1/8" = 1'-0"



① Render - Main entrance
12" = 1'-0"



③ Render - Perspective
12" = 1'-0"



④ Render - Collins ave.
12" = 1'-0"



② Render - Espanola way
12" = 1'-0"



SQUARE ONE
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Florida Architect AR92545

Renders

Date 05/07/2019
Drawn by Author

A205

Scale 12" = 1'-0"

2/11/2020 12:07:19 PM

4. PLAN REVIEW – COMMENT REVIEW SHEET



February 10th, 2020,

Re: Plan Review – Facade modifications
1438 Collins Ave, Miami Beach, FL 33139
Plan Case: HPB20-0374

The following is our response to the plan review comments.

1. HPB PLAN REVIEW

1. Deficiencies in architectural presentation

- a. COMMENT: Clearly indicate on the demo elevations that the glass block proposed to be removed.

RESPONSE: Acknowledged. See sheet D201.

- b. COMMENT: Indicate on the demo elevations the portion of the kneewall proposed to be demolished in order to introduce a double door along Collins Avenue.

RESPONSE: Acknowledged. See sheet D201, Demo-east elevation.

2. Design/appropriateness comments (recommendations)

- a. COMMENT: Staff is not supportive of the removal of the upper band of glass block and its replacement with transom windows. Staff recommends that the glass block be replaced with new product approved glass block which would not require Historic Preservation Board approval.

RESPONSE: Acknowledged. The client would like to proceed with the transom windows since this was the main reason/motivation to submit for the historic approval.

- b. COMMENT: Regarding the proposed storefront design staff recommends the following:
- Staff recommends that the storefront windows should be divided equally within each bay.
 - Staff recommends that the double door be centered within the bay and the adjacent storefront windows be divided equally so that there are no narrow portions of glass.
 - Staff recommends the applicant explore the reintroduction of the curved glass at the corner entrance as shown in the rendering and microfilm plans.

RESPONSE:

- Acknowledged. See sheet A201, elevation #1 and #2.
- Acknowledged. Store front window is centered; see sheet A201 elevation #2.
- Acknowledged. Our client is not opposed to it but he would like to get product information, availability and cost before committing to curved glass.



5. LANDLORD LETTER

ADITA HOLDINGS, LLC

c/o Auerbach Associates, Inc.
Licensed Real Estate Broker ~ Patricia S. Amey, Broker

3300 North Federal Highway ~ Suite 250 ~ Fort Lauderdale Florida 33306
Tel: (305) 672-0492 ~ Email: Admin@AuerbachAssociates.com

January 3, 2020

City of Miami Beach
Building Department
Miami Beach, Florida

Re: Approval of Proposed Storefront Renovations
SunnSand of Miami, LLC., Tenant
Adita Holdings, LLC., Landlord
Leased store #1438-1444 Collins Ave, Miami Beach FL 33139
Legal Desc: Lots 1 and 2, and the East 17.5 feet of Lot 3, Block 2-B, Less the
North 8.65 feet thereof, ESPANOLA VILLAS, Recorded in Plat book 7, Page
145, of the Public Records of Miami-Dade County, Florida.
Folio No.: 02-3234-013-0030

Gentlemen:

Please accept this letter as our written approval of storefront renovations at 1438-1444 Collins Ave. Miami Beach as proposed by our tenant SunnSand of Miami LLC and shown on the attached engineering drawings. In addition, we agree to follow the same guidelines and design format for any future exterior renovations to the building, subject to City approval.

Very truly yours,

ADITA HOLDINGS LLC.

By:

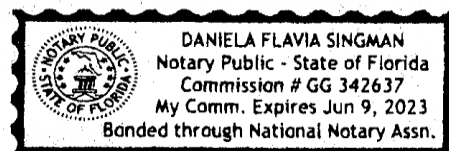
Patricia S Amey as Authorized Agent

SWORN TO AND SUBSCRIBED
BEFORE ME THIS 3rd DAY OF
JAN, 2020. (Personally known)

Notary Public, State of Florida

Printed Name: Daniela F. Singman

My commission expires:





Render 1



Render 2



Render 3



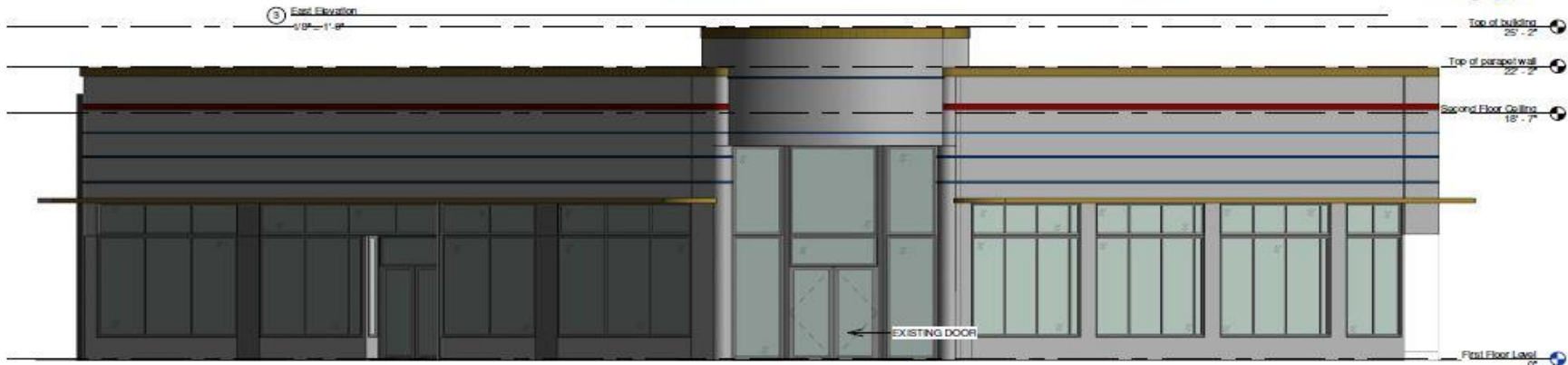
Render 4



① North Elevation
1/8" = 1'-0"



③ East Elevation
1/8" = 1'-0"



② North East Elevation
1/8" = 1'-0"

6. CERTIFIED LETTER



rdr miami | public hearing notification services

certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting
rdrmiami.com | diana@rdrmiami.com | 305.498.1614

February 12, 2020

City of Miami Beach
Planning Department
1700 Convention Center Dr.
Miami Beach, FL 33139

Re: Property owners within 375 feet of:

SUBJECT: 1438 Collins Avenue, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-013-0030

LEGAL DESCRIPTION: 34 53 42 ESPANOLA VILLAS PB 7-145 E17.5FT OF LOT 3 & ALL OF
LOTS 1 & 2 BLK 2 B

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on file in the Miami-Dade County Property Appraisers' Office.

Sincerely,

Diana B. Rio

Total number of property owners without repetition: **211, including 11 international**

7. RADIUS MAP



rdr miami | public hearing notification services

certified lists of property owners within a specific radius + radius maps + mailing labels + mailouts + notice of public hearing site posting
rdmiami.com | diana@rdmiami.com | 305.498.1614

375' RADIUS MAP



SUBJECT: 1438 Collins Avenue, Miami Beach, FL 33139

FOLIO NUMBER: 02-3234-013-0030

LEGAL DESCRIPTION: 34 53 42 ESPANOLA VILLAS PB 7-145 E17.5FT OF LOT 3 & ALL OF LOTS 1 & 2 BLK 2 B

8. OWNERS LIST

Name	Address	City	State	Zip	Country
ALEXIA DE SUAREZ D AULAN NATHALIE D AULAN	101 RUE DU BAC	PARIS 75007			FRANCE
ERIC THOREUX &W FABIENNE	3 CITE VANEAU	PARIS 75007			FRANCE
GLEB IGOKLIN	PETROZAVODSKAYA 13-176	ST PETERSBURG			RUSSIA
HENRI DE SUAREZ DAULAN	4110 RUE WELLINGTON #302	VERDUN QC H4G 1V7			CANADA
JOHN DAVIDSON JAYNE DAVIDSON	FORSTERSTRASSE 3B	8805 RICHTERSWIL			SWITZERLAND
NATHALIE D AULAN	350 MILL RD STE 409	TORONTO ON M9C 5R7			CANADA
NIKOLAY KHARITONOV LIDIYA PEREPELOVA	KHILKOV PERENLOK # D 1 KV 43	MOSCOW 119034			RUSSIA
NIKOLAY KHARITONOV LIDIYA PEREPELOVA	SIMONOVSKIY VAL STREET 24 1 46	MOSCOW 115088			RUSSIA
NIKOLAY KHARITONOV LIDIYA PEREPELOVA	SIMONOVSKY VAL STREET 41 1 46	MOSCOW 115088			RUSSIA
PATRICK SMOLDERS	OUDEZYDS VOORBURG WAL 167 1	1012 E T AMSTERDAM			NETHERLANDS
STEFAN SPATH % COUPLES NEGRIL	PO BOX 35	NEGRIL			JAMAICA
1417 WASHINGTON LLC	1435 WASHINGTON AVE	MIAMI BEACH	FL	33139	USA
1421 WASHINGTON LLC	301 WEST 41 ST STE 406	MIAMI BEACH	FL	33140	USA
1425 COLLINS AVE LLC	1423 COLLINS AVE	MIAMI BEACH	FL	33139	USA
1446 OCEAN LLC	4539 ROYAL PALM AVE	MIAMI BEACH	FL	33140	USA
404 1460 OCEAN DRIVE LLC	324 WEST 101 ST	NEW YORK	NY	10025	USA
ABJL SOUTH BEACH LLC	15 WARREN ST #424	JERSEY CITY	NJ	07302	USA
ACASTAR MIAMI LLC	1414 COLLINS AVE	MIAMI BEACH	FL	33139	USA
ADITA HOLDINGS LLC	3300 N FEDERAL HWY STE 250	FORT LAUDERDALE	FL	33306	USA
ALAN D WILLIAMS	143 MERROW RD	TOLLAND	CT	06084	USA
ALEX MUSCARELLA	2261 PALMER AVE APT 3F	ROCHELLE	NY	10801	USA
ALEXANDER FERAFOV	1437 COLLINS AVE #301	MIAMI BEACH	FL	33139	USA
AMBER PERRIN	PO BOX 191554	MIAMI BEACH	FL	33119	USA
ANDRIA MICHAEL MUSHAHWAR MARGARETTE SHAHIN	1234 VIA CAPRI	WINTER PARK	FL	32789	USA
ANGELO LASKARIS	1907 N MENDELL	CHICAGO	IL	60622	USA
ANTONIO FLEITES	1446 OCEAN DR #41	MIAMI BEACH	FL	33139	USA
ARNIM RAMSEY CRAIG MCKENZIE	1458 OCEAN DR #310	MIAMI BEACH	FL	33139	USA
BANCROFT OCEANS FIVE HOLDINGS LLC	333 SE 2 AVE STE 3588	MIAMI	FL	33131	USA
BAROUX LLC	1521 MERIDIAN AVE	MIAMI BEACH	FL	33139	USA
BARRY PROPERTIES LLC	2504 ELLIJAY DR	ATLANTA	GA	30319	USA
BARRY S FISHMAN	912 CAPTIVA DR	HOLLYWOOD	FL	33019	USA
BEACH 1446 LLC	1446 OCEAN DR #42	MIAMI BEACH	FL	33139	USA
BEACH 1446 LLC	1446 OCEAN DR #17	MIAMI BEACH	FL	33139	USA
BELKOU FAMILY RE LP	1446 OCEAN DR UNIT 9	MIAMI BEACH	FL	33139	USA
BELKOV FAMILY RE LTD PARTNERSHIP	1446 OCEAN DR UNIT 7	MIAMI BEACH	FL	33141	USA
BELLA TURKA SOUTH BEACH LLC	744 SOUTH ST #131	PHILADELPHIA	PA	19147	USA
BERTA CABRERA	2234 BUENA VISTA DR	CLEARWATER	FL	33764	USA

BETSY ROSS OWNER LLC	1841 BROADWAY #800	NEW YORK	NY	10023	USA
BETSY ROSS OWNER LLC C/O BETSY ROSS OWNER HOLDINGLLC	1841 BROADWAY SUITE 1009	NEW YORK	NY	10023	USA
BIG TIME RECORDS INC	59 NW 14 ST	MIAMI	FL	33136	USA
BLACK CONDOR LLC	6515 COLLINS AVE STE 1202	MIAMI BEACH	FL	33141	USA
BOARDWALK DRIVE LLC	1521 ALTON ROAD SUITE 407	MIAMI BEACH	FL	33139	USA
BOULAN 306 LLC	7 TANGLEWOOD RD	PLEASANTVILLE	NY	10530	USA
BOULAN 309 LLC	9 TRAPPING WAY	PLEASANTVILLE	NY	10570	USA
BRICKELL 3301 LLC	2655 S LEJEUNE RD 543	MIAMI	FL	33134	USA
BROUGHAM REO OWNER L P	PO BOX 447	ODESSA	FL	33556	USA
CALVIN H MITTMAN	1418 COLLINS AVE UNIT 601	MIAMI BEACH	FL	33139	USA
CAMILLA SPARV-HOOVER	11611 SAN VICENTE BLVD #1020	LOS ANGELES	CA	90049	USA
CAMILLO C DE DOMINICIS &W DIANA	251 CRANDON BLVD UNIT 305	KEY BISCAYNE	FL	33149	USA
CARLOS SEPULVEDA ELIZABETH SEPULVEDA	1418 COLLINS AVE #603	MIAMI BEACH	FL	33139	USA
CHARLES EISNAUGLE	126 DEAN ST	BROOKLYN	NY	11201	USA
CHRISTINA ZAMPAS	420 15 ST APT 111	MIAMI BEACH	FL	33139	USA
CITY OF MIAMI BEACH FLA CITY HALL	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139	USA
CITY OF MIAMI BEACH ST CITY HALL	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139	USA
CLAUDIA CASANOVA	1446 OCEAN DR APT 34	MIAMI BEACH	FL	33139	USA
CLAUDIO CHIORAZZI	1460 OCEAN DR #410	MIAMI BEACH	FL	33139	USA
CLAY HOTEL PARTNERSHIP LTD	406 ESPANOLA WAY	MIAMI BEACH	FL	33139	USA
COLLINS SCENE LLC	3655 ST GAUDENS RD	MIAMI	FL	33133	USA
COPPELIA OLIVI USA LLC	301 ARTHUR GODFREY RD	MIAMI BEACH	FL	33140	USA
CORNERSTONE STEPS LLC	1521 ALTON RD #407	MIAMI BEACH	FL	33139	USA
CORNERSTONE STEPS W LLC C/O VIRGINIA KARPAWICH	1390 OCEAN DR #503	MIAMI BEACH	FL	33139	USA
CRAIG W GORDON	1446 OCEAN DR APT 11	MIAMI BEACH	FL	33139	USA
CRESCENT ONE LLC	10600 WEST CHARLESTON BLVD	LAS VEGAS	NV	89135	USA
CRISTALLO REAL ESTATE INC	1680 MICHIGAN AVE #1022	MIAMI BEACH	FL	33139	USA
CVS 10346 FL LLC C/O CVS CAREMARK CORP	ONE CVS DR #10346 STORE	WOONSOCKET	RI	02895	USA
CYNTHIA DUBRISINGH	118 GRANITE RD	CORTLANDT MANOR	NY	10567	USA
DAVID FOGIELGARN CATHY FOGIELGARN	11 ROSERY LANE	BELLEAIR	FL	33756	USA
DAVID R GUSMINI OLGA Y GUSMINI	6 CORINTHIAN WAY	GEORGETOWN	MA	01833	USA
DEUTSCHE BANK NATL TR CO TRS C/O OCWEN LOAN SERV LLC ET AL	5720 PREMIER PARK DR	WEST PALM BEACH	FL	33407	USA
DIMITRI ZATUZHNI TRS EZDZ PLANNING TRUST	25 ARVIDA DR	PENNINGTON	NJ	08534	USA
DPCBAM LLC	1100 WEST AVE #418	MIAMI BEACH	FL	33139	USA
ESPANOLA PARTNERS LLC C/O ISAAC KLEIN	1407 BROADWAY STE 503	NEW YORK	NY	10018	USA
ESPANOLA WAY ASSOCIATES LTD % SRC PROPERTIES LLC	230 5TH ST	MIAMI BEACH	FL	33139	USA
ESPERANZA 2015 INC	1446 OCEAN DR 46	MIAMI BEACH	FL	33139	USA
EVHEN ZASADNEY TRS EVHEN ZASADNEY REV LIV TR	8760 SW 9 TER	MIAMI	FL	33174	USA

FANNY MENDOZA	5510 LINCOLN AVE	MORTON GROVE	IL	60053	USA
FELIX C SOTOLONGO & MAYRA SOTOLONGO	1418 COLLINS AVE UNIT 501	MIAMI BEACH	FL	33139	USA
FIBONACCI MIAMI LLC	910 WEST AVE 602	MIAMI BEACH	FL	33139	USA
FLAGLER PROPERTY ENTERP INC	1505 SW 12 ST	MIAMI	FL	33135	USA
FLORIDA 21 L L C	3800 S OCEAN DR 216	HOLLYWOOD	FL	33019	USA
FLOWERS 23 LLC	9410 TANGERINE PL STE 210	DAVIE	FL	33324	USA
FRANZ ONTAL &W JENNYFFER URRUTIA OLGA ESTEBAN	860 BEACH ST	LINDENHURST	NY	11757	USA
FRED A MANN	1410 N MAPLEWOOD AVE	CHICAGO	IL	60622	USA
GENADI ZATUZHNI	35 SEACOAST TERR #21B	BROOKLYN	NY	11235	USA
GEORGE K WALLS	PO BOX 344	SIGNAL MTN	TN	37377	USA
GEORGE W GALGANO C/O GALGANO & ASSOCIATES	399 KNOLLWOOD RD	WHITE PLAINS	NY	10603	USA
GLADSTAR INVESTMENTS LLC	1111 WALDEN CIR	SUGARLAND	TX	77498	USA
GLEB IGOLKIN	5445 COLLINS AVE # B 18	MIAMI BEACH	FL	33140	USA
GUIDEL KODESH LLC	PO BOX 546964	SURFSIDE	FL	33154	USA
HARKHAM FLORIDA INVESTMENTS 153031 LLC	20801 BISCAYNE BLVD STE 304	MIAMI	FL	33180	USA
HARKHAM FLORIDA INVESTMENT LLC	1446 OCEAN DR 35	MIAMI BEACH	FL	33139	USA
HILTON GRAND VACATIONS DEV CO	6355 METRO WEST BLVD STE 180	ORLANDO	FL	32835	USA
HILTON GRAND VACATIONS DEVELOP CO A/K/A HILTON RESORTS CORP	6355 METROWEST BLVD #180	ORLANDO	FL	32385	USA
HORIZONTE CORP	1424 COLLINS AVE	MIAMI BEACH	FL	33139	USA
HOWARD & MIRTHA WINCELE	363 CAMINO SAN CLEMENTE	SAN CLEMENTE	CA	92672	USA
HSBC BANK USA NA TRS C/O SELECT PORTFOLIO SERVICING	3815 SOUTH WEST TEMPLE	SALT LAKE CITY	UT	84115	USA
HUBERT CHARLES PINCON	18 HARRISON DR	LARCHMONT	NY	10538	USA
HUMBERTO MARROQUIN DENISE GARZA	1418 COLLINS AVE # 201	MIAMI BEACH	FL	33139	USA
INVERAMA USA CORP C/O GROUP PERALADA ET AL	1500 COLLINS AVE	MIAMI BEACH	FL	33139	USA
ITALO PETRONELLI	1418 COLLINS AVE UNIT 502	MIAMI BEACH	FL	33139	USA
JADED WIRED BENT LLC	2370 MARKET ST #390	SAN FRANCISCO	CA	94114	USA
JAR PROPERTIES MIAMI LLC	13805 NE 3 B 128	NORTH MIAMI	FL	33161	USA
JEFFRY HABER	2184 E 34 ST	BROOKLYN	NY	11234	USA
JESUS CARVAJAL	50 E DILIDO DR	MIAMI BEACH	FL	33139	USA
JIMMY MITCHELL	13330 BISCAYNE ISLAND TER	NORTH MIAMI BEACH	FL	33181	USA
JMW FLORIDA PROPERTIES LLC	2710 SETTLES RD	OWENSBORO	KY	42303	USA
JOEL F RUSSELL	17 MEREDITH PL W	PISCATAWAY	NJ	08854	USA
JOHN M GAMBLE TRS JOHN M GAMBLE TRUST	401 N SENATE AVE 486	INDIANAPOLIS	IN	46204	USA
JOSEPH A & NEYSA N MAZZARESE	1446 OCEAN DR #6	MIAMI BEACH	FL	33139	USA
JOSEPH CAPARO JR	36 E GERMANTOWN PIKE	NORRISTOWN	PA	19401	USA
JOSEPH L SANDERS TRS	200 PACIFIC COAST HGWY #406	HUNTINGTON BEACH	CA	92648	USA
JOSEPH MAENZA	3550 BISCAYNE BLVD #310	MIAMI	FL	33137	USA
JOSEPHINE MANNING	1460 OCEAN DR #508	MIAMI BEACH	FL	33139	USA

KATIUSKA GOULD & H KEITH	1460 OCEAN DR #207	MIAMI BEACH	FL	33139	USA
KENNETH BERNSTEIN	1446 OCEAN DR #27	MIAMI BEACH	FL	33139	USA
KENTUCKY ZINC LLC ABH CORP OF NEW YORK	1401 COLLINS AVE	MIAMI	FL	33139	USA
KERI ROSSNER STEVEN ROSSNER	1460 OCEAN DR # 206	MIAMI BEACH	FL	33139	USA
KEVIN LARA	15 OAK SHADE LN	NOVATO	CA	94945	USA
KHALDOUN BEN TAARIT RAODHA GUALLALI BEN TAARIT	1460 OCEAN DR	MIAMI BEACH	FL	33139	USA
KIM M TIANO TRS SALVATORE A TIANO TRS	498 MARINER DR	JUPITER	FL	33477	USA
KONSTANTIN SHAPILOV	1418 COLLINS AVE #304	MIAMI BEACH	FL	33139	USA
LENDER WEST LLC	2525 PONCE DE LEON BLVD STE 1225	CORAL GABLES	FL	33134	USA
LISA CARNEVALE	16066 ROSECROFT TERRACE	DELRAY BEACH	FL	33446	USA
LOUISE CLAIRE ADHIKARI RABI ADHIKARI	2739 W CORTEZ ST # 1	CHICAGO	IL	60622	USA
LUIS CABALLERO	5000 HAMMOCK PARK DR	CORAL GABLES	FL	33156	USA
MACY MATHEWS INC (LEASEHOLD FEE WASHINGTON & 14TH ST LLC (LEASEE	9621 KENDALE BLVD	MIAMI	FL	33176	USA
MARGARITA BENEDI	380 MISSION GROVE PKWY NORTH	RIVERSIDE	CA	92506	USA
MARIA L CALLAVA PARES NEVY CEJO	1418 COLLINS AVE #203	MIAMI BEACH	FL	33139	USA
MARSHALL T SIMPSON	1437 COLLINS AVE PH 21	MIAMI BEACH	FL	33139	USA
MARSTEV CORP % EDWARD SELTXER	535 OCEAN BLVD	GOLDEN BEACH	FL	33160	USA
MARU FINANCIAL LLC	1801 16 ST 205	WASHINGTON	DC	20009	USA
MATTIA PRIAN & W GINA V BATTISTE	1460 OCEAN DRIVE # 307	MIAMI BEACH	FL	33139	USA
MAX CABEZAS & W NUBIA	310 WEST JACKSON ST	HAYWARD	CA	94544	USA
MIA GLOBAL INVESTORS LLC	251 SW 30 RD	MIAMI	FL	33129	USA
MIA RENT ME INC	5445 COLLINS AVE # B18	MIAMI BEACH	FL	33140	USA
MIAMI REAL ESTATE HOLDINGS LLC	7900 GLADES RD STE#530	BOCA RATON	FL	33434	USA
MIAMI REAL ESTATE INVESTMENT CORP	1415 COLLINS AVE	MIAMI BEACH	FL	33139	USA
MICHAEL ABRAMOWITZ & W DOMONIQUE ABRAMOWITZ	7317 CORKWOOD TERR	TAMARAC	FL	33321	USA
MIHAI 6 LLC	8005 NOREMAC AVE	MIAMI BEACH	FL	33141	USA
MIRIAM A GONZALEZ	2428 SW 13 ST	MIAMI	FL	33145	USA
MISDIRECTION LLC	650 NE 64 ST G202	MIAMI	FL	33138	USA
MSB INVESTMENT & HOLDING LLC	301 ARTHUR GODFREY RD	MIAMI BEACH	FL	33139	USA
NASSAU INVESTMENTS CORP	1414 COLLINS AVE	MIAMI BEACH	FL	33139	USA
NELSON HACHEM & W SANDRA LEE	62 NORTHGATE DR	MARTINSVILLE	WV	26155	USA
NURIA HERREROS	420 15 ST #302	MIAMI	FL	33139	USA
OCEAN 1446 LLC	4539 ROYAL PALM AVE	MIAMI BEACH	FL	33140	USA
OCEAN 1446 LLC	4559 ROYAL PALM AVE	MIAMI BEACH	FL	33140	USA
OCEAN BEACH PROPERTIES INC	48 E FLAGLER ST PH-104	MIAMI BEACH	FL	33131	USA
OCEANS FOURTEEN OF S BCH LLC	23509 CENTER RIDGE RD	WESTLAKE	OH	44145	USA
PEACE LOVE UNITY LLC	1460 OCEAN DR #303	MIAMI BEACH	FL	33139	USA
PEDRO ALVES ALVES LUCILIA	26 ROCKLAND CIRCLE	BROCKTON	MA	02301	USA

PENGUIN HOTEL DEVELOPMENT LLC	1418 OCEAN DR # 201	MIAMI BEACH	FL	33139	USA
PENGUIN HOTEL DEVELOPMENT LLC	1423 COLLINS AVE	MIAMI BEACH	FL	33139	USA
PIERRE J KONCURAT SHARON O KONCURAT	820 GRIST MILL LN	WEST CHESTER	PA	19380	USA
PIERRE KONCURAT SHARON KONCURAT	820 GRISTMILL LANE	WEST CHESTER	PA	19380	USA
PLAYA Y SOL LLC	6315 MAYNADA ST	CORAL GABLES	FL	33146	USA
PRESIDENT HOTEL INC	1418 OCEAN DR	MIAMI BEACH	FL	33139	USA
RAFAELO KALDERON	1460 OCEAN DRIVE #305	MIAMI BEACH	FL	33139	USA
RAJINDER JUDGE	90 ALTON RD #2012	MIAMI BEACH	FL	33139	USA
RAMAN MEHRZAD	215 WELLSPRING DR	WARWICK	RI	02886	USA
REALTY MEX CORP GUILLERMO ALCANTARA	1446 OCEAN DR #12	MIAMI BEACH	FL	33173	USA
RICHARD SHINDLER	715 - 82 ST	MIAMI BEACH	FL	33141	USA
RICHARD STEMPNOWSKI	10105 HATTERAS CT	FT MYERS	FL	33919	USA
RICK SHERMAN	903 SE 93 TER	PLANTATION	FL	33324	USA
RICK SHERMAN CELIA SHERMAN	903 SW 93 TER	PLANTATION	FL	33324	USA
RNT REAL EST HOLDING LLC	7 TRAPPING WAY	PLEASANTVILLE	NY	10570	USA
ROBERT S CORN &W EILEEN FILLER	8741 CENTER RD	SPRINGFIELD	VA	22152	USA
S F JADE PROPERTIES LLC	1021 GENERALS HWY	CROWNSVILLE	MD	21032	USA
SANDRA ABOUELWafa & HELEN BOWEN	1418 COLLINS AVE 403	MIAMI BEACH	FL	33139	USA
SB APARTMENTS LLC	1680 MICHIGAN AVE 700	MIAMI BEACH	FL	33139	USA
SB PREMISES LLC	8500 W FLAGER ST STE B 209	MIAMI	FL	33144	USA
SCANAM INVESTORS INC	10641 PINECONE LANE	FORT PIERCE	FL	34945	USA
SCHOOL BOARD OF MIAMI-DADE COUNTY	1450 NE 2 AVE	MIAMI	FL	33132	USA
SHEILA F MARTELLO	153 BINGHAM AVE	RUMSON	NJ	07760	USA
SHLOMO POLLACK &W FAYE Z	225 NARRAGANSETT	LAWRENCE	NY	11559	USA
SIMONE VIOLA LE REM THOMAS MANZI JR	5160 SW 40 AVE 25D	FORT LAUDERDALE	FL	33314	USA
SOFIA HADDAR SMITH	420 15 ST # 305	MIAMI BEACH	FL	33139	USA
SONIA E NAVARRO	1446 OCEAN DR APT 39	MIAMI BEACH	FL	33139	USA
SONIA NAVARRO	1446 OCEAN DR UNIT 32	MIAMI BEACH	FL	33139	USA
SONIA VERA TRS SONIA VERA 2017 REV TR	100 LINCOLN RD UNIT 1544	MIAMI BEACH	FL	33139	USA
SOUTH BEACH LLC C/O NORMAN J WACHTEL	1125 PARK AVE	NEW YORK	NY	10128	USA
SOUTH BEACH RESORT DEV LLC	1437 COLLINS AVE	MIAMI BEACH	FL	33139	USA
SOUTH BEACH RESORT DEV LLC	58 EAST 79 ST 5 FL	NEW YORK	NY	10075	USA
STEVEN P GACOVINO & JEFFREY DUBIN	16 CLUBHOUSE CT	EAST SETAUKET	NY	11733	USA
STEVEN STARR DENISE STARR	4590 PRAIRIE AVE	MIAMI BEACH	FL	33140	USA
STEVEN STARR	600 COLLINS AVE	MIAMI BEACH	FL	33139	USA
STYLEX SOUTH BEACH LLC	226 N VINE ST	HINSDALE	IL	60521	USA
SUNNY APPLE INVESTMENTS LLC	326 71 ST	MIAMI BEACH	FL	33141	USA
SUPREME CARE INC	1750 SKYLARK LANE UNIT 1501	HOUSTON	TX	77056	USA

SUSAN RAINONE TRS	12750 OAK FALLS DR	ALPHARETTA	GA	30004	USA
T WOODRUFF & IRWIN EPSTEIN C/O G C M	3575 CHERRY CREEK N DR	DENVER	CO	80209	USA
TERRENCE L HEINEN	1460 OCEAN DR #209	MIAMI BEACH	FL	33139	USA
TEWANI 1437 COLLINS LLC	7 TANGLEWOOD RD	PLEASANTVILLE	NY	10570	USA
V1 AND V2 LLC	420 E 80 ST 12H	NEW YORK CITY	NY	10075	USA
VENTURA WAY ONE LLC	2733 SW 27 AVE	MIAMI	FL	33133	USA
VERA MENDER	7913 WHITEBRIGE GLEN	UNIVERSITY PARK	FL	34201	USA
VILLA CINCO LLC	1300 S MIAMI AVE 3604	MIAMI	FL	33130	USA
VISTA MARE LLC	2601 S BAYSHORE DR	MIAMI	FL	33133	USA
WALGREEN CO	104 WILMOT RD MS #1420	DEERFIELD	IL	60015	USA
WASHINGTON GARDENS INC	1228 ALTON RD	MIAMI BEACH	FL	33139	USA
WASHINGTON GARDENS MB LLC	1228 ALTON RD	MIAMI BEACH	FL	33139	USA
WATERSTONE HOLDINGS LLC	16932 NE 19 AVE	NORTH MIAMI BEACH	FL	33162	USA
WESLEY G SO	1418 COLLINS AVE UNIT #401	MIAMI BEACH	FL	33139	USA
WILLIAM F YOUNKIN & LISBET M GHILARDI	1460 OCEAN DR UNIT 306	MIAMI BEACH	FL	33139	USA
Z 226 LLC	58 EAST 79 ST 5 FLOOR	NEW YORK	NY	10075	USA
Z 318 INC	1437 COLLINS AVE #318	MIAMI BEACH	FL	33139	USA
Z OCEAN 327 LLC	212 W WASHINGTON ST #904	CHICAGO	IL	60606	USA
Z-205 LLC	58 E 79 STREET 5 FLOOR	NEW YORK	NY	10075	USA
ZAT REGENT LLC	35 SEACOAST TERR #21B	BROOKLYN	NY	11235	USA
ZORI HAYON TRS ZORI HAYON REV INTERVIVOS TRUST	PO BOX 19-1678	MIAMI BEACH	FL	33119	USA
ZUNITS LLC	1111 NW 21 TER	MIAMI	FL	33127	USA

9. LABELS

ALEXIA DE SUAREZ D AULAN
NATHALIE D AULAN
101 RUE DU BAC
PARIS
75007
FRANCE

HENRI DE SUAREZ DAULAN
4110 RUE WELLINGTON #302
VERDUN QC H4G 1V7
CANADA

NIKOLAY KHARITONOV
LIDIYA PEREPELOVA
KHILKOV PERENLOK # D 1 KV 43
MOSCOW
119034 RUSSIA

PATRICK SMOLDERS
OUDEZYDS VOORBURG WAL 167 1
1012 E T
AMSTERDAM
NETHERLANDS

1421 WASHINGTON LLC
301 WEST 41 ST STE 406
MIAMI BEACH, FL 33140

404 1460 OCEAN DRIVE LLC
324 WEST 101 ST
NEW YORK, NY 10025

ADITA HOLDINGS LLC
3300 N FEDERAL HWY STE 250
FORT LAUDERDALE, FL 33306

ALEXANDER FERAFOV
1437 COLLINS AVE #301
MIAMI BEACH, FL 33139

ANGELO LASKARIS
1907 N MENDELL
CHICAGO, IL 60622

BANCROFT OCEANS FIVE HOLDINGS LLC
333 SE 2 AVE STE 3588
MIAMI, FL 33131

ERIC THOREUX & W FABRIENNE
3 CITE VANEAU
PARIS
75007
FRANCE

JOHN DAVIDSON
JAYNE DAVIDSON
FORSTERSTRASSE 3B
8805 RICHTERSWIL
SWITZERLAND

NIKOLAY
KHARITONOV LIDIYA
PEREPELOVA
SIMONOVSKIY VAL STREET 24 1 46
MOSCOW
115088 RUSSIA

STEFAN SPATH
% COUPLES NEGRIL
PO BOX 35
NEGRIL
JAMAICA
A

1425 COLLINS AVE LLC
1423 COLLINS AVE
MIAMI BEACH, FL 33139

ABJL SOUTH BEACH LLC
15 WARREN ST #424
JERSEY CITY, NJ 07302

ALAN DWILLIAMS
143 MERROW RD
TOLLAND, CT 06084

AMBER PERRIN
PO BOX 191554
MIAMI BEACH, FL 33119

ANTONIO FLEITES
1446 OCEAN DR #41
MIAMI BEACH, FL 33139

BAROUX LLC
1521 MERIDIAN AVE
MIAMI BEACH, FL 33139

GLEB IGOKLIN
PETROZAVODSKAYA 13-176
ST PETERSBURG
RUSSIA

NATHALIE D AULAN
350 MILL RD STE 409
TORONTO ON M9C 5R7
CANADA

NIKOLAY
KHARITONOV LIDIYA
PEREPELOVA
SIMONOVSKIY VAL STREET 41 1 46
MOSCOW
115088 RUSSIA

1417 WASHINGTON LLC
1435 WASHINGTON AVE
MIAMI BEACH, FL 33139

1446 OCEAN LLC
4539 ROYAL PALM AVE
MIAMI BEACH, FL 33140

ACASTAR MIAMI LLC
1414 COLLINS AVE
MIAMI BEACH, FL 33139

ALEX MUSCARELLA
2261 PALMER AVE APT 3F
ROCHELLE, NY 10801

ANDRIA MICHAEL MUSHAHWAR
MARGARETTE SHAHIN
1234 VIA CAPRI
WINTER PARK, FL 32789

ARNIM RAMSEY
CRAIG MCKENZIE
1458 OCEAN DR #310
MIAMI BEACH, FL 33139

BARRY PROPERTIES LLC
2504 ELLIJAY DR
ATLANTA, GA 30319

BARRY S FISHMAN
912 CAPTIVA DR
HOLLYWOOD, FL 33019

BEACH 1446 LLC
1446 OCEAN DR #42
MIAMI BEACH, FL 33139

BEACH 1446 LLC
1446 OCEAN DR #17
MIAMI BEACH, FL 33139

BELKOU FAMILY RE LP
1446 OCEAN DR UNIT 9
MIAMI BEACH, FL 33139

BELKOV FAMILY RE LTD PARTNERSHIP
1446 OCEAN DR UNIT 7
MIAMI BEACH, FL 33141

BELLA TURKA SOUTH BEACH LLC
744 SOUTH ST #131
PHILADELPHIA, PA 19147

BERTA CABRERA
2234 BUENA VISTA DR
CLEARWATER, FL 33764

BETSY ROSS OWNER LLC
1841 BROADWAY #800
NEW YORK, NY 10023

BETSY ROSS OWNER LLC
C/O BETSY ROSS OWNER HOLDINGLLC
1841 BROADWAY SUITE 1009
NEW YORK, NY 10023

BIG TIME RECORDS INC
59 NW 14 ST
MIAMI, FL 33136

BLACK CONDOR LLC
6515 COLLINS AVE STE 1202
MIAMI BEACH, FL 33141

BOARDWALK DRIVE LLC
1521 ALTON ROAD SUITE 407
MIAMI BEACH, FL 33139

BOULAN 306 LLC
7 TANGLEWOOD RD
PLEASANTVILLE, NY 10530

BOULAN 309 LLC
9 TRAPPING WAY
PLEASANTVILLE, NY 10570

BRICKELL 3301 LLC
2655 S LEJEUNE RD 543
MIAMI, FL 33134

BROUGHAM REO OWNER LP
PO BOX 447
ODESSA, FL 33556

CALVIN H MITTMAN
1418 COLLINS AVE UNIT 601
MIAMI BEACH, FL 33139

CAMILLA SPARV-HOOVER
11611 SAN VICENTE BLVD #1020
LOS ANGELES, CA 90049

CAMILLO C DE DOMINICIS & W DIANA
251 CRANDON BLVD UNIT 305
KEY BISCAINE, FL 33149

CARLOS SEPULVEDA
ELIZABETH SEPULVEDA
1418 COLLINS AVE #603
MIAMI BEACH, FL 33139

CHARLES EISNAUGLE
126 DEAN ST
BROOKLYN, NY 11201

CHRISTINA ZAMPAS
420 15 ST APT 111
MIAMI BEACH, FL 33139

CITY OF MIAMI BEACH FLA
CITY HALL
1700 CONVENTION CENTER DR
MIAMI BEACH, FL 33139

CITY OF MIAMI BEACH ST
CITY HALL
1700 CONVENTION CENTER DR
MIAMI BEACH, FL 33139

CLAUDIA CASANOVA
1446 OCEAN DR APT 34
MIAMI BEACH, FL 33139

CLAUDIO CHIORAZZI
1460 OCEAN DR #410
MIAMI BEACH, FL 33139

CLAY HOTEL PARTNERSHIP LTD
406 ESPANOLA WAY
MIAMI BEACH, FL 33139

COLLINS SCENE LLC
3655 ST GAUDENS RD
MIAMI, FL 33133

COPPELIA OLIVI USA LLC
301 ARTHUR GODFREY RD
MIAMI BEACH, FL 33140

CORNERSTONE STEPS LLC
1521 ALTON RD #407
MIAMI BEACH, FL 33139

CORNERSTONE STEPS W LLC
C/O VIRGINIA KARPAWICH
1390 OCEAN DR #503
MIAMI BEACH, FL 33139

CRAIG W GORDON
1446 OCEAN DR APT 11
MIAMI BEACH, FL 33139

CRESCENT ONE LLC
10600 WEST CHARLESTON BLVD
LAS VEGAS, NV 89135

CRISTALLO REAL ESTATE INC
1680 MICHIGAN AVE #1022
MIAMI BEACH, FL 33139

CVS 10346 FL LLC
C/O CVS CAREMARK CORP
ONE CVS DR #10346 STORE
WOONSOCKET, RI 02895

CYNTHIA DUBRISINGH
118 GRANITE RD
CORTLANDT MANOR, NY 10567

DAVID FOGIELGARN
CATHY FOGIELGARN
11 ROSERY LANE
BELLEAIR, FL 33756

DAVID R GUSMINI
OLGA Y GUSMINI
6 CORINTHIAN WAY
GEORGETOWN, MA 01833

DEUTSCHE BANK NATL TR CO TRS
C/O OCWEN LOAN SERV LLC ET AL
5720 PREMIER PARK DR
WEST PALM BEACH, FL 33407

DIMITRI ZATUZHNI TRS
EZDZ PLANNING TRUST
25 ARVIDA DR
PENNINGTON, NJ 08534

DPCBAM LLC
1100 WEST AVE #418
MIAMI BEACH, FL 33139

ESPANOLA PARTNERS LLC
C/O ISAAC KLEIN
1407 BROADWAY STE 503
NEW YORK, NY 10018

ESPANOLA WAY ASSOCIATES LTD
% SRC PROPERTIES LLC
230 5TH ST
MIAMI BEACH, FL
33139

ESPERANZA 2015 INC
1446 OCEAN DR 46
MIAMI BEACH, FL 33139

EVHEN ZASADNEY TRS
EVHEN ZASADNEY REV LIV TR
8760 SW 9 TER
MIAMI, FL 33174

FANNY MENDOZA
5510 LINCOLN AVE
MORTON GROVE, IL 60053

FELIX C SOTOLONGO &
MAYRA SOTOLONGO
1418 COLLINS AVE UNIT 501
MIAMI BEACH, FL 33139

FIBONACCI MIAMI LLC
910 WEST AVE 602
MIAMI BEACH, FL 33139

FLAGLER PROPERTY ENTERP INC
1505 SW 12 ST
MIAMI, FL 33135

FLORIDA 21 L L C
3800 S OCEAN DR 216
HOLLYWOOD, FL 33019

FLOWERS 23 LLC
9410 TANGERINE PL STE 210
DAVIE, FL 33324

FRANZ ONTAL &W JENNYFFER URRUTIA
OLGA ESTEBAN
860 BEACH ST
LINDENHURST, NY 11757

FRED A MANN
1410 N MAPLEWOOD AVE
CHICAGO, IL 60622

GENADI ZATUZHNI
35 SEACOAST TERR #21B
BROOKLYN, NY 11235

GEORGE KWALLS
PO BOX 344
SIGNAL MTN, TN 37377

GEORGE W GALGANO
C/O GALGANO & ASSOCIATES
399 KNOLLWOOD RD
WHITE PLAINS, NY 10603

GLADSTAR INVESTMENTS LLC
1111 WALDEN CIR
SUGARLAND, TX 77498

GLEB IGOLKIN
5445 COLLINS AVE # B 18
MIAMI BEACH, FL 33140

GUIDEL KODESH LLC
PO BOX 546964
SURFSIDE, FL 33154

HARKHAM FLORIDA
INVESTMENTS 153031 LLC
20801 BISCAYNE BLVD STE 304
MIAMI, FL 33180

HARKHAM FLORIDA INVESTMENT LLC
1446 OCEAN DR 35
MIAMI BEACH, FL 33139

HILTON GRAND VACATIONS DEV CO
6355 METRO WEST BLVD STE 180
ORLANDO, FL 32835

HILTON GRAND VACATIONS DEVELOP CO
A/K/A HILTON RESORTS CORP
6355 METROWEST BLVD #180
ORLANDO, FL 32385

HORIZONTE CORP
1424 COLLINS AVE
MIAMI BEACH, FL 33139

HOWARD & MIRTHA WINCELE
363 CAMINO SAN CLEMENTE
SAN CLEMENTE, CA 92672

HSBC BANK USA NA TRS
C/O SELECT PORTFOLIO SERVICING
3815 SOUTH WEST TEMPLE
SALT LAKE CITY, UT 84115

HUBERT CHARLES PINCON
18 HARRISON DR
LARCHMONT, NY 10538

HUMBERTO MARROQUIN
DENISE GARZA
1418 COLLINS AVE # 201
MIAMI BEACH, FL 33139

INVERAMA USA CORP
C/O GROUP PERALADA ET AL
1500 COLLINS AVE
MIAMI BEACH, FL 33139

ITALO PETRONELLI
1418 COLLINS AVE UNIT 502
MIAMI BEACH, FL 33139

JADED WIRED BENT LLC
2370 MARKET ST #390
SAN FRANCISCO, CA 94114

JAR PROPERTIES MIAMI LLC
13805 NE 3 B 128
NORTH MIAMI, FL 33161

JEFFRY HABER
2184 E 34 ST
BROOKLYN, NY 11234

JESUS CARVAJAL
50 E DILIDO DR
MIAMI BEACH, FL 33139

JIMMY MITCHELL
13330 BISCAYNE ISLAND TER
NORTH MIAMI BEACH, FL 33181

JMW FLORIDA PROPERTIES LLC
2710 SETTLES RD
OWENSBORO, KY 42303

JOEL F RUSSELL
17 MEREDITH PLW
PISCATAWAY, NJ 08854

JOHN M GAMBLE TRS
JOHN M GAMBLE TRUST
401 N SENATE AVE 486
INDIANAPOLIS, IN 46204

JOSEPH A & NEYSA N MAZZARESE
1446 OCEAN DR #6
MIAMI BEACH, FL 33139

JOSEPH CAPARO JR
36 E GERMANTOWN PIKE
NORRISTOWN, PA 19401

JOSEPH L SANDERS TRS
200 PACIFIC COAST HWY #406
HUNTINGTON BEACH, CA 92648

JOSEPH MAENZA
3550 BISCAYNE BLVD #310
MIAMI, FL 33137

JOSEPHINE MANNING
1460 OCEAN DR #508
MIAMI BEACH, FL 33139

KATIUSKA GOULD & H KEITH
1460 OCEAN DR #207
MIAMI BEACH, FL 33139

KENNETH BERNSTEIN
1446 OCEAN DR #27
MIAMI BEACH, FL 33139

KENTUCKY ZINC LLC
ABH CORP OF NEW YORK
1401 COLLINS AVE
MIAMI, FL 33139

KERI ROSSNER
STEVEN ROSSNER
1460 OCEAN DR # 206
MIAMI BEACH, FL 33139

KEVIN LARA
15 OAK SHADE LN
NOVATO, CA 94945

KHALDOUN BEN TAARIT
RAODHA GUALLALI BEN TAARIT
1460 OCEAN DR
MIAMI BEACH, FL 33139

KIM M TIANO TRS
SALVATORE A TIANO TRS
498 MARINER DR
JUPITER, FL 33477

KONSTANTIN SHAPILOV
1418 COLLINS AVE #304
MIAMI BEACH, FL 33139

LENDER WEST LLC
2525 PONCE DE LEON BLVD STE 1225
CORAL GABLES, FL 33134

LISA CARNEVALE
16066 ROSECROFT TERRACE
DELRAY BEACH, FL 33446

LOUISE CLAIRE ADHIKARI
RABI ADHIKARI
2739 W CORTEZ ST # 1
CHICAGO, IL 60622

LUIS CABALLERO
5000 HAMMOCK PARK DR
CORAL GABLES, FL 33156

MACY MATHEWS INC (LEASEHOLD FEE
WASHINGTON & 14TH ST LLC (LEASEE
9621 KENDALE BLVD
MIAMI, FL 33176

MARGARITA BENEDI
380 MISSION GROVE PKWY NORTH
RIVERSIDE, CA 92506

MARIA L CALLAVA PARES
NEVY CEJO
1418 COLLINS AVE #203
MIAMI BEACH, FL 33139

MARSHALL T SIMPSON
1437 COLLINS AVE PH 21
MIAMI BEACH, FL 33139

MARSTEV CORP
% EDWARD SELTXER
535 OCEAN BLVD
GOLDEN BEACH, FL 33160

MARU FINANCIAL LLC
1801 16 ST 205
WASHINGTON, DC 20009

MATTIA PRIAN &W
GINA V BATTISTE
1460 OCEAN DRIVE # 307
MIAMI BEACH, FL 33139

MAX CABEZAS &W NUBIA
310 WEST JACKSON ST
HAYWARD, CA 94544

MIA GLOBAL INVESTORS LLC
251 SW 30 RD
MIAMI, FL 33129

MIA RENT ME INC
5445 COLLINS AVE # B18
MIAMI BEACH, FL 33140

MIAMI REAL ESTATE HOLDINGS LLC
7900 GLADES RD STE#530
BOCA RATON, FL 33434

MIAMI REAL ESTATE INVESTMENT CORP
1415 COLLINS AVE
MIAMI BEACH, FL 33139

MICHAEL ABRAMOWITZ &W
DOMONIQUE ABRAMOWITZ
7317 CORKWOOD TERR
TAMARAC, FL 33321

MIHAI 6 LLC
8005 NOREMAC AVE
MIAMI BEACH, FL 33141

MIRIAM A GONZALEZ
2428 SW 13 ST
MIAMI, FL 33145

MISDIRECTION LLC
650 NE 64 ST G202
MIAMI, FL 33138

MSB INVESTMENT & HOLDING LLC
301 ARTHUR GODFREY RD
MIAMI BEACH, FL 33139

NASSAU INVESTMENTS CORP
1414 COLLINS AVE
MIAMI BEACH, FL 33139

NELSON HACHEM &W SANDRA LEE
62 NORTHGATE DR
MARTINSVILLE, WV 26155

NURIA HERREROS
420 15 ST #302
MIAMI, FL 33139

OCEAN 1446 LLC
4539 ROYAL PALM AVE
MIAMI BEACH, FL 33140

OCEAN 1446 LLC
4559 ROYAL PALM AVE
MIAMI BEACH, FL 33140

OCEAN BEACH PROPERTIES INC
48 E FLAGLER ST PH-104
MIAMI BEACH, FL 33131

OCEANS FOURTEEN OF S BCH LLC
23509 CENTER RIDGE RD
WESTLAKE, OH 44145

PEACE LOVE UNITY LLC
1460 OCEAN DR #303
MIAMI BEACH, FL 33139

PEDRO ALVES
ALVES LUCILIA
26 ROCKLAND CIRCLE
BROCKTON, MA 02301

PENGUIN HOTEL DEVELOPMENT LLC
1418 OCEAN DR # 201
MIAMI BEACH, FL 33139

PENGUIN HOTEL DEVELOPMENT LLC
1423 COLLINS AVE
MIAMI BEACH, FL 33139

PIERRE J KONCURAT
SHARON O KONCURAT
820 GRIST MILL LN
WEST CHESTER, PA 19380

PIERRE KONCURAT
SHARON KONCURAT
820 GRISTMILL LANE
WEST CHESTER, PA 19380

PLAYA Y SOL LLC
6315 MAYNADA ST
CORAL GABLES, FL 33146

PRESIDENT HOTEL INC
1418 OCEAN DR
MIAMI BEACH, FL 33139

RAFAELO KALDERON
1460 OCEAN DRIVE #305
MIAMI BEACH, FL 33139

RAJINDER JUDGE
90 ALTON RD #2012
MIAMI BEACH, FL 33139

RAMAN MEHRZAD
215 WELLSRING DR
WARWICK, RI 02886

REALTY MEX CORP
GUILLERMO ALCANTARA
1446 OCEAN DR #12
MIAMI BEACH, FL 33173

RICHARD SHINDLER
715 - 82 ST
MIAMI BEACH, FL 33141

RICHARD STEMPNOWSKI
10105 HATTERAS CT
FT MYERS, FL 33919

RICK SHERMAN
903 SE 93 TER
PLANTATION, FL 33324

RICK SHERMAN
CELIA SHERMAN
903 SW 93 TER
PLANTATION, FL 33324

RNT REAL EST HOLDING LLC
7 TRAPPING WAY
PLEASANTVILLE, NY 10570

ROBERT S CORN &W EILEEN FILLER
8741 CENTER RD
SPRINGFIELD, VA 22152

S F JADE PROPERTIES LLC
1021 GENERALS HWY
CROWNSVILLE, MD 21032

SANDRA ABOUELWAF A & HELEN BOWEN
1418 COLLINS AVE 403
MIAMI BEACH, FL 33139

SB APARTMENTS LLC
1680 MICHIGAN AVE 700
MIAMI BEACH, FL 33139

SB PREMISES LLC
8500 W FLAGLER ST STE B 209
MIAMI, FL 33144

SCANAM INVESTORS INC
10641 PINECONE LANE
FORT PIERCE, FL 34945

SCHOOL BOARD OF MIAMI-DADE COUNTY
1450 NE 2 AVE
MIAMI, FL 33132

SHEILA F MARTELLO
153 BINGHAM AVE
RUMSON, NJ 07760

SHLOMO POLLACK &W FAYE Z
225 NARRAGANSETT
LAWRENCE, NY 11559

SIMONE VIOLA LE
REM THOMAS MANZI JR
5160 SW 40 AVE 25D
FORT LAUDERDALE, FL 33314

SOFIA HADDAR SMITH
420 15 ST # 305
MIAMI BEACH, FL 33139

SONIA E NAVARRO
1446 OCEAN DR APT 39
MIAMI BEACH, FL 33139

SONIA NAVARRO
1446 OCEAN DR UNIT 32
MIAMI BEACH, FL 33139

SONIA VERA TRS
SONIA VERA 2017 REV TR
100 LINCOLN RD UNIT 1544
MIAMI BEACH, FL 33139

SOUTH BEACH LLC
C/O NORMAN JWACHTEL
1125 PARK AVE
NEW YORK, NY 10128

SOUTH BEACH RESORT DEV LLC
1437 COLLINS AVE
MIAMI BEACH, FL 33139

SOUTH BEACH RESORT DEV LLC
58 EAST 79 ST 5 FL
NEW YORK, NY 10075

STEVEN P GACOVINO &
JEFFREY DUBIN
16 CLUBHOUSE CT
EAST SETAUKET, NY 11733

STEVEN STARR
DENISE STARR
4590 PRAIRIE AVE
MIAMI BEACH, FL 33140

STEVEN STARR
600 COLLINS AVE
MIAMI BEACH, FL 33139

STYLEX SOUTH BEACH LLC
226 N VINE ST
HINSDALE, IL 60521

SUNNY APPLE INVESTMENTS LLC
326 71 ST
MIAMI BEACH, FL 33141

SUPREME CARE INC
1750 SKYLARK LANE UNIT 1501
HOUSTON, TX 77056

SUSAN RAINONE TRS
12750 OAK FALLS DR
ALPHARETTA, GA 30004

T WOODRUFF & IRWINEPSTEIN
C/O G C M
3575 CHERRY CREEK N DR
DENVER, CO 80209

TERRENCE L HEINEN
1460 OCEAN DR #209
MIAMI BEACH, FL 33139

TEWANI 1437 COLLINS LLC
7 TANGLEWOOD RD
PLEASANTVILLE, NY 10570

V1 AND V2 LLC
420 E 80 ST 12H
NEW YORK CITY, NY 10075

VENTURA WAY ONE LLC
2733 SW 27 AVE
MIAMI, FL 33133

VERA MENDER
7913 WHITEBRIGE GLEN
UNIVERSITY PARK, FL 34201

VILLA CINCO LLC
1300 S MIAMI AVE 3604
MIAMI, FL 33130

VISTA MARE LLC
2601 S BAYSHORE DR
MIAMI, FL 33133

WALGREEN CO
104 WILMOT RD MS #1420
DEERFIELD, IL 60015

WASHINGTON GARDENS INC
1228 ALTON RD
MIAMI BEACH, FL 33139

WASHINGTON GARDENS MB LLC
1228 ALTON RD
MIAMI BEACH, FL 33139

WATERSTONE HOLDINGS LLC
16932 NE 19 AVE
NORTH MIAMI BEACH, FL 33162

WESLEY G SO
1418 COLLINS AVE UNIT #401
MIAMI BEACH, FL 33139

WILLIAM F YOUNKIN &
LISBET M GHILARDI
1460 OCEAN DR UNIT 306
MIAMI BEACH, FL 33139

Z 226 LLC
58 EAST 79 ST 5 FLOOR
NEW YORK, NY 10075

Z 318 INC
1437 COLLINS AVE #318
MIAMI BEACH, FL 33139

Z OCEAN 327 LLC
212 W WASHINGTON ST #904
CHICAGO, IL 60606

Z-205 LLC
58 E 79 STREET 5 FLOOR
NEW YORK, NY 10075

ZAT REGENT LLC
35 SEACOAST TERR #21B
BROOKLYN, NY 11235

ZORI HAYON TRS
ZORI HAYON REV INTERVIVOS TRUST
PO BOX 19-1678
MIAMI BEACH, FL 33119

ZUNITS LLC
1111 NW 21 TER
MIAMI, FL 33127

10. PERMIT HISTORY REPORT

METRO ORD. #75-34
RECEIPT DATE: 6-1-40

Owner & Mrs. Shepard Woods Mailing Address		Permit No. 14094	Cost \$ 30,000.
Lot 1, 2, & Block 2 - B Subdivision	ESPAÑOLA VILLAS	Address 1438, 1440, 1442 Collins Avenue & 212, 214, 216, 220, 222 Espanola Way	
General Contractor MASTERBILT CORPORATION		Bond No. 2386	
Architect Henry Rohauser	4131	Engineer	32-34-013-0030
Zoning Regulations: Use	Area	Lot Size	
Building Size: irregular	Front 72	Height 24	Stories 1
	Depth 133		
Certificate of Occupancy No.	73	Use STORES - 10	
Type of Construction C.B.S.	Foundation Spread Footing	Roof	Flat
Date May 22, 1940			
Plumbing Contractor # 13729 Joe Leinecker	Sewer Connection	Date July 10, 1940	
Plumbing Contractor # 1599	Temporary Closet	Date	
Water Closets 10	Bath Tubs	Floor Drains	
Lavatories 10	Showers	Grease Traps	
Urinals	Sinks	Drinking Fountains	
Gas Stoves 15	Gas Heater	Rough Approved	Date
Gas Radiators	Gas Turn On Approved T. J. Bell - July 15, 1940		
Septic Tank Contractor	Tank Size	Date	
Oil Burner Contractor	Tank Size	Date	
Sprinkler System			
Electrical Contractor # 15094 Rafel Electric	Address	Date June 14, 1940	
Switch 44	Range Motors	Fans Temporary Service #15013 June 4, 1940	
OUTLETS Light 59	HEATERS Water	Rafel Electric	
Receptacles 66	Space	Centers of Distribution 20	
	Refrigerators		
	Irons	Sign Outlets	
No. FIXTURES	Electrical Contractor		

RECEIPT DATE: 6-1-40
METRO ORD. #75-34

Building Permits:

[illegible]

ALTERATIONS OR REPAIRS

Building Permits

Owner/Builder	Address	Permit #	Description	Cost	Issued	Expiry
Powder Mill		# 14050	Sign - Claude Neon Southern Corp.	\$ 13,000	Oct. 25, 1940	
1442 Collins Ave.		# 15048	One sign - Neon Sign & Display	100	Nov. 1, 1940	
		# 15282	Signs - S & S Sgt Rate - Neon Sign & Display	75	Nov. 13, 1940	
		# 15404	One flat wall sign - (Lee Ellis)	200	Jan. 2, 1941	
Eskay		# 16186	Remodeling old restaurant into drug store & lunch counter - Owner (Julius Kasdia)	50	Feb. 10, 1941	
Eskay		# 16349	One flat wall sign - Neon Sign & Service	1,000	Sep. 27, 1941	
Eskay		# 16815	Installation of cooling system - Southern Air Conditioning Corp.	400	Oct. 27, 1941	
		# 17637	Painting (Glazier to remove plate glass) - Owner	4,600	Apr. 23, 1942	
1440 Collins Ave.		# 19481	One roller awning - A. C. Awning Company	50	Oct. 1, 1943	
1438 Collins Ave.		# 19516	One roller awning for Fotonock - A. C. Awning Company	65	Dec. 6, 1944	
1442 Collins Ave.		# 19515	One roller awning for Kate Fisher - A. C. Awning Co.	95	Dec. 14, 1944	
1444 Collins Ave.		# 23689	Painting, exterior - V. Engel, painter	95	Dec. 14, 1944	
214 Espanola Way		# 24316	Partition over front windows - Max Shlafrook, contr.	650	Nov. 25, 1944	
222 Espanola Way		# 33991	Vertical sign - building is "36" behind property - reading "BEVERLY SALON"	100	Apr. 19, 1947	
1440 Collins Ave		# 39460	Painting, outside - Complete Painting Co.	185	July 23, 1952	
222 Espanola Way		# 45716	Airco A. C. Co: install 1 - 5 ton A. C. Unit	950.00	Nov. 1, 1942	
1444 Collins Ave.		# 50216	Airco A. C. Co: install 1 - 5 ton A. C. Unit	1,500.00	Sept. 2, 1954	
1440 Collins Ave.		# 50815	Mutual Neon Sign Co: Flat wall sign, 24 square feet	200.00	June 21, 1951	
1440 Collins Ave.		# 53700	Tropicalist 2' x 4' flat wall sign neon, \$100.00			
1440 Collins Ave.		# 53912	Lowell-Wal: Drop ceiling with acoustical tile, \$1,225.00		6/2/59	

Plumbing Permits:

1444 Collins Avenue	# 14041	Joe Leinecker: 3 sinks, 8 floor drains, 1 drinking fountain, 5 gas outlets - Gas OK - J. J. Farrey 12/27/40	Sep. 3, 1940
220 Espanola Way	# 14269	Joe Leinecker: 6 lavatories	Oct. 9, 1940
222 Espanola Way	# 14270	Joe Leinecker: 4 lavatories	Oct. 9, 1940
220 Espanola Way	# 16646	O. Schweitzer: remove fixtures	Apr. 28, 1942
220 Espanola Way	# 16845	O. Schweitzer: Connect gas water heater - Gas OK - Farrey 12/4/42	Dec. 1, 1942
	# 16828	O. Schweitzer: 6 lavatories	Nov. 13, 1942
Fisher	# 17203	Markowitz & Resnick: 1 sink, 2 safe waste drains	Nov. 11, 1943
1444 Collins Ave	# 30578	B.K. Gunn & Son: 1 sink, 2 floor drains, 2 safe waste drains, 1 gas heater replaced, 1 steam table, 1 coffee urn - B.K. Gunn 11/14/50	Oct. 9, 1950
220 Espanola	# 34761	Sponady Plumbing Co: 1 Gas water heater, June 8, 1953	

#42622 Beach Plumbing: 1 laundry tray, 20 laundry washing machines; 10/21/60

#42653 Service Plumbing: 1 gas refrigerator - May 24, 1961

~~#42654 Service Plumbing: 1 gas refrigerator - May 24, 1961~~

#44007 Serota Plumbing: 6 lavatories, beauty parlor; 1 water heater, elec. - 10/26/65

#45032 Peoples Gas: 2 burners, 11/23/65

#45579 Serota Plumbing: 2 sinks, restaurant; 1 urinal; 1 grease trap; 2 floor drains-both traps; 1 safe waste drain; 1 steam table; 1 frylater - 10/26/66

#45593 Morgan Plbg: 1 Gas Water Heater - 11/7/66

#47225 Serota Plumbing: 1 sink 4/28/69

#50134-Service Plumbing- piping gas-8-22-73

#50666 Peoples Gas System- 1 nat meter set(gas)-2-11-74

#71979-Ocean Electric- removed violation-3-12-75

#86572-Tec Locksmith-Interior partitions in store-\$1000-12-5-74

#71949-Ocean Electric-3 receptacles; 1 appl. outlets-2-27-73

---APPL-APICAL 3205-Miami Ice Machine-(BLACK SEA WEST.) Ice machine condensate drain-3-26-75

-STURMINE 32125-BLACK SEA EAST- SANITON PLUMBING- 1 stove-4-2-74

Building 216 Tropical Day-Diner- have 2 partitions in store-\$200-4-23-75

1444 Collins Ave-Owner-Interior partitions, painting and remodeling-\$3000-5-19-76

OK Fidler 1/15/57

Electrical Permits

#47798 Michael Leon Sign Co: two neon transformers June 21, 1958

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#47798 Michael Leon Sign Co: two neon transformers June 21, 1958

214 Heronola Way #51195 E B B Elec: 2 switch outlets, 3 light outlets, 1 refrigerator outlets, 1 appliance outlet, 1 fan outlet - November 7, 1957

214 Usparola #51210 Henry Elec: 1 Motor (1HP), 1 Motor (5-10 HP) - Nov. 8, 1957

" " #51217 Michael Leon: 2 Neon Transformers - Nov. 8, 1957

1444 Collins #53647 Tropical Elec: 1 Neon Transformer - May 14, 1959

#561233 Hasser Elec: 6 fixtures, 28 appliance outlets, 1 center of distrib, 1 service equip, 1 motor(1HP)-12/5/60

1448 Warr. #56228 Lyon Elec: 1 center of distrib, 1 service equipment - Dec. 30, 1960

#56871 Jonesy Electric Co.: 1 switch outlet, 2 receptacles, 1 light outlet, 4 fixtures, 2 water heater outlets, 1 fan outlet, 1 center of distribution, 1 service-equipment, 1 motor change, 1 motor, 0-1 HP,

1 motor, 2-5 HP - 8/15/61. OK Scarborough 6/19/61.

1440 Collins Int. Photo - 7/19/61

1440 Collins: 6 neon transformers (Bldg. Permit #57544) - Electro Neon Sign Co. - 7/2/61

1440 Collins: 2 light outlets; 2 fixtures - 12/1/61

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1440 Collins: 2 light outlets; 2 fixtures - 12/1/61

1440 Collins: 2 light outlets; 2 fixtures - 12/1/61

	# 16013	Rafel Electric: 15 light outlets, 10 receptacles, 5 appliance outlets, 4 motors, 5 centers of distribution	Oct. 28, 1940
ower Puff	# 16069	Claude Neon: 1 neon transformer	Oct. 31, 1940
	# 16192	Neon Sign & Display: 1 neon transformer	Nov. 13, 1940
	# 16353	Claude Neon Southern Corp: 3 neon transformers	Nov. 29, 1940
	# 16593	Tropical Electric: 3 centers of distribution, 1 service equipment	Dec. 26, 1940
	# 16637	Neon Sign Display: 2 neon transformers	Jan. 1, 1941
	# 16843	Tropical Electric: 8 receptacles, 4 motors	Feb. 6, 1941
ells Dress Shop	# 17507	State Electric: 4 light outlets, 4 fixtures	Aug. 20, 1941
ells Dress Shop	# 17518	Miami Neon Company: 2 neon transformers	Aug. 20, 1941
skay Drug Co.	# 17567	State Electric: 11 light outlets, 17 fixtures	Sep. 5, 1941
" " "	# 17750	State Electric: 1 temporary service	Oct. 14, 1941
" " "	# 17811	State Electric: 1 temporary service	Oct. 22, 1941
" " "	# 17844	Neon Sign & Service: 4 neon transformers	Oct. 27, 1941
skay Drug Co.	# 17930	Neon Sign & Service: 10 neon transformers	Nov. 7, 1941
" " "	# 17969	State Electric: 2 switch, 2 light outlets, 18 receptacles, 2 motors	Nov. 12, 1941
		Final OK- Brown- Nov. 17, 1941	
ress Shop	# 18586	Miami Neon Company: 2 neon transformers	Dec. 1, 1941
skay Drug Co.	# 18488	Geo. LaVigne: 4 motors, 4 centers of distribution	May 1, 1942
arber Shop	# 18483	Griffin & Bauer: 3 fixtures	Apr. 28, 1942
skay Drug Co.	# 18488	George LaVigne: 4 motors, 4 centers of distribution	May 1, 1942
Philip Carson	# 18927	Ace Electric Co: 6 switch outlets, 6 receptacles	Dec. 2, 1942
erry Levine	# 19008	Ace Electric Co: 1 iron outlet	Dec. 21, 1942
. Wasserman	# 19936	Lyon Electric Co: 1 iron outlet	Jan. 3, 1944
18 Espanola Way	# 2065.8	Astor Electric: 11 receptacles	Oct. 6, 1944
14 Espanola Way	# 24071	Lyon Electric: 3 motors, 1 service-temporary	Apr. 9, 1947
18 Espanola Way	# 26075	Lyon Electric: violations	Nov. 24, 1948
444 Collins A.	# 26518	Quality Neon: 1 neon transformer	Nov. 5, 1948
444 Collins A.	# 32366	LaVigne Electric: 4 switch outlets, 17 receptacles, 20 fixtures, 1 motor	10/12/50
444 Collins Ave.	# 36538	Ace Electrical Service: violations - OK Reginald 5/15/52	May 15, 1952
22 Espanola Way	# 37995	Coloracene Neon: 1 neon transformer	July 23, 1952
11, Espanola Way	# 38643	Lyon Electric Co: 1 meter change. Jan. 28, 1953 OK, S. Roeder, 2-3-53	
202 Espanola Way	# 42369	Miller Electric: 1 meter change 2 meters June 10, 1954	
1442 Collins	# 42516	Miami Neon Co....one neon transformer....November 26, 1954	
Hendon's Drug	# 43900	B & W Electric: 1 switch outlets, 1 center of distribution, 1 sign outlet....	OK, Roeder 2/7/55 February 4, 1955
Benson's Drug	# 45803	Astor Electric: one service change	September 9, 1955 OK, Miller 1/28/56
Kr's Steinfeld	# 46229	Lyon Electric: five fixtures	November 20, 1955 OK, Miller 12/2/56

11/11/68-11/11/68: 1 light, 0-1 HP; 4 appliance outlets - 11/11/68

1444 Collins Avenue #20127: Interior alterations, no structural change - \$100 - 5/3/68 *OK'd 8/14/68*

#66587 White Swan Laundry - 2 fixtures, Repair Service Equipment 10/27/68

#66611 Kip Electric Co. Inc. 100 1 appliance outlets 5/1/68

#66904 Holbert Electric Violations 4/18/69

#70151-Iro Electric, Inc.- 2 light outlets; 3 fixtures; 3 refrigerator outlets; 1 motor, 0-1 HP; 2

motors, 2-5-HP; 12-5-72

#71408-Rita Electric- five repairs-4-27-74

#72308-Ocean Electric- violation removed-6-3-75

1 2 3

450K

2B

SUBDIVISION

ALTERATIONS & ADDITIONS

Building Permits:

#11272-Owner-interior painting and minor repairs-\$150-5-4-77

222 Espanola Way-Vieras Roofing-New roof 33 sqs-\$2000-5-14-77

218 Espanola Way-#12543-Panaling and drop ceiling on 218 stove-\$500-1-6-78

458-40-11-44 Collins Avenue -#13458-Vieras Roofing-ReRoof 70 sqs-\$3000-7-14-76

214 Espanola Way-#13782-Owner-Replace front windows-\$400-8-30-78

1438 Collins Ave. #15593- Obs Window 8'x10' \$150- 8-30-79

#138 Collins Ave. #15604-Install Tempered Glass Door. \$950. 9-5-79

216 Espanola Way-#15156-Owner-Repair existing counter, minor repair and painting-\$280-10-4-79

1444 Collins Ave-#17120- Edward G. Earnest-Repair of front elevation, \$8000-11-27-79

Plumbing Permits:

#57514-Thomas Benjamin- 1 bath tub, 1 floor drain, 1 lavatory, 1 bar, sink, 1 water closet, 1 utility-sower-8-1-79

#58053-Thomas Benjamin Plumbing- 2 indirect wastes-1-2-80

7/9/80 #18471 Owner Bathroom partitions \$450.

Electrical Permits:

#74629-Bonanza Electric-8 switch outlets, 7 light outlets, 28 fluorescent-3-24-78

#74979-Garcia Electric- 100 amps service, 28 fluorescent tubes-9-6-78

#75774-Mayo Electric-2 special purpose, ref, 4 outlets commercial-10-10-79

BOARD OF ADJUSTMENT - FILE NO. 1389 - EUGENIO ISOLA - 216 ESPANOLA WAY - Applicant requests waiving 6 parking spaces in order to operate a 24 seat restaurant (12 stools and 6 two-chair tables). MARCH 7, 1980

VARIANCE GRANTED WITH CONDITION THAT A GARBAGE ROOM OF SUFFICIENT SIZE SHALL BE PROVIDED TO ACCOMMODATE THE PROPOSED FACILITY TO BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.

LOT: _____ BLOCK: _____ SUBDIVISION: _____ ADDRESS: _____

ALTERATIONS & ADDITIONS

BUILDING PERMITS

FILE NO. 1475 BOARD OF ADJUSTMENT MEETING JULY 9, 1982 - MIGUEL & JOSE CORP.
REPORT ON ACTION OF APRIL 30, 1982 MEETING APPLICANT TO TEST HIS NEIGHBORS TO SOME PUBLIC
SAFETY ISSUES IN AREA OF RESTAURANT. OUTSTANDING VIOLATIONS CO BE CURED PRIOR TO HEARING.
TERMINATION OF FOOD SERVICE THROUGH WINDOW OF RESTAURANT. APPROVED - SUBJECT TO SEALED WINDOWS
AND DOORS WITH THE EXCEPTION OF THE ENTRANCE AND EXIT DOOR.

#24236 7/26/81 owner pressure clean and paint exterior \$7,700.
#2707639 1/17/86 City Fire Equip - 1 range guard 3v gls kitchen hood automatic fire system exist cafeteria
#27936 2/12/88 owner re: case #22646 (E-B) paint & pressure clean exterior \$3,130.

PLUMBING PERMITS #62450 1/30/86 County Contractors 1 fire valve gas piping

ELECTRICAL PERMITS #82347 - Clingerman Electric - Service repair/motor change - 3-4-87

MIAMIBEACH

PLANNING DEPARTMENT
1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

Application Information			
FILE NUMBER			
<input type="radio"/> Board of Adjustment		<input type="radio"/> Design Review Board	
<input type="checkbox"/> Variance from a provision of the Land Development Regulations		<input type="checkbox"/> Design review approval	
<input type="checkbox"/> Appeal of an administrative decision		<input type="checkbox"/> Variance	
<input type="radio"/> Planning Board		<input checked="" type="radio"/> Historic Preservation Board	
<input type="checkbox"/> Conditional use permit		<input checked="" type="checkbox"/> Certificate of Appropriateness for design	
<input type="checkbox"/> Lot split approval		<input checked="" type="checkbox"/> Certificate of Appropriateness for demolition	
<input type="checkbox"/> Amendment to the Land Development Regulations or zoning map		<input type="checkbox"/> Historic district/site designation	
<input type="checkbox"/> Amendment to the Comprehensive Plan or future land use map		<input type="checkbox"/> Variance	
<input type="checkbox"/> Other:			
Property Information – Please attach Legal Description as “Exhibit A”			
ADDRESS OF PROPERTY			
1438-1444 Collins Ave, Miami Beach, FL 33139			
FOLIO NUMBER(S)			
3234-13-003			
Property Owner Information			
PROPERTY OWNER NAME			
ADITA HOLDINGS, LLC			
ADDRESS		CITY	STATE
3300 North Federal Highway, Suite 250		Fort Lauderdale	FL
ZIPCODE			
33306			
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
(305) 672 0492		admin@auerbeachassociates.com	
Applicant Information (if different than owner)			
APPLICANT NAME			
SunnSand of Miami, LLC c/o Shlomi Galam			
ADDRESS		CITY	STATE
1438 Collins Ave		Miami Beach	FL
ZIPCODE			
33139			
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
954 825 1351		shlomigalam@hotmail.com	
Summary of Request			
PROVIDE A BRIEF SCOPE OF REQUEST			
The intention is to enhance an existing, deteriorated and abandoned building by following all the parameters and recommendations provided by the historic department.			

Project Information			
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Does the project include interior or exterior demolition?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Provide the total floor area of the new construction.		0	SQ. FT.
Provide the gross floor area of the new construction (including required parking and all usable area).		0	SQ. FT.
Party responsible for project design			
NAME Square One Architecture		<input checked="" type="checkbox"/> Architect <input type="checkbox"/> Contractor <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____	
ADDRESS 5230 S University Dr, Suite 106D		CITY Davie	STATE FL ZIPCODE 33328
BUSINESS PHONE 954 861 0852	CELL PHONE	EMAIL ADDRESS enrique@sq-1.net	
Authorized Representative(s) Information (if applicable)			
NAME Enrique Ardila		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Other <u>Designer</u>	
ADDRESS 5230 S University Dr, Suite 106D		CITY Davie	STATE FL ZIPCODE 33328
BUSINESS PHONE 954 861 0852	CELL PHONE	EMAIL ADDRESS enrique@sq-1.net	
NAME John Garra		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Other <u>Architect</u>	
ADDRESS 5230 S University Dr, Suite 106D		CITY Davie	STATE FL ZIPCODE 33328
BUSINESS PHONE 954 861 0852	CELL PHONE	EMAIL ADDRESS john@sq-1.net	
NAME Patricia S Amey		<input type="checkbox"/> Attorney <input type="checkbox"/> Contact <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other <u>owner's agent</u>	
ADDRESS 3300 N Federal Highway, Suite 250		CITY Fort Lauderdale	STATE FL ZIPCODE 33306
BUSINESS PHONE 305 672 0492	CELL PHONE	EMAIL ADDRESS admin@auerbeachassociates.com	

Please note the following information:

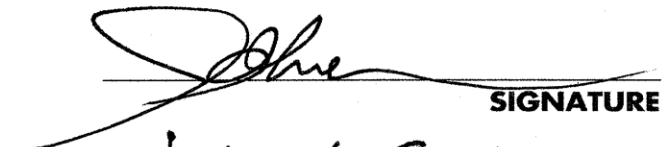
- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the forgoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application from said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

☐ Owner of the subject property ☒ Authorized representative


SIGNATURE
 JOHN N. GARRA
PRINT NAME

02/10/2020

DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

STATE OF Florida

COUNTY OF Broward

I, Patricia S. Amey, being first duly sworn, depose and certify as follows: (1) I am the Authorized Agent (print title) of Adita Holdings LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

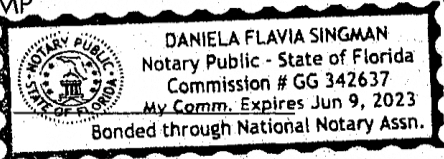
SIGNATURE

Sworn to and subscribed before me this 11th day of February, 2020. The foregoing instrument was acknowledged before me by Patricia S. Amey, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____



PRINT NAME

POWER OF ATTORNEY AFFIDAVITSTATE OF FloridaCOUNTY OF Broward

I, Patricia S. Amey, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize John N Garra (architect) to be my representative before the Historic preservation Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

Patricia S. Amey, Authorized Agent

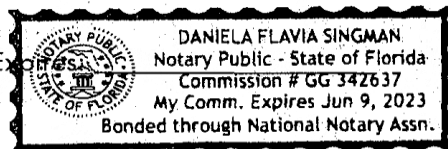
PRINT NAME (and Title, if applicable)**SIGNATURE**

Sworn to and subscribed before me this 11th day of February, 2020. The foregoing instrument was acknowledged before me by Patricia S. Amey, who has produced _____ as identification and/or is personally known to me and who did take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires

Daniela F. Singman**PRINT NAME****CONTRACT FOR PURCHASE**

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contact purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME**DATE OF CONTRACT**

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

ADITA HOLDINGS, LLC.

NAME OF CORPORATE ENTITY

NAME AND ADDRESS	% OF OWNERSHIP
ADITA PROPERTIES, INC.	95%
Individuals: SANDRA BERKOWITZ/CATHERINE SALOMON	
LA ESPANOLA ASSOCIATES, LLC.	5%
Individual:SANDRA BERKOWITZ	
Address for all of the above:	
785 NANDINA DR. WESTON FL 33327	

NAME OF CORPORATE ENTITY

NAME AND ADDRESS	% OF OWNERSHIP
Nir Sela	50%
Yakov Blives	50%

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

TRUST NAME	
NAME AND ADDRESS	% INTEREST

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE
JOHN N. GARRA SQUARE ONE ARCHITECTURE	3321 NW 97 AVE., SUNRISE, FL	954.861.0852
_____	_____	_____
_____	_____	_____

Additional names can be placed on a separate page attached to this application.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Florida

COUNTY OF Miami Dade

I, John N. Garra, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

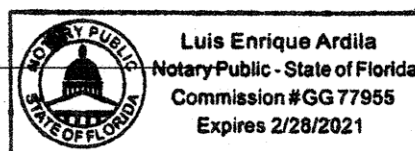
[Signature]
SIGNATURE

Sworn to and subscribed before me this 10 day of FEBRUARY, 2020. The foregoing instrument was acknowledged before me by JOHN N. GARRA, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

[Signature]
NOTARY PUBLIC

My Commission Expires: _____



LUIS ENRIQUE ARDILA
PRINT NAME

12. MIAMI BEACH APPLICATION CHECKLIST

LAST UPDATED: 10/09/18

MIAMI BEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

BOARD APPLICATION CHECKLIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.

Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five (5) business days prior to CAP First submittal.

Applications requiring a traffic study must meet with the Transportation Department and peer reviewer thirty (30) calendar days prior to the CAP First Submittal deadline to determine the methodology for the traffic impact study and obtain the Transportation Department's checklist. Fifteen (15) days prior to the First submittal the applicant must submit the traffic study via CAP. Seven (7) days prior to First submittal the Transportation Department/Peer Reviewer will provide first round of comments to the applicant. The applicant must address the comments and submit revised traffic study/plans by the CAP First Submittal deadline including a narrative responding to Transportation/Peer Reviewer comments.

Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

1438 - 1444 Collins Ave
Property address: _____ Board: HPB Date: 7/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
CAP FIRST SUBMITTAL		
To be uploaded online (CAP) by the applicant before 12:00 pm by First submittal deadline.		
ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.		
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
a	Is the property the primary residence & homestead of the applicant/property owner? (If yes, provide office of the Property Appraiser Summary Report).	
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. Letter must outline application details and identify hardships if Variances are requested. (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	Architectural Plans and Exhibits (must be 11"x 17")	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. Include copies of previous recorded board orders, if applicable.	✓

1438 - 1444 Collins Ave
 Property address: _____

Board: HPB

Date: 7/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	✓
d	Context Location Plan, Min 8.5"X11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	✓
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	✓
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	✓
p	Proposed Section Drawings	✓
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
10	Landscape Plans and Exhibits (must be 11"x 17")	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits (provide building permit number) and/or Board Orders.	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	

1438 - 1444 Collins Ave
 Property address: _____

Board: HPB

Date: 7/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	✓
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram	
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	
29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version and narrative addressing first round of comments from Transportation Department and peer review, provide a narrative. (See Transportation Department check list for requirements.)	
39	Sound Study report (Hard copy) with 1 CD.	
40	Site Plan (Identify streets and alleys)	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	

1438 - 1444 Collins Ave
 Property address: _____ Board: HPB Date: 7/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
b	# parking spaces & dimensions_____Loading spaces locations & dimensions_____	
c	# of bicycle parking spaces_____	
d	Interior and loading area location & dimensions_____	
e	Street level trash room location and dimensions_____	
f	Delivery route_____Sanitation operation_____Valet drop-off & pick-up_____Valet route in and out_____	
g	Valet route to and from_____auto-turn analysis for delivery and sanitation vehicles_____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
41	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors_____outdoors_____seating in public right of way_____Total_____	
c	Occupancy load indoors and outdoors per venue_____Total when applicable_____	
42	The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	✓
43	The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:	
a	Section 118-53 (d) of the City Code for each Variance.	
44	The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU - NIE and or outdoor Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	
Other	If intense lighting is proposed within 10' of the exterior provide a reflected ceiling plan	
Other	And lighting cutsheets.	
Other	If furniture and fixtures are proposed within 10' provide fixture plan.	

****ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

Property address: 1444 Collins Ave Board: HPB Date: 7/16/2019

ITEM #	ITEM DESCRIPTION	REQUIRED
FINAL SUBMITTAL (CAP & PAPER) Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Final Submittal Documents must be uploaded to the CAP and hard copies must be submitted to the Planning Department prior to 12:00 P.M. on final submittal deadline. Staff will review and issue a notice to proceed or to continue submittal to a future meeting if the application is found incomplete.		
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).	
	PAPER FINAL SUBMITTAL:	✓
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS

- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)

Applicant or Designee's Name

Applicant or Designee's Signature

Date

