

ATELIER305
ARCHITECTURE + DESIGN
2394 SW 6th STREET M 305 951 2894
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INDEX OF DRAWINGS:

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SUNSET RESIDENCE ADDITION & REMODELING
1835 W 27TH STREET
MIAMI BEACH, FLORIDA 33140

DESIGN REVIEW BOARD SUBMITTAL

SCOPE OF WORKS:

SECOND LEVEL ADDITION CONSISTING OF:

- 1) 2 STAFF BEDROOMS W/ BATH ADDITION AT SECOND LEVEL ABOVE GARAGE
- 2) WALK-IN-CLOSET EXTENSION AT SECOND, 8' RECESSED FROM SIDE BUILDING LINE

OCCUPANCY TYPE R3

CONSTRUCTION TYPE V UNPR.

FLORIDA BUILDING CODE (EXISTING) 2014

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ISSUE DATE: 07-15-2015

REVISIONS:

SUNSET RESIDENCE
ADDITION & REMODELING
1835 W 27TH STREET
MIAMI BEACH, FLORIDA 33140

LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

COVER SHEET

Scale:

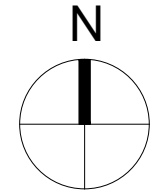
AS SHOWN

Drawing Number

A-000



PROPERTY ADDRESS: 1835 W. 27TH STREET
MIAMI BEACH, FL 33140



ZONING TABULATION: EXISTING AND ADDED AREAS	
ZONING DISTRICT: RS-2	
LOT SIZE: 22,192 SQFT	
EXISTING GROUND FLOOR (A/C AREA)	4,365 SF
EXISTING SECOND FLOOR (A/C AREA)	3,982 SF
ADDITIONAL GROUND FLOOR (A/C AREA)	91 SF
ADDITIONAL SECOND FLOOR (A/C AREA)	879 SF
MODIFIED GARAGE: (636 SF+82 SF) - 91 SF (A/C)	627 SF
EXISTING CABANA	796 SF
EXISTING UPPER DEN	291 SF
TOTAL AREA	11,031 SF

EXISTING LOT COVERAGE	8,732 SF (39.3%) - VARIANCE
PROPOSED LOT COVERAGE (77 SF OF ROOF OVERHANG ONLY)	8,809 SF (39.7%) - VARIANCE

ZONING: ALLOWED VS. PROPOSED	ALLOWED	PROPOSED
MAXIMUM LOT COVERAGE	6,657.6 SF (30%)	8,809 SF (39.7%) - VARIANCE
MAXIMUM UNIT SIZE	11,096 SF (50%)	11,031 SF (49.7%)
MAXIMUM HEIGHT	28' FLAT ROOF 31' SLOPED ROOF	22'-8" EXISTING / 22'-8" PROPOSED 32'-10" EXISTING / 28'-4" PROPOSED
FRONT SETBACK	20'	43'-6" (EXISTING)
SIDE SETBACK	NOT LESS THAN 7.5'	EAST: 10'-2", WEST: 11'-8" (EXISTING)
REAR SETBACK	30'-4"	31'-4"
LANDSCAPE: EXISTING TO REMAIN. NO ALTERATION TO EXISTING LANDSCAPE AREA IN FRONT AND REAR YARDS FRONT YARD		

SITE NOTES

1. RECONSTRUCT THE SWALE ALONG THE ENTIRE PROPERTY.
2. MILL AND RESURFACE 2" AVERAGE (USE TYPE S-III ASPHALT MIX DESIGN) AT THE DRIVING LANE (10' WIDE) ALONG THE ENTIRE PROPERTY.
3. IMPROVEMENTS TO THE RIGHT-OF-WAY REQUIRES A SEPARATE CMB PUBLIC WORK DEPARTMENT PERMIT WITH CITY OF MIAMI BEACH CAPITAL IMPROVEMENT PROJECTS OFFICE APPROVAL IN REGARDS TO PALM-HIBISCUS NEIGHBORHOOD IMPROVEMENTS PROJECT.
4. USE THE CMB PUBLIC WORKS DEPARTMENT MANUAL FOR CMB UTILITIES AND/OR ANY IMPROVEMENT WITHIN THE RIGHT-OF-WAY.

VAPOR BARRIER 6 mil POLYETHYLENE VAPOR RETARDER W/JOINTS LAPPED NOT LESS THAN 6 INCHES, OR OTHER APPROVED EQUIVALENT METHODS OR MATERIALS.

SECTION R320 PROTECTION AGAINST TERMITES

R320.1 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".

SCOPE OF WORK: ALTERATION LEVEL 2

- 1) NEW SECOND LEVEL ADDITION ABOVE EXISTING GARAGE OF TWO BEDROOMS AND TWO BATH
- 2) NEW SECOND LEVEL WIC ADDITION OVER EXISTING GROUND LEVEL
- 3) SERVICE KITCHEN AND LAUNDRY INTERIOR REMODELING AT GROUND LEVEL
- 4) GARAGE ENCLOSURE EXTENSION AT GROUND LEVEL

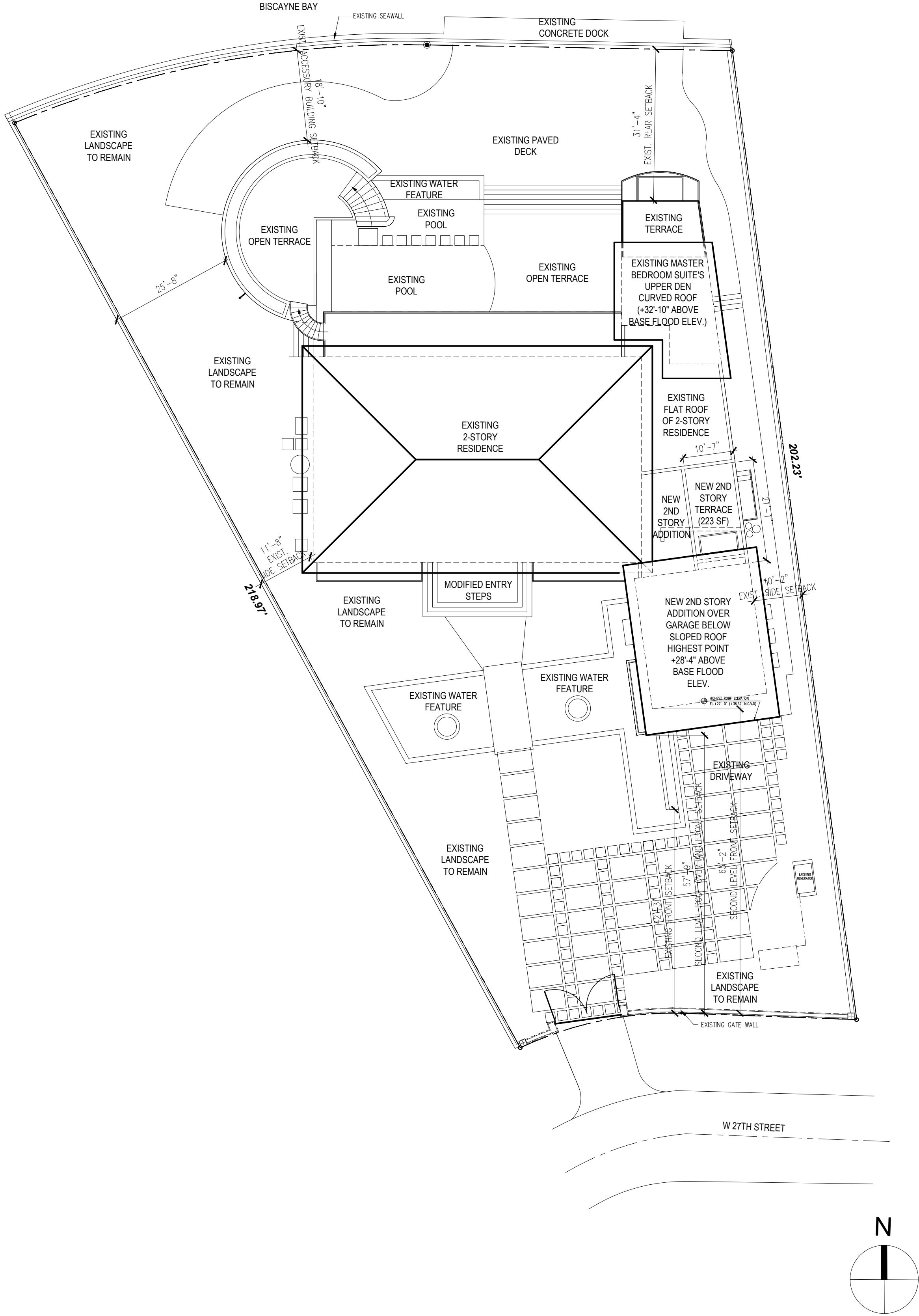
THE MAXIMUM WALKWAY WIDTH IN A REQUIRED SIDE OR REAR SETBACK IS 3.5'. CMB CODE SECTION 142-1132(O)(11).

ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (GARAGE) SHALL BE FLOOD RESISTANT MATERIAL INCLUDING DOORS AS PER F.E.M.A. TECHNICAL BULLETIN 2-93.

ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT SHALL BE AT OR ABOVE BASED FLOOD ELEVATION (8.0' N.G.V.D.)

CONTRACTOR SHALL SUBMIT AN UNDER CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR OF THE ADDITIONAND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2010, BUILDING SECTION 110.3).

CONTRACTOR OR OWNER SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO



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1835 W 27TH STREET
MIAMI BEACH, FLORIDA 33140

LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

SITE PLAN & ZONING INFO.

Scale:

AS SHOWN

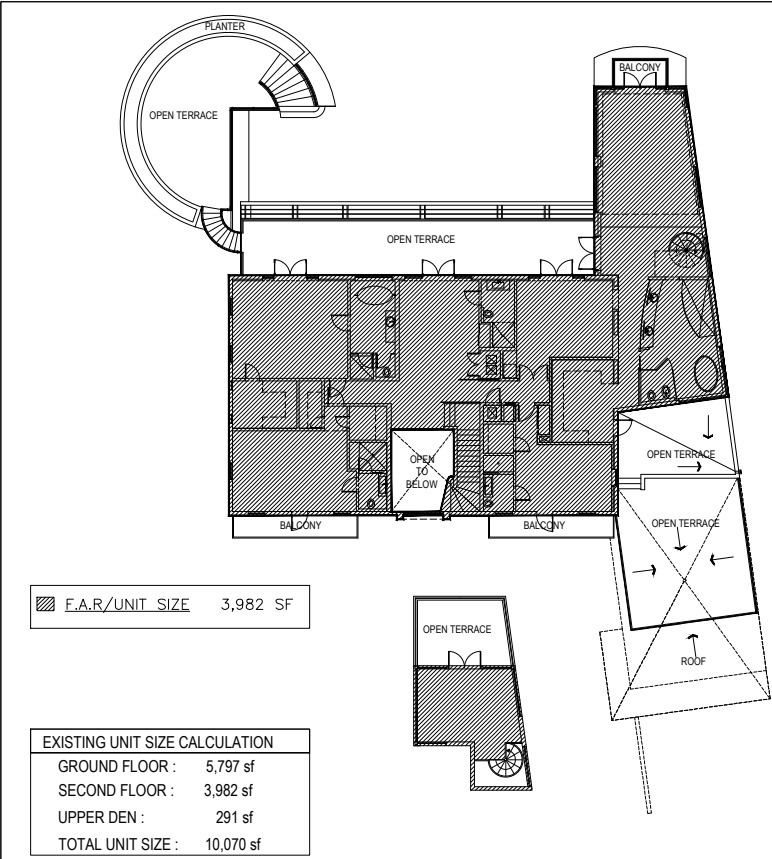
Drawing Number

A-100

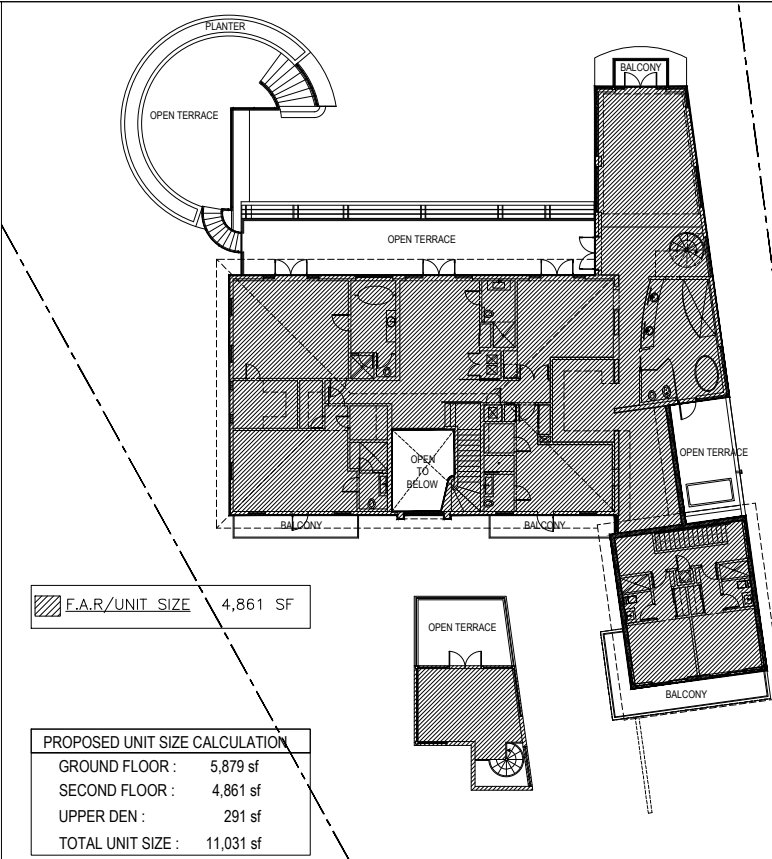
04 SITE NOTES

01 SITE PLAN

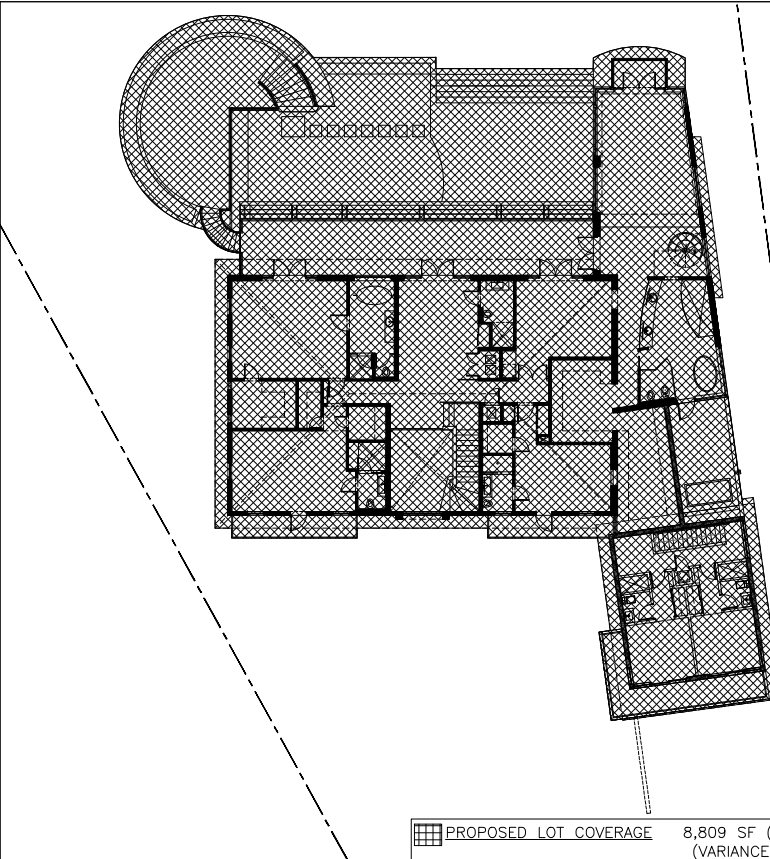
1/16" = 1'-0"



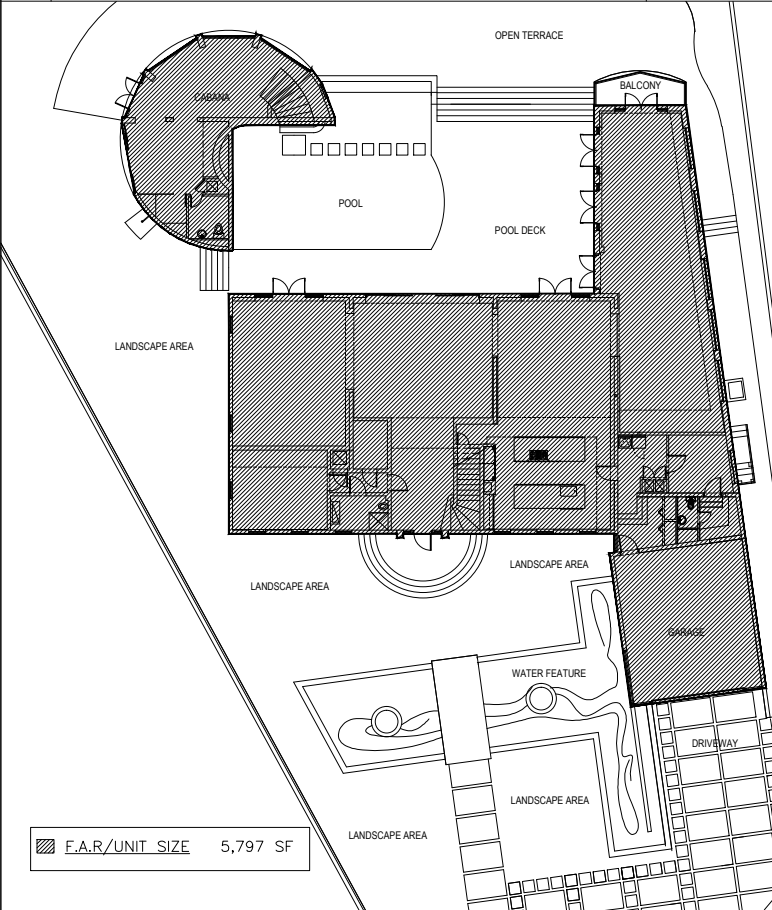
02 SECOND LEVEL – EXISTING UNIT SIZE 1/16" = 1'-0"



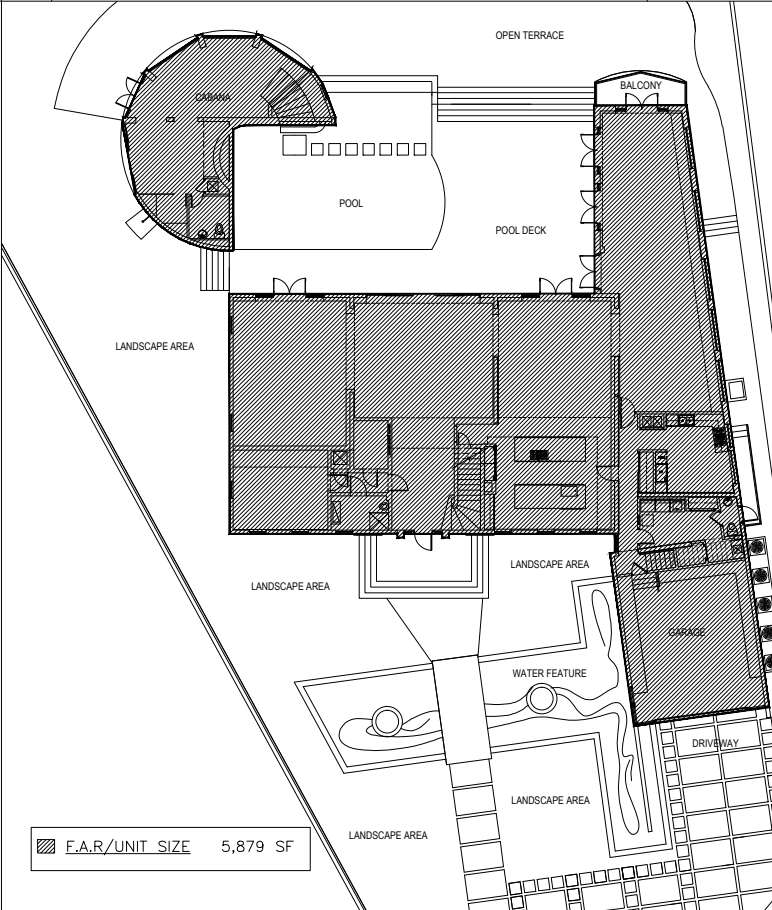
04 SECOND LEVEL – PROPOSED UNIT SIZE 1/16" = 1'-0"



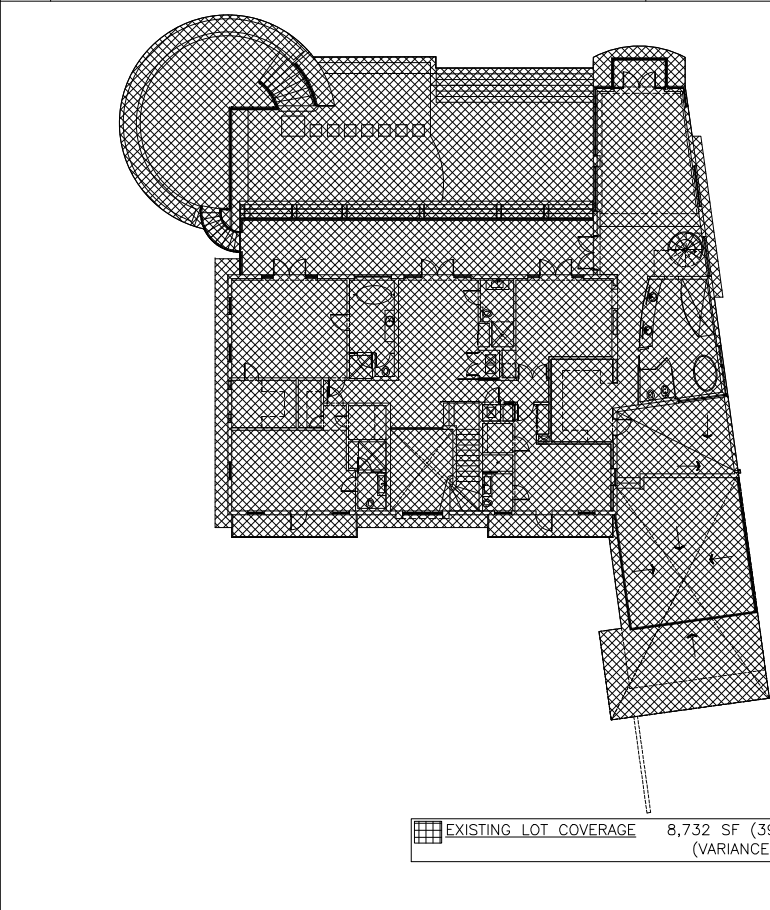
06 PROPOSED LOT COVERAGE 1/16" = 1'-0"



01 GROUND LEVEL – EXISTING UNIT SIZE 1/16" = 1'-0"



03 GROUND LEVEL – PROPOSED UNIT SIZE 1/16" = 1'-0"



05 PROPOSED LOT COVERAGE 1/16" = 1'-0"

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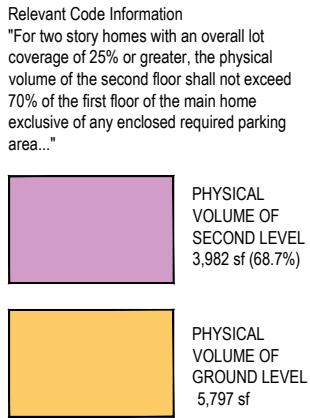
Project Number 1030

Drawing Name

UNIT SIZE / LOT COVERAGE DIAGRAMS

Scale: AS SHOWN

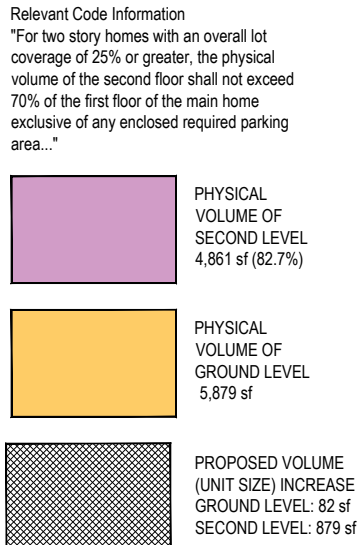
Drawing Number A-101



"For two story homes with an overall lot coverage of 25% or greater, the physical volume of the second floor shall not exceed 70% of the first floor of the main home exclusive of any enclosed required parking area..."

PHYSICAL
VOLUME OF
SECOND LEVEL
3,982 sf (68.7%)

PHYSICAL
VOLUME OF
GROUND LEVEL
5,797 sf



"For two story homes with an overall lot coverage of 25% or greater, the physical volume of the second floor shall not exceed 70% of the first floor of the main home exclusive of any enclosed required parking area...."

PHYSICAL
VOLUME OF
SECOND LEVEL
4,861 sf (82.7%)

PHYSICAL
VOLUME OF
GROUND LEVEL
5,879 sf

PROPOSED VOLUME
(UNIT SIZE) INCREASE
GROUND LEVEL: 82 sf
SECOND LEVEL: 879 sf

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Project Number	1030
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Drawing Name

EXPLODED AXONOMETRIC DIAGRAM

Scale:

AS SHOWN

Drawing Number

A-102

01

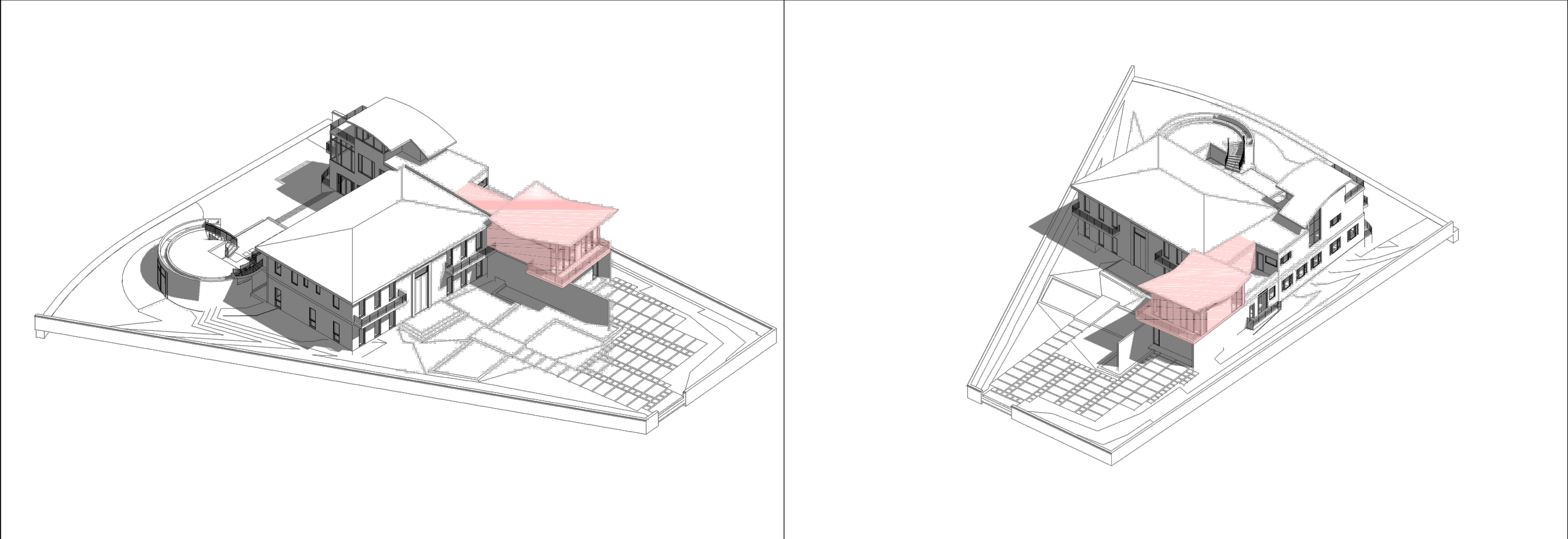
EXPLODED AXONOMETRIC DIAGRAM – EXISTING RESIDENCE

N.T.S.

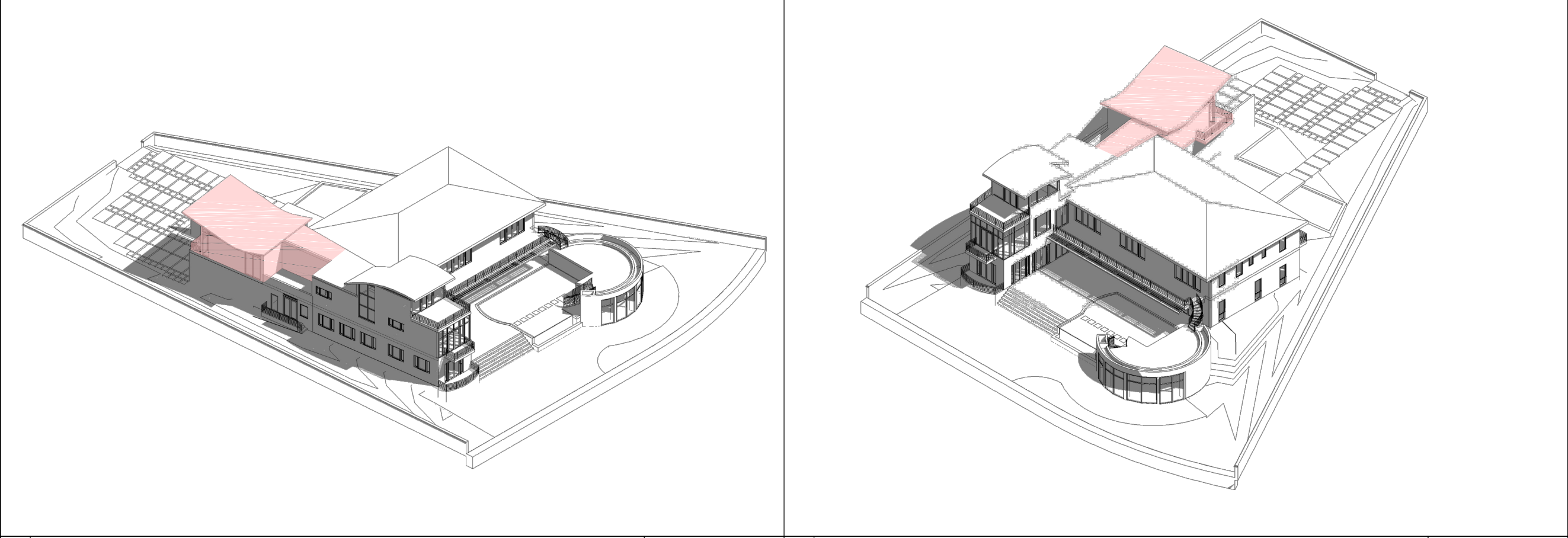
02

EXPLODED AXONOMETRIC DIAGRAM

N.T.S.



01	AXONOMETRIC VIEW W/ PROPOSED ADDITION FROM SOUTH-WEST	N.T.S.	02	AXONOMETRIC VIEW W/ PROPOSED ADDITION FROM SOUTH-EAST	N.T.S.
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01	AXONOMETRIC VIEW W/ PROPOSED ADDITION FROM NORTH-EAST	N.T.S.	02	AXONOMETRIC VIEW W/ PROPOSED ADDITION FROM NORTH-WEST	N.T.S.
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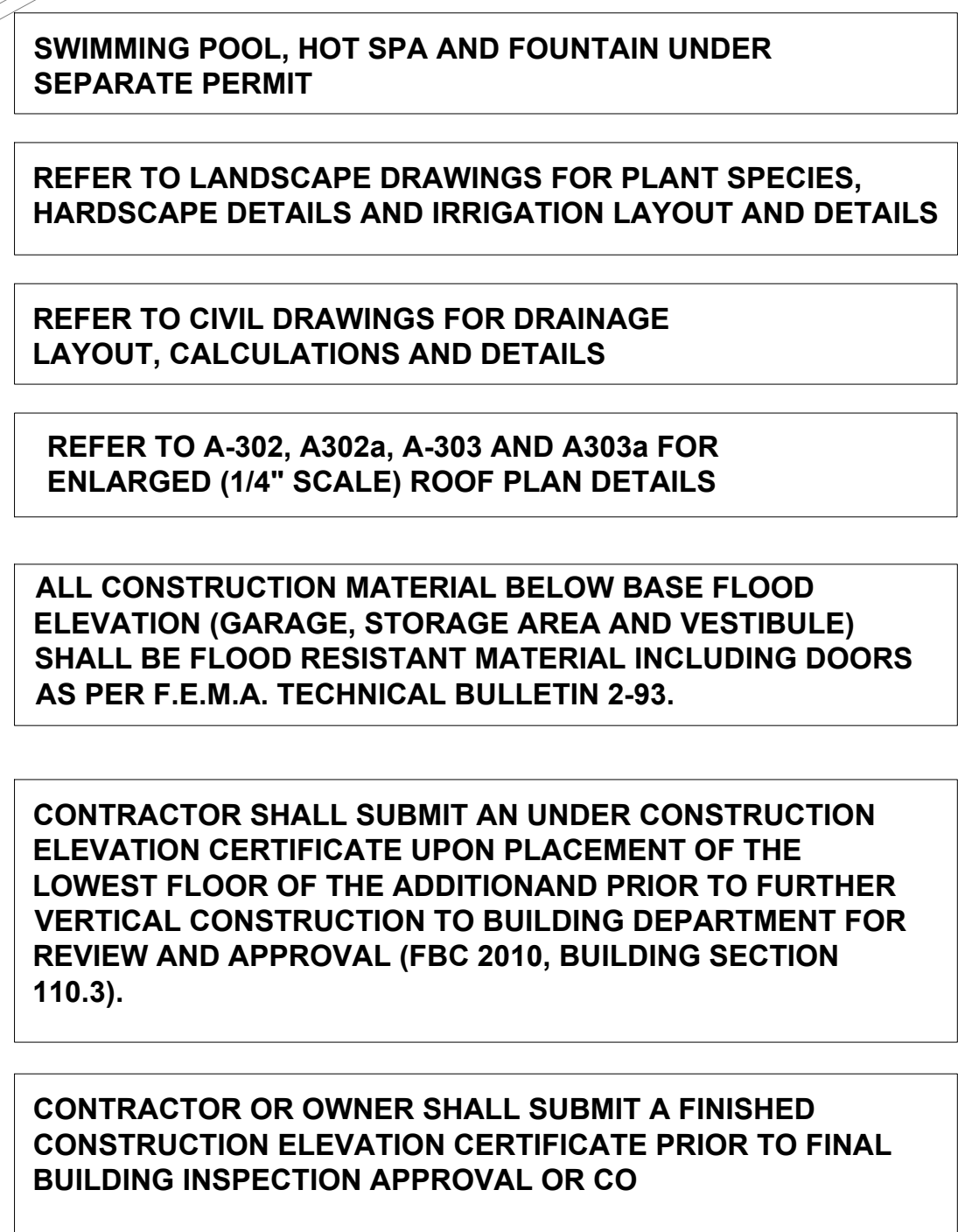
Drawing Name

AXONOMETRIC VIEWS

Scale: AS SHOWN

Drawing Number A-103

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**ALL MECHANICAL, ELECTRICAL AND PLUMBING
EQUIPMENT SHALL BE AT OR ABOVE BASED FLOOD
ELEVATION (8.0' N.G.V.D.)**

CONTRACTOR OR OWNER SHALL SUBMIT A FINISHED
CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL
BUILDING INSPECTION APPROVAL OR CO

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Project Number	1030
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Drawing Name

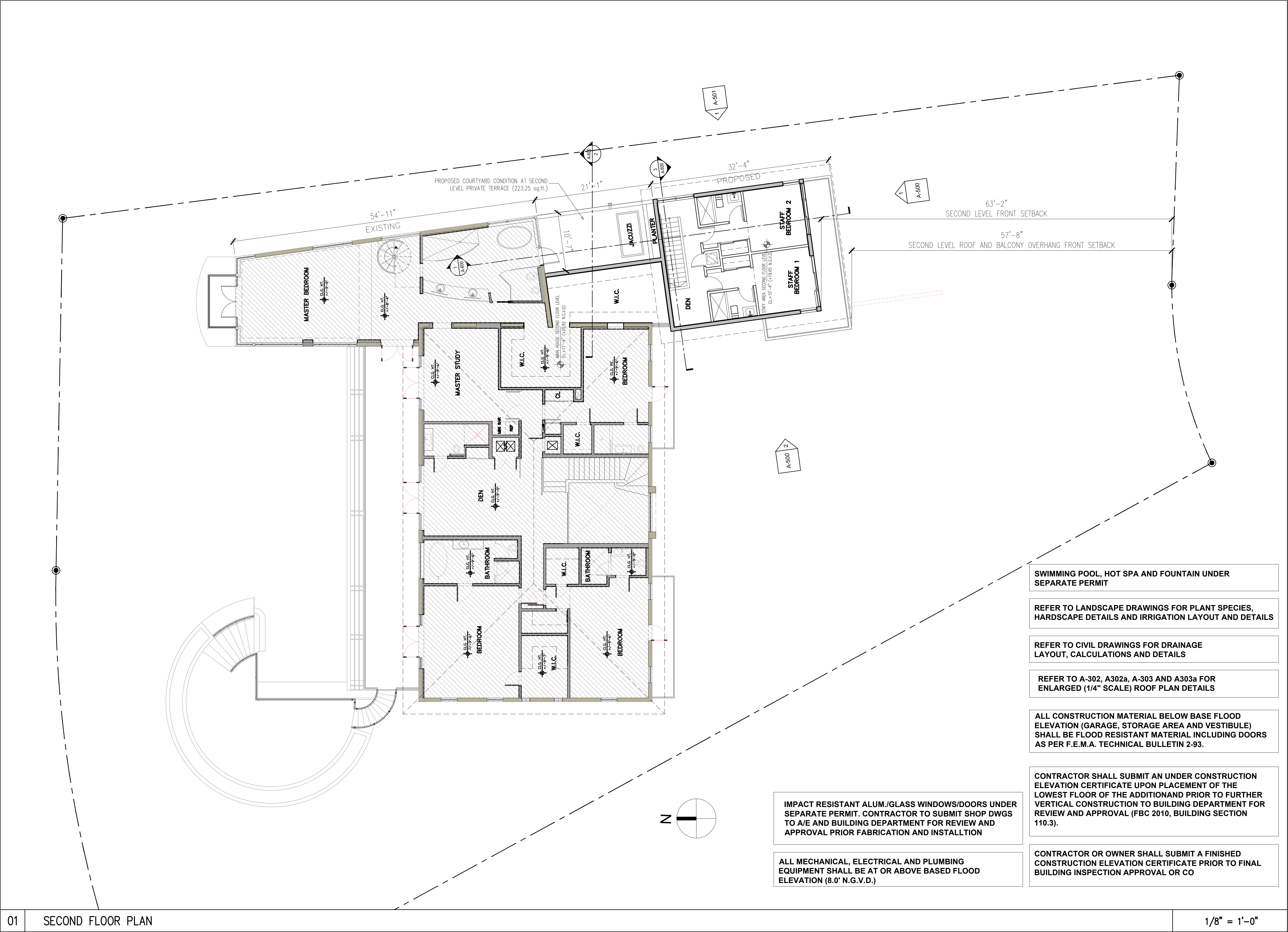
GROUND FLOOR PLAN

Scale:

Drawing Number

AS SHOWN

A-200



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Drawing Name

SECOND FLOOR PLAN

Scale: AS SHOWN

Drawing Number A-201

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SWIMMING POOL, HOT SPA AND FOUNTAIN UNDER SEPARATE PERMIT

REFER TO LANDSCAPE DRAWINGS FOR PLANT SPECIES, HARDSCAPE DETAILS AND IRRIGATION LAYOUT AND DETAILS

REFER TO CIVIL DRAWINGS FOR DRAINAGE LAYOUT, CALCULATIONS AND DETAILS

REFER TO A-302, A302a, A-303 AND A303a FOR ENLARGED (1/4" SCALE) ROOF PLAN DETAILS

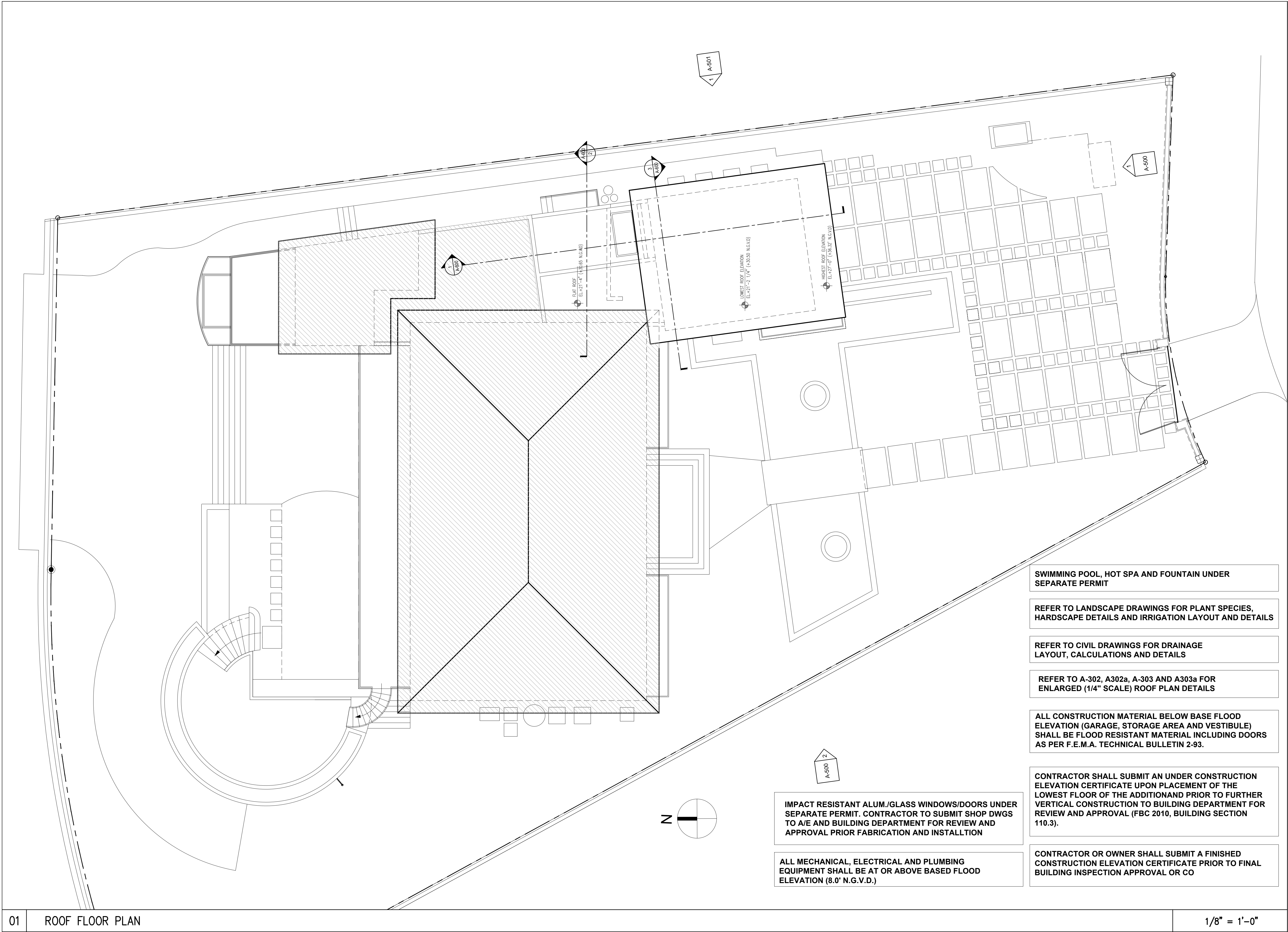
ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (GARAGE, STORAGE AREA AND VESTIBULE) SHALL BE FLOOD RESISTANT MATERIAL INCLUDING DOORS AS PER F.E.M.A. TECHNICAL BULLETIN 2-93.

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CONTRACTOR OR OWNER SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO

IMPACT RESISTANT ALUM./GLASS WINDOWS/DOORS UNDER SEPARATE PERMIT. CONTRACTOR TO SUBMIT SHOP DWGS TO A/E AND BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR FABRICATION AND INSTALLTION

ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT SHALL BE AT OR ABOVE BASED FLOOD ELEVATION (8.0' N.G.V.D.)



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AR95944

Project Number 1030

Drawing Name

ROOF FLOOR PLAN

Scale: AS SHOWN

Drawing Number A-202

WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER F.B.C.R. 302.9

ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (GARAGE, STORAGE AREA AND VESTIBULE) SHALL BE FLOOD RESISTANT MATERIAL INCLUDING DOORS AS PER F.E.M.A. TECHNICAL BULLETIN 2-93.

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ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE BASED FLOOD ELEVATION (8.0' NGVD)

IMPACT RESISTANT ALUM./GLASS WINDOWS/DOORS UNDER SEPARATE PERMIT. CONTRACTOR TO SUBMIT SHOP DWGS TO A/E AND BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR FABRICATION AND INSTALLTION

INSULATION NOTE:

R-9.6 RIGID INSULATION TO BE APPLIED TO ALL NEW EXTERIOR CON. BLOCK WALLS.
R-30 BATT FOR ALL NEW CEILINGS.

FBCR 302.10- INSULATION MATERIALS FACINGS VAPOR RETARDERS SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND SMOKE- DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273

FLOOR PLAN LEGEND:

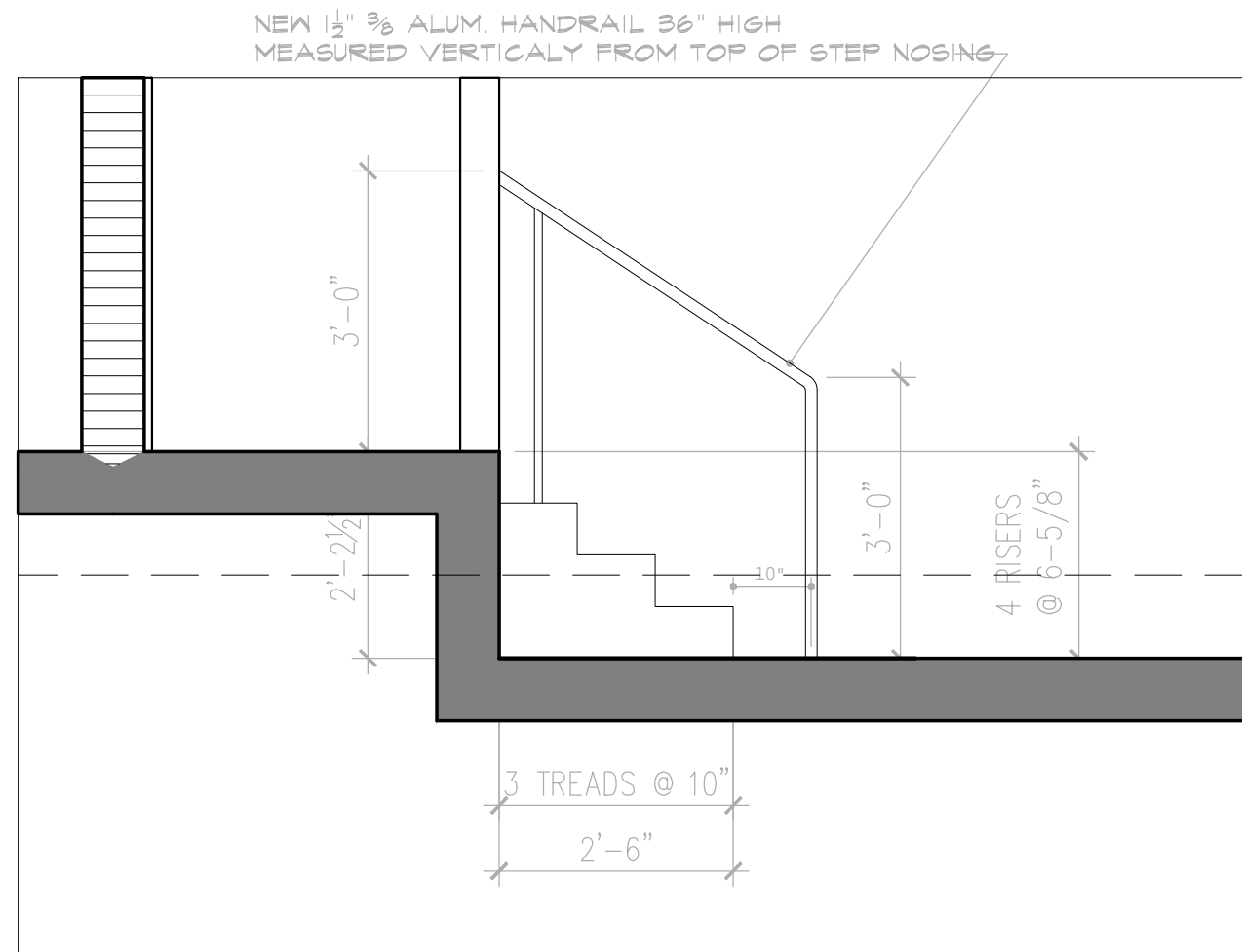
- (A) NEW REFRIGERATOR
- (B) NEW COOKTOP
- (C) NEW OVEN
- (D) NEW DISHWASHER
- (E) NEW KITCHEN SINK
- (F) NEW CABINETS / COUNTERTOP
- (G) EXISTING /RELOCATED AIR HANDLER
- (H) EXISTING ELECTRICAL PANEL TO REMAIN
- (I) EXISTING WATER HEATER TO REMAIN
- (J) NEW WASHING MACHINE
- (K) NEW DRYER
- (L) NEW WATER HEATER. SEE PLUMBING SHEETS FOR SPECIFICATIONS
- (M) NEW AHU. SEE MECHANICAL SHEET FOR SPECIFICATIONS

GENERAL NOTES:

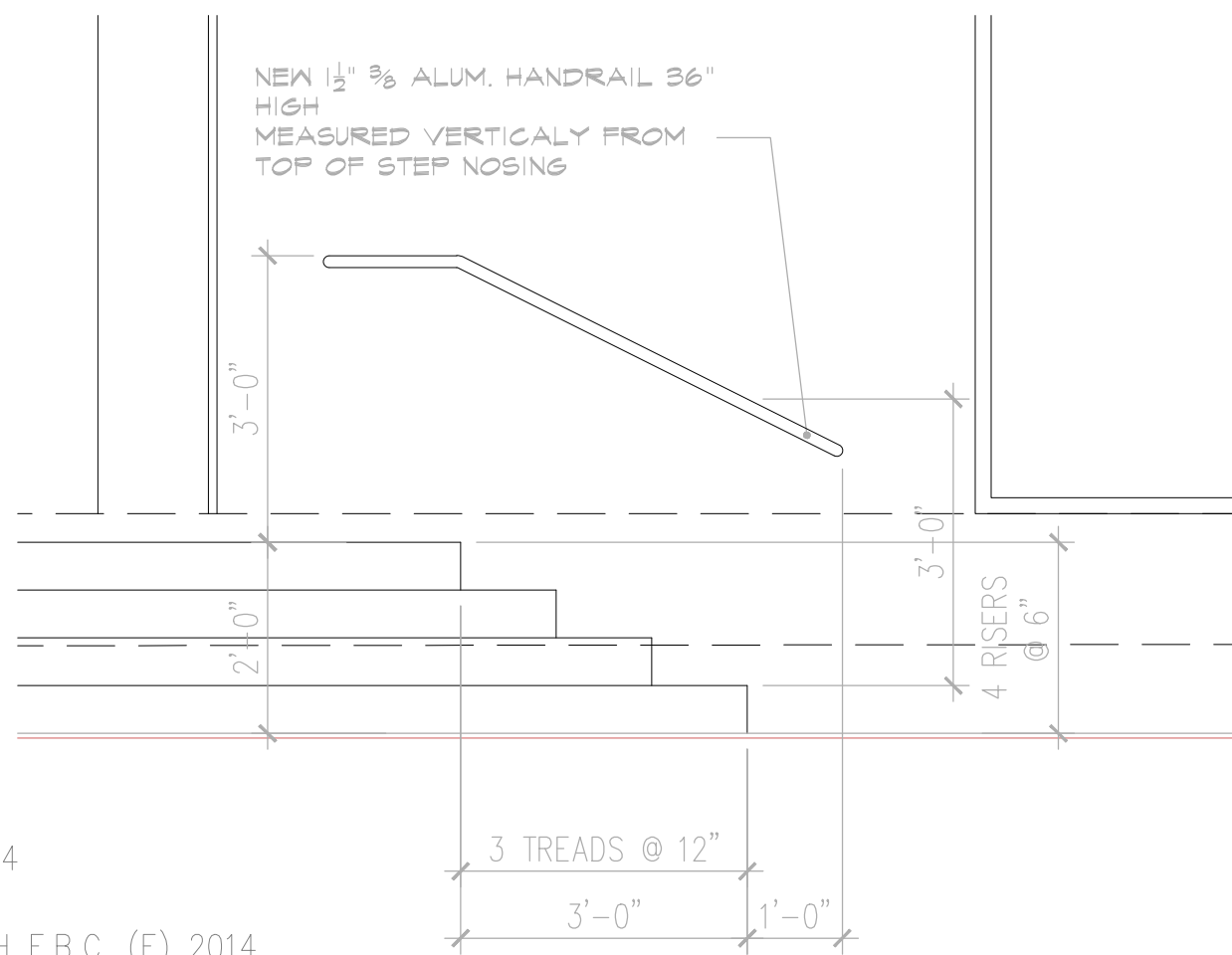
- BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS F.B.C. (E) 2014
- TOILET ROOMS SHALL COMPLY WITH F.B.C. (E) 2014
- ALL WATER CLOSETS, LAVATORIES, SHOWERHEADS, AND SINKS SHALL COMPLY WITH F.B.C. (E) 2014
- ALL GLASS USED INSIDE OF DWELLING SHALL BE CAT II SAFETY GLASS
- CAT II SAFETY GLASS SHALL BE USED AT ALL SHOWER/TUB ENCLOSURES INCLUDING WINDOWS WITH SILLS LOWER THAN 60" AND MIRRORS IN THE TUB
- DISPOSAL OF STORMWATER WILL COMPLY W/ F.B.C. (E) 2014
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSET. F.B.C. (E) 2014
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. F.B.C. (E) 2014
- ALL OUTSIDE FIXED GLASS IS TO COMPLY WITH F.B.C. (E) 2014
- NEW CONSTRUCTION TO MATCH EXISTING AND MEASUREMENTS TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR.
- PROVIDE CEMENT BOARD IN WET AREAS
- PROVIDE TUB/SHOWER VALVE COMPLIANCE WITH PRESSURE BALANCE/TEMPERATURE CONTROL REQUIREMENTS AS PER FBC PLB 424.3.
- PROVIDE FIXTURE COMPLIANCE WITH REFERENCED STANDARDS AS PER FBC PLB 406 THROUGH 421.
- MINIMUM SHOWER ACCESS SHALL BE 22" AS PER FBCP 2014

WALL LEGEND:

- INDICATES 3-5/8" METAL STUDS PARTITION (FULL HGT.WALL) WITH 5/8" DRYWALL FINISH EACH SIDE. W/ MTL. STUDS @ 24" O.C.
- INDICATES NEW C.M.U. WALL
- INDICATES EXISTING C.M.U. WALL
- EXISTING, NOT IN SCOPE

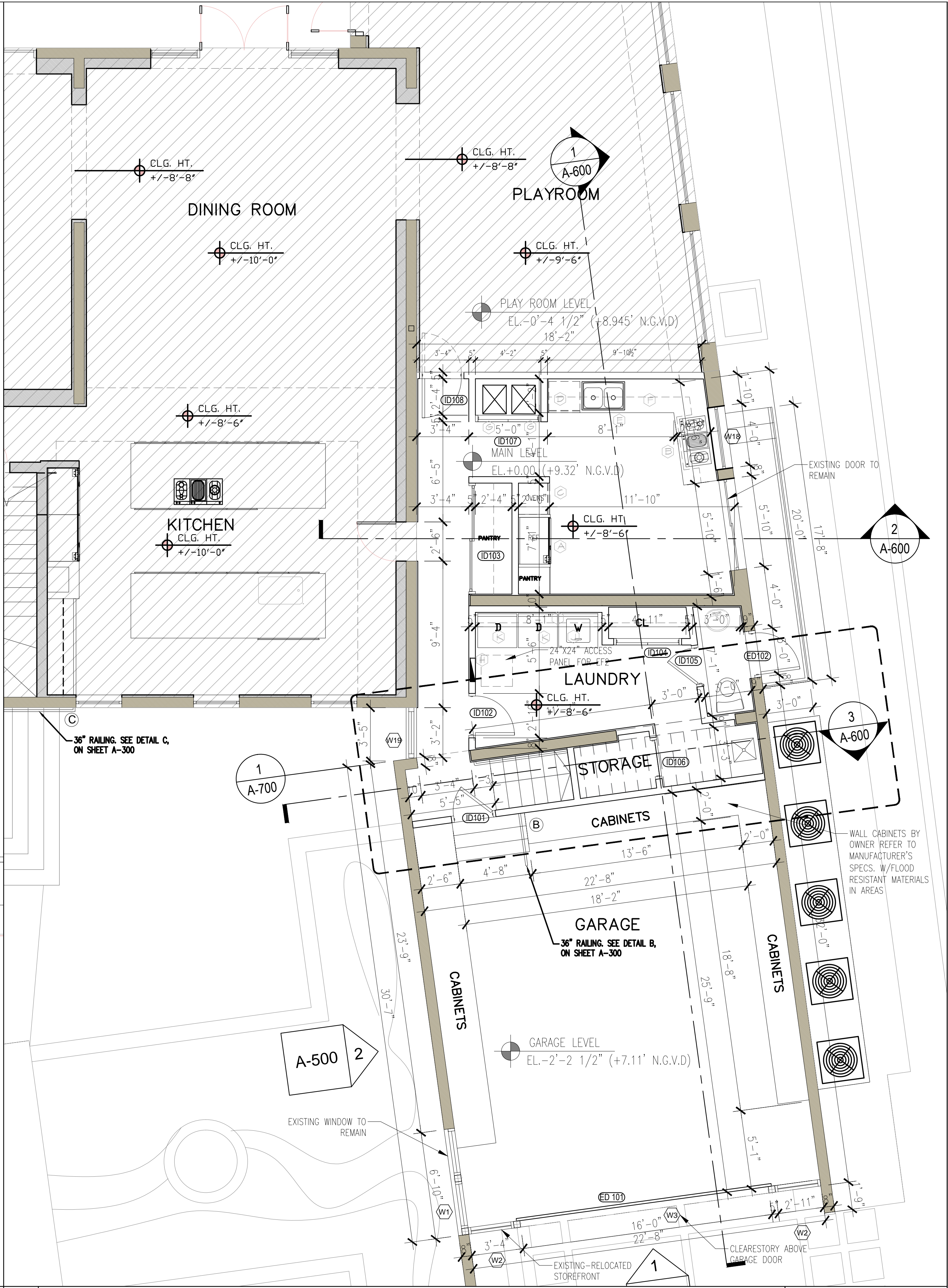


B HANDRAIL DTL.
SCALE: 1/2"=1'-0"



C HANDRAIL DTL.
SCALE: 1/2"=1'-0"

RAILING SHOP DRAWINGS SIGNED AND SEALED BY DELEGATED ENGINEER SHALL BE PROVIDED BY G.C. UNDER SEPARATE PERMIT



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LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

GROUND FLOOR PLAN

Scale:

AS SHOWN

Drawing Number

A-300

WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER F.B.C.R. 302.9

ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (GARAGE, STORAGE AREA AND VESTIBULE) SHALL BE FLOOD RESISTANT MATERIAL INCLUDING DOORS AS PER F.E.M.A. TECHNICAL BULLETIN 2-93.

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R-30 BATT FOR ALL NEW CEILINGS.

FBCR 302.10- INSULATION MATERIALS FACINGS VAPOR RETARDERS SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND SMOKE- DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273

CONTRACTOR SHALL SUBMIT AN UNDER CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR OF THE ADDITIONAND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2010, BUILDING SECTION 110.3).

CONTRACTOR OR OWNER SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO

FLOOR PLAN LEGEND:

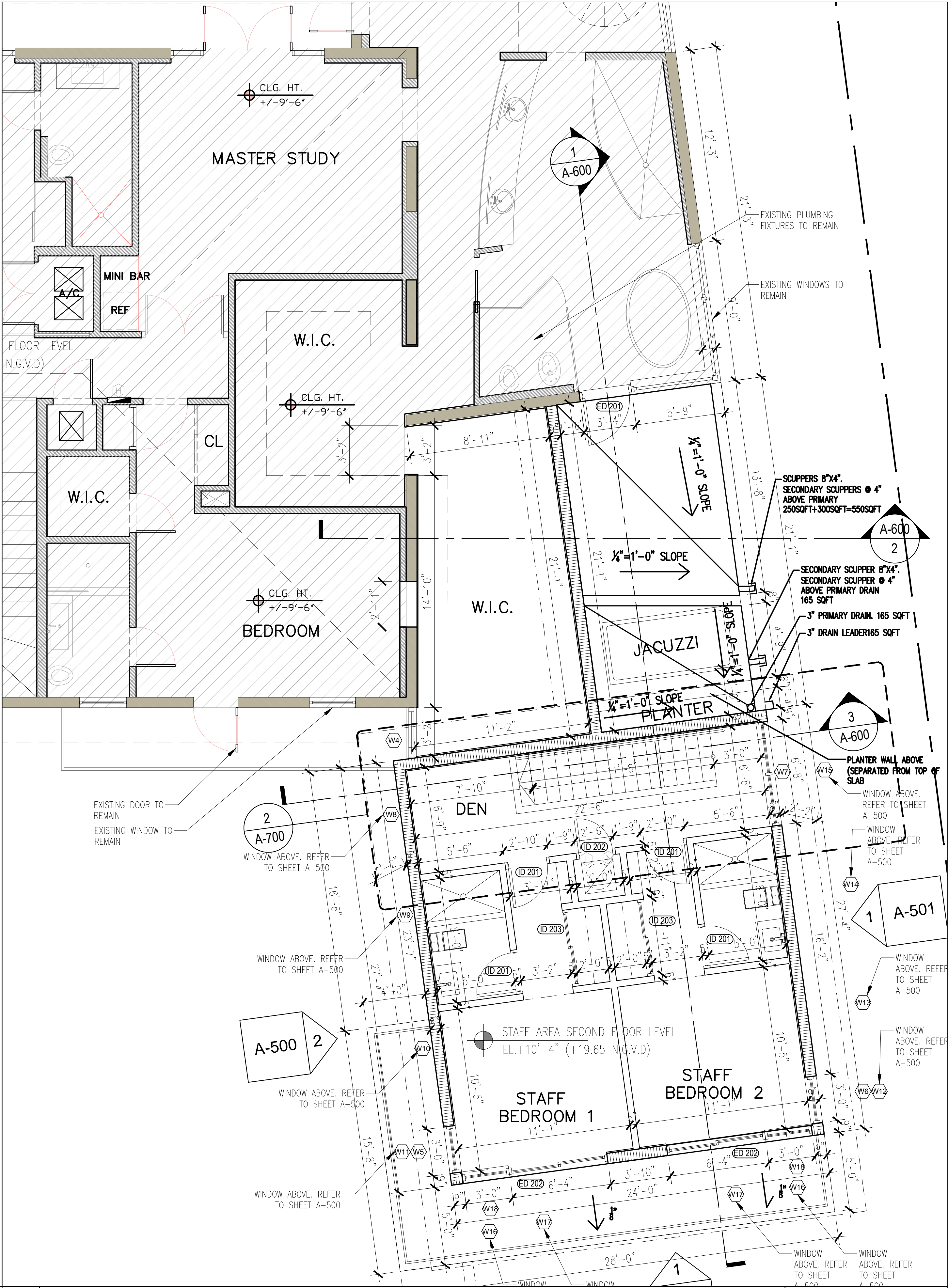
- (A) NEW REFRIGERATOR
- (B) NEW COOKTOP
- (C) NEW OVEN
- (D) NEW DISHWASHER
- (E) NEW KITCHEN SINK
- (F) NEW CABINETS / COUNTERTOP
- (G) EXISTING /RELOCATED AIR HANDLER
- (H) EXISTING ELECTRICAL PANEL TO REMAIN
- (I) EXISTING WATER HEATER TO REMAIN
- (J) NEW WASHING MACHINE
- (K) NEW DRYER
- (L) NEW WATER HEATER. SEE PLUMBING SHEETS FOR SPECIFICATIONS
- (M) NEW AHU. SEE MECHANICAL SHEET FOR SPECIFICATIONS

GENERAL NOTES:

- BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS F.B.C. (E) 2014
- TOILET ROOMS SHALL COMPLY WITH F.B.C. (E) 2014
- ALL WATER CLOSETS, LAVATORIES, SHOWERHEADS, AND SINKS SHALL COMPLY WITH F.B.C. (E) 2014
- ALL GLASS USED INSIDE OF DWELLING SHALL BE CAT II SAFETY GLASS
- CAT II SAFETY GLASS SHALL BE USED AT ALL SHOWER/TUB ENCLOSURES INCLUDING WINDOWS WITH SILLS LOWER THAN 60" AND MIRRORS IN THE TUB
- DISPOSAL OF STORMWATER WILL COMPLY W/ F.B.C. (E) 2014
- EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSET. F.B.C. (E) 2014
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. F.B.C. (E) 2014
- ALL OUTSIDE FIXED GLASS IS TO COMPLY WITH F.B.C. (E) 2014
- NEW CONSTRUCTION TO MATCH EXISTING AND MEASUREMENTS TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR.
- PROVIDE CEMENT BOARD IN WET AREAS
- PROVIDE TUB/SHOWER VALVE COMPLIANCE WITH PRESSURE BALANCE/TEMPERATURE CONTROL REQUIREMENTS AS PER FBC PLB 424.3.
- PROVIDE FIXTURE COMPLIANCE WITH REFERENCED STANDARDS AS PER FBC PLB 406 THROUGH 421.
- MINIMUM SHOWER ACCESS SHALL BE 22" AS PER FBCP 2014

WALL LEGEND:

- INDICATES 3-5/8" METAL STUDS PARTITION (FULL HGT.WALL) WITH 5/8" DRYWALL FINISH EACH SIDE. W/ MTL. STUDS @ 24" O.C.
- INDICATES NEW C.M.U. WALL
- INDICATES EXISTING C.M.U. WALL
- EXISTING, NOT IN SCOPE



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LESTER PEREZ PIZARRO
AR95944

Project Number 1030

Drawing Name

SECOND FLOOR PLAN

Scale:

AS SHOWN

Drawing Number

A-301

01 SECOND FLOOR PLAN

1/4" = 1'-0"

WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER F.B.C.R. 302.9

ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (GARAGE, STORAGE AREA AND VESTIBULE) SHALL BE FLOOD RESISTANT MATERIAL INCLUDING DOORS AS PER F.E.M.A. TECHNICAL BULLETIN 2-93.

ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE BASED FLOOD ELEVATION (8.0' NGVD)

IMPACT RESISTANT ALUM./GLASS WINDOWS/DOORS UNDER SEPARATE PERMIT. CONTRACTOR TO SUBMIT SHOP DWGS TO A/E AND BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR FABRICATION AND INSTALLTION

INSULATION NOTE:

R-9.6 RIGID INSULATION TO BE APPLIED TO ALL NEW EXTERIOR CON. BLOCK WALLS.
R-30 BATT FOR ALL NEW CEILINGS.

FBCR 302.10- INSULATION MATERIALS FACINGS VAPOR RETARDERS SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND SMOKE- DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273

CONTRACTOR SHALL SUBMIT AN UNDER CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR OF THE ADDITIONAND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2010, BUILDING SECTION 110.3).

CONTRACTOR OR OWNER SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR CO

ROOFING AND WATERPROOFING UNDER SEPARATE PERMIT BY G.C.

GENERAL NOTES:

- BATHROOM FLOORS AND BASE TO BE OF IMPERVIOUS MATERIAL AS F.B.C. (E) 2014
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- MINIMUM SHOWER ACCESS SHALL BE 22" AS PER FBCP 2014

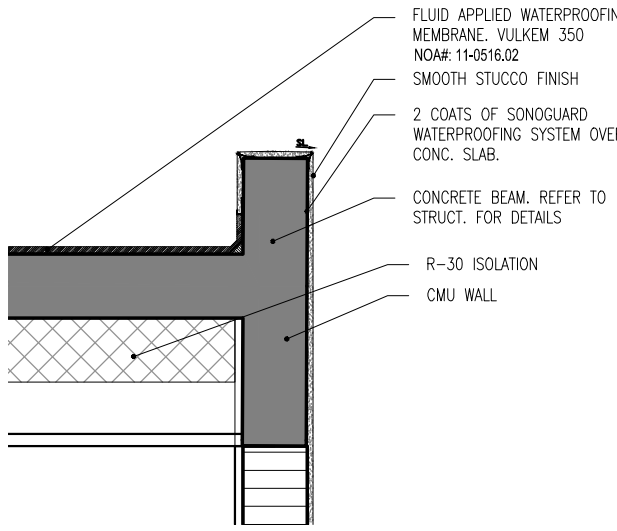
WALL LEGEND:

INDICATES 3-5/8" METAL STUDS PARTITION (FULL HGT.WALL) WITH 5/8" DRYWALL FINISH EACH SIDE. W/ MTL. STUDS @ 24" O.C.

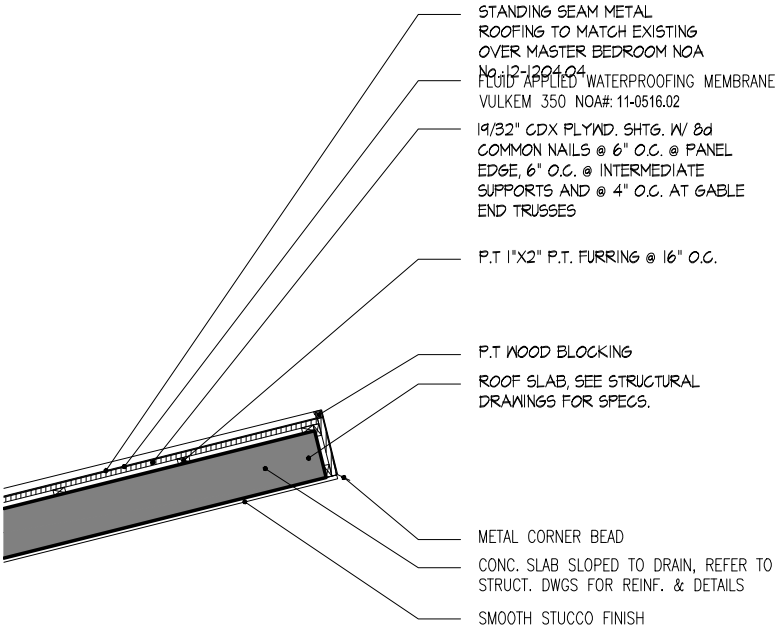
INDICATES NEW C.M.U. WALL

INDICATES EXISTING C.M.U. WALL

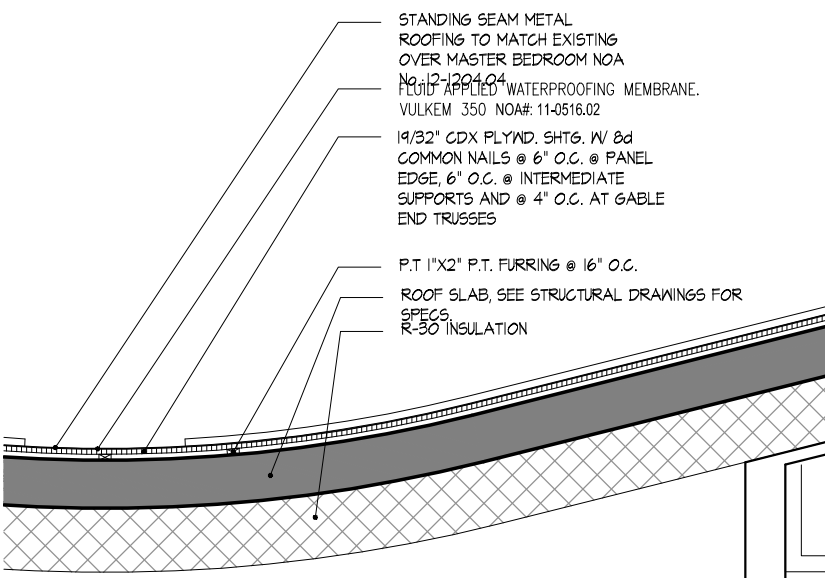
EXISTING, NOT IN SCOPE



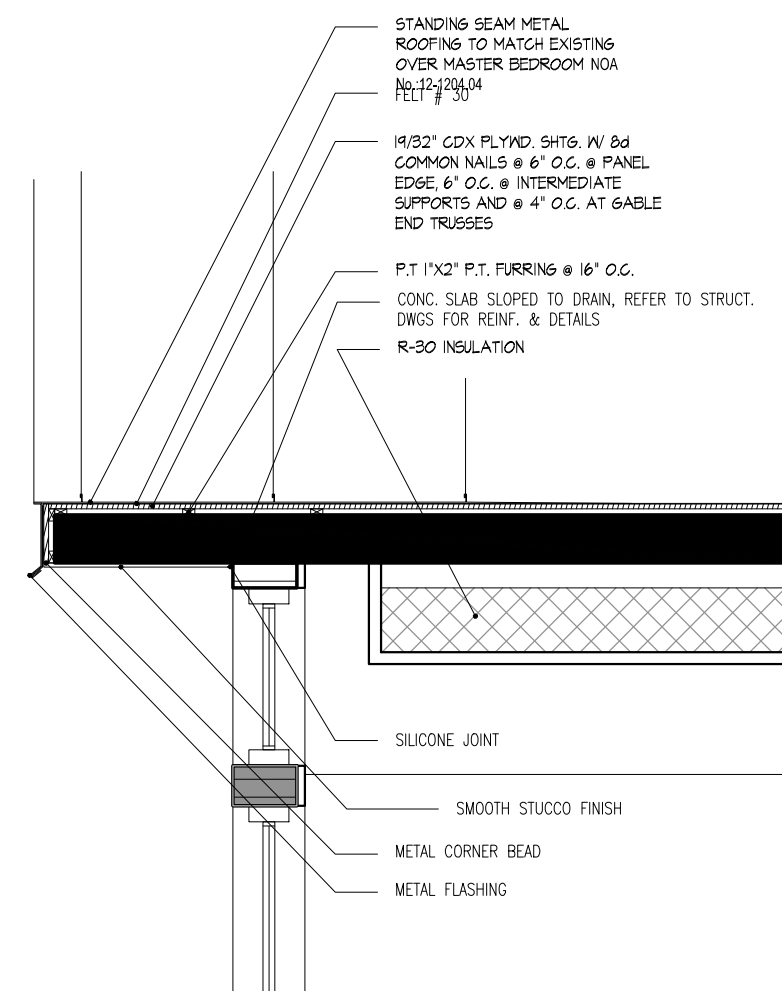
ROOF DETAIL 4
SCALE: 3/4" = 1'-0"



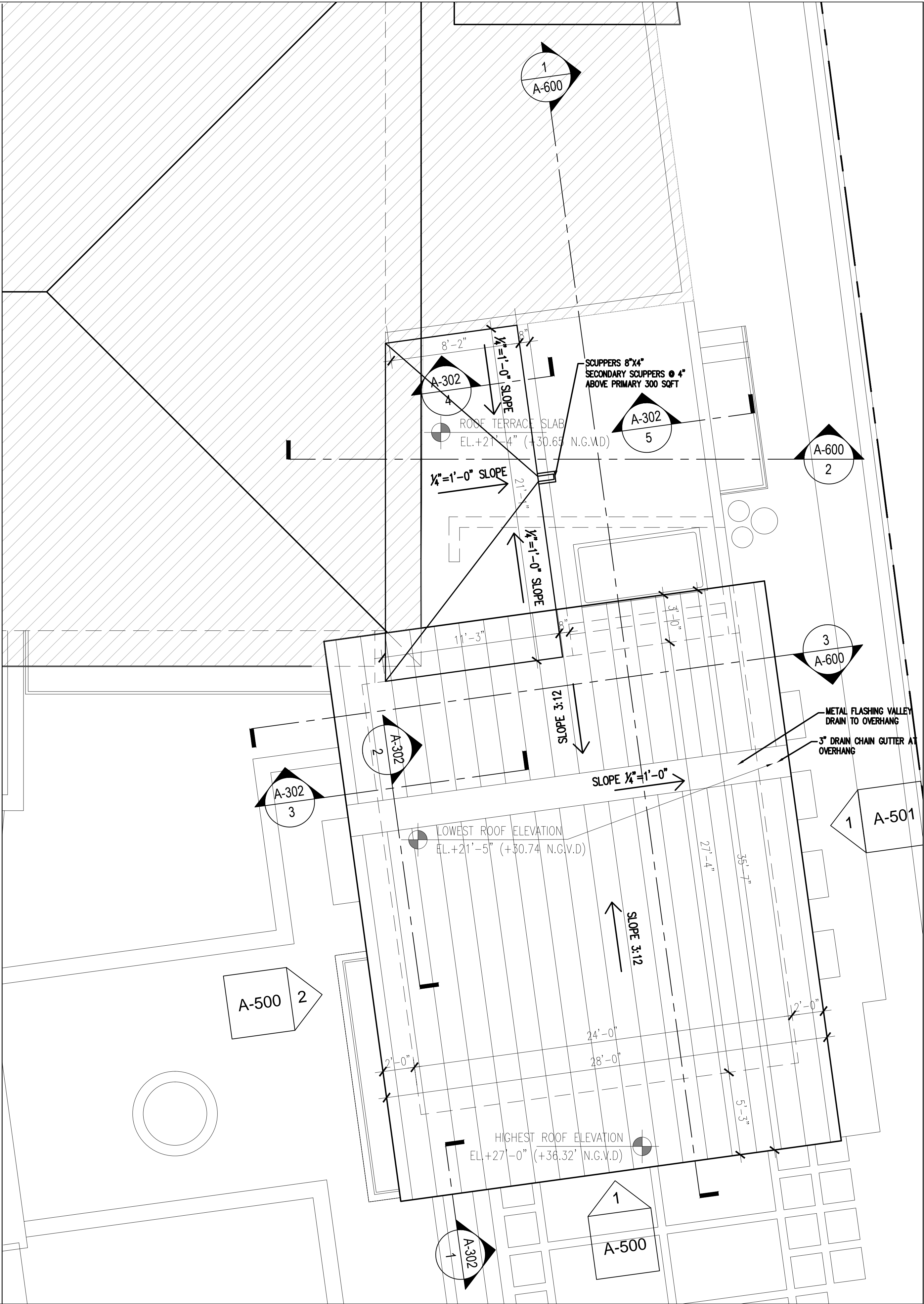
ROOF DETAIL 1
SCALE: 3/4" = 1'-0"



ROOF DETAIL 2
SCALE: 3/4" = 1'-0"



ROOF DETAIL 3
SCALE: 3/4" = 1'-0"



01

ROOF FLOOR PLAN

1/4" = 1'-0"

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Project Number 1030

Drawing Name

ROOF FLOOR PLAN

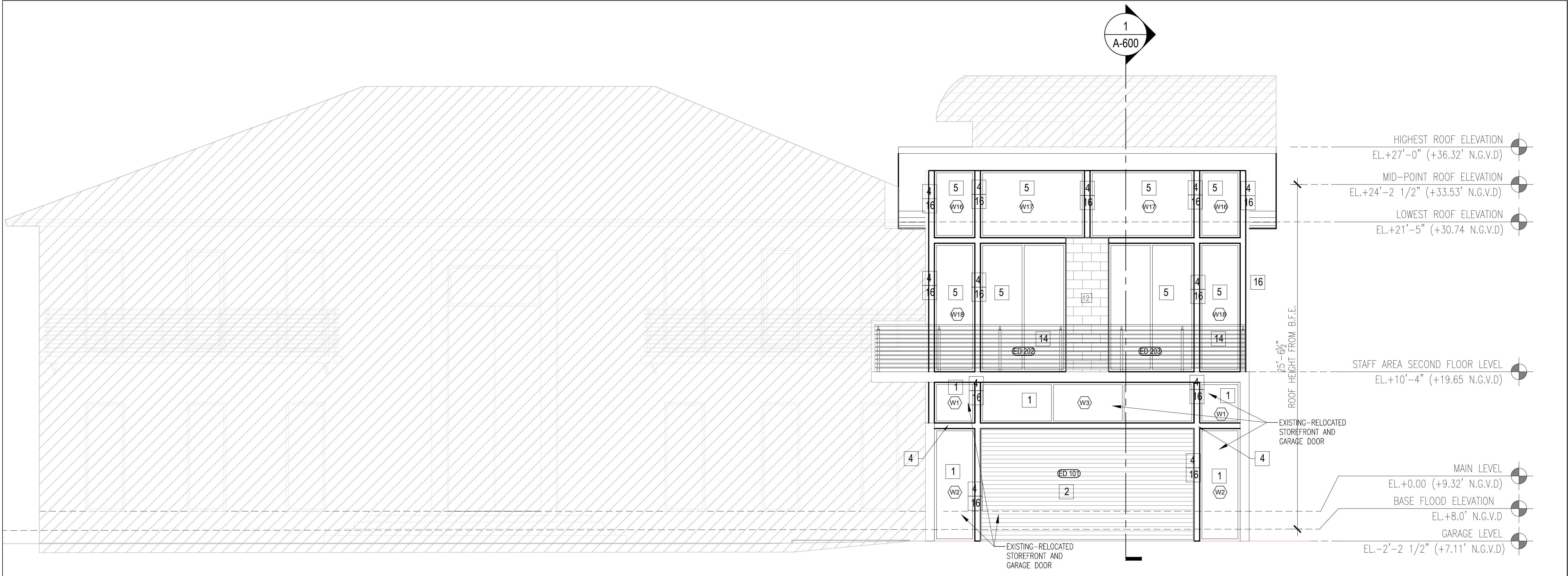
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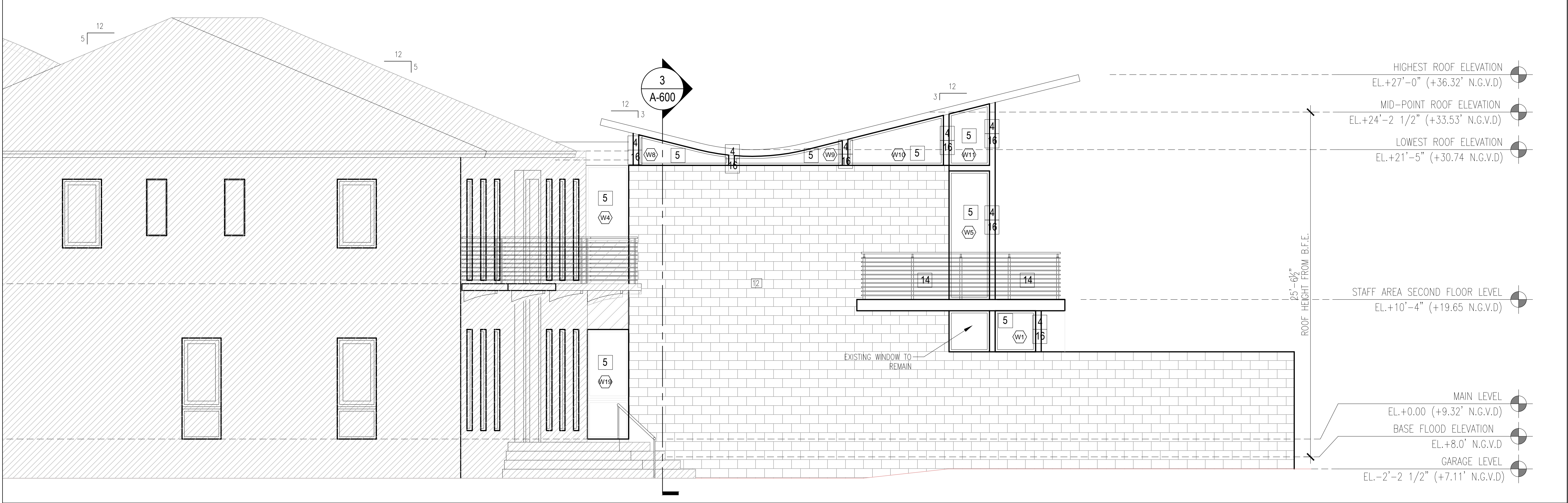
Drawing Number

A-302

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01 FRONT SOUTH ELEVATION 1/8" = 1'-0"



02 WEST ELEVATION 1/8" = 1'-0"

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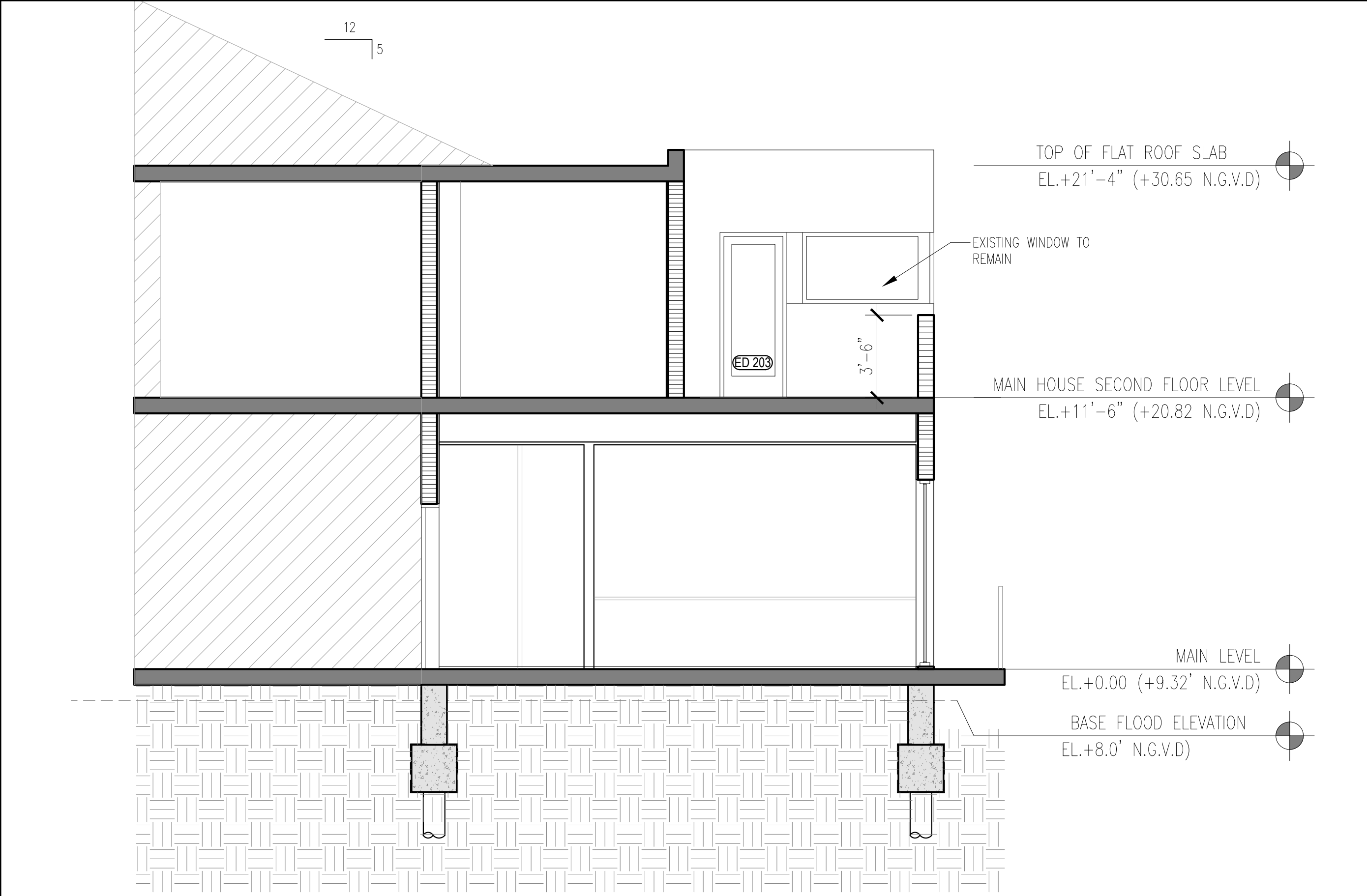
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NORTH AND SOUTH ELEVATIONS

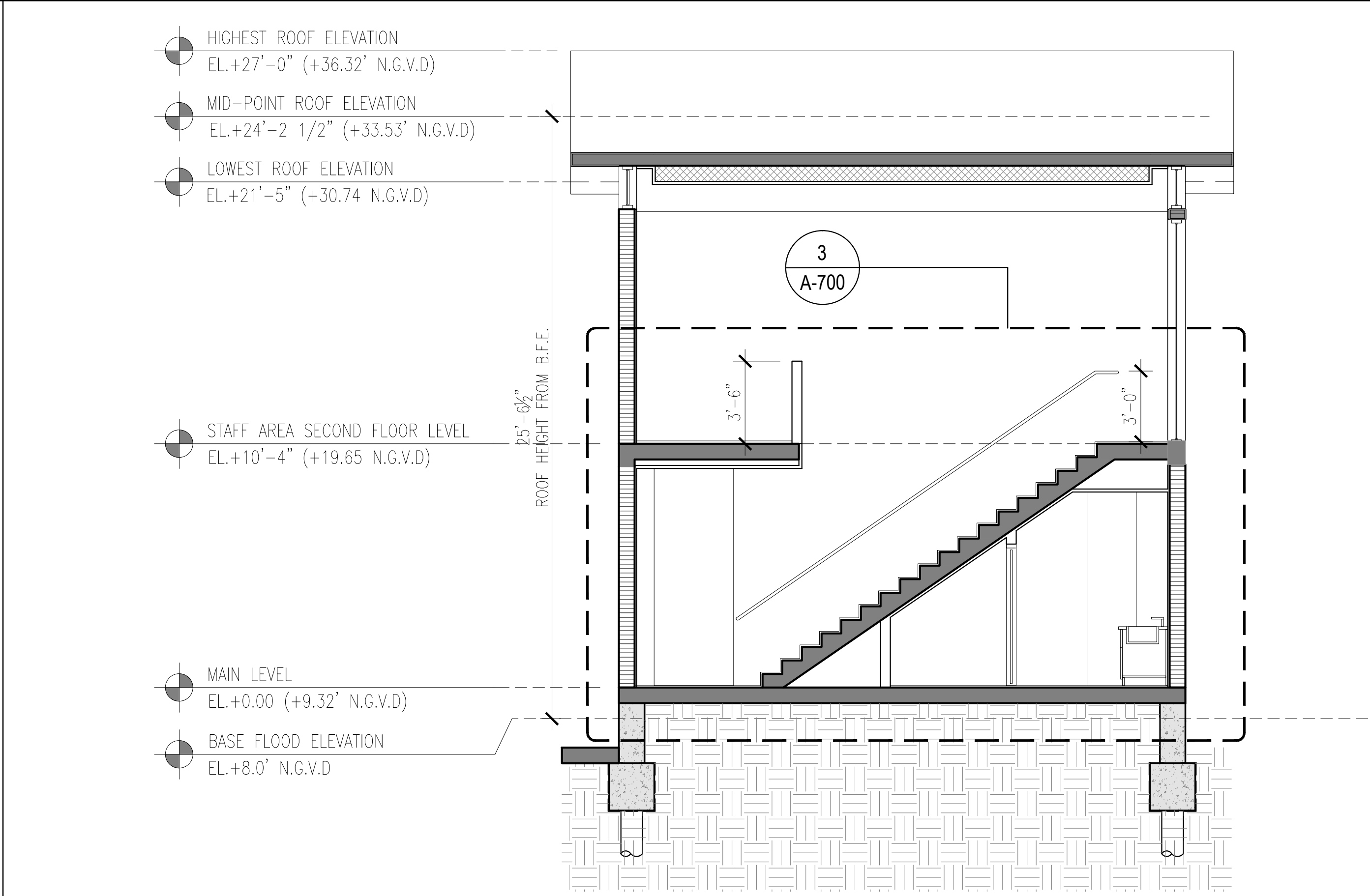
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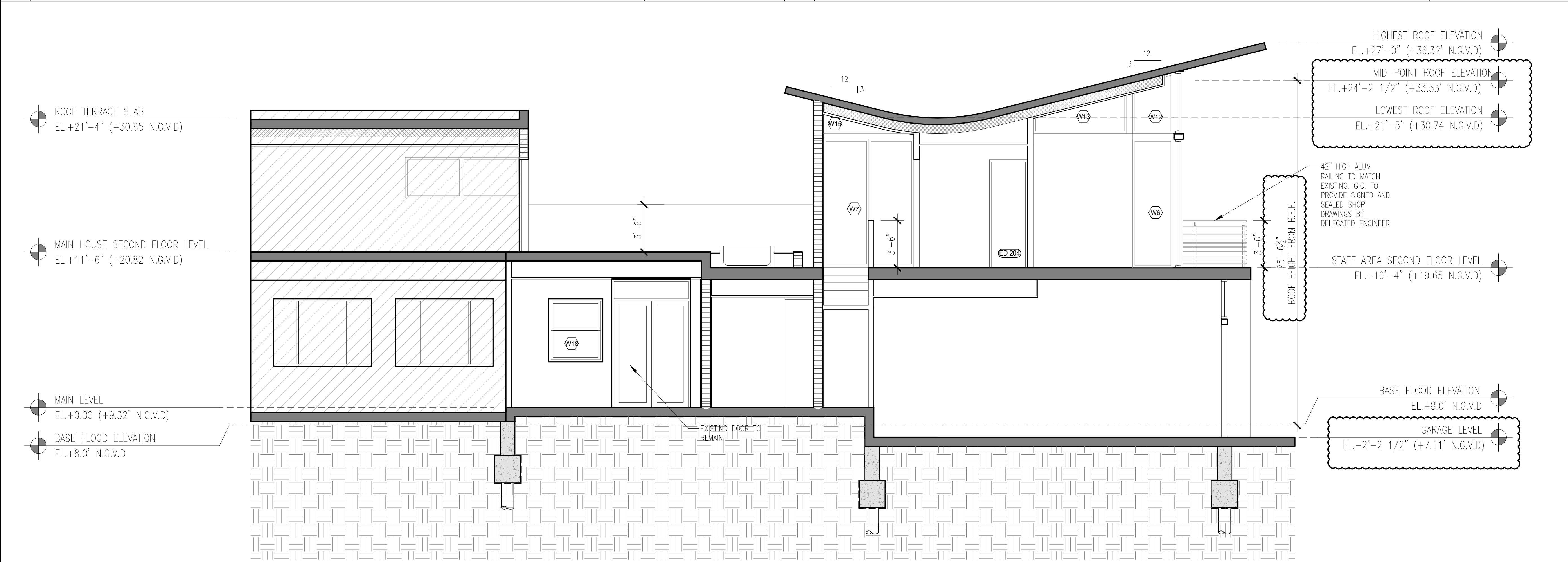
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<p>LESTER PEREZ PIZARRO AR95944</p>	
<p>Project Number</p>	<p>1030</p>
<p>Drawing Name</p>	
<p>NORTH AND SOUTH ELEVATIONS</p>	
<p>Scale:</p>	<p>Drawing Number</p>
<p>AS SHOWN</p>	<p>A-501</p>



02 BUILDING SECTIONS 1/4" = 1'-0"



03 BUILDING SECTIONS 1/4" = 1'-0"



01 BUILDING SECTIONS 1/4" = 1'-0"

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Drawing Name

BUILDING SECTIONS

Scale: AS SHOWN

Drawing Number A-600