moxy
South Beach

Historic Preservation Board

FINAL SUBMISSION
29th of August, 2016

915 Washington Avenue
Miami Beach, FL

Scope of Work

- Addition of a 7 story hotel tower at the eastern side of the property
- Partial demolition of the existing buildings
- New amenities deck, landscape design and courtyard (ground level, 2nd level and roof top)
- Complete renovation of the existing retail buildings to include:
  - Renovation to existing historic facade
  - Replacement of all existing windows and storefront systems
  - Concrete and stucco repairs if needed

1611
moxy HOTELS
915 Washington Avenue
Miami Beach, FL 33139

OWNER
LIGHTSTONE
460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER
ROCKWELLGROUP
5 Union Square West
New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER
NATURALFICIAL
P.O. Box 330185
Coconut Grove, FL 33233
O: 305.321.2341

LIGHTING DESIGNER
BOLD
227 West 29th Street
New York, NY 10001
O: 212.674.6500

KOBI KARP
ARCHITECTURE
INTERIOR DESIGN
PLANNING

2915 Biscayne Boulevard, Suite 200
Miami, Florida 33137
O: 305.573.1818
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Historic Preservation and Planning Board Submission

08-29-2016

COVER SHEET

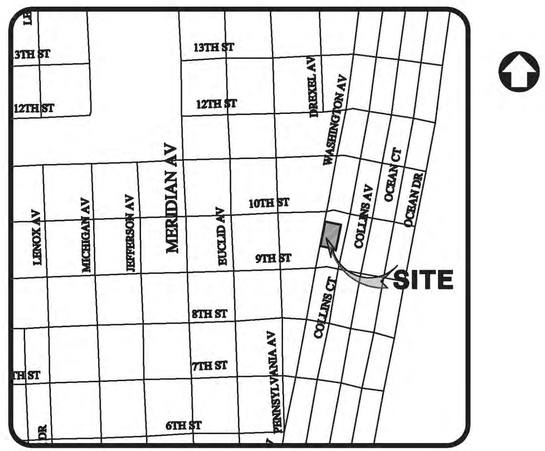
BOUNDARY SURVEY

of

915-943 WASHINGTON AVENUE, MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA 33139

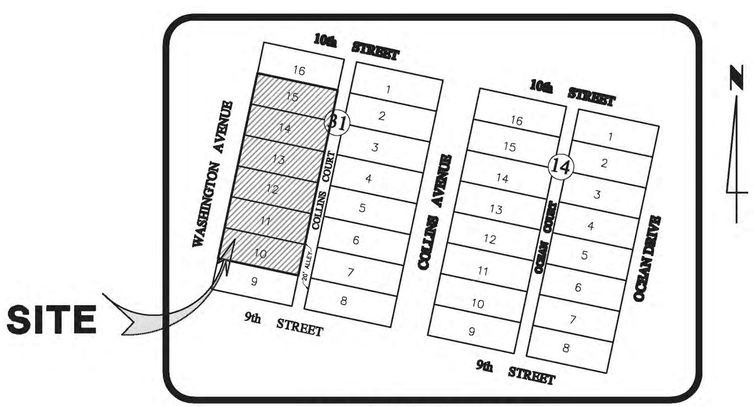
for

LIGHTSTONE



VICINITY MAP

NOT TO SCALE



LOCATION SKETCH

NOT TO SCALE

SURVEYOR'S NOTES:

1. Field Survey was completed on: June 7th, 2016.

2. LEGAL DESCRIPTION:

All that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Miami Beach, County of Miami-Dade, State of Florida.

Lots 10 to 15 inclusive, Block 31, of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof, as recorded in Plat Book 2, Page 56, of the Public Records of Miami-Dade County, Florida.

Containing 39,000 Square Feet or 0.90 Acres more or less by calculations.

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and bearings refer to an assumed value of S78°00'00"E along the Southerly line of the Subject property, Miami-Dade County, Florida. Said line is considered well-established and monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone AE, Base Flood Elev. 8 feet, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651 Map No. 12086C0319, Suffix L, Firm Index Date: 09-11-2009.
An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum of 1929.

Benchmark used:

Miami-Dade County Benchmark: X-310-R
Elevation: 8.12 feet (National Geodetic Vertical Datum)
Location:
11 ST --- 55' North of north edge of pavement
Washington AVE --- 105' West of west edge of pavement

4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

5. LIMITATIONS:

The above Legal Description provided by client.

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.
This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

CERTIFY TO:

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC.
Florida Certificate of Authorization Number LB 3398

By:_____
ORIA JANNET SUAREZ
Professional Surveyor and Mapper No. 6781
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue, Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
915-943 WASHINGTON AVENUE, MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA 33139
for
LIGHTSTONE

REVISIONS	BY

Proj:	16-0065
Job:	[redacted]
Date:	06-07-2016
Drawn:	G.P., J.S., C.B., A.A.
Checked:	J.S.
Scale:	AS SHOWN
Field Book:	ON FILE
SHEET 1 OF 2	

BOUNDARY SURVEY

of

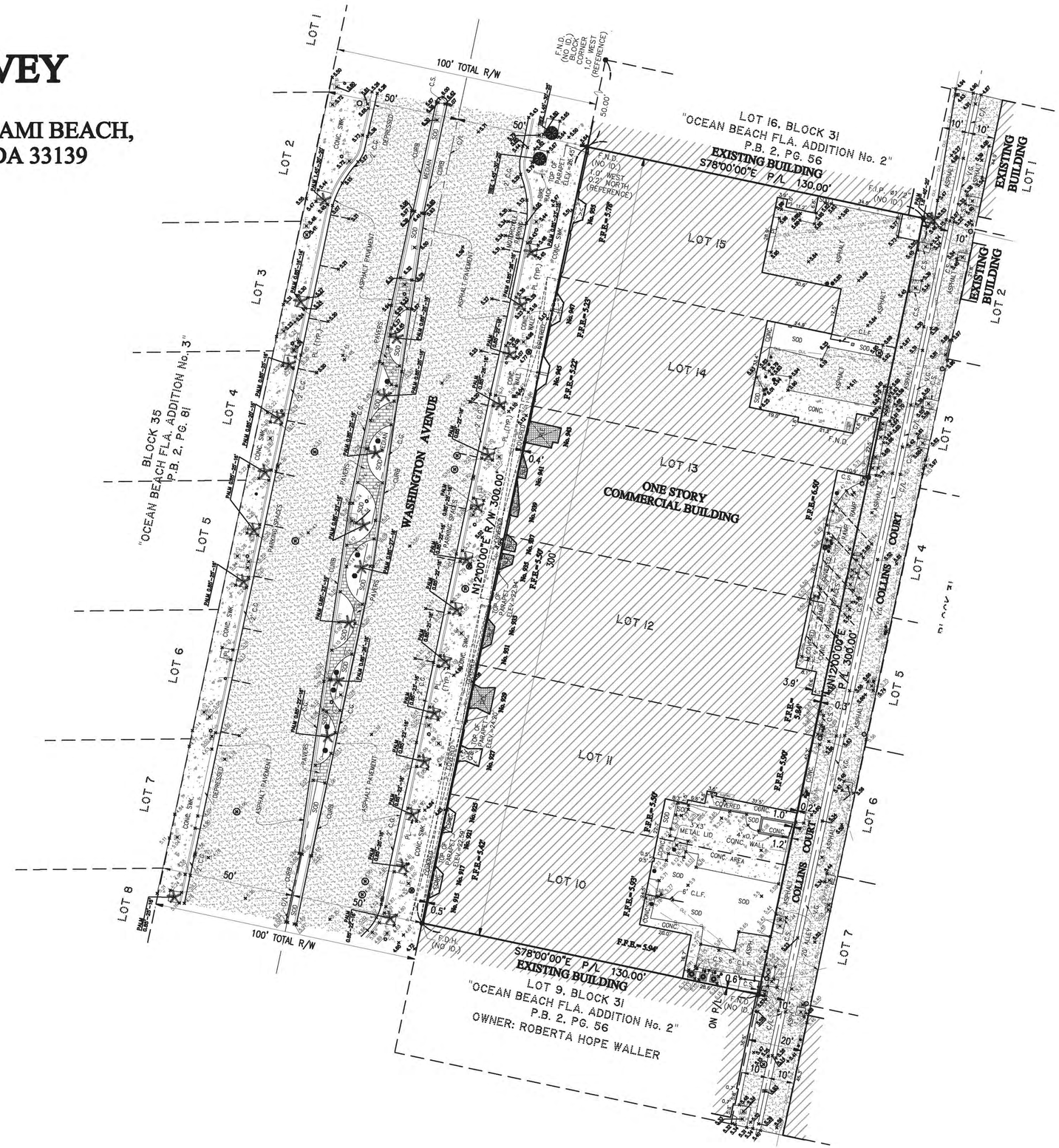
915-943 WASHINGTON AVENUE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139

for

LIGTHSTONE

N
ASSUMED

0' 10' 20' 40'
GRAPHIC SCALE
SCALE : 1" = 20'



LEGEND

- CLP — Concrete Light Pole
- CATV — Cable Television
- MLP — Metal Light Pole
- Guy Wire
- Utility Power Pole
- Fire Hydrant
- WM — Water Meter
- Electric Box
- Telephone Box
- S — Sewer Manhole
- --OUL-- — Overhead Utility Lines
- LP — Light Pole
- GV — Gas Valve
- WV — Water Valve
- Control Valve
- W — Water Manhole
- T — Telephone Manhole
- MW — Monitoring Well
- Parking Meter
- Chain Link Fence
- Unknown Manhole
- Sewer Valve
- Mail Box
- +10.00 — Spot Elevation
- Temporary Benchmark
- 1.5'-15'-10' — Diameter-Height-Spread
- Right-of-Way Lines
- Property Corner
- Traffic Sign
- Catch Basin
- D — Drainage Manhole
- Wood Fence
- Iron Fence
- C.B.S. Wall
- Clean Out
- Guard Pole
- BFP — Back Flow Preventer
- Irrigation Control Valve
- PH — Telephone Booth
- AC — Air Conditioner
- GM — Gas Meter
- G — Grease Manhole
- Drain

ABBREVIATIONS

A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Gutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
DWY.	Driveway
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
ID.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
P.B.	Plat Book
P.C.P.	Permanent Control Point
PG.	Page
PL.	Planter
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P/S	Parking Spaces
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK.	Sidewalk
T.B.M.	Temporary Benchmark
T.O.B.	Top of Bank
U.E.	Utility Easement
V.G.	Valley Gutter
W.F.	Wood Fence
(TYP.)	Typical
E.O.W.	Edge of Water
P.B.	Plat Book
R	Recorded

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ARCHITECTURE

PAGE	DRAWING NUMBER	DRAWING NAME
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4	A 0.02	DATA SHEET
5	A 1.00	AERIAL MAP
6	A 1.01	AERIAL AXONOMETRIC VIEW
7	A 1.02	SITE PHOTOS
8	A 1.03	SITE PHOTOS
9	A 1.04	SITE PHOTOS
10	A 1.05	SITE PHOTOS
11	A 1.06	SITE PHOTOS
12	A 1.07	SITE PHOTOS
13	A 1.08	SITE PHOTOS
14	A 1.09	SITE PHOTOS
15	A 1.10	ARCH DETAILS
16	A 1.11	ARCH DETAILS
17	A 1.12	ARCH DETAILS
18	A 1.13	ARCH DETAILS
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1611

moxy HOTELS

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Historic Preservation and Planning Board Submission

INDEX

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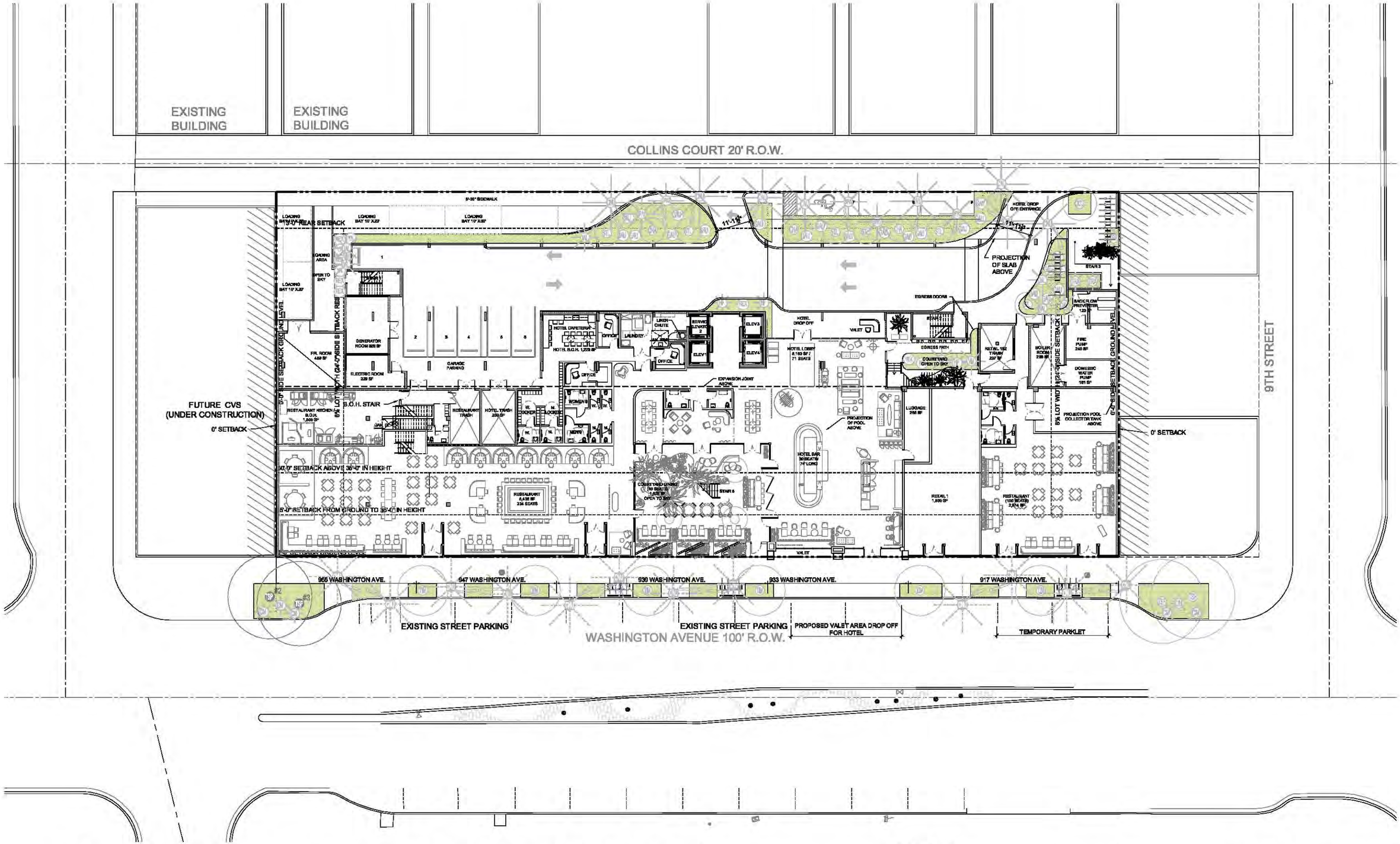

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SITEPLAN

SCALE : 1/32" = 1'-0"

08-29-2016

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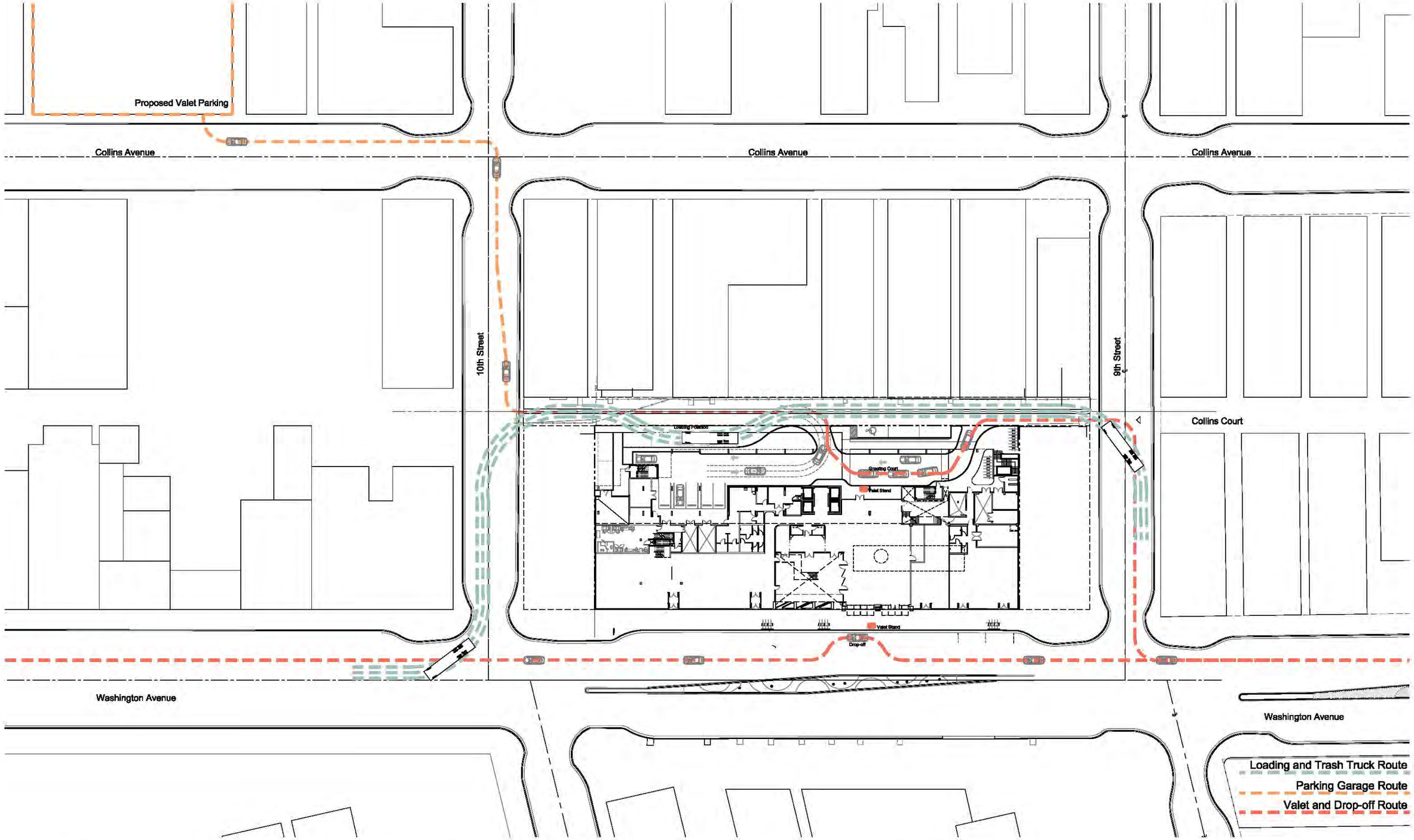

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SERVICE PLAN

1/64"=1'-0"
08-29-2016

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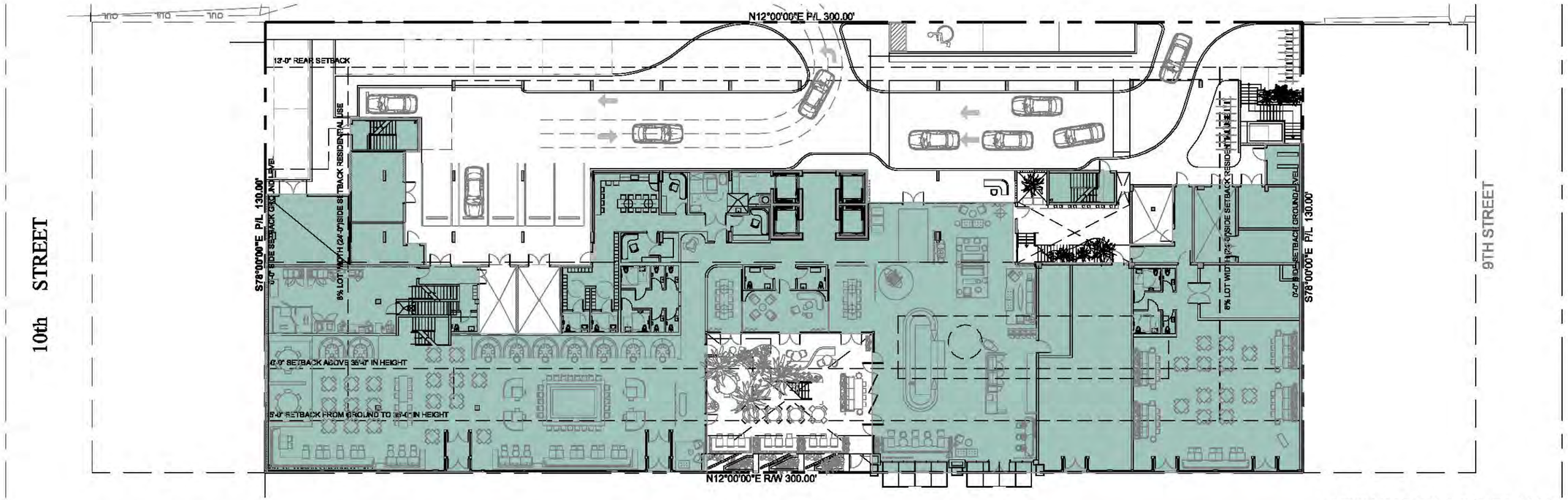
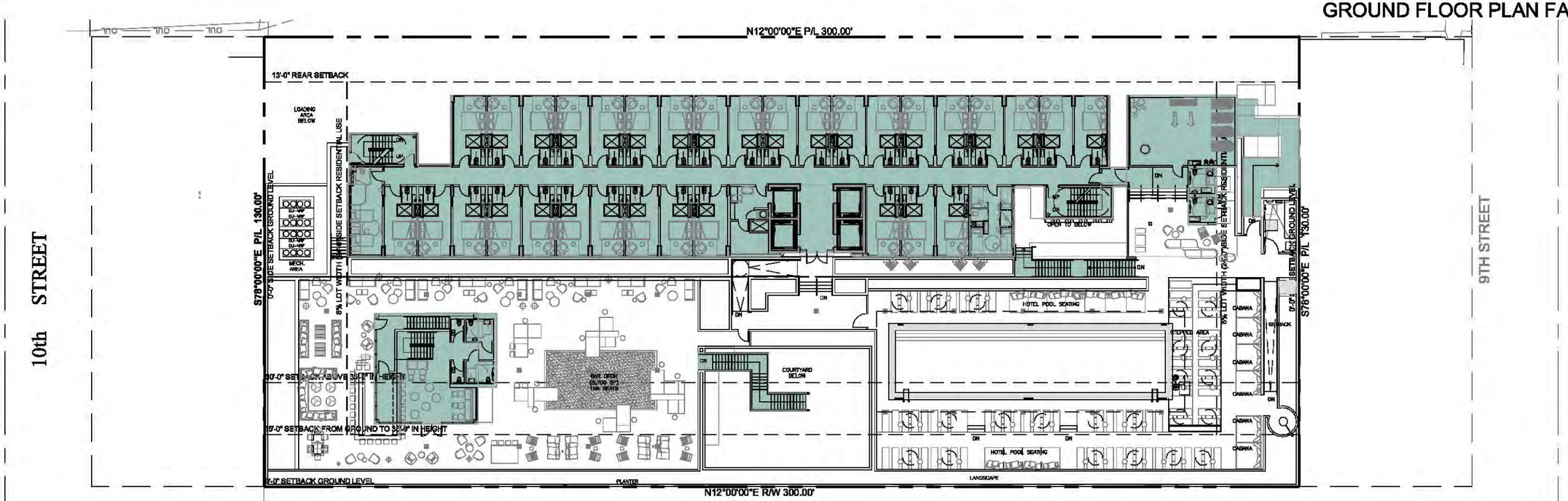


GROUND FLOOR PLAN FAR



SECOND FLOOR PLAN FAR

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FAR CALCULATIONS

1/32"=1'-0"
08-29-2016

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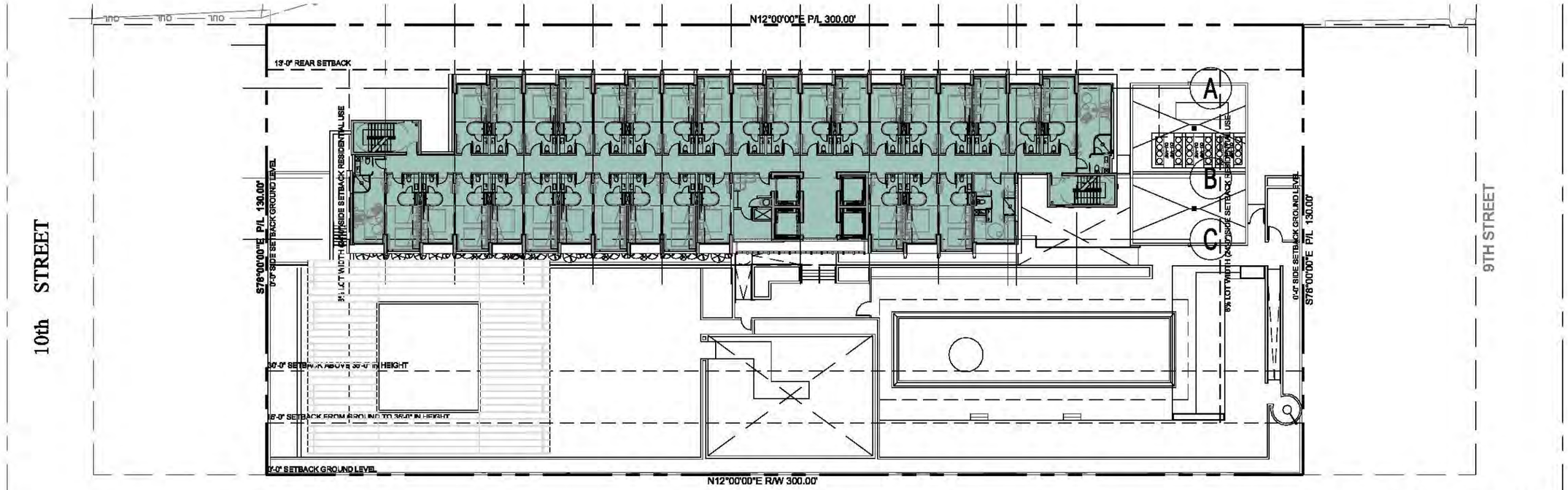
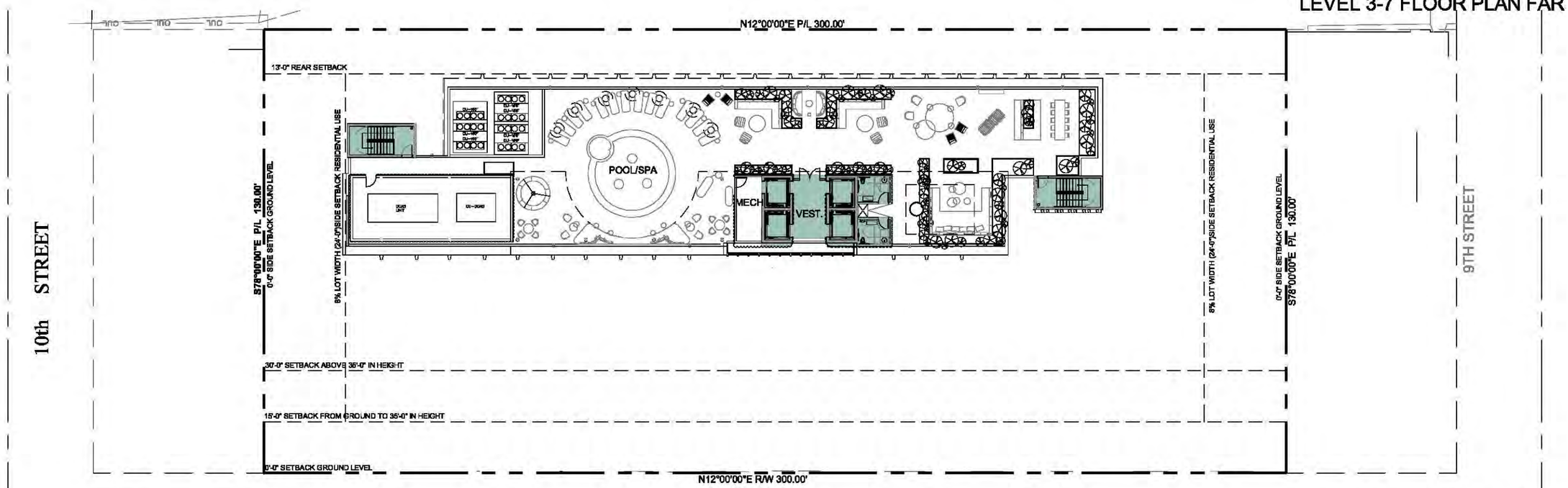


LEVEL 3-7 FLOOR PLAN FAR



ROOF PLAN FAR

1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
915 Washington Avenue Miami Beach, FL 33139	LIGHTSTONE 460 Park Avenue New York, NY 10022 O: 212.616.9969	ROCKWELLGROUP 5 Union Square West New York, NY 10003 O: 212.463.0334	NATURALFICIAL P.O. Box 330185 Coconut Grove, FL 33233 O: 305.321.2341	BOLD 227 West 29th Street New York, NY 10001 O: 212.874.6500

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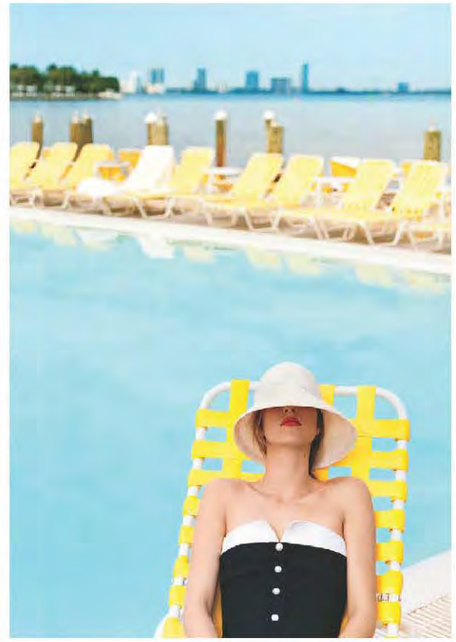
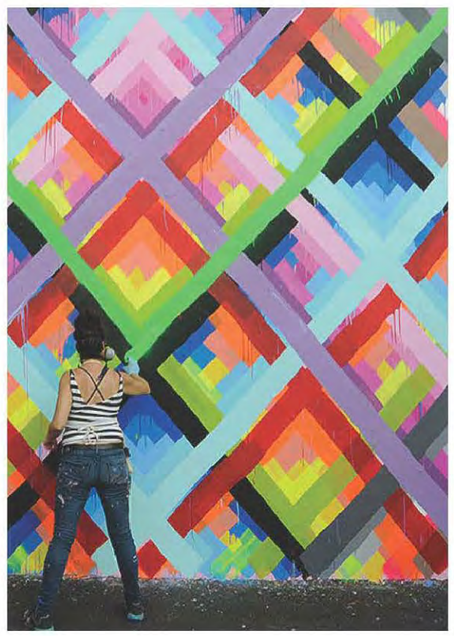
FAR CALCULATIONS

1/32"=1-0"

08-29-2016

A 2.12





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Historic Preservation and Planning Board Submission

FACADE INSPIRATION

NOT TO SCALE

08-29-2016

A 2.13

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ROCKWELLGROUP

5 Union Square West
New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

P.O. Box 330185
Coconut Grove, FL 33233
O: 305.321.2341

LIGHTING DESIGNER

BOLD

227 West 29th Street
New York, NY 10001
O: 212.674.6500

KOBI KARP

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2915 Biscayne Boulevard, Suite 200
Miami, Florida 33137
O: 305.573.1818
F: 305.573.3788

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Historic Preservation and Planning Board Submission

RENDERING

NOT TO SCALE

08-29-2016

A 2.14

1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

5 Union Square West
New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

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O: 305.321.2341

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RENDERING

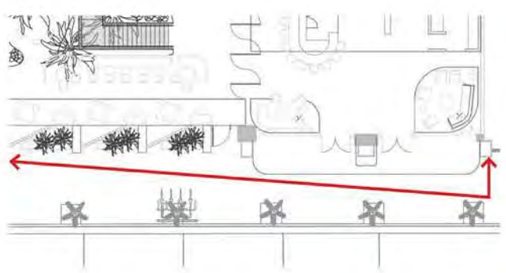
NOT TO SCALE

08-29-2016

A 2.15

THE ENTRANCE

LOCATOR PLAN



VIEW FROM WASHINGTON AVE. TO ENTRANCE

1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
moxy HOTELS	LIGHTSTONE	ROCKWELLGROUP	NATURALFICIAL	BOLD
915 Washington Avenue Miami Beach, FL 33139	460 Park Avenue New York, NY 10022 O: 212.616.9969	5 Union Square West New York, NY 10003 O: 212.463.0334	P.O. Box 330185 Coconut Grove, FL 33233 O: 305.321.2341	227 West 29th Street New York, NY 10001 O: 212.674.6500

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PLANNING

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RENDERING:HOTEL ENTRANCE

NOT TO SCALE

08-29-2016

A 2.16

1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

5 Union Square West
New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

P.O. Box 330185
Coconut Grove, FL 33233
O: 305.321.2341

LIGHTING DESIGNER

BOLD

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New York, NY 10001
O: 212.674.6500

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Historic Preservation and Planning Board Submission

RENDERING:COURTYARD FACADE

NOT TO SCALE

08-29-2016

A 2.17

1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
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O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

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New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

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BOLD

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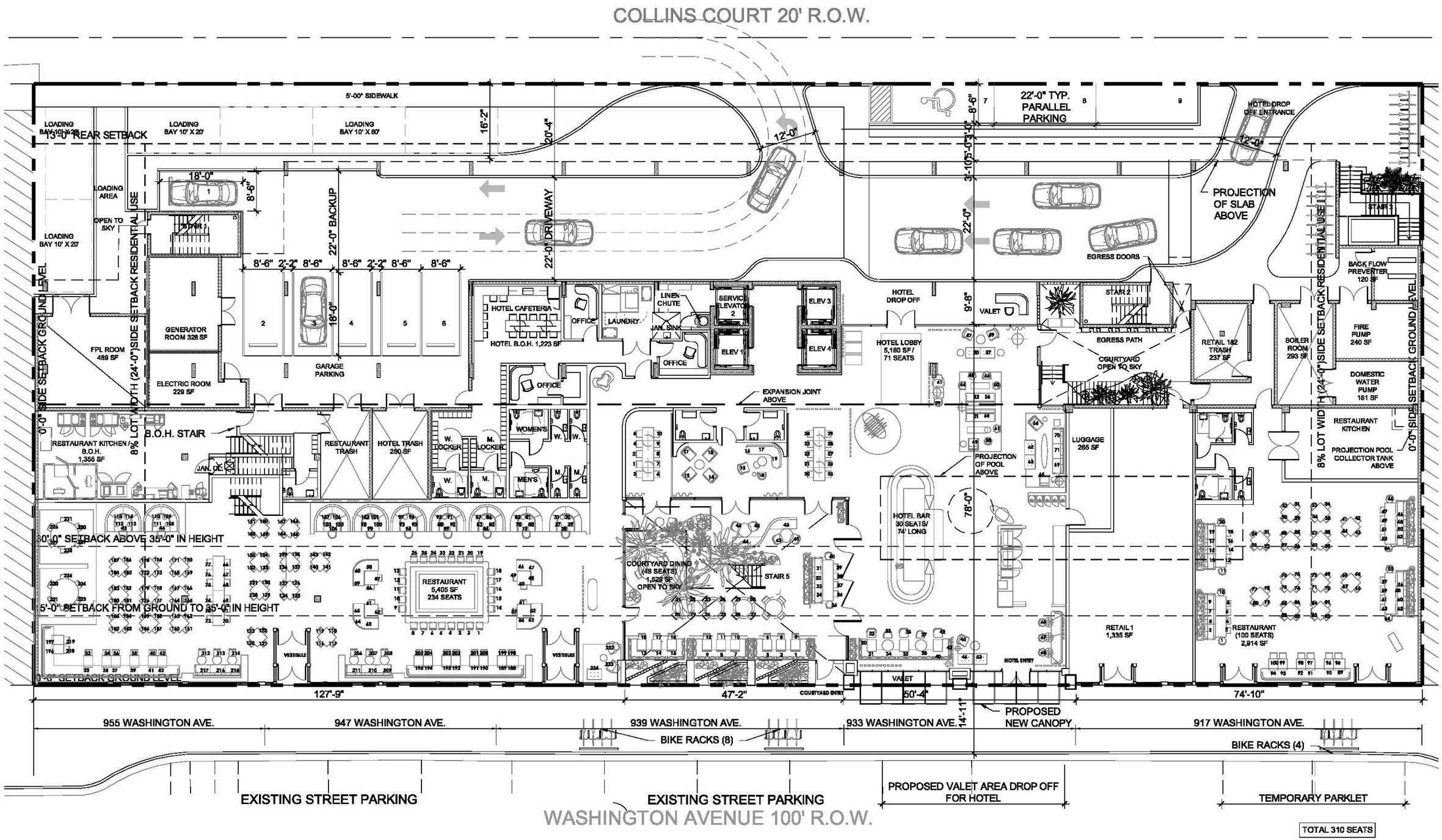
RENDERING:POOL DECK

NOT TO SCALE

08-29-2016

A 2.18



TOTAL 310 SEATS

1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER

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LANDSCAPE DESIGNER

NATURALFICIAL

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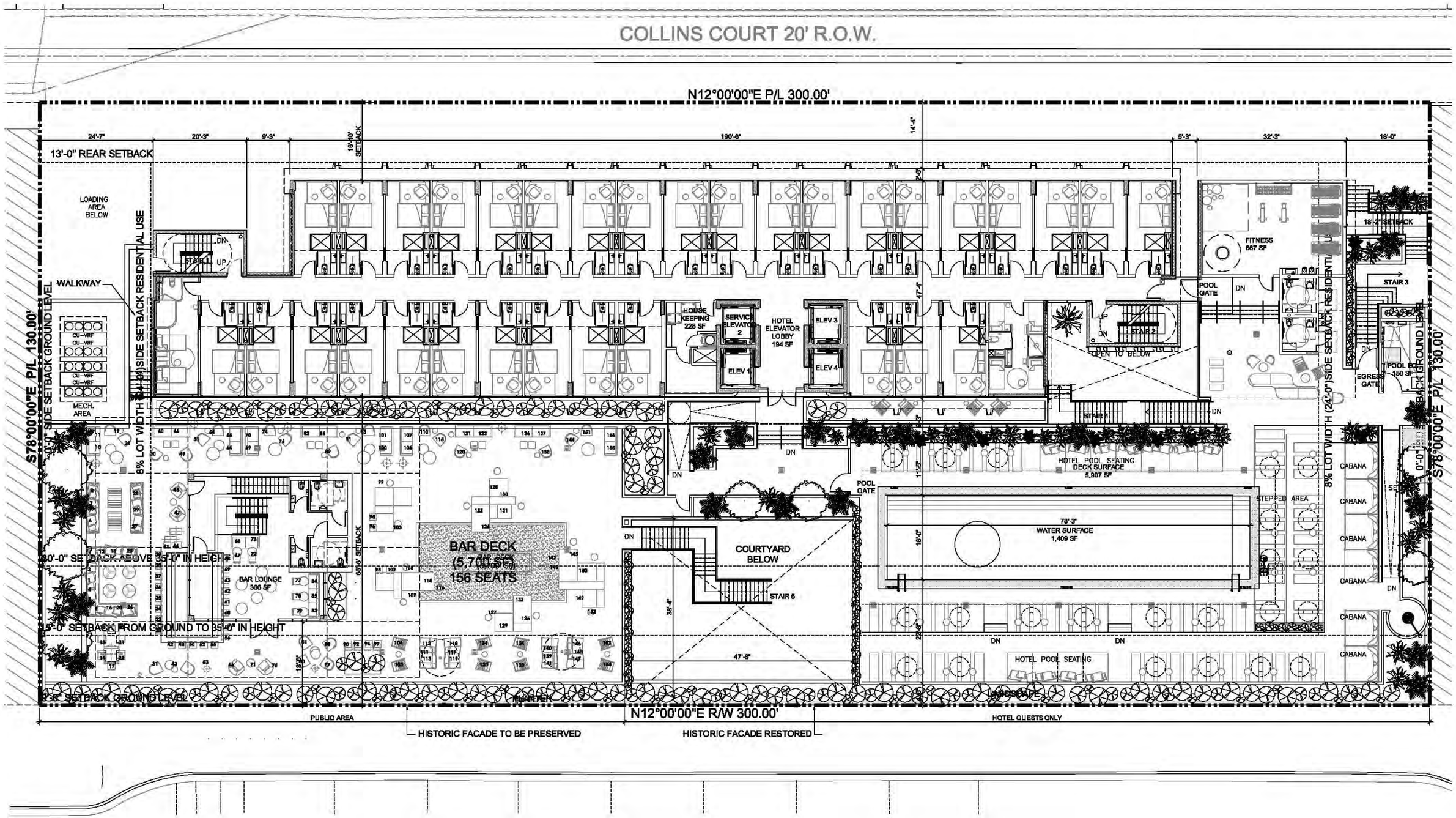
Historic Preservation and Planning Board Submission

LEVEL 1 - GROUND FLOOR PLAN

SCALE : 1" = 20'-0"

08-29-2016

A 3.00



TOTAL 156 SEATS

1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

5 Union Square West
New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

P.O. Box 330185
Coconut Grove, FL 33233
O: 305.321.2341

LIGHTING DESIGNER

BOLD

227 West 29th Street
New York, NY 10001
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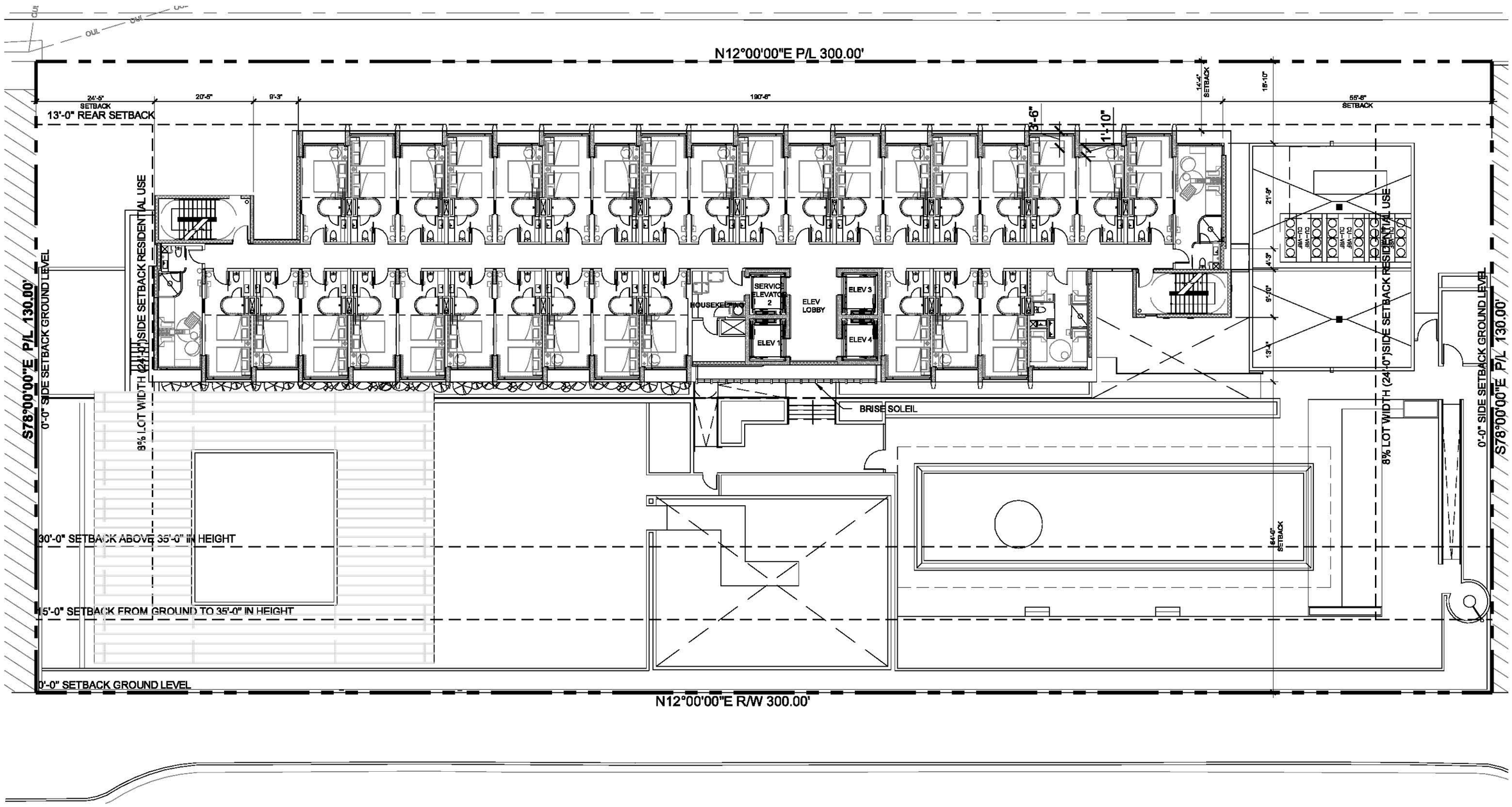
LEVEL 2 - AMMENITIES

SCALE : 1" = 20'-0"
08-29-2016

A 3.01



1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
moxy HOTELS	LIGHTSTONE	ROCKWELLGROUP	NATURALFICIAL	BOLD
915 Washington Avenue Miami Beach, FL 33139	460 Park Avenue New York, NY 10022 O: 212.616.9969	5 Union Square West New York, NY 10003 O: 212.463.0334	P.O. Box 330185 Coconut Grove, FL 33233 O: 305.321.2341	227 West 29th Street New York, NY 10001 O: 212.674.6500

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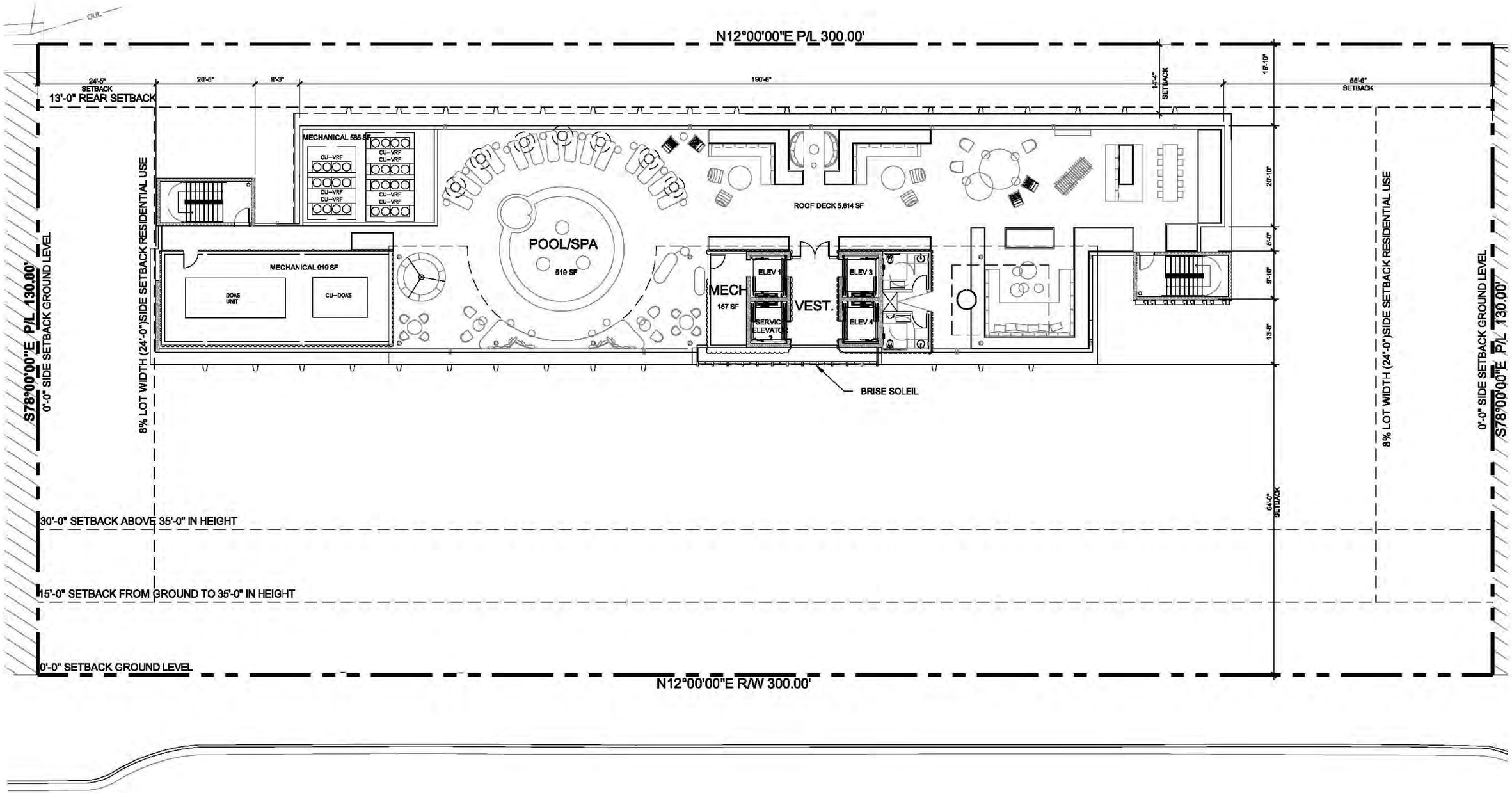
Historic Preservation and Planning Board Submission

LEVELS 3-7 - TYPICAL

SCALE : 1/32" = 1'-0"

08-29-2016

A 3.02



1611

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
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O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

5 Union Square West
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O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

P.O. Box 330185
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LIGHTING DESIGNER

BOLD

227 West 29th Street
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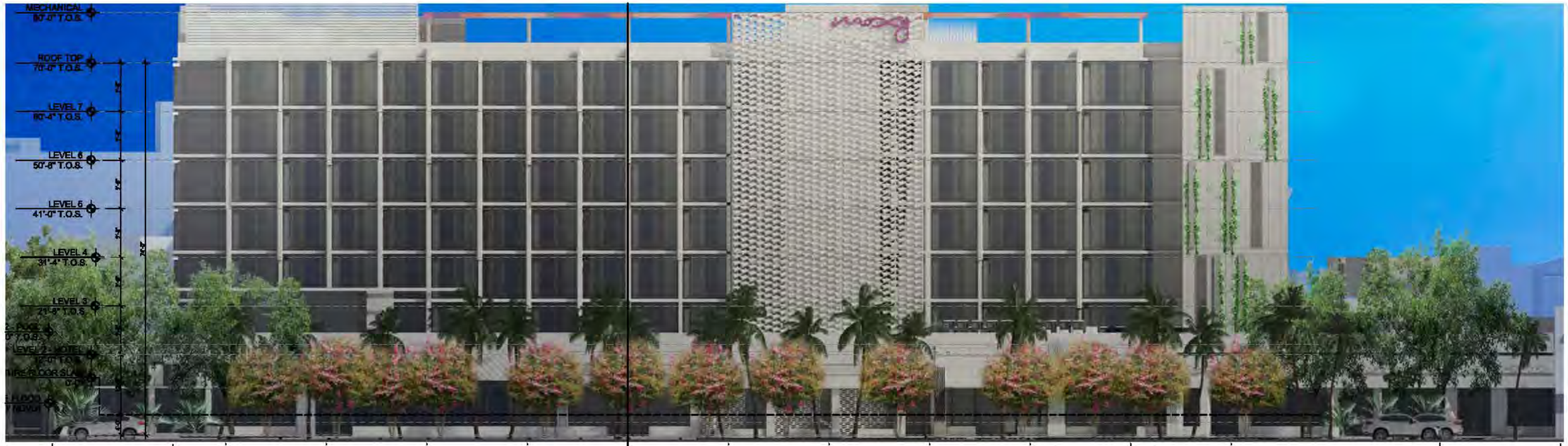
Historic Preservation and Planning Board Submission

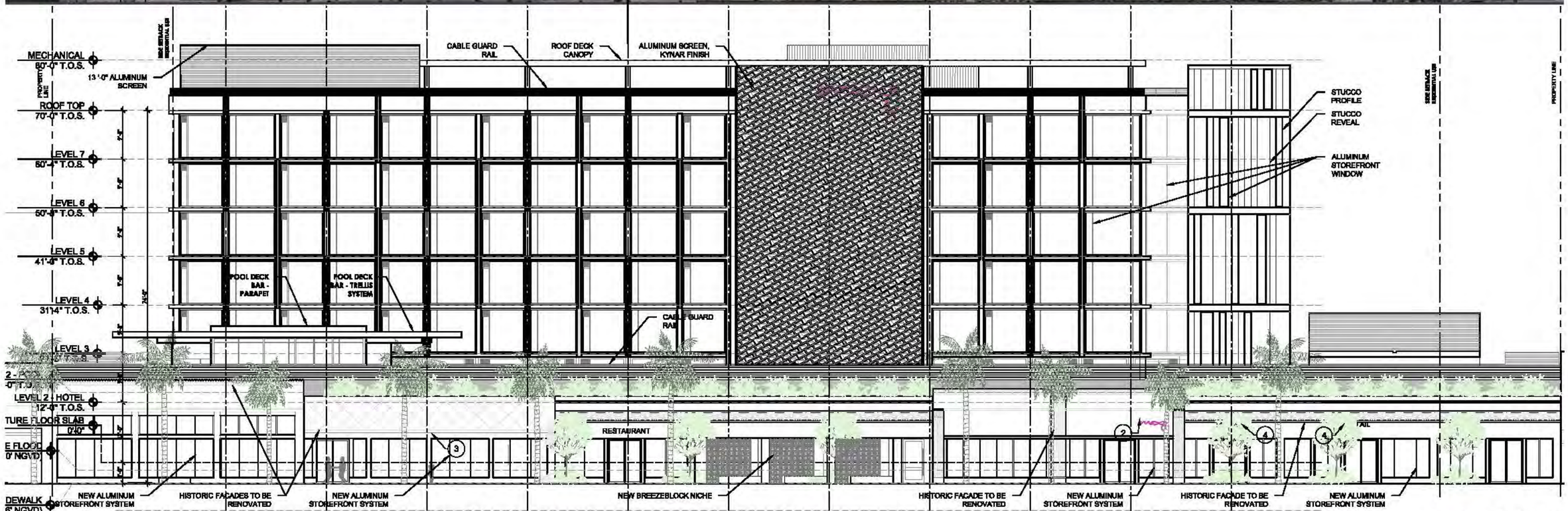
ROOF LEVEL

SCALE : 1/32" = 1'-0"

08-29-2016

A 3.03





1611

moxy HOTELS

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

460 Park Avenue
New York, NY 10022
O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

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New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

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LIGHTING DESIGNER

BOLD

227 West 29th Street
New York, NY 10001
O: 212.674.8500

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PLANNING

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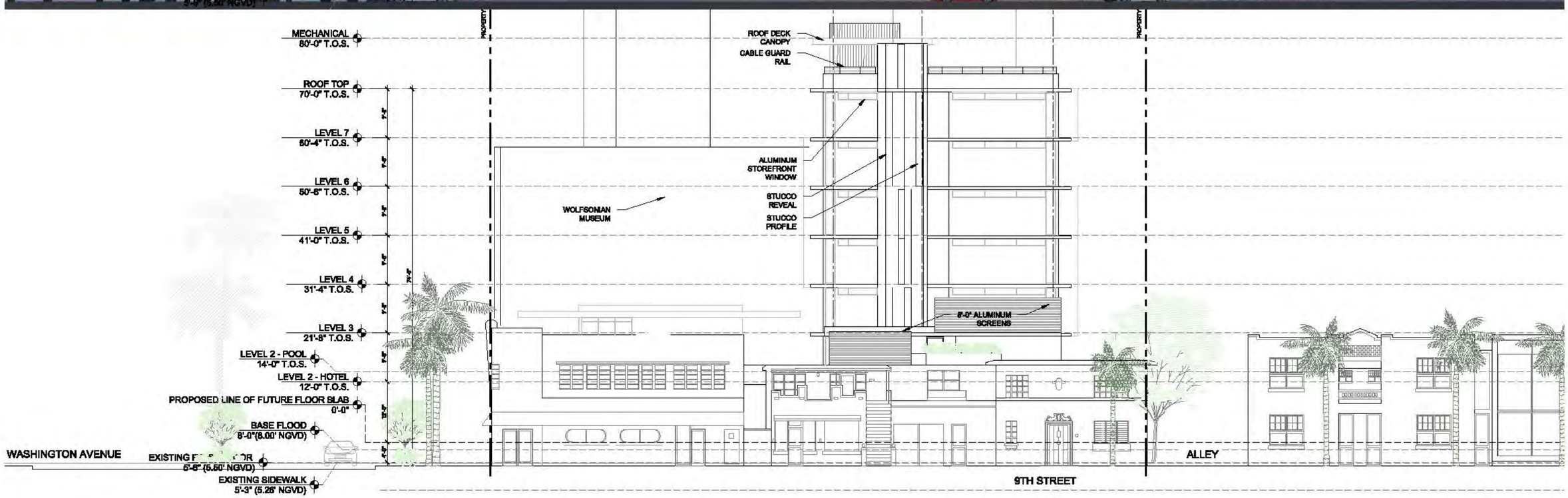
Historic Preservation and Planning Board Submission

PROPOSED WEST ELEVATION

SCALE : 1" = 20'-0"

08-29-2016

A 4.00



1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
915 Washington Avenue Miami Beach, FL 33139	LIGHTSTONE 480 Park Avenue New York, NY 10022 O: 212.616.9969	ROCKWELLGROUP 5 Union Square West New York, NY 10003 O: 212.463.0334	NATURALFICIAL P.O. Box 330165 Coconut Grove, FL 33233 O: 305.321.2341	BOLD 227 West 29th Street New York, NY 10001 O: 212.674.8500

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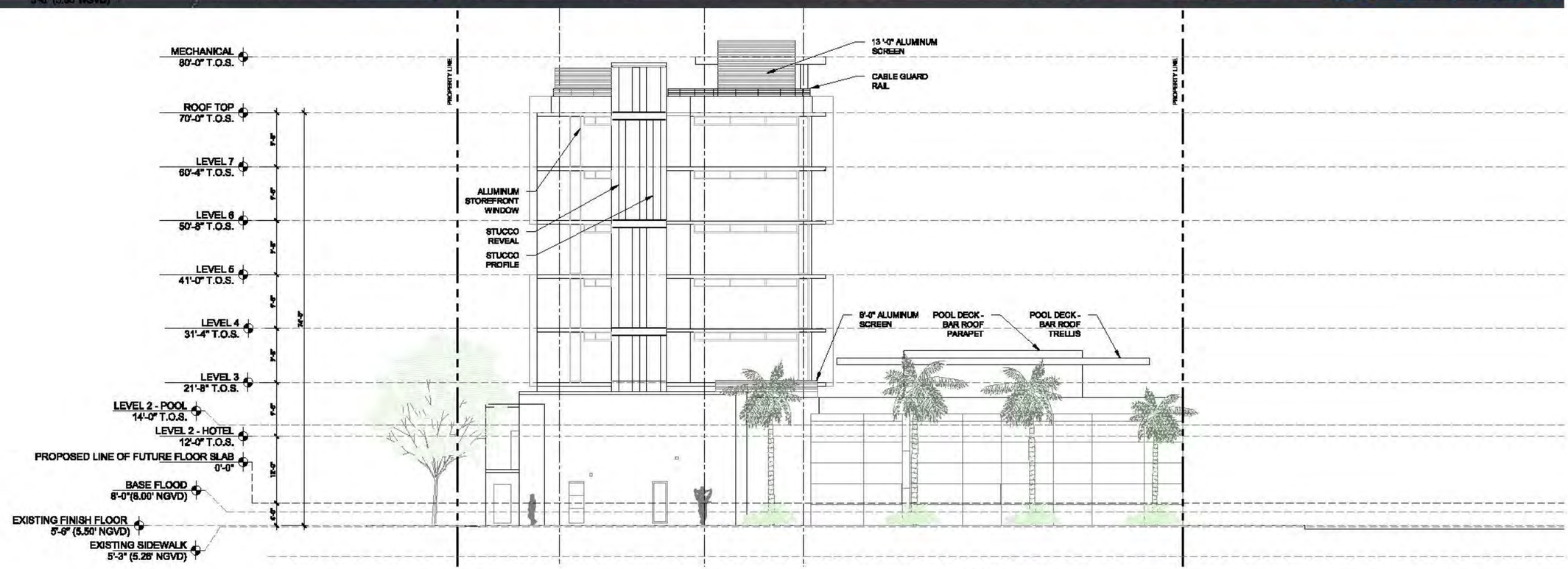
Historic Preservation and Planning Board Submission

PROPOSED NORTH ELEVATION

SCALE : 1" = 20'-0"

08-29-2016

A 4.01



1611

915 Washington Avenue
Miami Beach, FL 33139

OWNER

LIGHTSTONE

480 Park Avenue
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O: 212.616.9969

INTERIOR DESIGNER

ROCKWELLGROUP

5 Union Square West
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O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

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O: 305.321.2341

LIGHTING DESIGNER

BOLD

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Historic Preservation and Planning Board Submission

PROPOSED SOUTH ELEVATION

SCALE : 1" = 20'-0"
08-29-2016

A 4.02

1611

915 Washington Avenue
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OWNER

LIGHTSTONE

480 Park Avenue
New York, NY 10022
O: 212.616.9989

INTERIOR DESIGNER

ROCKWELLGROUP

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New York, NY 10003
O: 212.463.0334

LANDSCAPE DESIGNER

NATURALFICIAL

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BOLD

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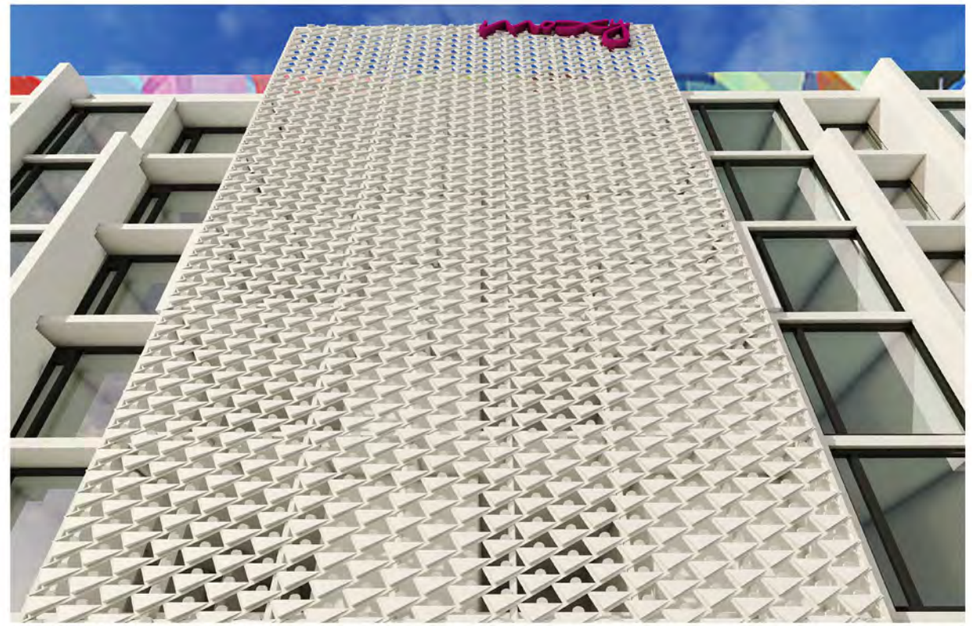
Historic Preservation and Planning Board Submission

PROPOSED EAST ELEVATION

SCALE : 1" = 20'-0"
08-29-2016

A 4.03

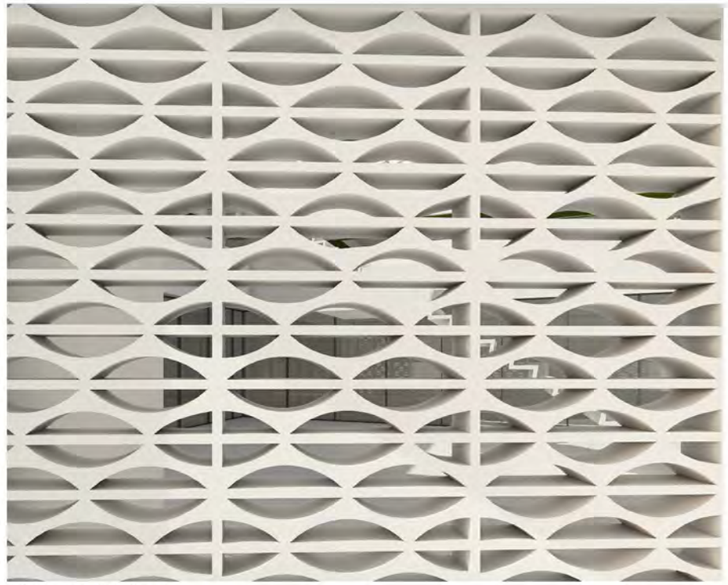
VIEW FROM ELEVATOR LOBBY



VIEW UPWARD FROM COURTYARD

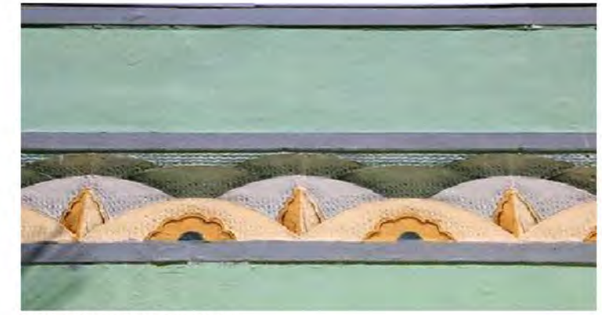
EXISTING REFERENCE

PROPOSED SCREEN



ENLARGED VIEW

STREET VIEW AT THE COURTYARD BREEZEBLOCKS



EXISTING REFERENCE

PROPOSED BREEZEBLOCK

PROPOSED SCREEN

1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
moxy HOTELS	LIGHTSTONE	ROCKWELLGROUP	NATURALFICIAL	BOLD
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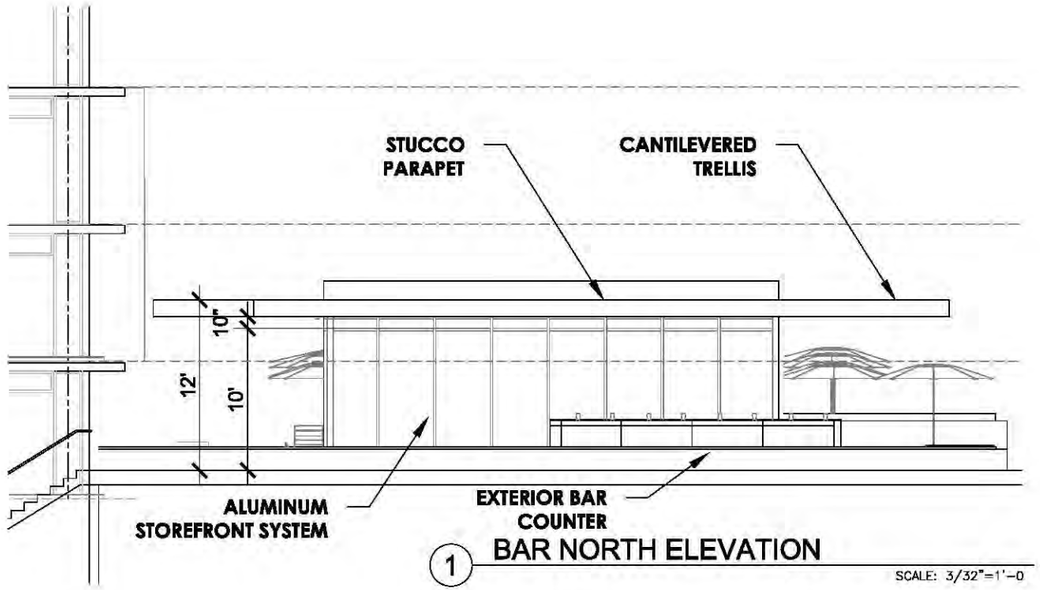
BUILDING SCREENING

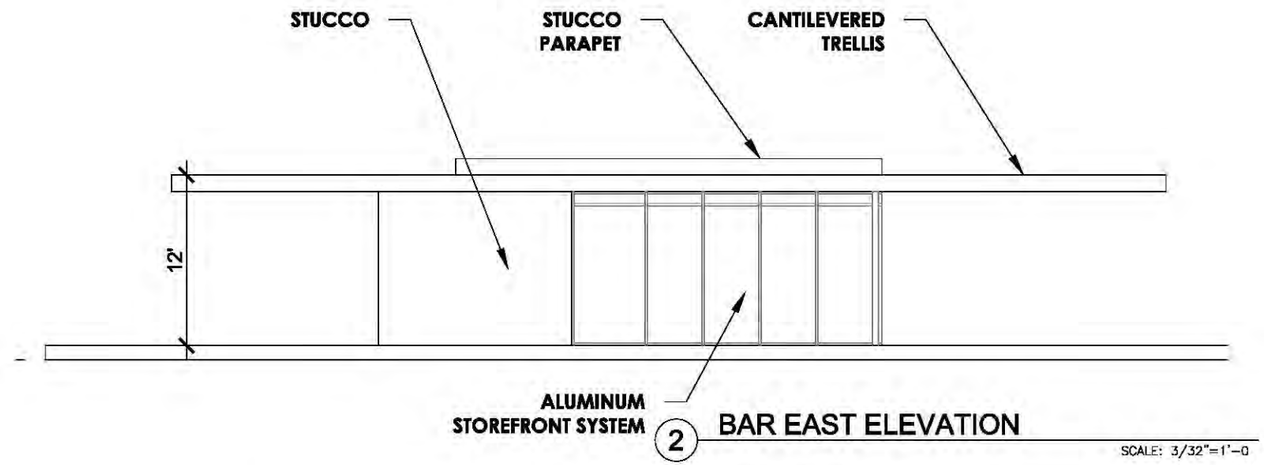
SCALE : 1" = 20'-0"
08-29-2016

A 4.04



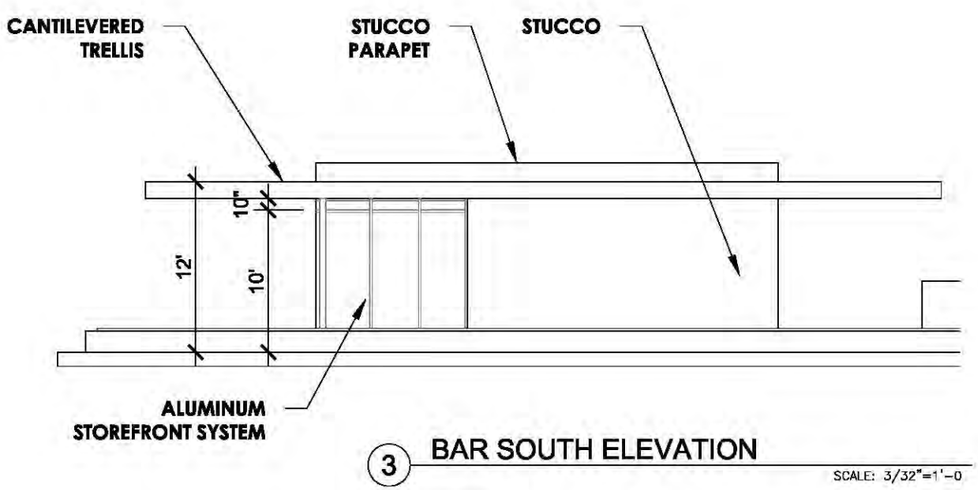
1 BAR NORTH ELEVATION

SCALE: 3/32"=1'-0



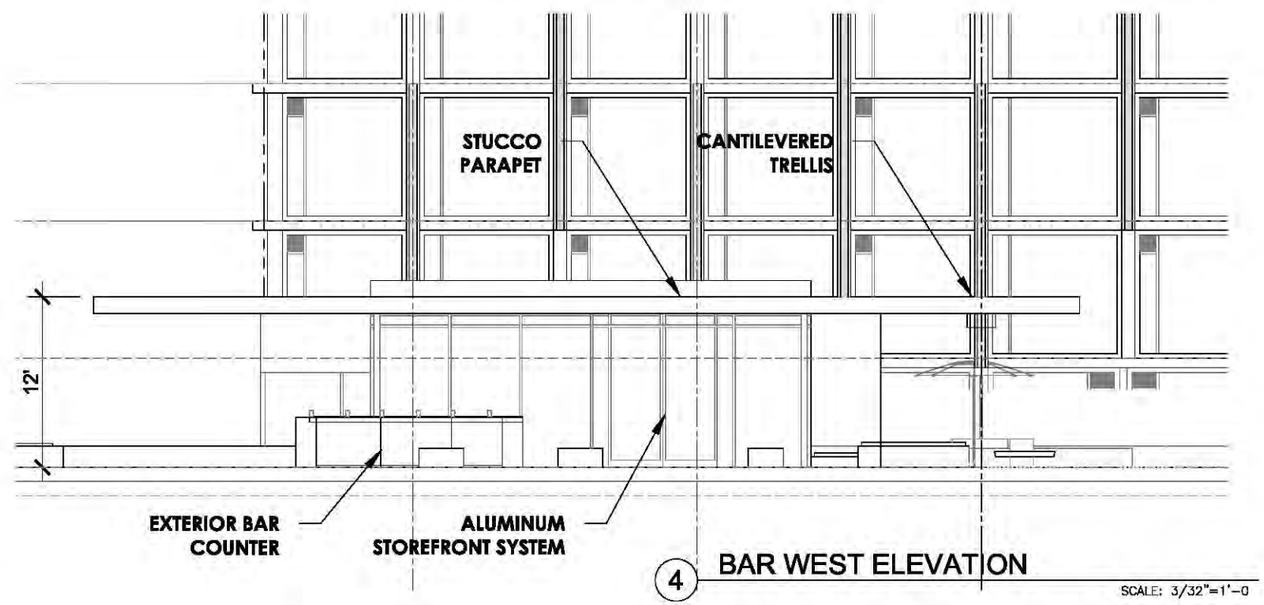
2 BAR EAST ELEVATION

SCALE: 3/32"=1'-0



3 BAR SOUTH ELEVATION

SCALE: 3/32"=1'-0



4 BAR WEST ELEVATION

SCALE: 3/32"=1'-0

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915 Washington Avenue Miami Beach, FL 33139	LIGHTSTONE 460 Park Avenue New York, NY 10022 O: 212.616.9969	ROCKWELLGROUP 5 Union Square West New York, NY 10003 O: 212.463.0334	NATURALFICIAL P.O. Box 330185 Coconut Grove, FL 33233 O: 305.321.2341	BOLD 227 West 29th Street New York, NY 10001 O: 212.674.6500

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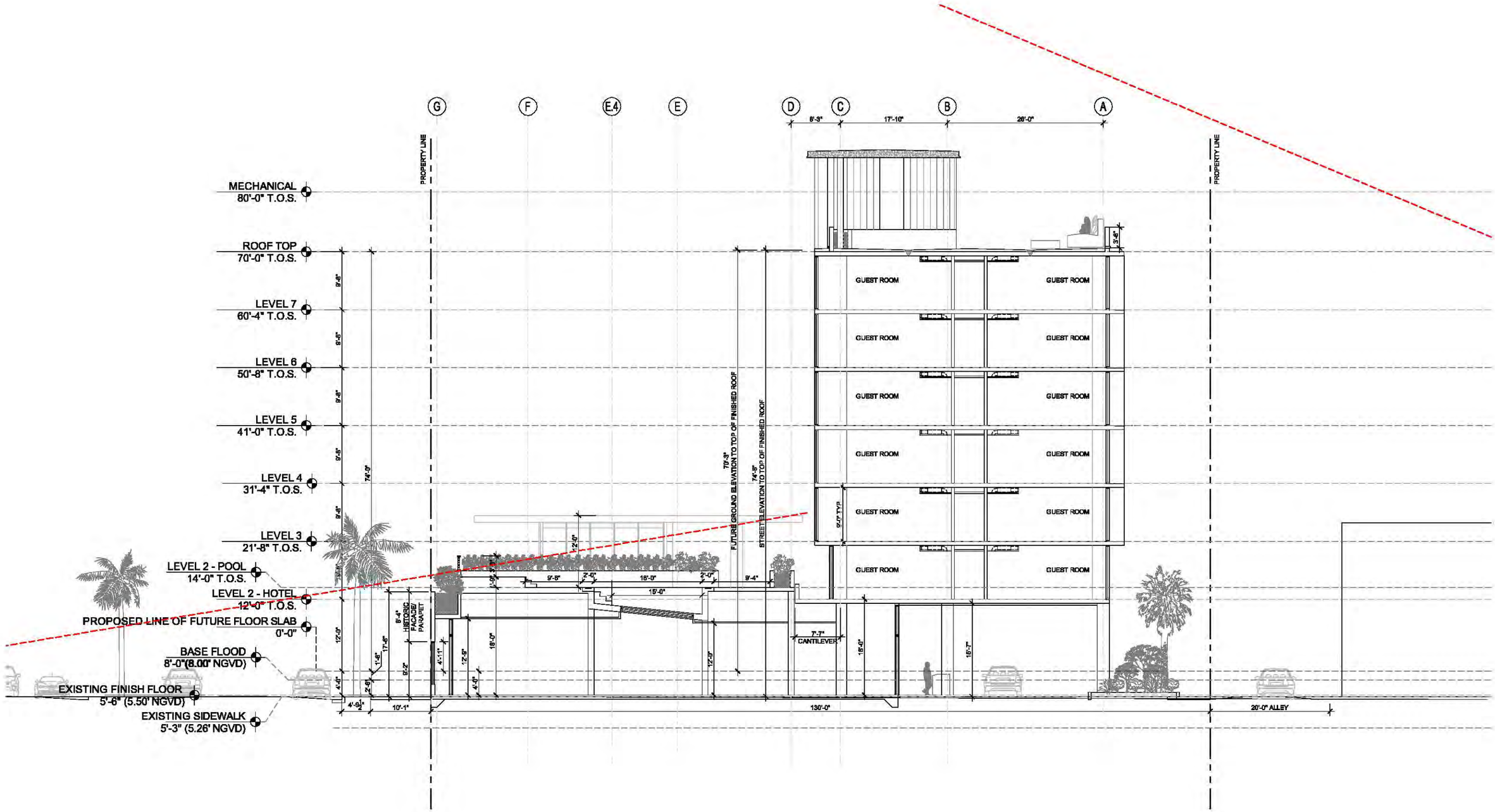
Historic Preservation and Planning Board Submission

PROPOSED BAR ELEVATIONS

SCALE : 3/32" = 1'-0"

08-29-2016

A 4.05



1611	OWNER	INTERIOR DESIGNER	LANDSCAPE DESIGNER	LIGHTING DESIGNER
moxy HOTELS	LIGHTSTONE	ROCKWELLGROUP	NATURALFICIAL	BOLD
915 Washington Avenue Miami Beach, FL 33139	460 Park Avenue New York, NY 10022 O: 212.616.9969	5 Union Square West New York, NY 10003 O: 212.463.0334	P.O. Box 330185 Coconut Grove, FL 33233 O: 305.321.2341	227 West 29th Street New York, NY 10001 O: 212.674.6500

KOBI KARP
ARCHITECTURE
INTERIOR DESIGN
PLANNING

2915 Biscayne Boulevard, Suite 200
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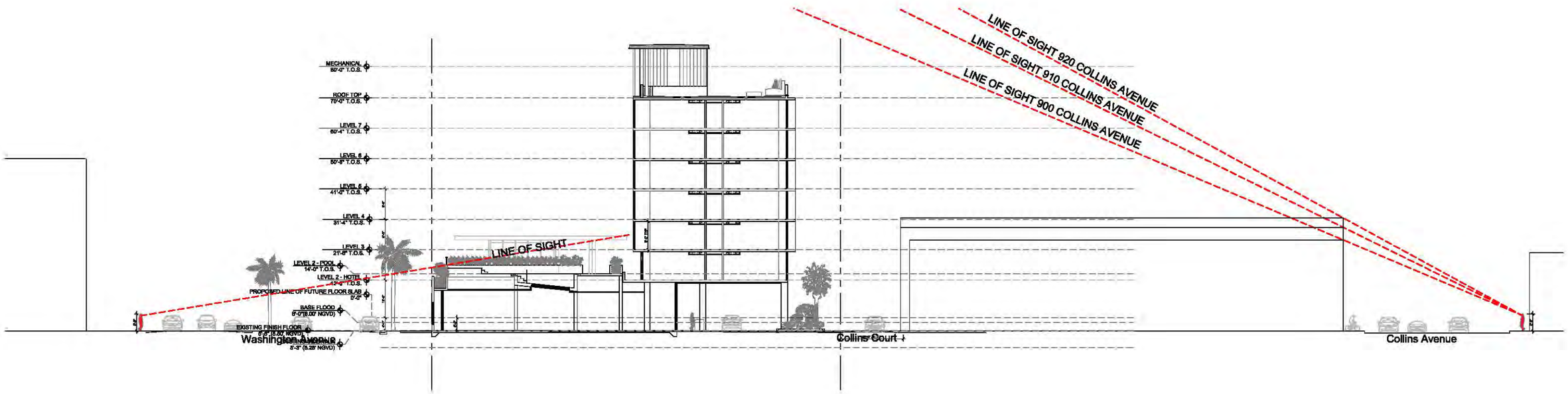
Historic Preservation and Planning Board Submission

BUILDING SECTION

SCALE : 1" = 20'-0"

08-29-2016

A 5.00



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Line of Sight Section

SCALE : 1/32" = 1'-0"

08-29-2016

A 5.01