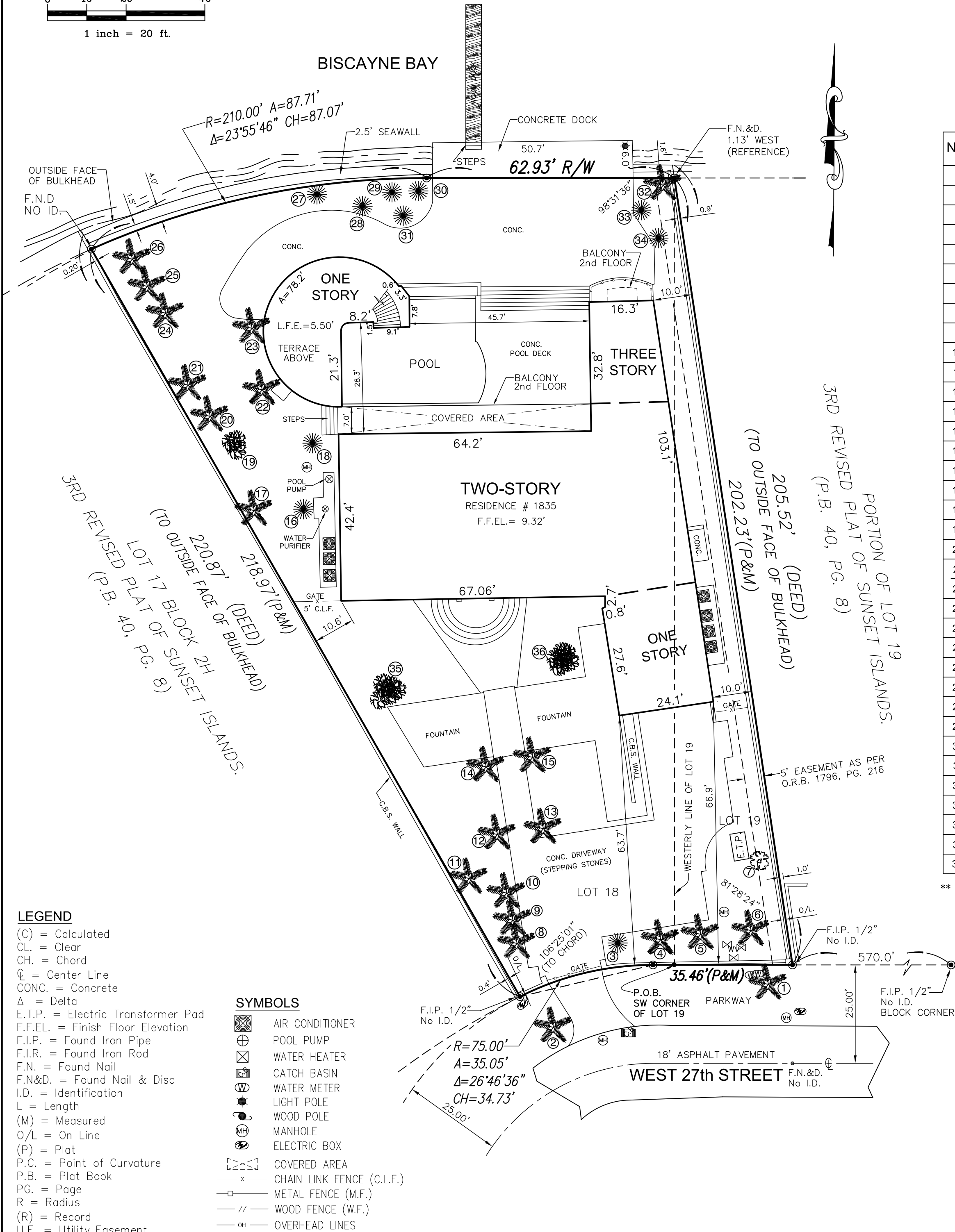
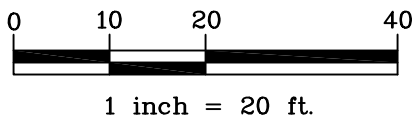


SPECIFIC PURPOSE SURVEY
FOR TREE LOCATION

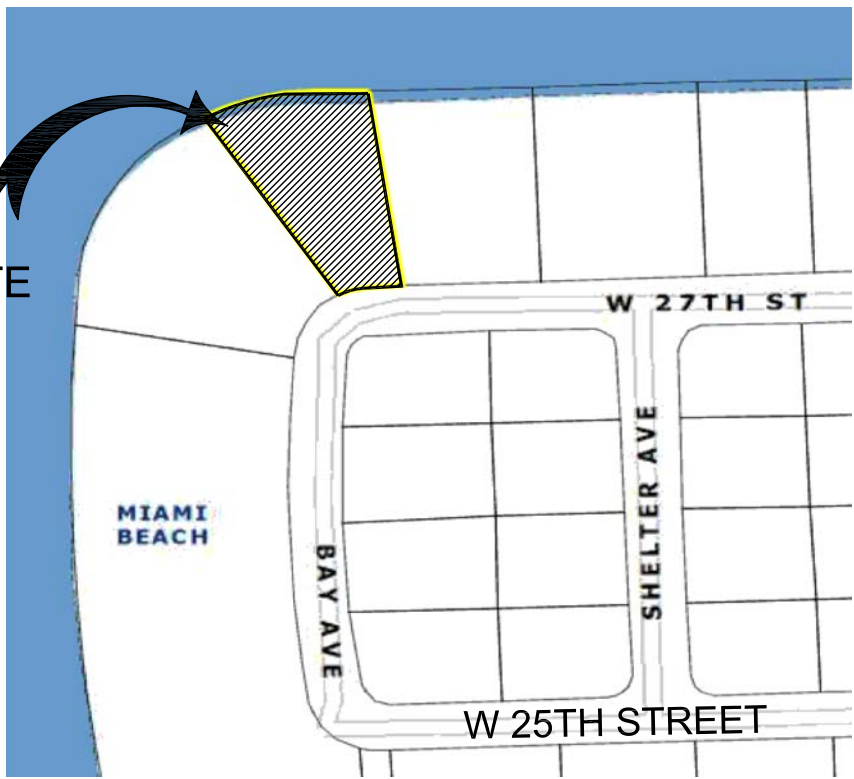


TREE TABLE

No.	NAME (Common)	DIAMETER (feet)	HEIGHT (feet)	SPREAD (feet)
1	Jelly Palm	2.0'	35'	25'
2	Royal Palm	2.0'	30'	15'
3	Coconut Palm	1.0'	30'	15'
4	Jelly Palm	1.0'	20'	10'
5	Jelly Palm	1.0'	25'	15'
6	Jelly Palm	1.0'	25'	15'
7	Black Olive	2.0'	40'	35'
8	Sabal Palm	1.0'	25'	15'
9	Sabal Palm	1.0'	25'	15'
10	Sabal Palm	1.0'	25'	15'
11	Sabal Palm	1.0'	25'	15'
12	Sabal Palm	1.0'	25'	15'
13	Sabal Palm	1.0'	20'	15'
14	Sabal Palm	1.0'	25'	15'
15	Sabal Palm	1.0'	20'	15'
16	Coconut Palm	1.0'	25'	15'
17	Sabal Palm	1.0'	25'	10'
18	Coconut Palm	1.0'	30'	15'
19	Palms Cluster (3)	0.5'	15'	15'
20	Sabal Palm	1.0'	25'	15'
21	Royal Palm	2.0'	40'	20'
22	Royal Palm	2.0'	40'	20'
23	Royal Palm	2.0'	40'	20'
24	Jelly Palm (3)	1.0'	15'	15'
25	Jelly Palm (2)	1.0'	15'	15'
26	Jelly Palm (2)	1.0'	15'	15'
27	Coconut Palm	1.0'	30'	15'
28	Coconut Palm	1.0'	30'	15'
29	Coconut Palm	1.0'	30'	15'
30	Coconut Palm	1.0'	30'	15'
31	Coconut Palm	1.0'	30'	15'
32	Sabal Palm	1.0'	30'	20'
33	Coconut Palm	1.0'	25'	15'
34	Coconut Palm	1.0'	25'	15'
35	Palms Cluster (6)	0.5'	15'	15'
36	Palms Cluster (7)	0.5'	15'	15'

** TREE LOCATION & DIMENSION ARE APPROXIMATE.

SURVEY SITE



LOCATION MAP
NOT TO SCALE

Legal Description:

Lot 18 in Block 2-H of ISLAND No. 2 of SUNSET ISLANDS, in accordance with the SECOND REVISED PLAT OF SUNSET ISLANDS, recorded in Plat Book 34, Page 73, of the Public Records of Dade County, Florida, also,

All that portion of Lot 19 of Block 2-H of ISLAND No. 2 OF SUNSET ISLAND, in accordance with the SECOND REVISED PLAT OF SUNSET ISLANDS, recorded in Plat Book 34, at Page 73 of the Public Records of Dade County, Florida, described as follows, to wit:

Beginning at a point where the Westerly line of said Lot 19 intersects the Northerly line of West 27th Street; thence Easterly along the Northerly line of West 27th Street for a distance of thirty feet to a point; thence in a Northwesterly direction in a straight line to a point where the Westerly line of said Lot 19 intersects the outside face of the bulkhead; thence Southerly along the Westerly line of said Lot 19, to the Point of Beginning.

Also described as:

Lot 18 in Block 2-H of ISLAND No. 2 of SUNSET ISLANDS, in accordance with the 3rd REVISED PLAT OF SUNSET ISLANDS, recorded in Plat Book 40, Page 8, of the Public Records of Dade County, Florida, also,

All that portion of Lot 19 of Block 2-H of ISLAND No. 2 OF SUNSET ISLAND, in accordance with the 3rd REVISED PLAT OF SUNSET ISLANDS, recorded in Plat Book 40, at Page 8 of the Public Records of Dade County, Florida, described as follows, to wit:

Beginning at a point where the Westerly line of said Lot 19 intersects the Northerly line of West 27th Street; thence Easterly along the Northerly line of West 27th Street for a distance of thirty feet to a point; thence in a Northwesterly direction in a straight line to a point where the Westerly line of said Lot 19 intersects the outside face of the bulkhead dividing line between Lots 18 and 19; thence Southerly along the said dividing line to the Point of Beginning.

Containing 22,740 Square feet or 0.52 Acres more or less by calculation.

Surveyor's Notes:

- Bearings as shown are referred to the recorded Plat Book 34, Page 73, of Miami-Dade County, Florida.
- Legal Description was furnished by client.
- Examination of Abstract of Title will have to be made to determined recorded instruments, if any, affecting the property.
- Legal Description subject to any dedication, limitation, restrictions, reservation, or easements of record.
- Underground improvements and utilities, if any, not located.
- Fences ownership by visual means only.
- Legal ownership not determined.
- The closure of the Boundary Survey is above 1' = 7,500 sq.ft.
- Bearings, if any, shown hereon are based upon assumed value.
- Benchmark used: N/A.
- Flood Zone "AE", Base Flood Elev.: 8.00'
- FEMA Community: 120651, Community Name: City of Miami Beach
- Panel Number: 12086C0317-L, September 11, 2009

I HEREBY CERTIFY: that the attached BOUNDARY SURVEY of the above described property is correct to the best of my knowledge and belief as recently surveyed under my direction, and meets the intent of the Minimum Technical Standards set forth by the Florida Board of Professional Land Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Michael Carozza Date
Professional Surveyor and Mapper
State of Florida, No. 6965

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

No.	Date	Description

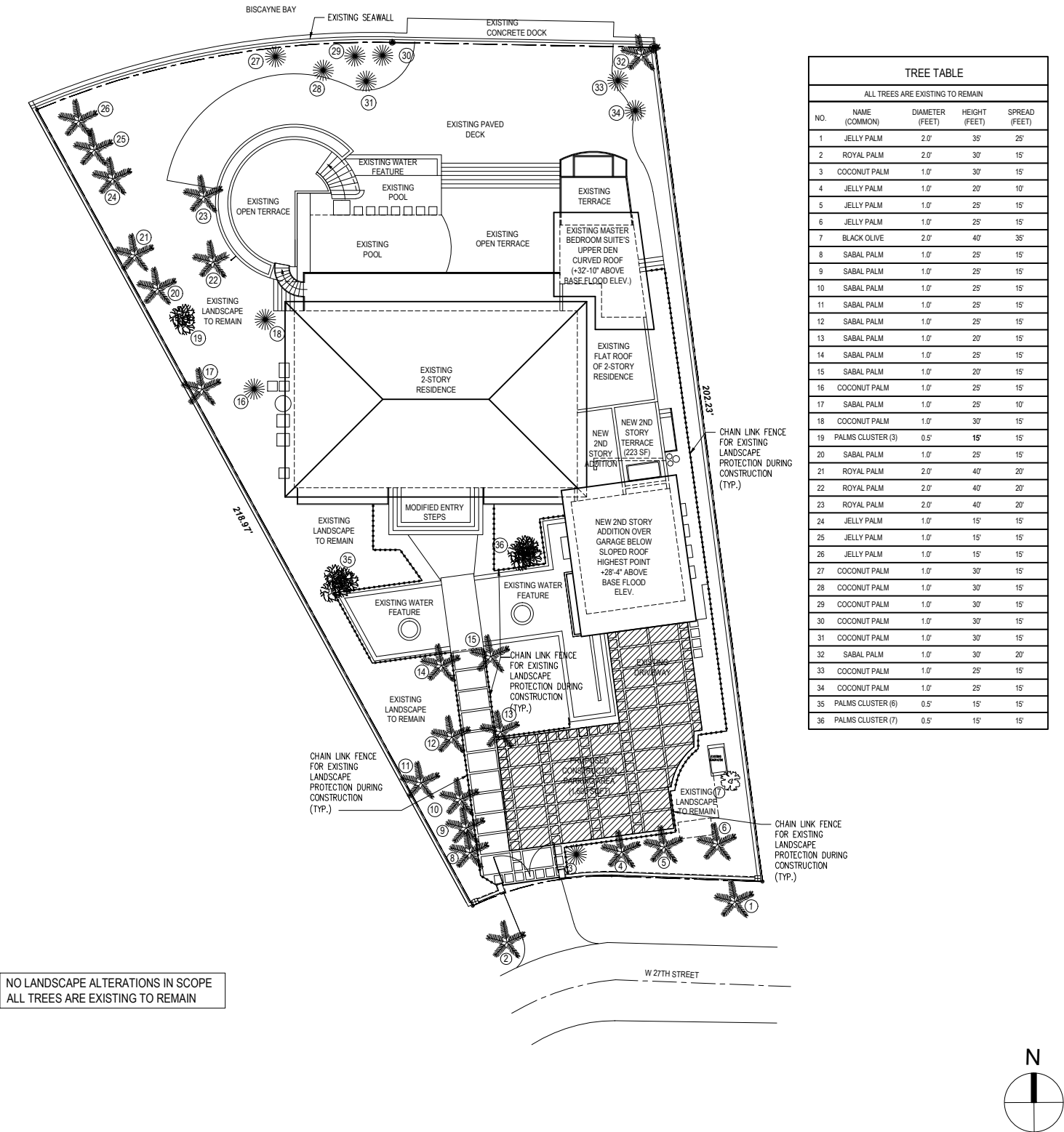
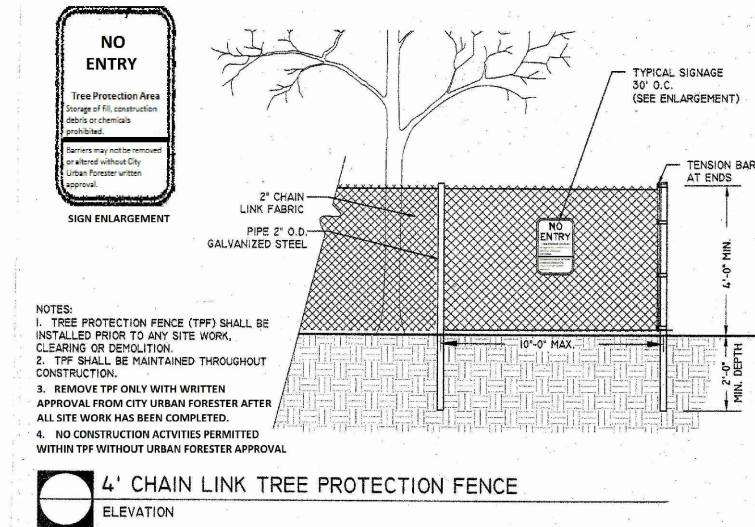
M.P.G. TECHNICAL GROUP, CORP.
908 S.W. 141st AVENUE MIAMI, FLORIDA 33184
Ph: (305) 559-9043 No. LB - 6932

Prepared for:
1835 West 27th Street,
Miami Beach Florida 33140

CHECKED BY: M.C.
DRAWN BY: ELF.
FIELD DATE: 4/28/2016
DATE: 5/05/2016
SCALE: 1" = 20'
JOB No.

SHEET:
1 OF 1

- Before beginning work in the ROW, the General Contractor, Landscape Contractor, City Urban Forester and or Planning Department Staff is required to meet at the site with the Landscape Architect to review all work procedures, access routes, storage areas, and tree and palm protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. The trimming shall be as per the ANSI A-300 Standards. The City Urban Forester shall be consulted.
- The General Contractor shall erect fences to protect trees or palms to be preserved as per Tree Protection Detail and Tree Disposition Plan. Fences define a specific protection zone for each tree or to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect and City Urban Forester.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree or palm protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree or palm protection zone (fenced area).
- Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel. Any corrective pruning required shall be performed by an ISA certified Arborist or ASCA Consulting Arborist and the City Urban Forester shall be consulted.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect as soon as possible for evaluation so that appropriate treatments can be applied. Should any trees or palms be damaged they shall be evaluated by the City Urban Forester to determine corrective actions that may include removal, corrective pruning and or replacement. Any corrective actions required shall be performed in accordance with Miami Dade County Code, ANSI A-300 Pruning Standards and or an Issued ERM Tree or Environmental Permit. Any corrective pruning required shall be performed by an ISA certified Arborist or ASCA Consulting Arborist and the City Urban Forester shall be consulted.
- The General Contractor shall notify the Landscape Architect, and City Urban Forester of any grading, construction, demolition, or other work that is expected to encounter tree or palm roots.
- All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree or palm protection zone 2-3 gallons of water per inch of trunk caliper.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree and palm protection zone.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment. All tree and root pruning activities shall be performed by an ISA Certified Arborist and or an ASCA Consulting Arborist in accordance with ANSI A-300 standards and industry accepted good horticultural practices.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.



These drawings are the property of ATELIER305 and are not to be reproduced, copied, or distributed in any form without the written permission of ATELIER305. The use of these drawings for any purpose other than that for which they were prepared is prohibited. The use of these drawings for any purpose other than that for which they were prepared is prohibited. The use of these drawings for any purpose other than that for which they were prepared is prohibited.

ATELIER305

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2394 SW 6th STREET
MIAMI FLORIDA 33135
LPerez@atelier305.com
WWW.ATELIER305.COM

ISSUE DATE: 07-15-2015

REVISIONS:

SUNSET RESIDENCE ADDITION & REMODELING

1835 W 27TH STREET
MIAMI BEACH, FLORIDA 33140

LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

TREE DISPOSITION PLAN

Scale:

AS SHOWN

Drawing Number

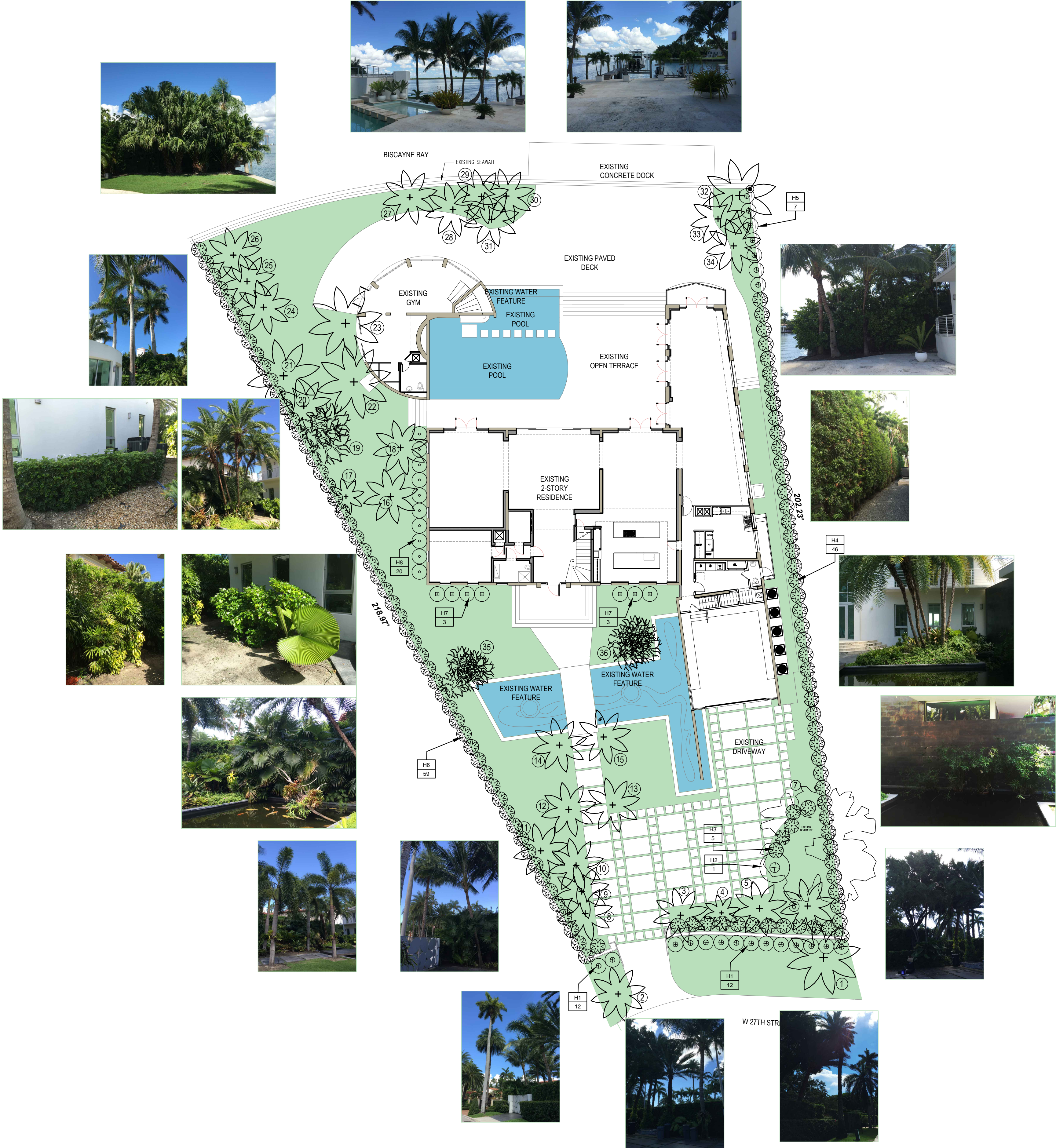
L-100

TREE TABLE				
ALL TREES ARE EXISTING TO REMAIN				
NO.	NAME (COMMON)	DIAMETER (FEET)	HEIGHT (FEET)	SPREAD (FEET)
1	JELLY PALM	2.0'	35'	25'
2	ROYAL PALM	2.0'	30'	15'
3	COCONUT PALM	1.0'	30'	15'
4	JELLY PALM	1.0'	20'	10'
5	JELLY PALM	1.0'	25'	15'
6	JELLY PALM	1.0'	25'	15'
7	BLACK OLIVE	2.0'	40'	35'
8	SABAL PALM	1.0'	25'	15'
9	SABAL PALM	1.0'	25'	15'
10	SABAL PALM	1.0'	25'	15'
11	SABAL PALM	1.0'	25'	15'
12	SABAL PALM	1.0'	25'	15'
13	SABAL PALM	1.0'	20'	15'
14	SABAL PALM	1.0'	25'	15'
15	SABAL PALM	1.0'	20'	15'
16	COCONUT PALM	1.0'	25'	15'
17	SABAL PALM	1.0'	25'	10'
18	COCONUT PALM	1.0'	30'	15'
19	PALMS CLUSTER (3)	0.5'	15'	15'
20	SABAL PALM	1.0'	25'	15'
21	ROYAL PALM	2.0'	40'	20'
22	ROYAL PALM	2.0'	40'	20'
23	ROYAL PALM	2.0'	40'	20'
24	JELLY PALM	1.0'	15'	15'
25	JELLY PALM	1.0'	15'	15'
26	JELLY PALM	1.0'	15'	15'
27	COCONUT PALM	1.0'	30'	15'
28	COCONUT PALM	1.0'	30'	15'
29	COCONUT PALM	1.0'	30'	15'
30	COCONUT PALM	1.0'	30'	15'
31	COCONUT PALM	1.0'	30'	15'
32	SABAL PALM	1.0'	30'	20'
33	COCONUT PALM	1.0'	25'	15'
34	COCONUT PALM	1.0'	25'	15'
35	PALMS CLUSTER (6)	0.5'	15'	15'
36	PALMS CLUSTER (7)	0.5'	15'	15'

UNDERSTORY PLANTING TABLE			
ALL PLANTING IS EXISTING TO REMAIN			
NO.	NAME (COMMON)	HEIGHT (FEET)	SPREAD (FEET)
H1	BUGAMBILIA	3'	3'
H2	ALOCASIA	5'	5'
H3	PODOCARPUS	3'	2'
H4	PODOCARPUS	13'	3'
H5	SEA GRAPE	13'	3'
H6	HIBISCUS	13'	3'
H7	JASMINE	3'	3'
H8	SCHEFFLERA	3'	3'

ALL EXISTING PLANTING IN POTS SHALL BE RELOCATED DURING CONSTRUCTION

ALL EXISTING FISHES FROM WATER FEATURE SHALL BE RELOCATED TO A SAFE LOCATION DURING CONSTRUCTION



Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect. The architectural design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.

ATELIER305

ARCHITECTURE
INTERIOR DESIGN
PLANNING

2394 SW 6th STREET
MIAMI FLORIDA 33135

LPEREZ@ATELIER305.COM
WWW.ATELIER305.COM

ISSUE DATE: 07-15-2015

REVISIONS:

SUNSET RESIDENCE
ADDITION & REMODELING

1835 W 27TH STREET
MIAMI BEACH, FLORIDA 33140

LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

EXISTING LANDSCAPE PLAN

Scale: AS SHOWN

Drawing Number L-101