

URBIN RETREAT
MIAMI BEACH

**HISTORIC PRESERVATION BOARD
FINAL SUBMITTAL
MARCH 6, 2020**

1234 WASHINGTON AVENUE
MIAMI BEACH

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SHEET INDEX

A-2

HISTORIC PRESERVATION BOARD - FINAL SUBMITTAL - 06 MARCH 2020

PROJECT DATA

I. SITE DATA SUMMARY

ZONING CLASSIFICATION:	CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT
HISTORIC DISTRICT	FLAMINGO PARK HISTORIC DISTRICT
FEMA ZONE	AE (EL. + 8.00' NGVD)
GROSS LOT AREA (2.0):	33,489 SF (0.7688 ACRE)
MAXIMUM F.A.R.	66,978 SF (2.0)

II. SETBACKS & YARD REQUIREMENTS

	REQUIRED	PROVIDED	VARIANCE
FRONT (Washington Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
FRONT (Drexel Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
SIDE STREET (13th Street):	7'-6"	7'-6"*	
SIDE INTERIOR (South Interior):	12'-6"	0'-0" EXISTING**	

III. F.A.R. SUMMARY

	ALLOWED	EXISTING	NEW CONSTRUCTION	PROVIDED
EXISTING OFFICE BUILDING:	NA	18,985 SF	NA	18,762 SF
NEW HOTEL AND CO-LIVE:	NA	NA	48,143 SF	48,143 SF
TOTAL F.A.R.:	66,978 SF	18,762 SF	48,143 SF	66,905 SF

IV. BUILDING STATISTICS

	ALLOWED	PROVIDED
NUMBER OF STORIES:	7	6
BUILDING HEIGHT (TOP OF ROOF SLAB)	75'-0" + 5'-0" FREEBOARD	72'-8" FROM BFE+FREEBOARD 77'-8"
BASE FLOOD ELEVATION	+8'-0"	
DESIGN BASE ELEVATION		+9'-0"

V. PROJECT GROSS AREA

	EXISTING	NEW CONSTRUCTION
	19,182 SF	82,622 SF

VI. PARKING

	REQUIRED	PROVIDED
	NA	11 SPACES WITH VALET SERVICE

VII. LOADING

	REQUIRED	PROVIDED	WAIVER
	4 (105 UNITS - 3 SPACES) (1618 SF - 1 SPACE)	1 OFF STREET 3 EXIST. ON STREET	CODE SECTION 130-101(D) TO REDUCE BY 3 THE OFF-STREET LOADING

*SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE HALF FEET UP TO 20 FEET

** RESIDENTIAL AND HOTEL USES: SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE-HALF FEET OR EIGHT % OF LOT WIDTH, WHICHEVER IS GREATER. WHEN ABUTTING A NONRESIDENTIAL OR NON-HOTEL USE, THE MIN. INTERIOR SIDE SETBACK SHALL BE SEVEN AND ONE-HALF FEET, AND THE MIN. SUM OF THE SIDE SETBACKS SHALL EQUAL 16% OF THE LOT WIDTH, UP TO 20 FEET.

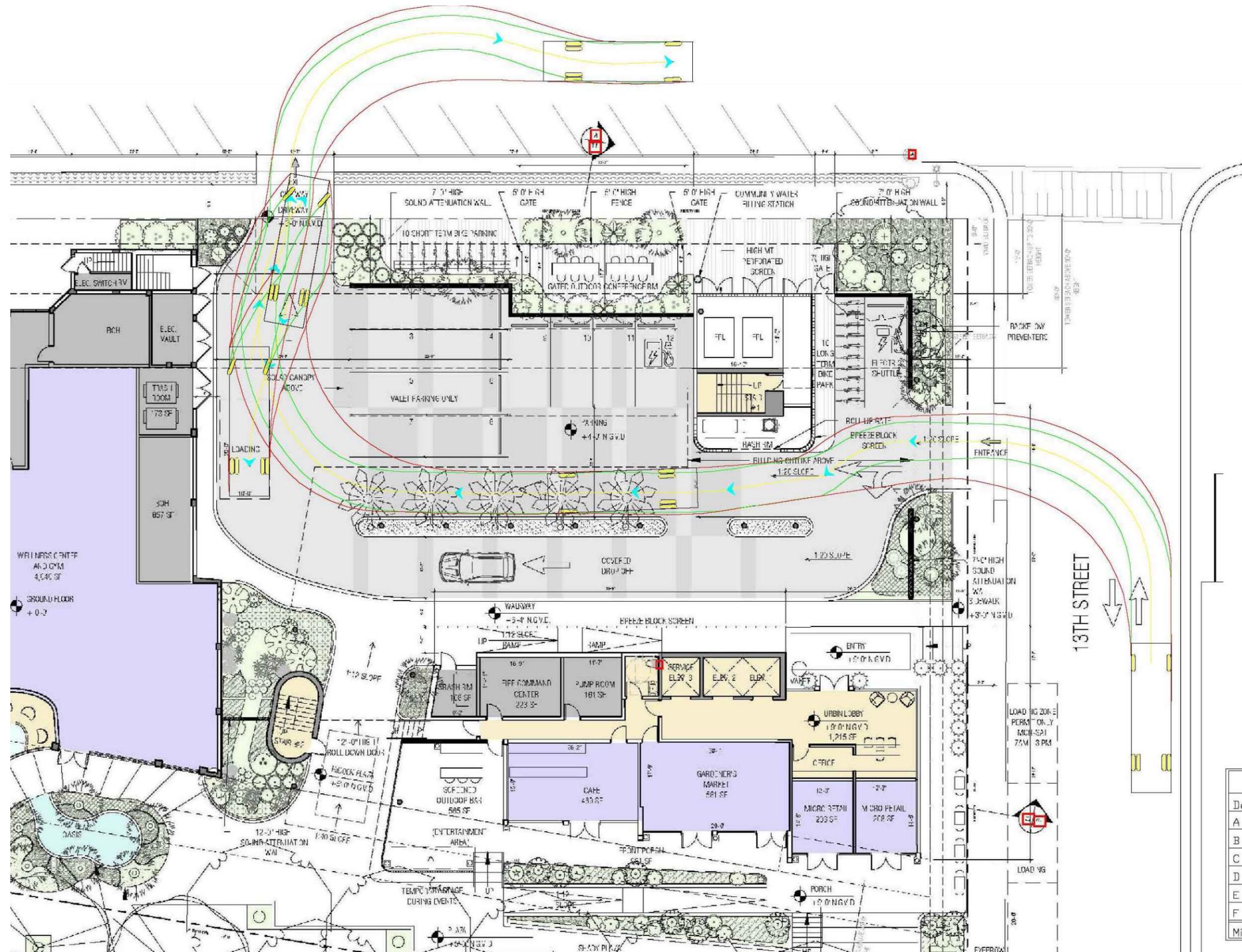
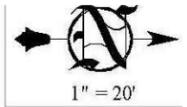


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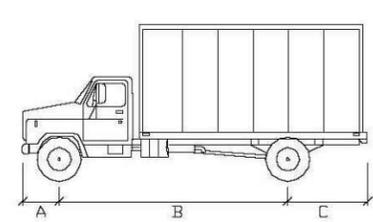
PROJECT DATA



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SINGLE UNIT TRUCK DETAIL



Description	GB Ft.	GBm M
A - Front Overhang	4.0	1.2
B - Wheelbase	20.0	6.1
C - Rear Overhang	6.0	1.8
D - Width	8.5	2.6
E - Track	8.5	2.6
F - Steering Angle (deg.)	31.6	31.6
Minimum Turning Radius	37.8	11.5

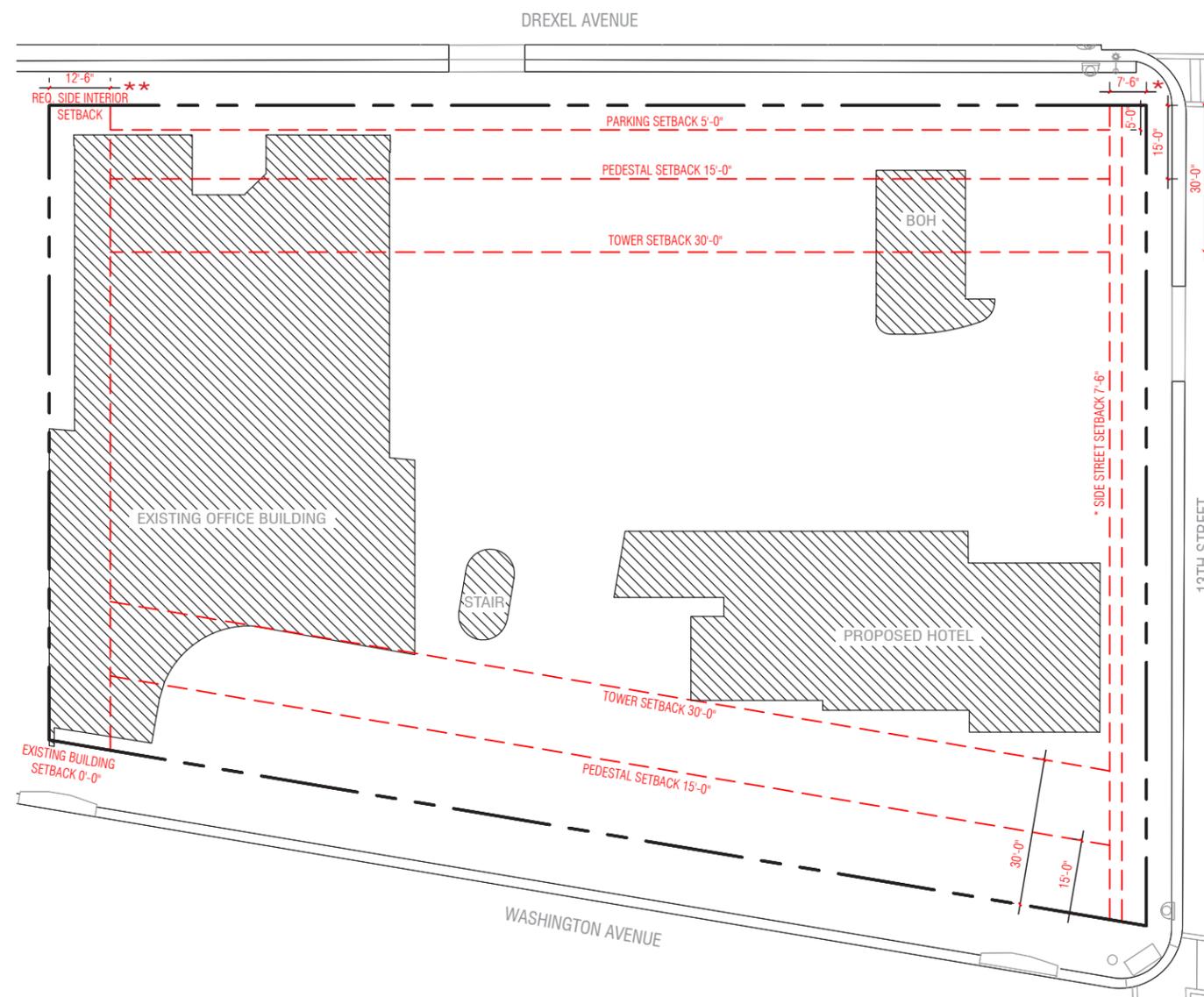
Traf Tech
ENGINEERING, INC.

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TRAFFIC MANEUVERABILITY DIAGRAM



* SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE HALF FEET UP TO 20 FEET

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SETBACK DIAGRAM

SCALE: 1/32" = 1'-0"

A-4.2



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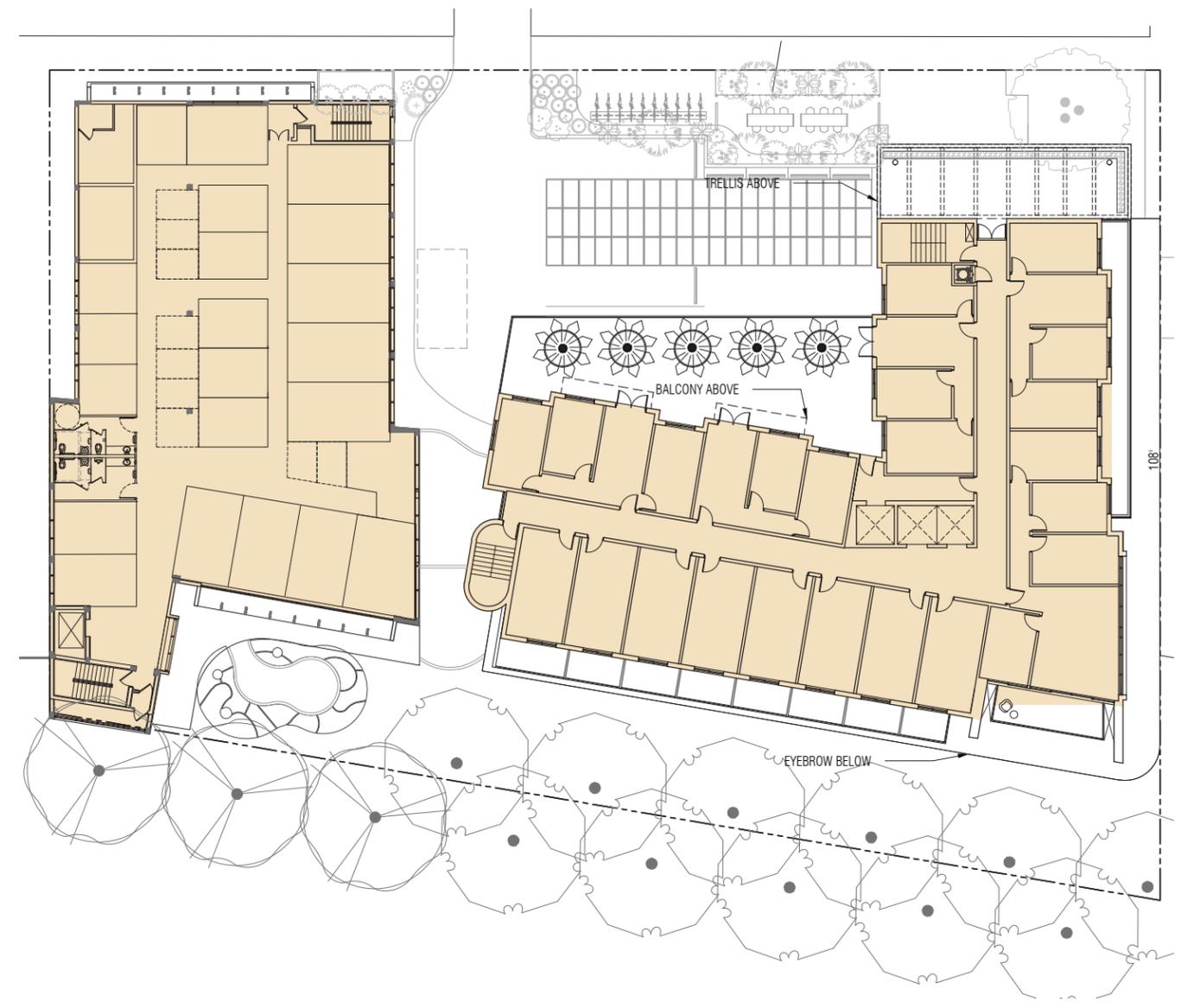
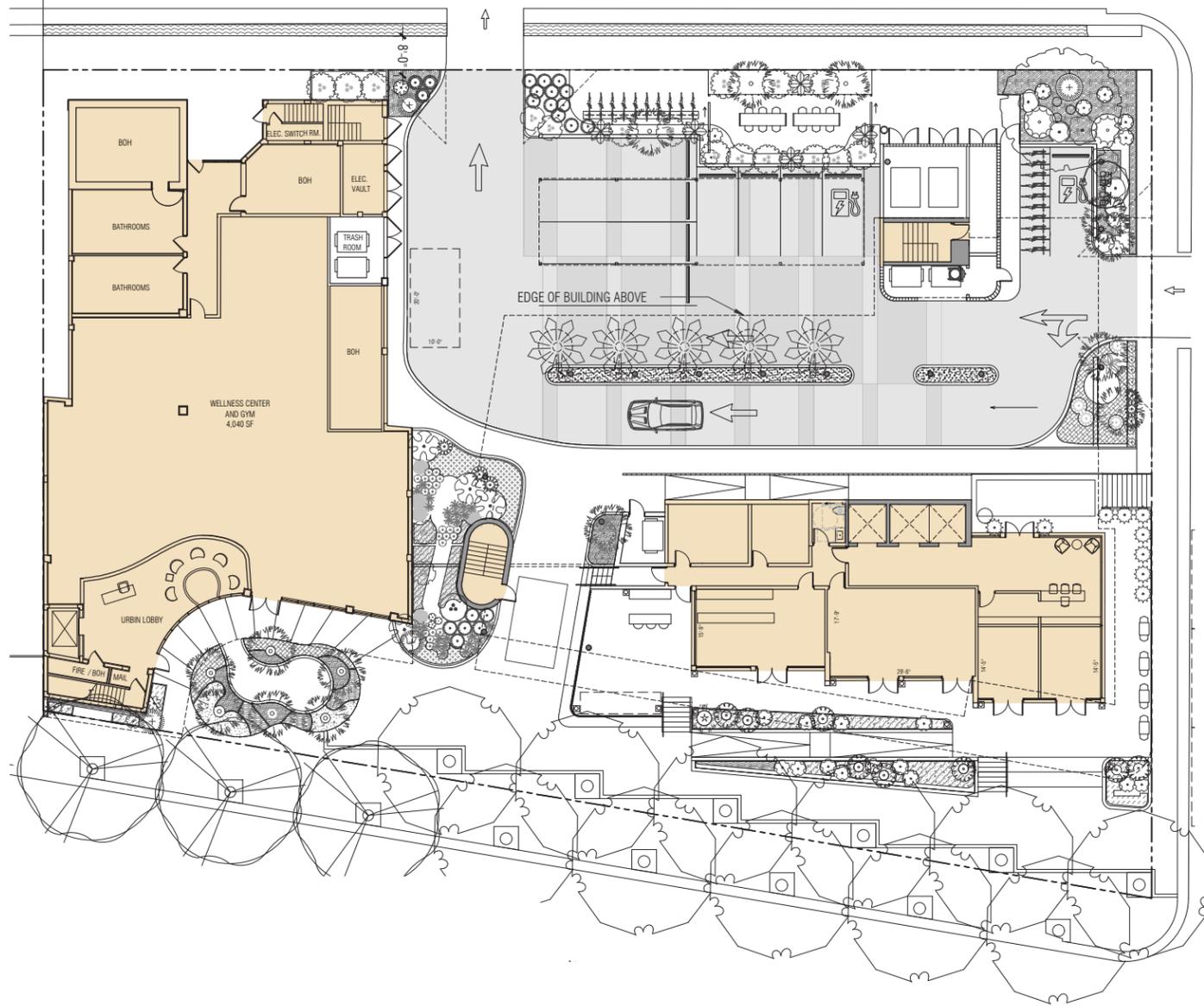


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PROPOSED CONTEXT PLAN
 SCALE: 1/64" = 1'-0"

A-12.21



PROPOSED FAR	EXISTING	NEW CONSTRUCTION	PROVIDED
GROUND LEVEL	7,165 SF	3,388 SF	10,553 SF
SECOND LEVEL	7,530 SF	8,744 SF	16,274 SF
THIRD LEVEL	3,597 SF	8,698 SF	12,295 SF
FOURTH LEVEL	470 SF	9,277 SF	9,747 SF
FIFTH LEVEL		8,639 SF	8,639 SF
SIXTH LEVEL		8,639 SF	8,639 SF
ROOF LEVEL		758 SF	758 SF
TOTAL FAR	18,762 SF	48,143 SF	66,905 SF
	CO-LIVE FAR	% OF DEVELOPMENT	
SECOND LEVEL	8,744 SF	13.01 %	
THIRD LEVEL	8,698 SF	13.00 %	
FOURTH LEVEL	9,277 SF	13.85 %	
TOTAL CO-LIVE FAR	26,719 SF	39.86 %	



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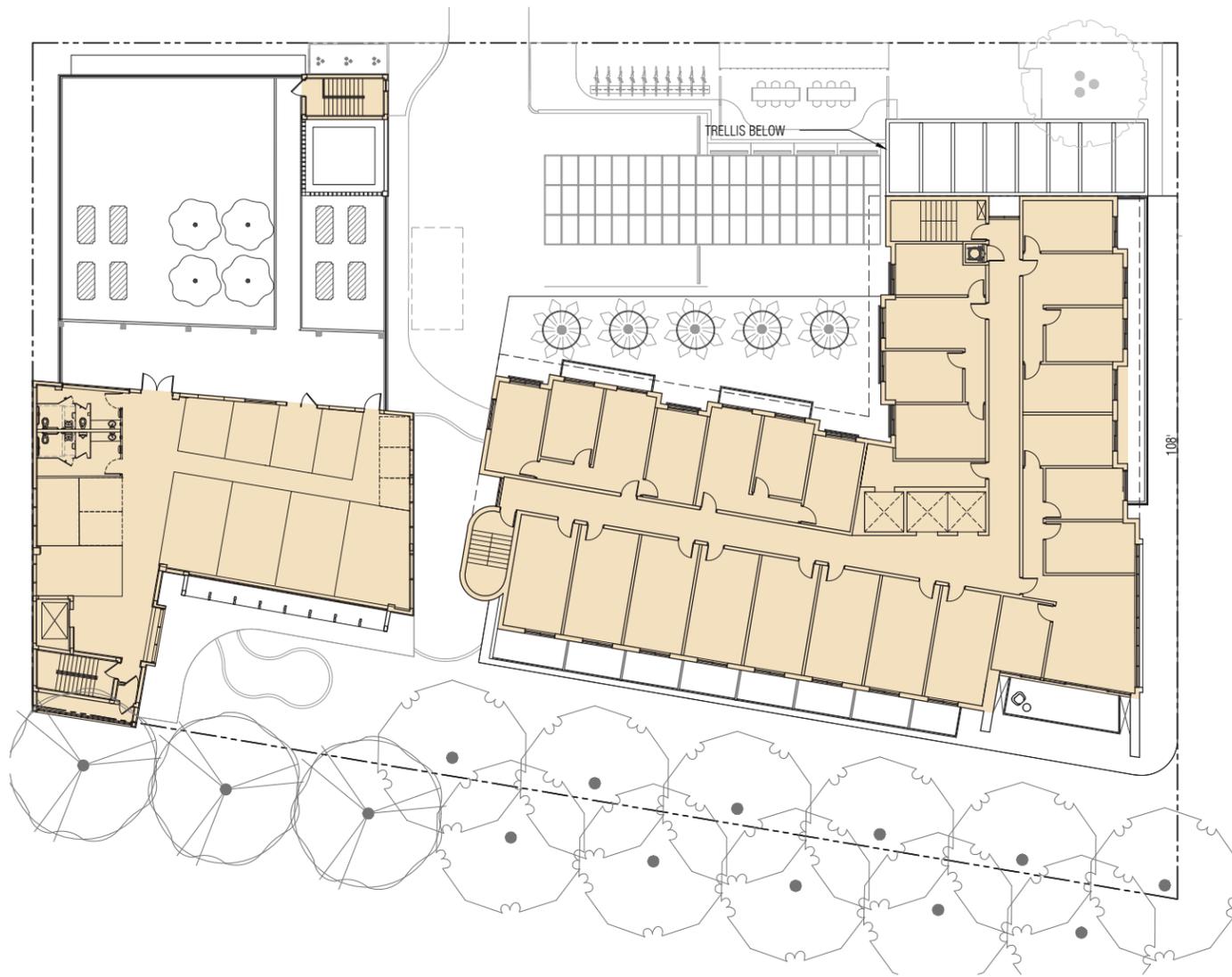
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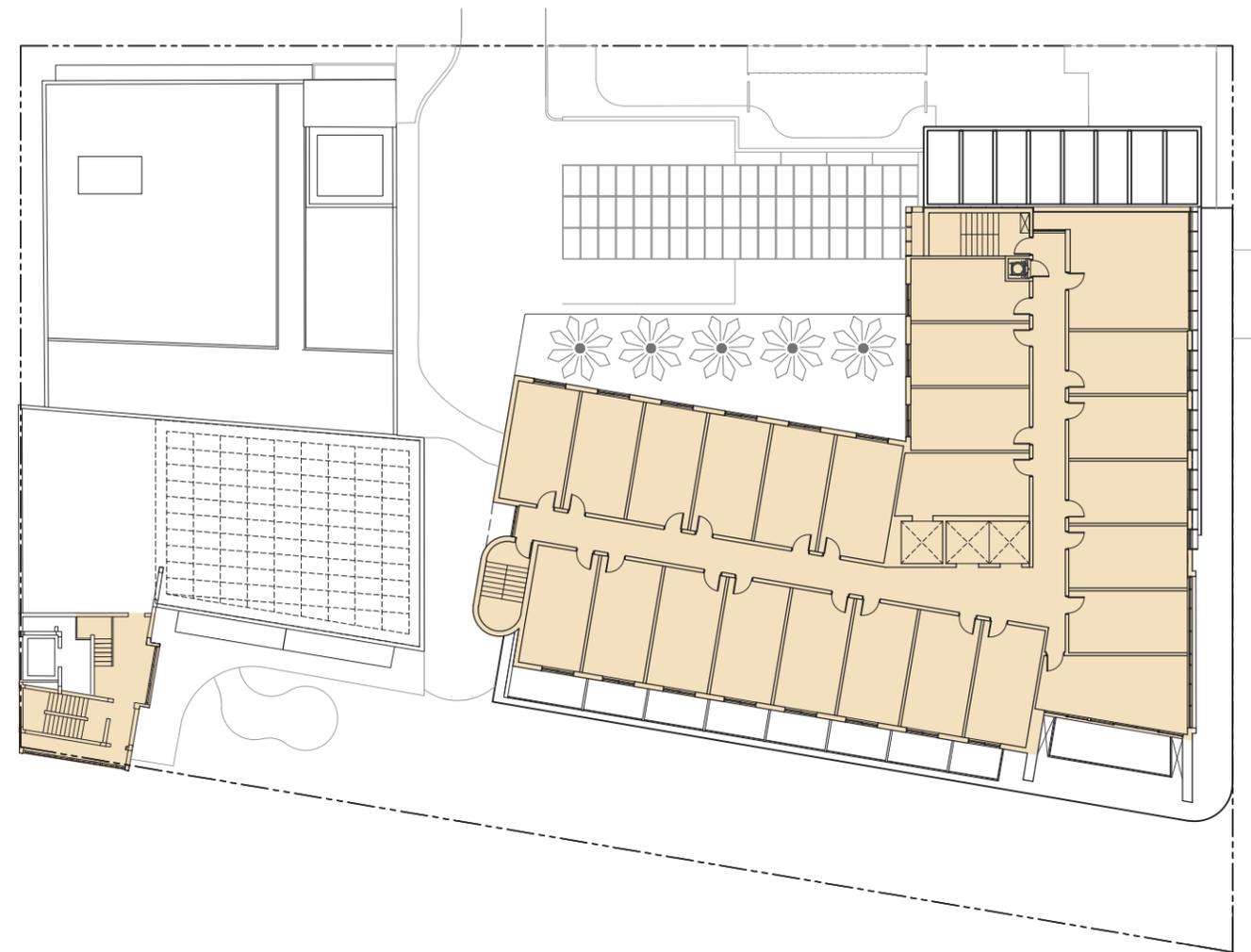
PROPOSED F.A.R. DIAGRAMS

SCALE: 1/32" = 1'-0"

A-12.23



THIRD LEVEL FAR 12,295 SF



FOURTH LEVEL FAR 9,747 SF

PROPOSED FAR	EXISTING	NEW CONSTRUCTION	PROVIDED
GROUND LEVEL	7,165 SF	3,388 SF	10,553 SF
SECOND LEVEL	7,530 SF	8,744 SF	16,274 SF
THIRD LEVEL	3,597 SF	8,698 SF	12,295 SF
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FIFTH LEVEL		8,639 SF	8,639 SF
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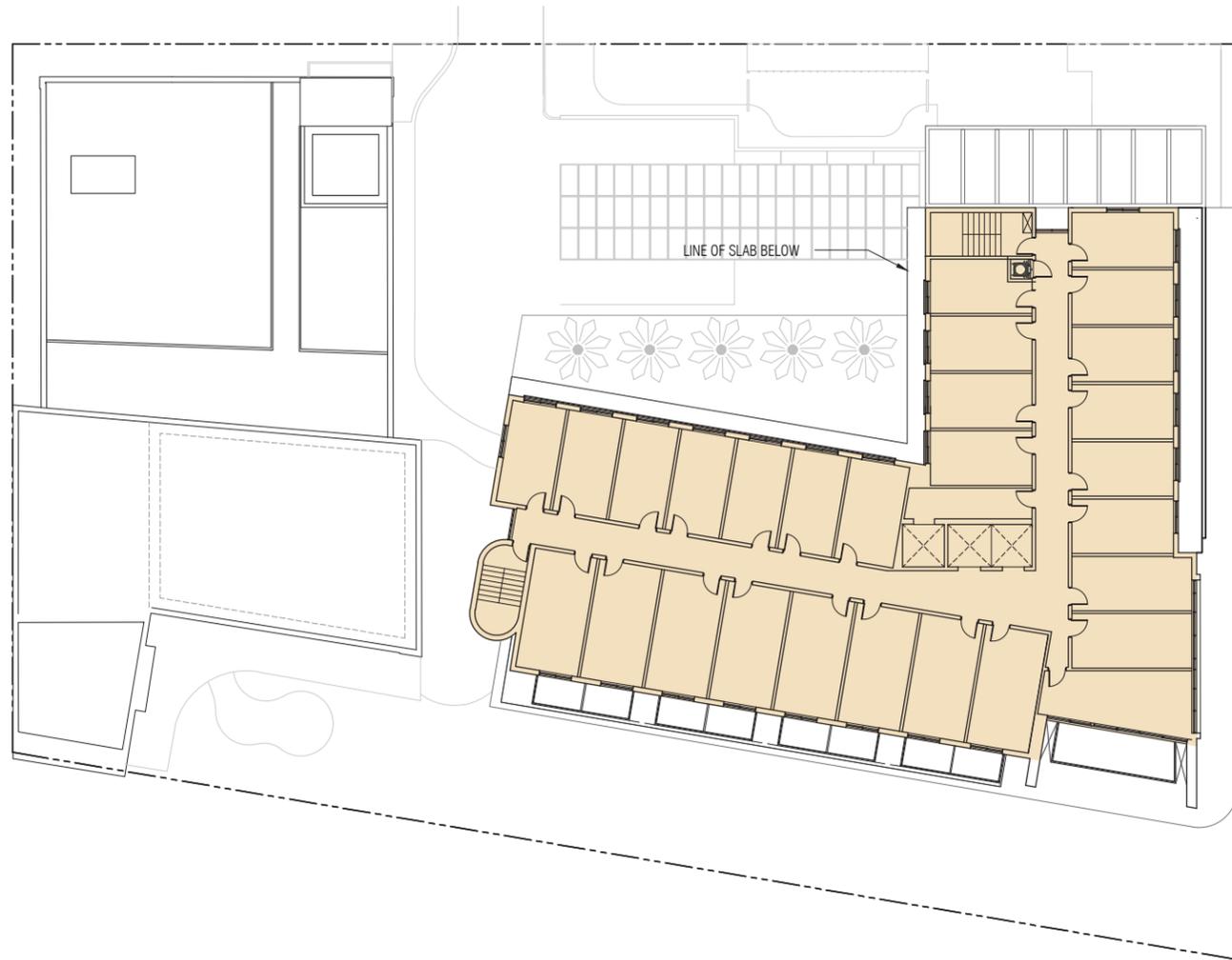
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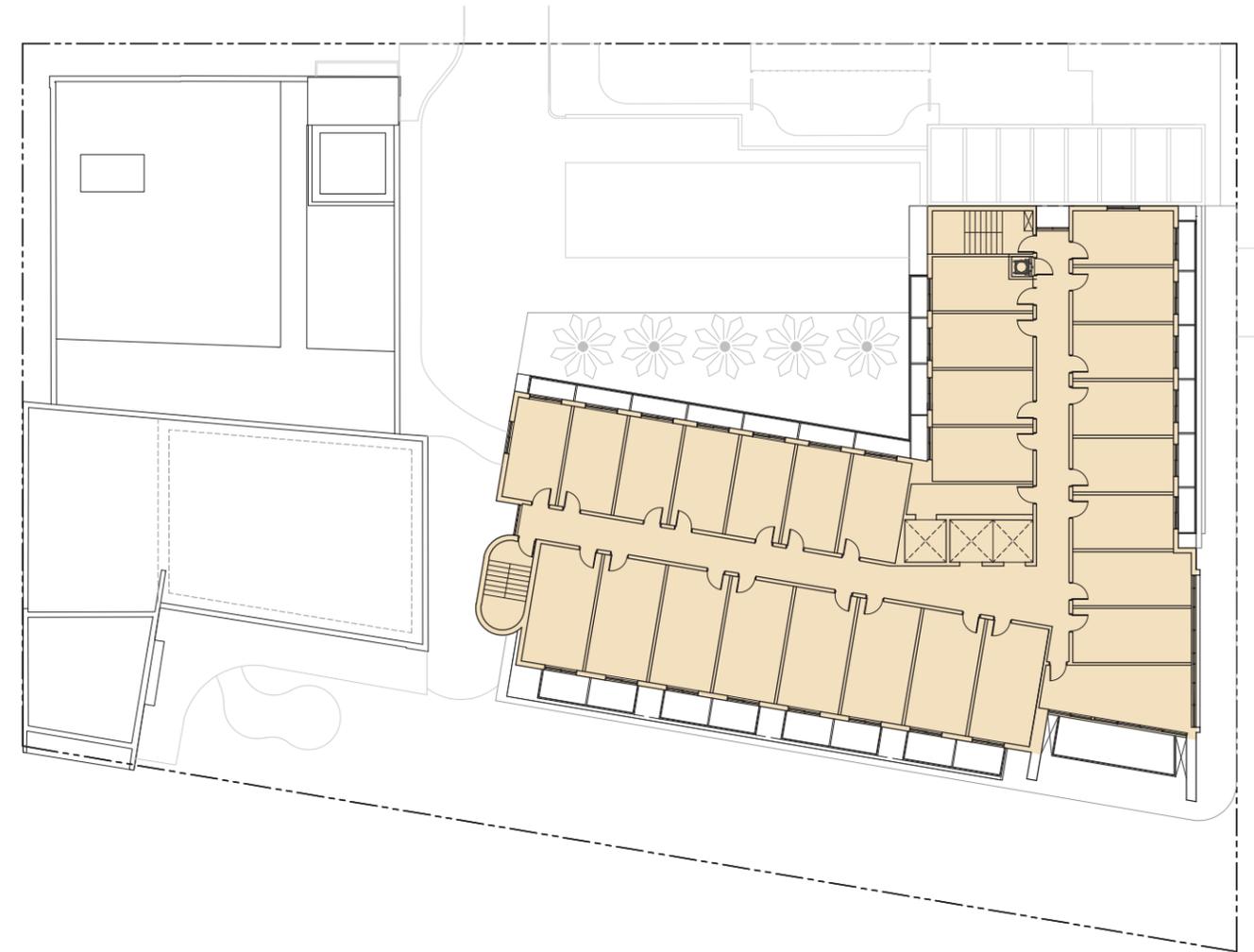
PROPOSED F.A.R. DIAGRAMS

SCALE: 1/32" = 1'-0"

A-12.23.A



FIFTH LEVEL FAR 8,639 SF



SIXTH LEVEL FAR 8,639 SF

PROPOSED FAR	EXISTING	NEW CONSTRUCTION	PROVIDED
GROUND LEVEL	7,165 SF	3,388 SF	10,553 SF
SECOND LEVEL	7,530 SF	8,744 SF	16,274 SF
THIRD LEVEL	3,597 SF	8,698 SF	12,295 SF
FOURTH LEVEL	470 SF	9,277 SF	9,747 SF
FIFTH LEVEL		8,639 SF	8,639 SF
SIXTH LEVEL		8,639 SF	8,639 SF
ROOF LEVEL		758 SF	758 SF
TOTAL FAR	18,762 SF	48,143 SF	66,905 SF
	CO-LIVE FAR	% OF DEVELOPMENT	
SECOND LEVEL	8,744 SF	13.01 %	
THIRD LEVEL	8,698 SF	13.00 %	
FOURTH LEVEL	9,277 SF	13.85 %	
TOTAL CO-LIVE FAR	26,719 SF	39.86 %	



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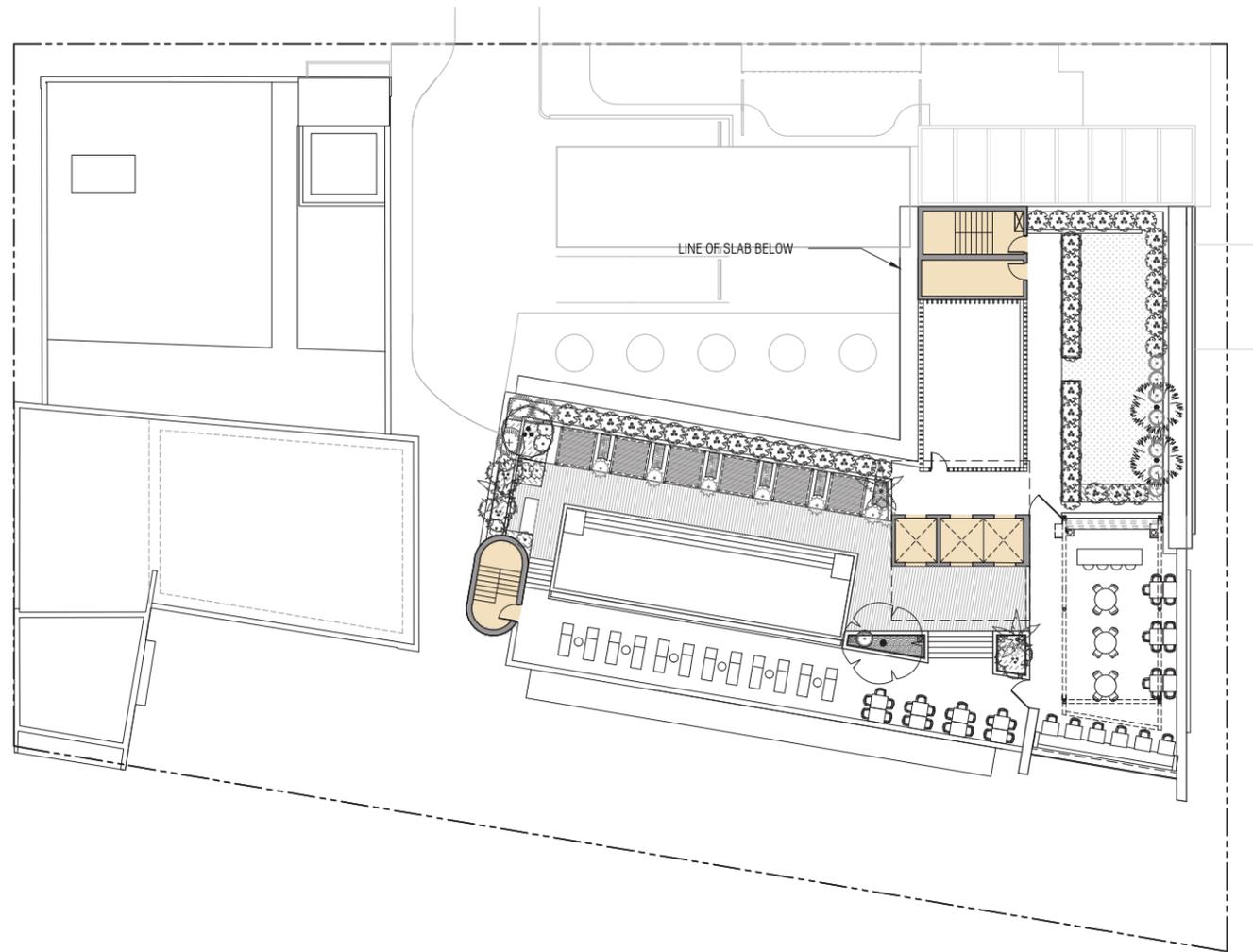
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PROPOSED F.A.R. DIAGRAMS

SCALE: 1/32" = 1'-0"

A-12.23.B



ROOF LEVEL FAR 758 SF

PROPOSED FAR	EXISTING	NEW CONSTRUCTION	PROVIDED
GROUND LEVEL	7,165 SF	3,388 SF	10,553 SF
SECOND LEVEL	7,530 SF	8,744 SF	16,274 SF
THIRD LEVEL	3,597 SF	8,698 SF	12,295 SF
FOURTH LEVEL	470 SF	9,277 SF	9,747 SF
FIFTH LEVEL		8,639 SF	8,639 SF
SIXTH LEVEL		8,639 SF	8,639 SF
ROOF LEVEL		758 SF	758 SF
TOTAL FAR	18,762 SF	48,143 SF	66,905 SF
	CO-LIVE FAR	% OF DEVELOPMENT	
SECOND LEVEL	8,744 SF	13.01 %	
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TOTAL CO-LIVE FAR	26,719 SF	39.86 %	



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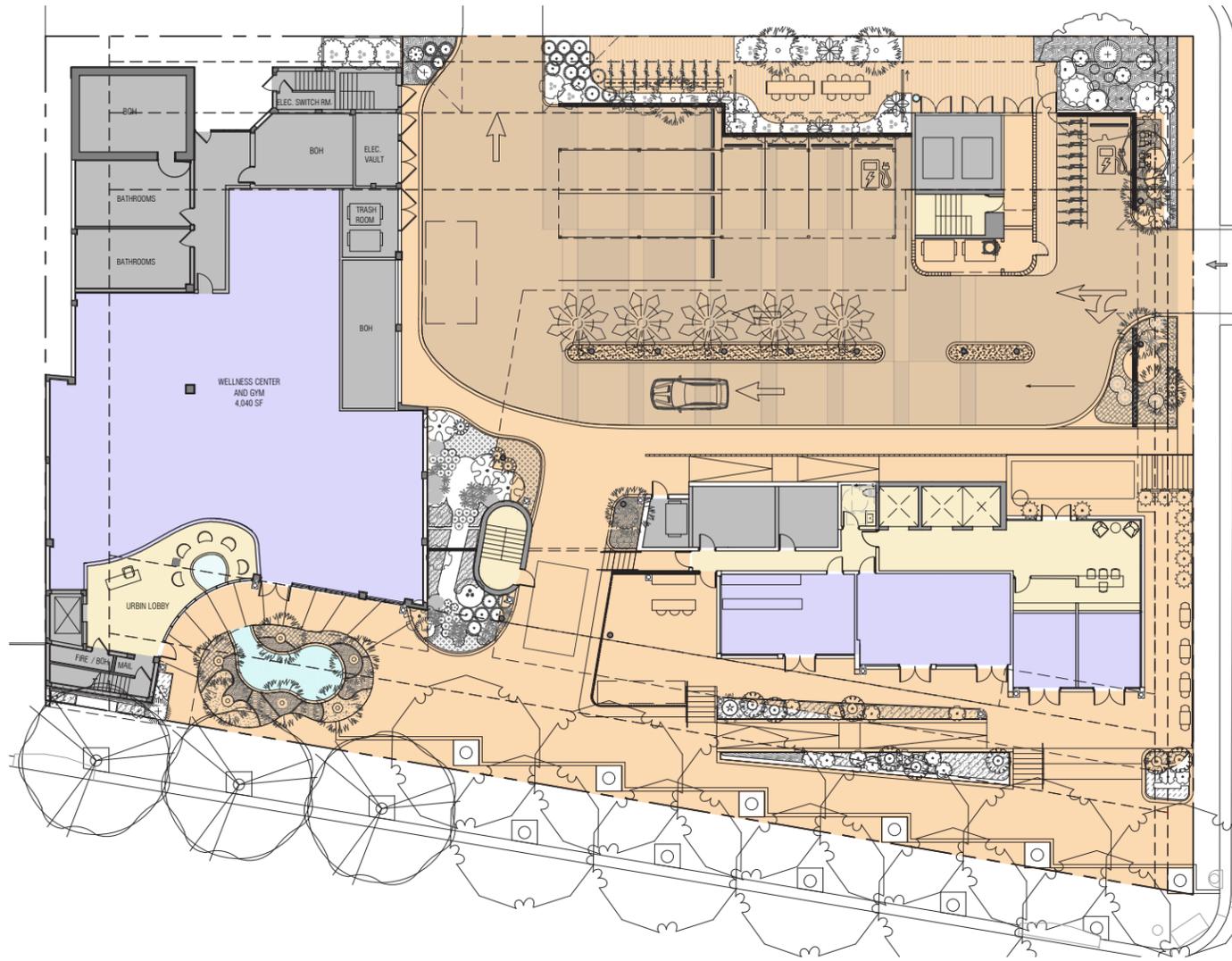
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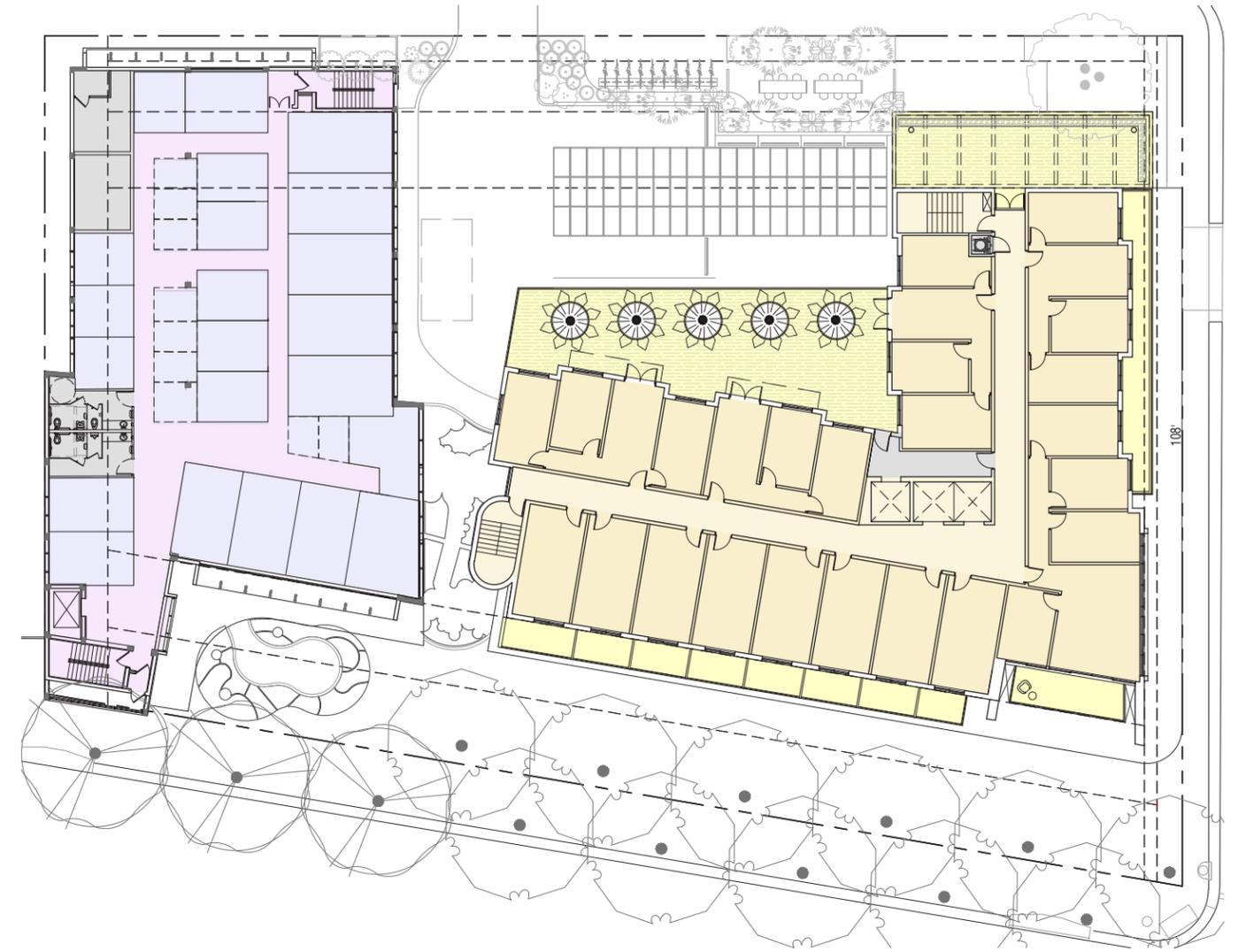
PROPOSED F.A.R. DIAGRAMS

SCALE: 1/32" = 1'-0"

A-12.23.C



GROUND LEVEL



SECOND LEVEL

PROPOSED GSF	EXISTING	NEW ENCLOSED AREAS	DRIVEWAYS, PARKING AND PORCHES	BALCONIES	TOTAL NEW
GROUND LEVEL	7,383 SF	3,496 SF	19,644 SF		23,140 SF
SECOND LEVEL	7,530 SF	8,660 SF		3,202 SF	11,862 SF
THIRD LEVEL	3,615 SF	8,660 SF		2,059 SF	10,719 SF
FOURTH LEVEL	654 SF	9,304 SF		727 SF	10,031 SF
FIFTH LEVEL		8,663 SF		562 SF	9,225 SF
SIXTH LEVEL		8,663 SF		1,108 SF	9,771 SF
ROOF LEVEL		758 SF		7,116 SF	7,874 SF
TOTAL GSF	19,182 SF	48,204 SF	19,644 SF	14,774 SF	82,622 SF
TOTAL NEW BUILDING AND SITE GSF		48,204 SF	19,644 SF	14,774 SF	82,622 SF
PROPOSED OFFICE					
SECOND LEVEL	7,530 GSF				
THIRD LEVEL	4,522 GSF				
TOTAL OFFICE GSF	12,052 GSF				

PROPOSED UNITS

	COLIVE UNIT TYPES				HOTEL KEYS	
	2BR 636 SF	3BR 827-855 SF	4BR 1,283 SF	JUNIOR STUDIO 275 SF	STANDARD 209-275 SF	SUITE 332-388 SF
2ND	1	3	1	8		
3RD	1	3	1	8		
4TH				23		
5TH					27	1
6TH					27	1
TOTAL COLIVE UNITS	2	6	2	39		
TOTAL HOTEL KEYS	56				54	2
TOTAL KEYS + UNITS	105					



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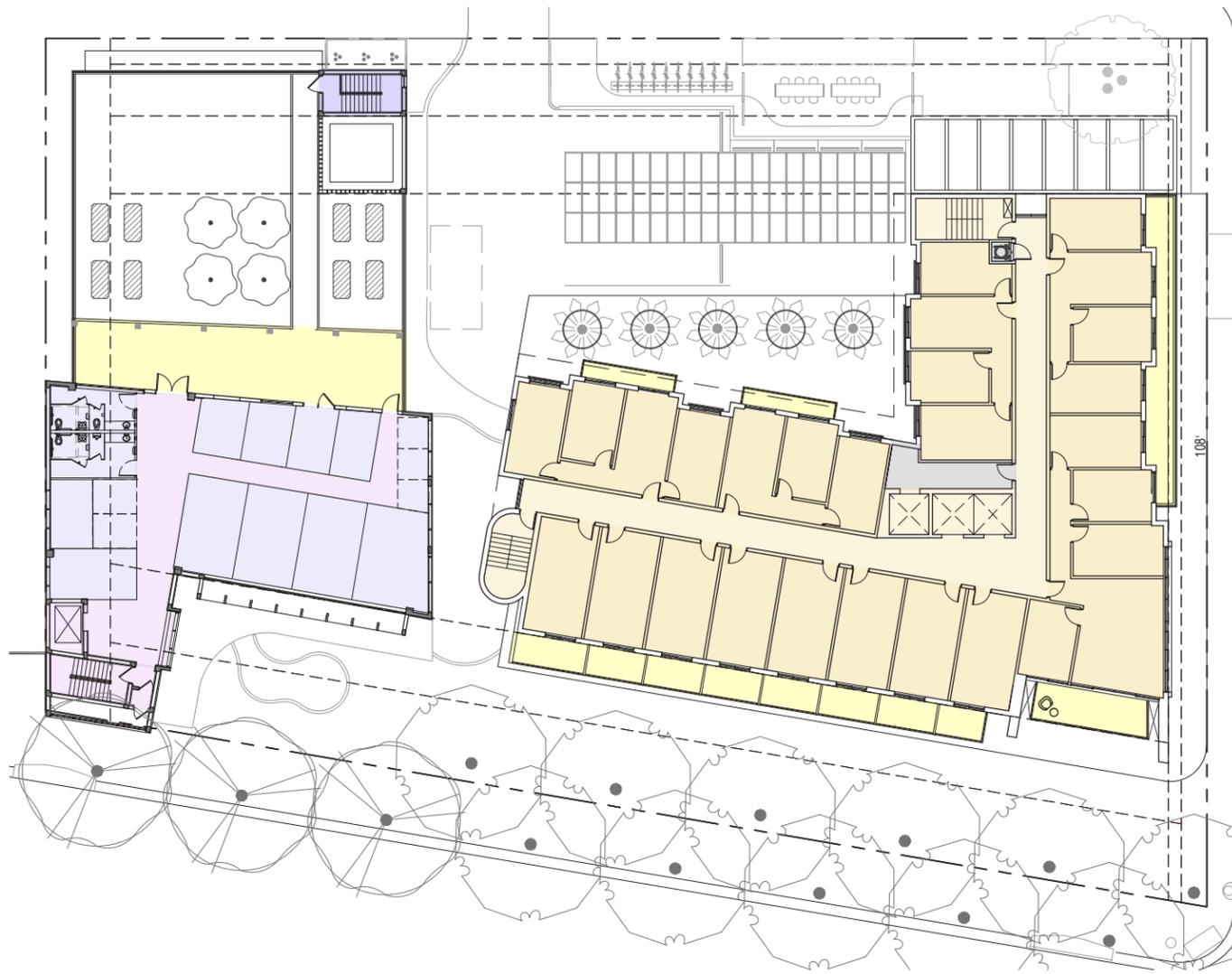
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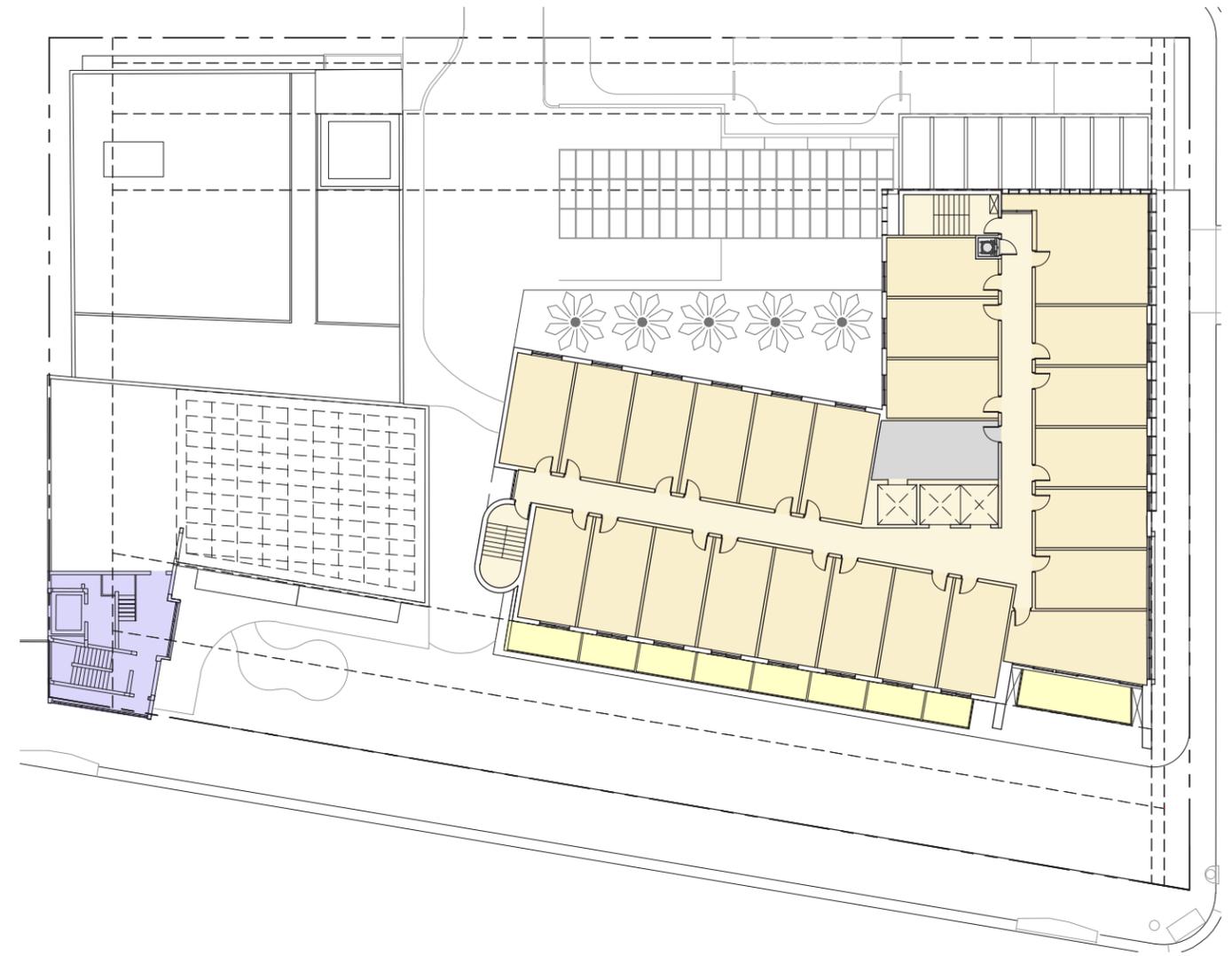
PROJECT SCHEDULE OF AREAS

SCALE: 1/32" = 1'-0"

A-12.24



THIRD LEVEL



FOURTH LEVEL

PROPOSED GSF	EXISTING	NEW ENCLOSED AREAS	DRIVEWAYS, PARKING AND PORCHES	BALCONIES	TOTAL NEW
GROUND LEVEL	7,383 SF	3,496 SF	19,644 SF		23,140 SF
SECOND LEVEL	7,530 SF	8,660 SF		3,202 SF	11,862 SF
THIRD LEVEL	3,615 SF	8,660 SF		2,059 SF	10,719 SF
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SIXTH LEVEL		8,663 SF		1,108 SF	9,771 SF
ROOF LEVEL		758 SF		7,116 SF	7,874 SF
TOTAL GSF	19,182 SF	48,204 SF	19,644 SF	14,774 SF	82,622 SF
TOTAL NEW BUILDING AND SITE GSF		48,204 SF	19,644 SF	14,774 SF	82,622 SF
PROPOSED OFFICE					
SECOND LEVEL	7,530 GSF				
THIRD LEVEL	4,522 GSF				
TOTAL OFFICE GSF	12,052 GSF				

PROPOSED UNITS

	COLIVE UNIT TYPES				HOTEL KEYS	
	2BR 636 SF	3BR 827-855 SF	4BR 1,283 SF	JUNIOR STUDIO 275 SF	STANDARD 209-275 SF	SUITE 332-388 SF
2ND	1	3	1	8		
3RD	1	3	1	8		
4TH				23		
5TH					27	1
6TH					27	1
TOTAL COLIVE UNITS	2	6	2	39		
TOTAL HOTEL KEYS	56				54	2
TOTAL KEYS + UNITS	105					



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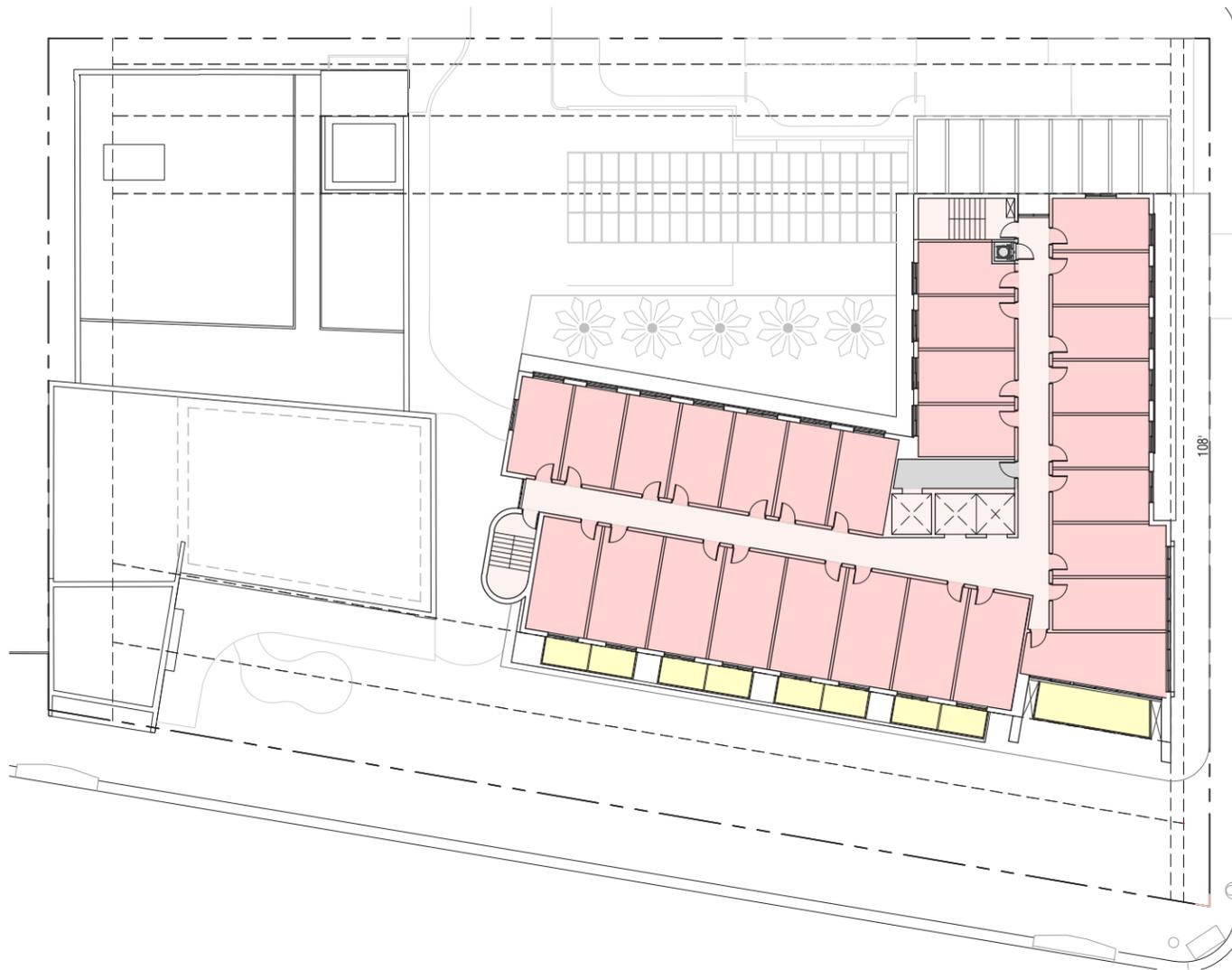
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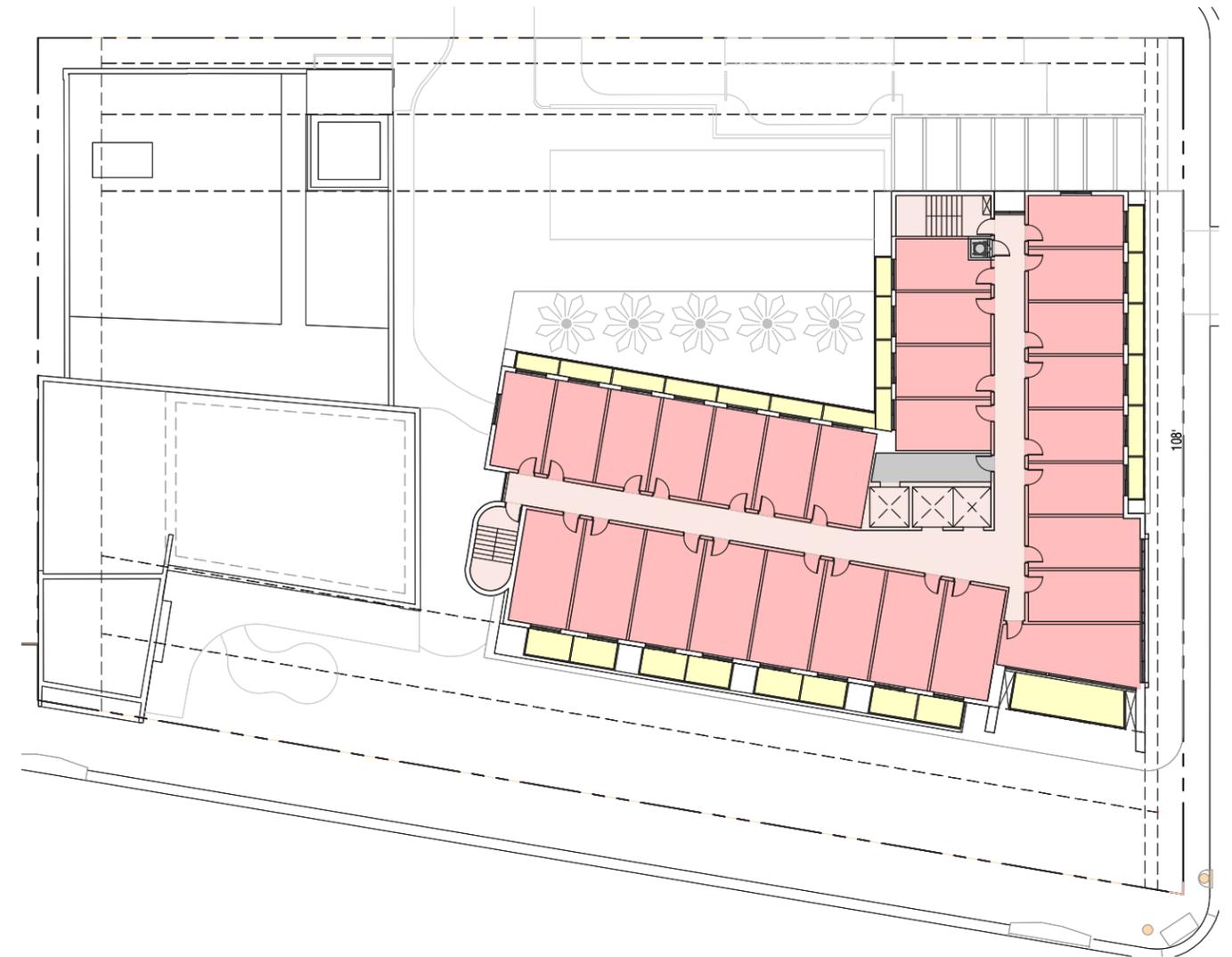
PROJECT SCHEDULE OF AREAS

SCALE: 1/32" = 1'-0"

A-12.24.A



FIFTH LEVEL



SIXTH LEVEL

PROPOSED GSF	EXISTING	NEW ENCLOSED AREAS	DRIVEWAYS, PARKING AND PORCHES	BALCONIES	TOTAL NEW
GROUND LEVEL	7,383 SF	3,496 SF	19,644 SF		23,140 SF
SECOND LEVEL	7,530 SF	8,660 SF		3,202 SF	11,862 SF
THIRD LEVEL	3,615 SF	8,660 SF		2,059 SF	10,719 SF
FOURTH LEVEL	654 SF	9,304 SF		727 SF	10,031 SF
FIFTH LEVEL		8,663 SF		562 SF	9,225 SF
SIXTH LEVEL		8,663 SF		1,108 SF	9,771 SF
ROOF LEVEL		758 SF		7,116 SF	7,874 SF
TOTAL GSF	19,182 SF	48,204 SF	19,644 SF	14,774 SF	82,622 SF
TOTAL NEW BUILDING AND SITE GSF		48,204 SF	19,644 SF	14,774 SF	82,622 SF
PROPOSED OFFICE					
SECOND LEVEL	7,530 GSF				
THIRD LEVEL	4,522 GSF				
TOTAL OFFICE GSF	12,052 GSF				

PROPOSED UNITS

	COLIVE UNIT TYPES			HOTEL KEYS		
	2BR 636 SF	3BR 827-855 SF	4BR 1,283 SF	JUNIOR STUDIO 275 SF	STANDARD 209-275 SF	SUITE 332-388 SF
2ND	1	3	1	8		
3RD	1	3	1	8		
4TH				23		
5TH					27	1
6TH					27	1
TOTAL COLIVE UNITS	2	6	2	39		
TOTAL HOTEL KEYS	56				54	2
TOTAL KEYS + UNITS	105					



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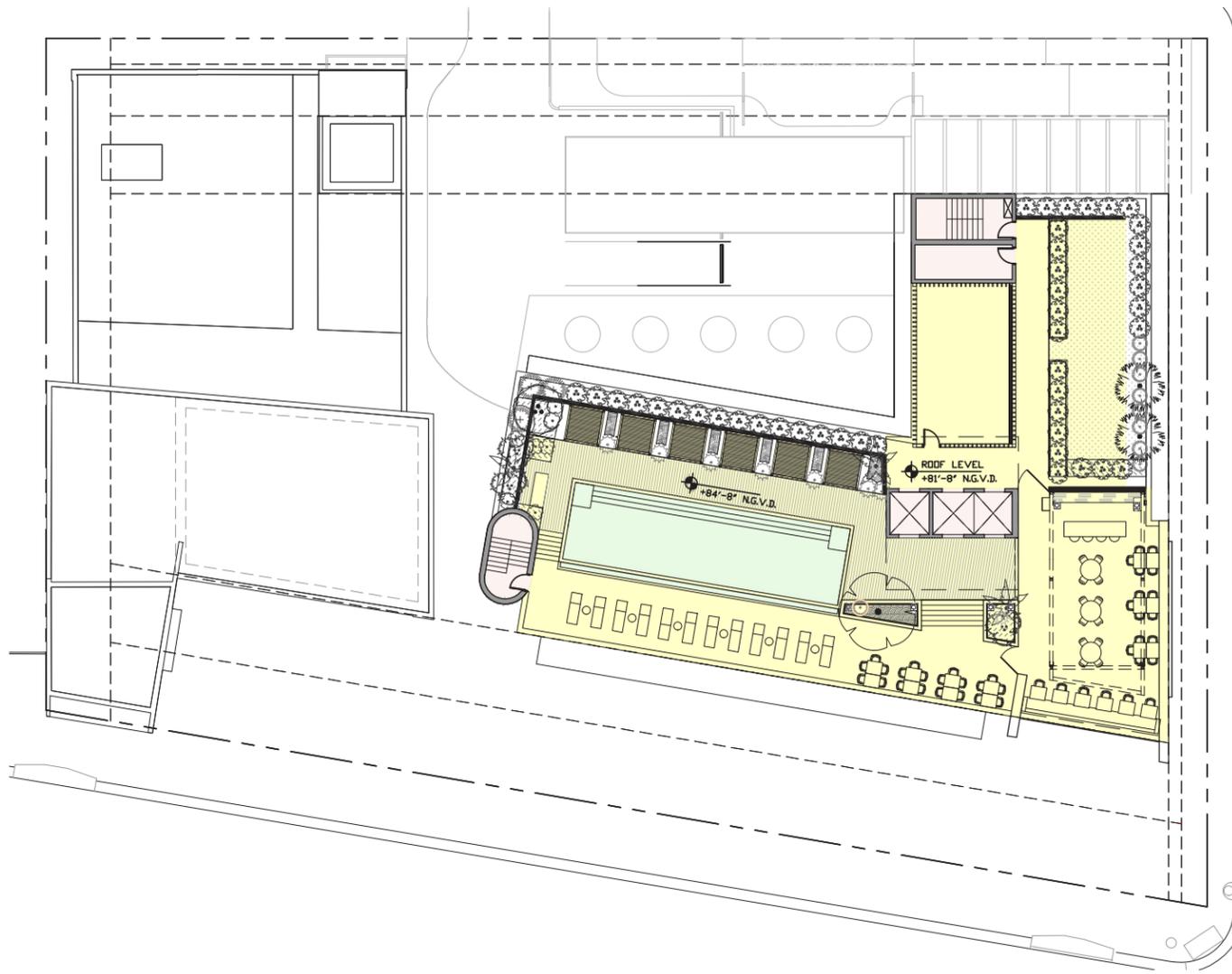
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PROJECT SCHEDULE OF AREAS

SCALE: 1/32" = 1'-0"

A-12.24.B



ROOF LEVEL

PROPOSED GSF	EXISTING	NEW ENCLOSED AREAS	DRIVEWAYS, PARKING AND PORCHES	BALCONIES	TOTAL NEW
GROUND LEVEL	7,383 SF	3,496 SF	19,644 SF		23,140 SF
SECOND LEVEL	7,530 SF	8,660 SF		3,202 SF	11,862 SF
THIRD LEVEL	3,615 SF	8,660 SF		2,059 SF	10,719 SF
FOURTH LEVEL	654 SF	9,304 SF		727 SF	10,031 SF
FIFTH LEVEL		8,663 SF		562 SF	9,225 SF
SIXTH LEVEL		8,663 SF		1,108 SF	9,771 SF
ROOF LEVEL		758 SF		7,116 SF	7,874 SF
TOTAL GSF	19,182 SF	48,204 SF	19,644 SF	14,774 SF	82,622 SF
TOTAL NEW BUILDING AND SITE GSF		48,204 SF	19,644 SF	14,774 SF	82,622 SF
PROPOSED OFFICE					
SECOND LEVEL	7,530 GSF				
THIRD LEVEL	4,522 GSF				
TOTAL OFFICE GSF	12,052 GSF				

PROPOSED UNITS

	COLIVE UNIT TYPES				HOTEL KEYS	
	2BR 636 SF	3BR 827-855 SF	4BR 1,283 SF	JUNIOR STUDIO 275 SF	STANDARD 209-275 SF	SUITE 332-388 SF
2ND	1	3	1	8		
3RD	1	3	1	8		
4TH				23		
5TH					27	1
6TH					27	1
TOTAL COLIVE UNITS	2	6	2	39		
TOTAL HOTEL KEYS	56				54	2
TOTAL KEYS + UNITS	105					



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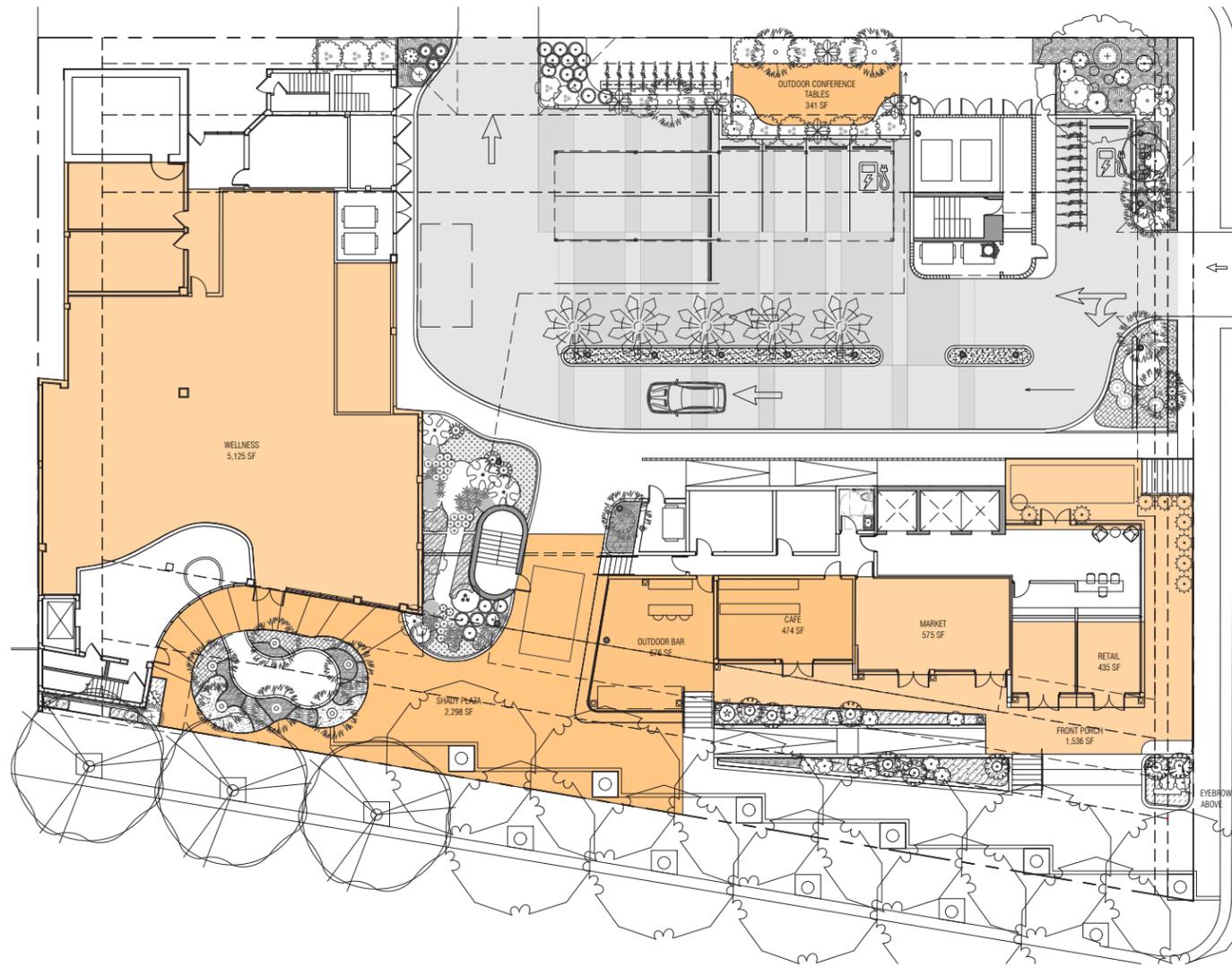
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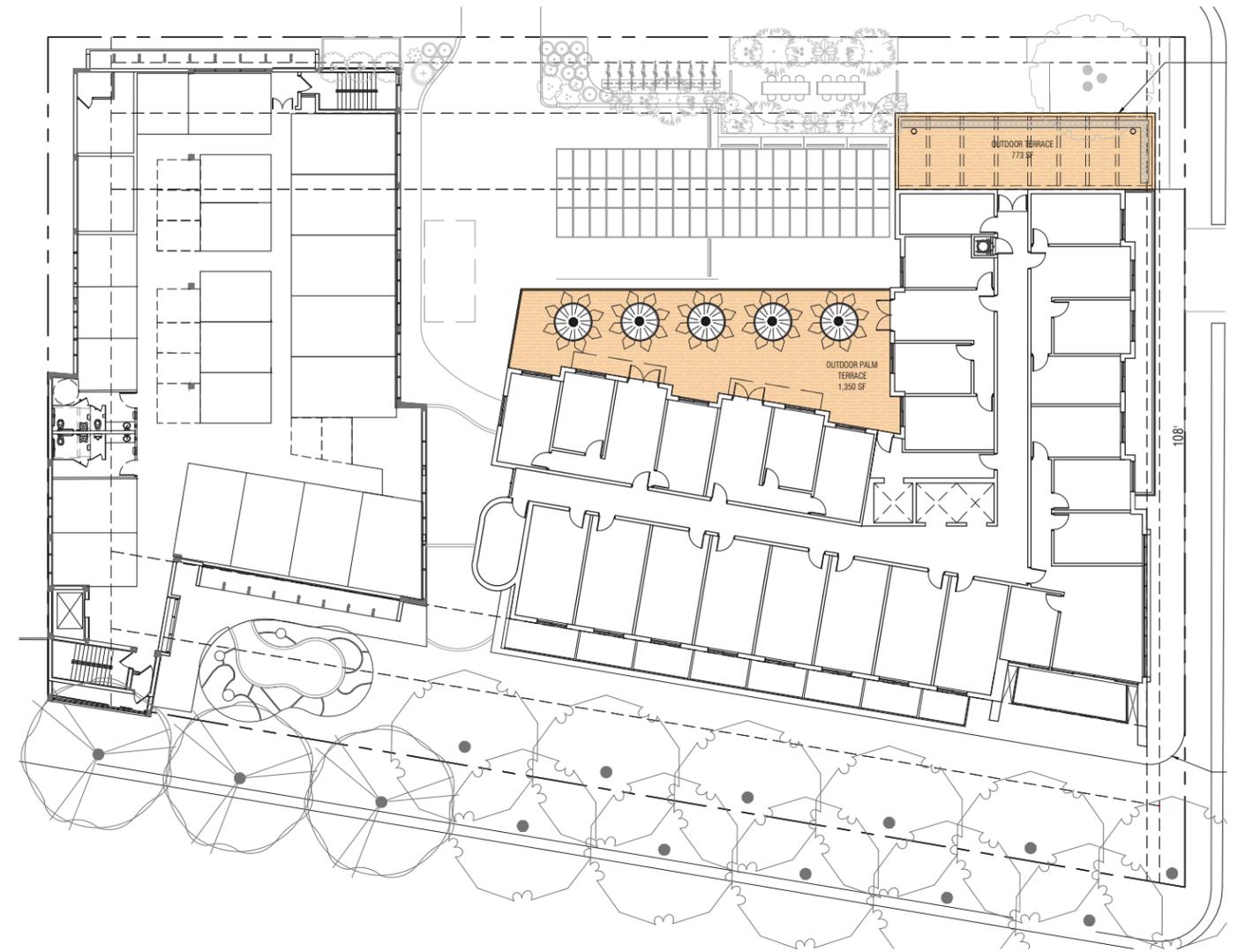
PROJECT SCHEDULE OF AREAS

SCALE: 1/32" = 1'-0"

A-12.24.C



GROUND LEVEL 11,460 GSF



SECOND LEVEL 2,123 GSF

AMENITY GSF	OFFICE BUILDING	NEW CONSTRUCTION	
WELLNESS CENTER	5,125 GSF		
RETAIL		435 GSF	
MARKET		575 GSF	
CAFE		474 GSF	
FRONT PORCH		1,536 GSF	
OUTDOOR BAR		676 GSF	
SHADY PLAZA		2,298 GSF	
OUTDOOR CONFERENCE TABLES		341 GSF	
OUTDOOR TERRACE		773 GSF	
OUTDOOR PALM TERRACE		1,350 GSF	
COMMUNITY LIVING ROOM		484 GSF	
OFFICE COVERED TERRACE	881 GSF		
ROOF DECK AND POOL		3,955 GSF	
ROOF BAR / LOUNGE		1,277 GSF	
GREEN AREA		814 GSF	
TOTAL GSF	6,006 GSF	14,999 GSF	21,005 GSF
TOTAL DEVELOPMENT GSF	REQUIRED AMENITY SPACE	PROVIDED AMENITY SPACE	
101,804 GSF	20,361 GSF (20%)	21,005 GSF (20.6%)	
			GROUND LEVEL RESTAURANT/ BAR /CAFE
			1,150 GSF (5.4% OF AMENITY GSF)

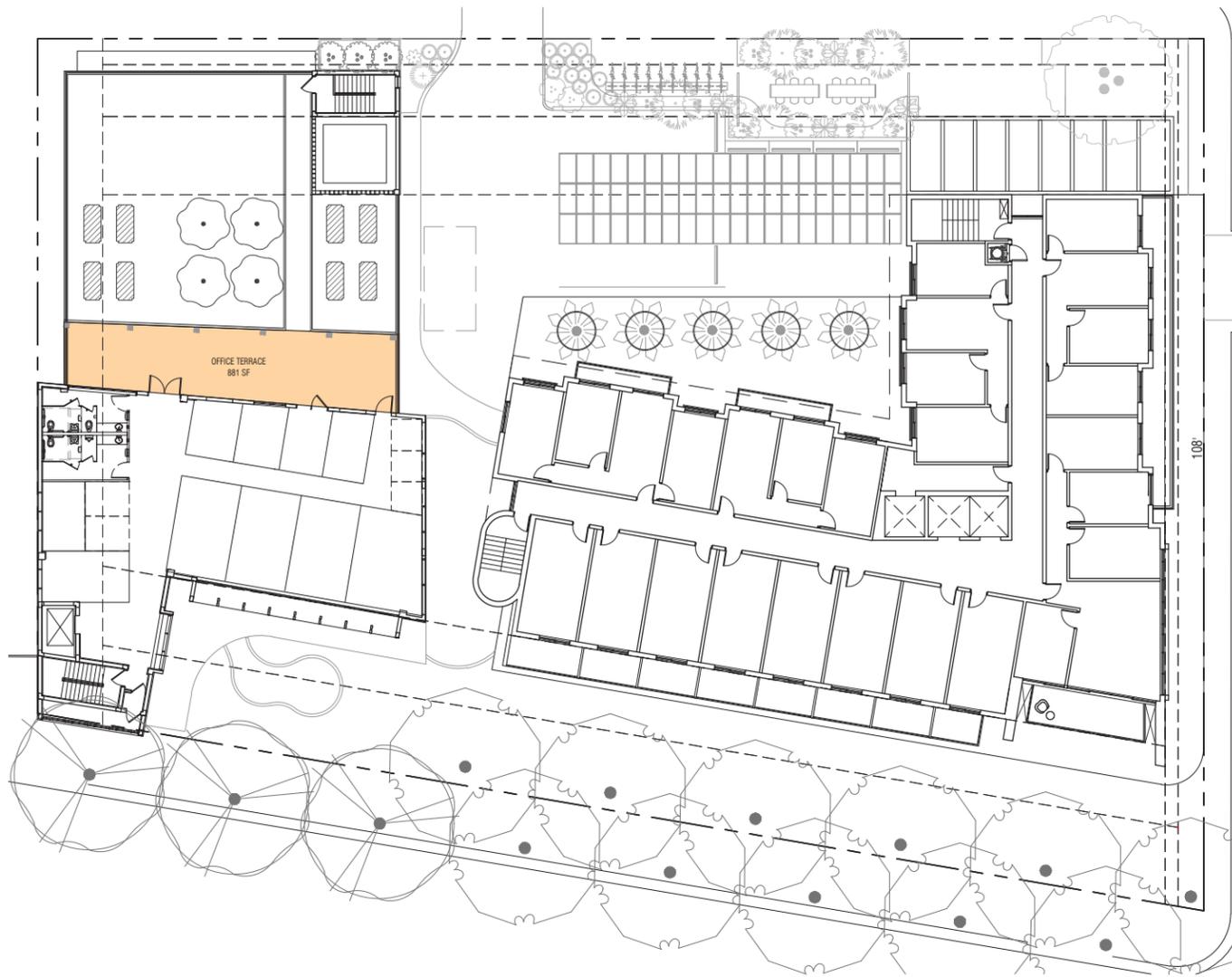

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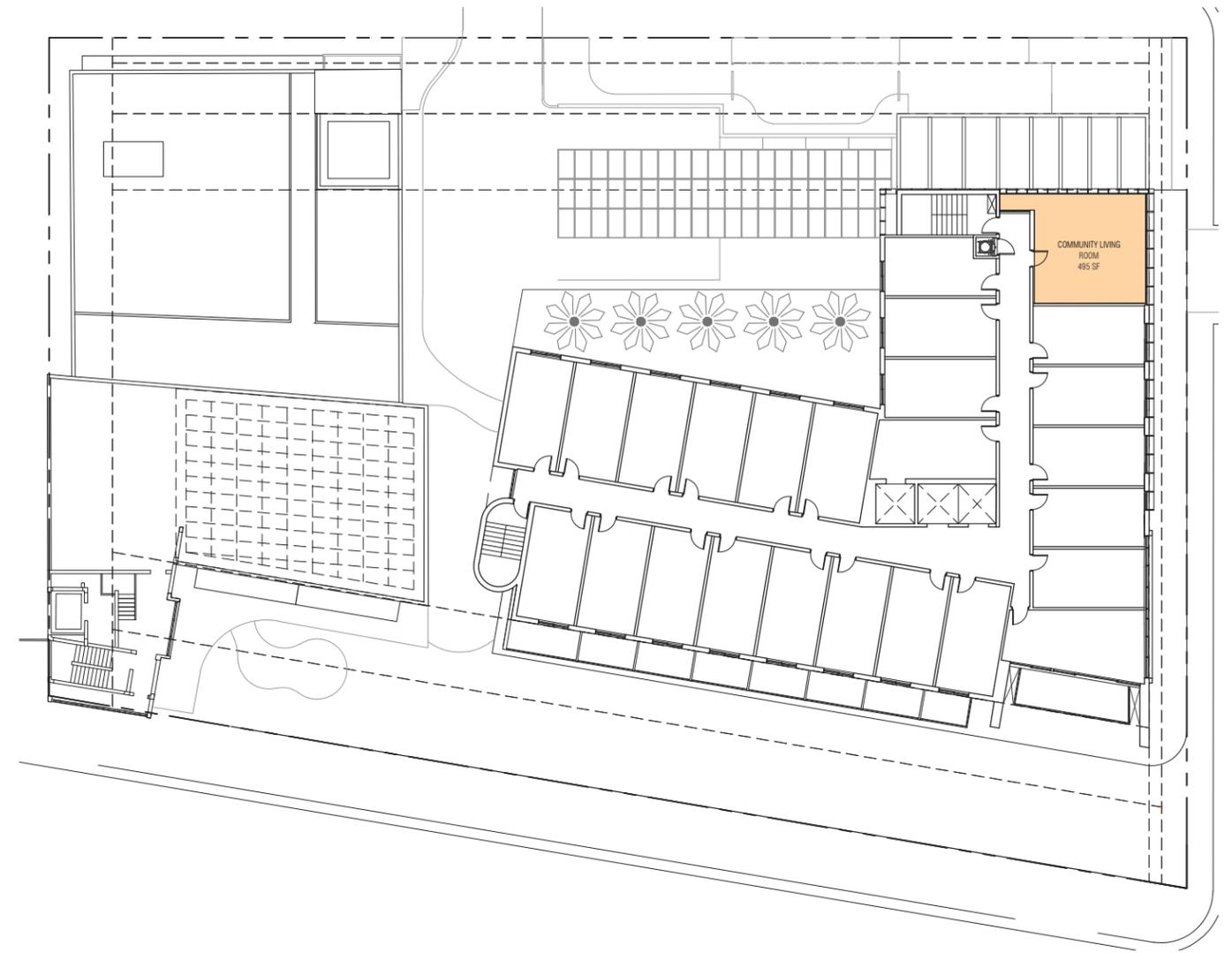

PROJECT SCHEDULE OF AREAS - AMENITIES
 SCALE: 1/32" = 1'-0"

A-12.24.D

HISTORIC PRESERVATION BOARD - FINAL SUBMITTAL - 06 MARCH 2020



THIRD LEVEL 881 GSF



FOURTH LEVEL 495 GSF

AMENITY GSF	OFFICE BUILDING	NEW CONSTRUCTION	
WELLNESS CENTER	5,125 GSF		
RETAIL		435 GSF	
MARKET		575 GSF	
CAFE		474 GSF	
FRONT PORCH		1,536 GSF	
OUTDOOR BAR		676 GSF	
SHADY PLAZA		2,298 GSF	
OUTDOOR CONFERENCE TABLES		341 GSF	
OUTDOOR TERRACE		773 GSF	
OUTDOOR PALM TERRACE		1,350 GSF	
COMMUNITY LIVING ROOM		484 GSF	
OFFICE COVERED TERRACE	881 GSF		
ROOF DECK AND POOL		3,955 GSF	
ROOF BAR / LOUNGE		1,277 GSF	
GREEN AREA		814 GSF	
TOTAL GSF	6,006 GSF	14,999 GSF	21,005 GSF
TOTAL DEVELOPMENT GSF	REQUIRED AMENITY SPACE	PROVIDED AMENITY SPACE	
101,804 GSF	20,361 GSF (20%)	21,005 GSF (20.6%)	
GROUND LEVEL RESTAURANT/ BAR /CAFE			1,150 GSF (5.4% OF AMENITY GSF)



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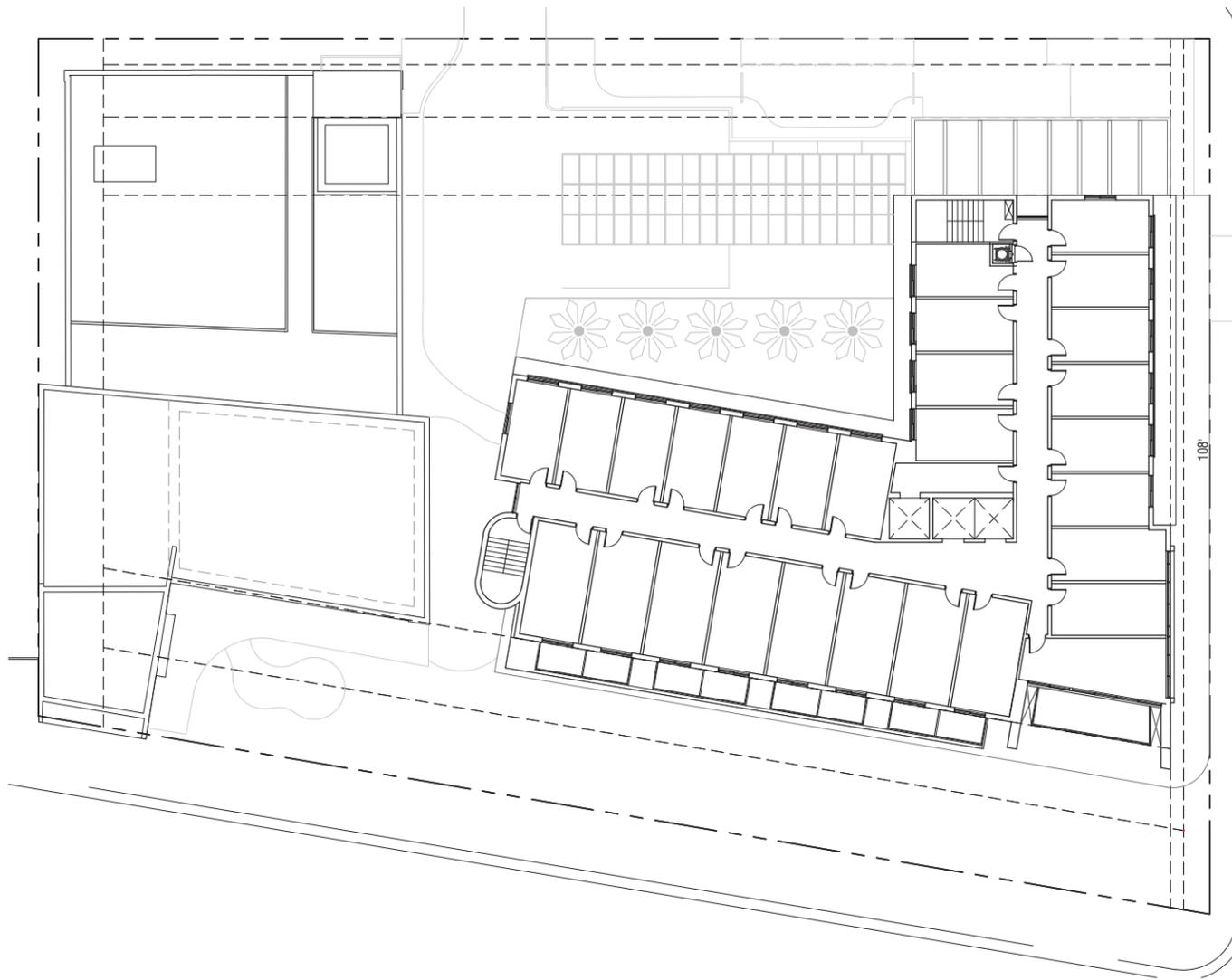


PROJECT SCHEDULE OF AREAS - AMENITIES

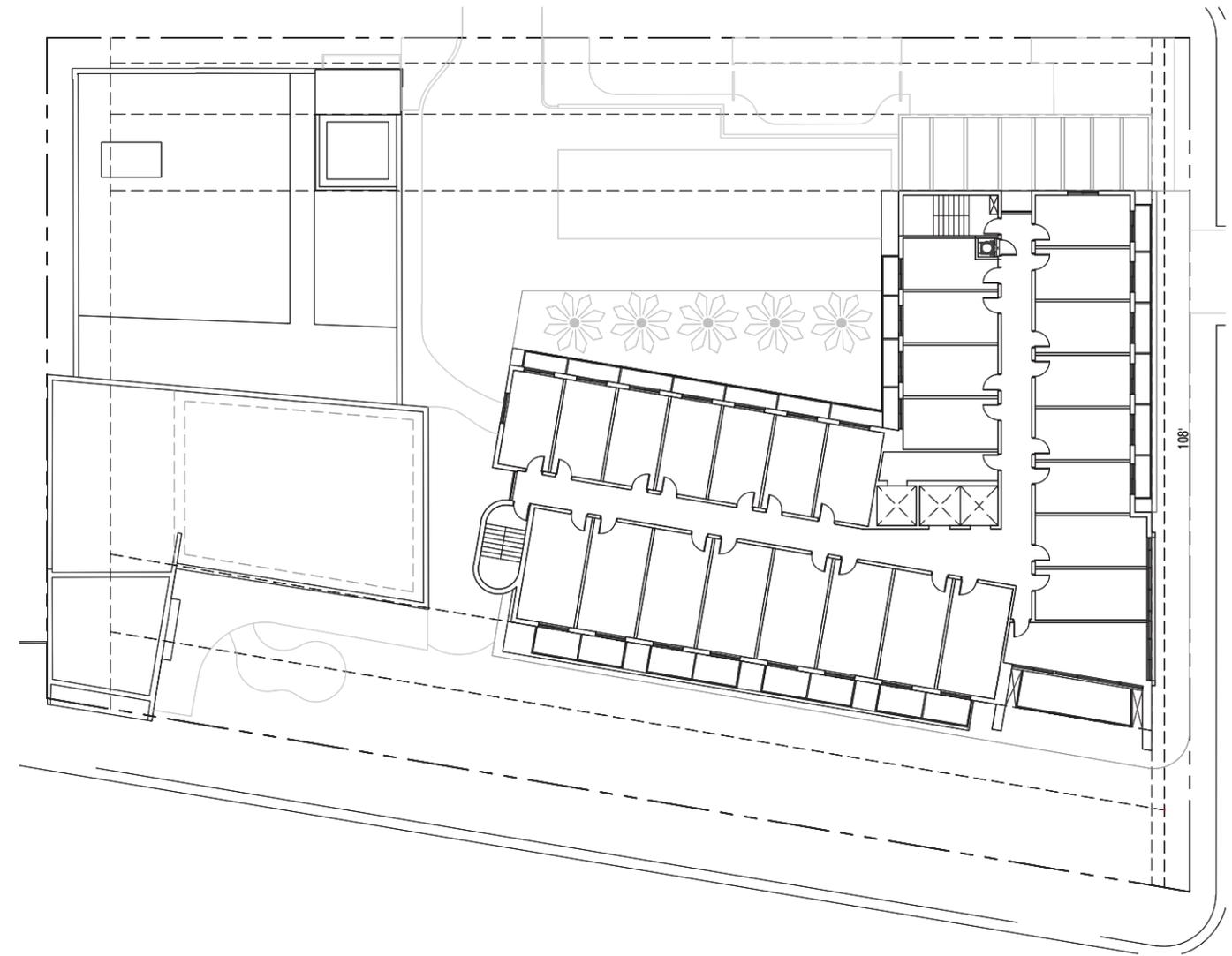
SCALE: 1/32" = 1'-0"

A-12.24.E

HISTORIC PRESERVATION BOARD - FINAL SUBMITTAL - 06 MARCH 2020



FIFTH LEVEL 0 GSF



SIXTH LEVEL 0 GSF

AMENITY GSF	OFFICE BUILDING	NEW CONSTRUCTION	
WELLNESS CENTER	5,125 GSF		
RETAIL		435 GSF	
MARKET		575 GSF	
CAFE		474 GSF	
FRONT PORCH		1,536 GSF	
OUTDOOR BAR		676 GSF	
SHADY PLAZA		2,298 GSF	
OUTDOOR CONFERENCE TABLES		341 GSF	
OUTDOOR TERRACE		773 GSF	
OUTDOOR PALM TERRACE		1,350 GSF	
COMMUNITY LIVING ROOM		484 GSF	
OFFICE COVERED TERRACE	881 GSF		
ROOF DECK AND POOL		3,955 GSF	
ROOF BAR / LOUNGE		1,277 GSF	
GREEN AREA		814 GSF	
TOTAL GSF	6,006 GSF	14,999 GSF	21,005 GSF
TOTAL DEVELOPMENT GSF	REQUIRED AMENITY SPACE		PROVIDED AMENITY SPACE
101,804 GSF	20,361 GSF (20%)		21,005 GSF (20.6%)
			GROUND LEVEL RESTAURANT/ BAR /CAFE
			1,150 GSF (5.4% OF AMENITY GSF)



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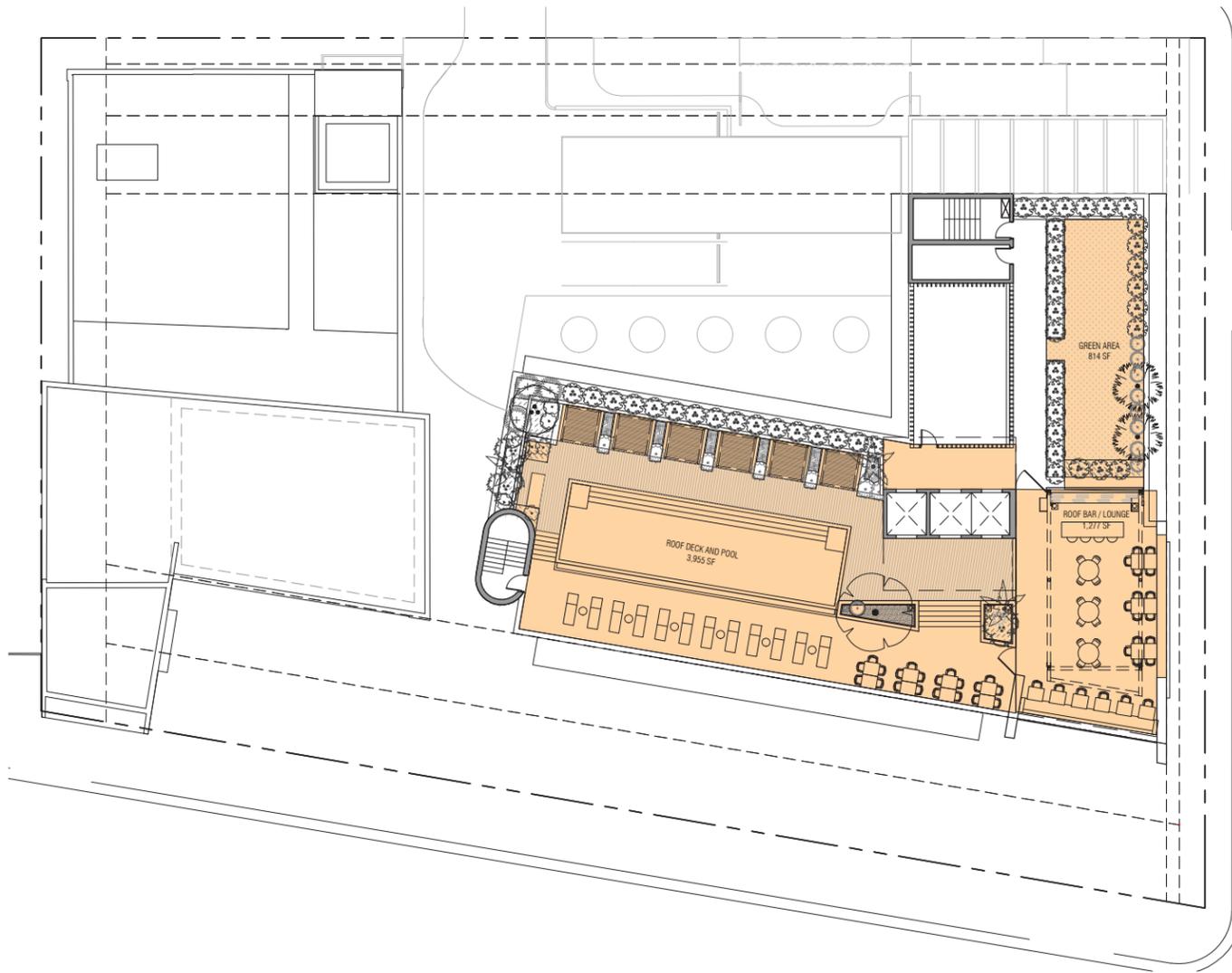


PROJECT SCHEDULE OF AREAS - AMENITIES

SCALE: 1/32" = 1'-0"

A-12.24.F

HISTORIC PRESERVATION BOARD - FINAL SUBMITTAL - 06 MARCH 2020



ROOF LEVEL 6,046 GSF

AMENITY GSF	OFFICE BUILDING	NEW CONSTRUCTION	
WELLNESS CENTER	5,125 GSF		
RETAIL		435 GSF	
MARKET		575 GSF	
CAFE		474 GSF	
FRONT PORCH		1,536 GSF	
OUTDOOR BAR		676 GSF	
SHADY PLAZA		2,298 GSF	
OUTDOOR CONFERENCE TABLES		341 GSF	
OUTDOOR TERRACE		773 GSF	
OUTDOOR PALM TERRACE		1,350 GSF	
COMMUNITY LIVING ROOM		484 GSF	
OFFICE COVERED TERRACE	881 GSF		
ROOF DECK AND POOL		3,955 GSF	
ROOF BAR / LOUNGE		1,277 GSF	
GREEN AREA		814 GSF	
TOTAL GSF	6,006 GSF	14,999 GSF	21,005 GSF
TOTAL DEVELOPMENT GSF	REQUIRED AMENITY SPACE		PROVIDED AMENITY SPACE
101,804 GSF	20,361 GSF (20%)		21,005 GSF (20.6%)
			GROUND LEVEL RESTAURANT/ BAR /CAFE
			1,150 GSF (5.4% OF AMENITY GSF)



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PROJECT SCHEDULE OF AREAS - AMENITIES

SCALE: 1/32" = 1'-0"

A-12.24.G

URBIN RETREAT NEW CONSTRUCTION		URBIN RETREAT NEW CONSTRUCTION - balconies and site		URBIN RETREAT EXISTING BUILDING	
GROUND FLOOR		GROUND FLOOR		GROUND FLOOR	
Retail GSF	1,461 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF				Office GSF	455 SF
Residential GSF	1,552 SF	Residential porche GSF	981 SF	Residential GSF	
BOH GSF	483 SF	Site gross area (exterior paved)	18,098 SF	BOH GSF	1,803 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	3,496 SF	SUB-TOTAL	19,644 SF	SUB-TOTAL	7,383 SF
2ND FLOOR		2ND FLOOR		2ND FLOOR	
Office GSF				Office GSF	7,119 SF
Residential GSF	8,502 SF	Residential balconies GSF	3,202 SF	Residential GSF	
BOH GSF	158 SF			BOH GSF	411 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	3,202 SF	SUB-TOTAL	7,530 SF
3RD FLOOR		3RD FLOOR		3RD FLOOR	
Office GSF				Office GSF	3,615 SF
Residential GSF	8,493 SF	Residential balconies GSF	1,152 SF	Residential GSF	
BOH GSF	167 SF	Office activated terrace GSF	907 SF	BOH GSF	
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	2,059 SF	SUB-TOTAL	3,615 SF
4TH FLOOR		4TH FLOOR		4TH FLOOR	
Office GSF				Office GSF	455 SF
Residential GSF		Residential balconies GSF	727 SF	Residential GSF	
BOH GSF	302 SF			BOH GSF	199 SF
Lodging GSF	9,002 SF			Lodging GSF	
SUB-TOTAL	9,304 SF	SUB-TOTAL	727 SF	SUB-TOTAL	654 SF
5TH FLOOR		5TH FLOOR		5TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	562 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	562 SF	SUB-TOTAL	
6TH FLOOR		6TH FLOOR		6TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	1,108 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	1,108 SF	SUB-TOTAL	
ROOF		ROOF		ROOF	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF				BOH GSF	
Lodging GSF	758 SF	Roof open deck and pool SF	7,116 SF	Lodging GSF	
SUB-TOTAL	758 SF	SUB-TOTAL	7,116 SF	SUB-TOTAL	
SUB-TOTAL		SUB-TOTAL		SUB-TOTAL	
Retail GSF	1,461 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF	0 SF	Outdoor porche GSF	981 SF	Office GSF	11,644 SF
Residential GSF	18,547 SF	Residential balconies and terraces GSF	5,081 SF	Residential GSF	0 SF
BOH GSF	1,282 SF	Site GSF	18,098 SF	BOH GSF	2,413 SF
Lodging GSF	18,251 SF	Lodging balconies and roof deck GSF	9,693 SF	Lodging GSF	0 SF
TOTAL GROSS SF	48,204 SF	TOTAL GROSS SF	34,418 SF	TOTAL GROSS EXISTING SF	19,182 SF
		TOTAL GROSS NEW CONSTRUCTION SF			
		82,622 SF			



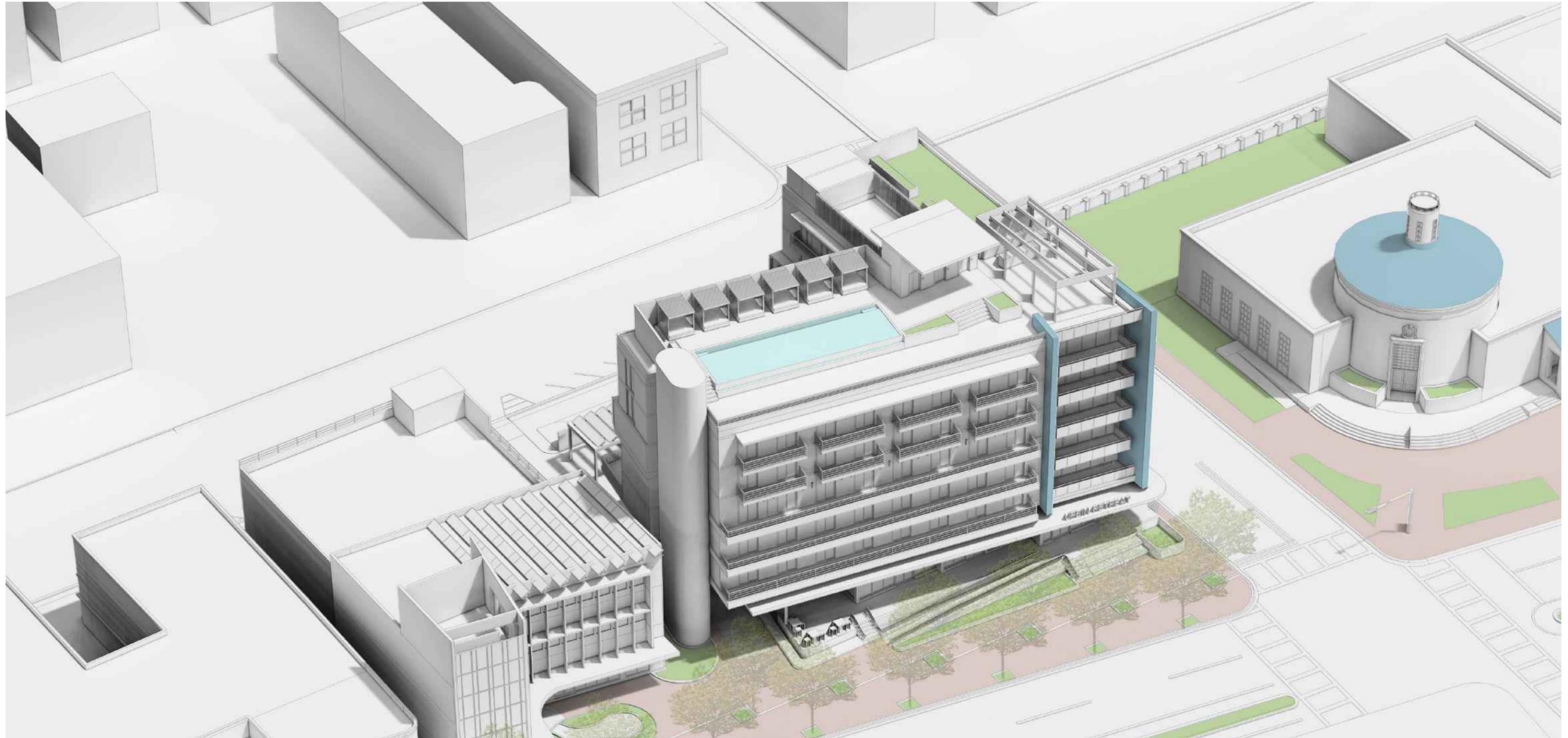
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AREA CALCULATIONS

A-12.25



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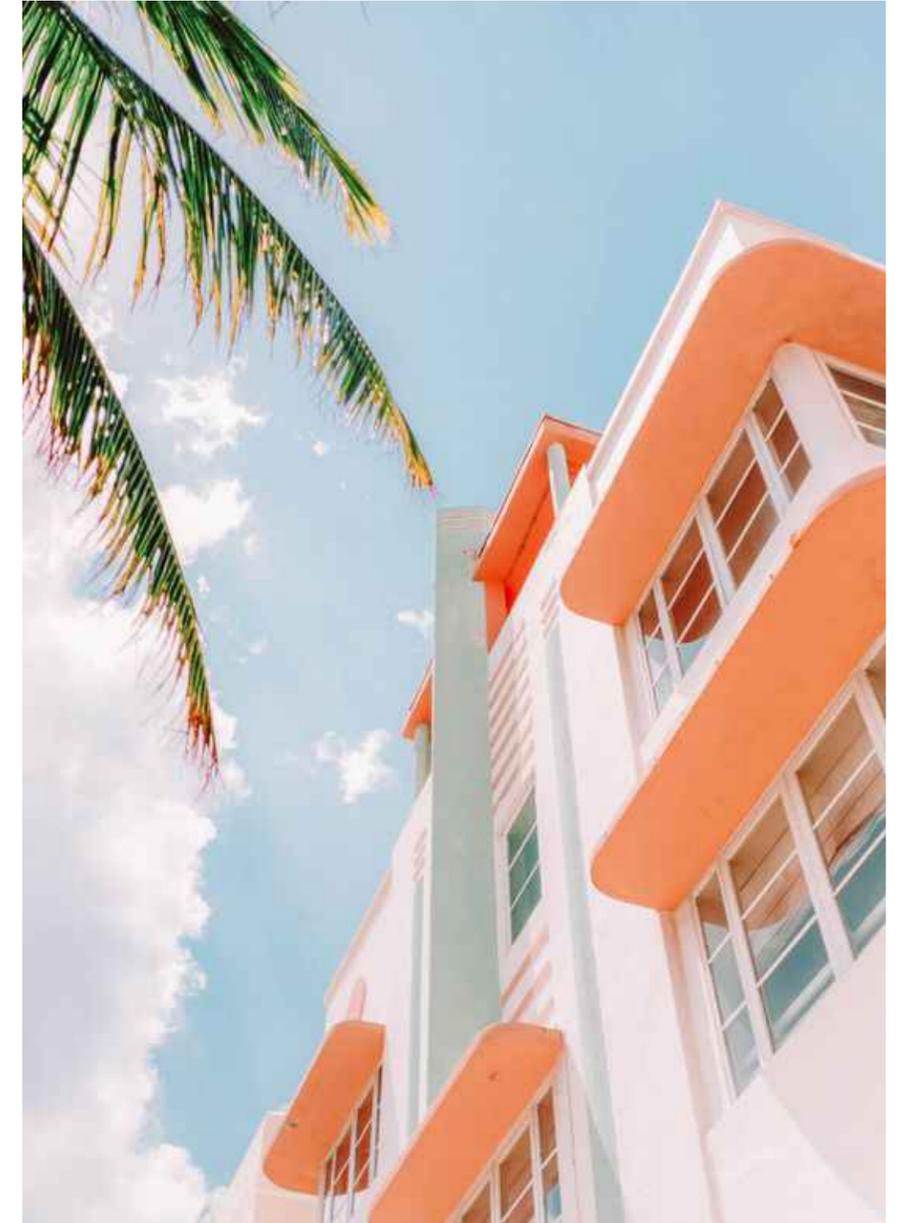
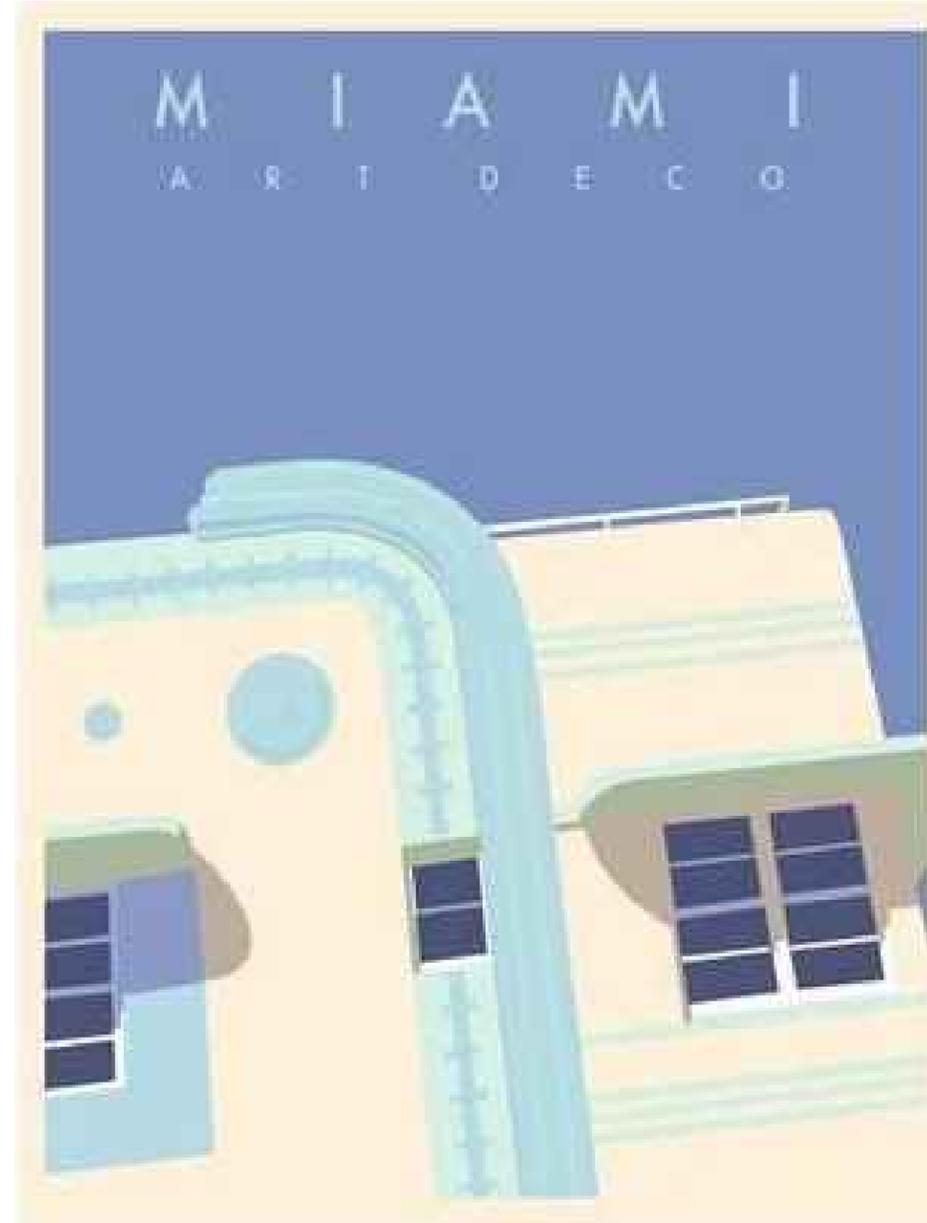


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PROPOSED AXONOMETRIC

A-12.26

MIAMI BEACH - Joyful, Playful architecture inspired by tropical natural environment

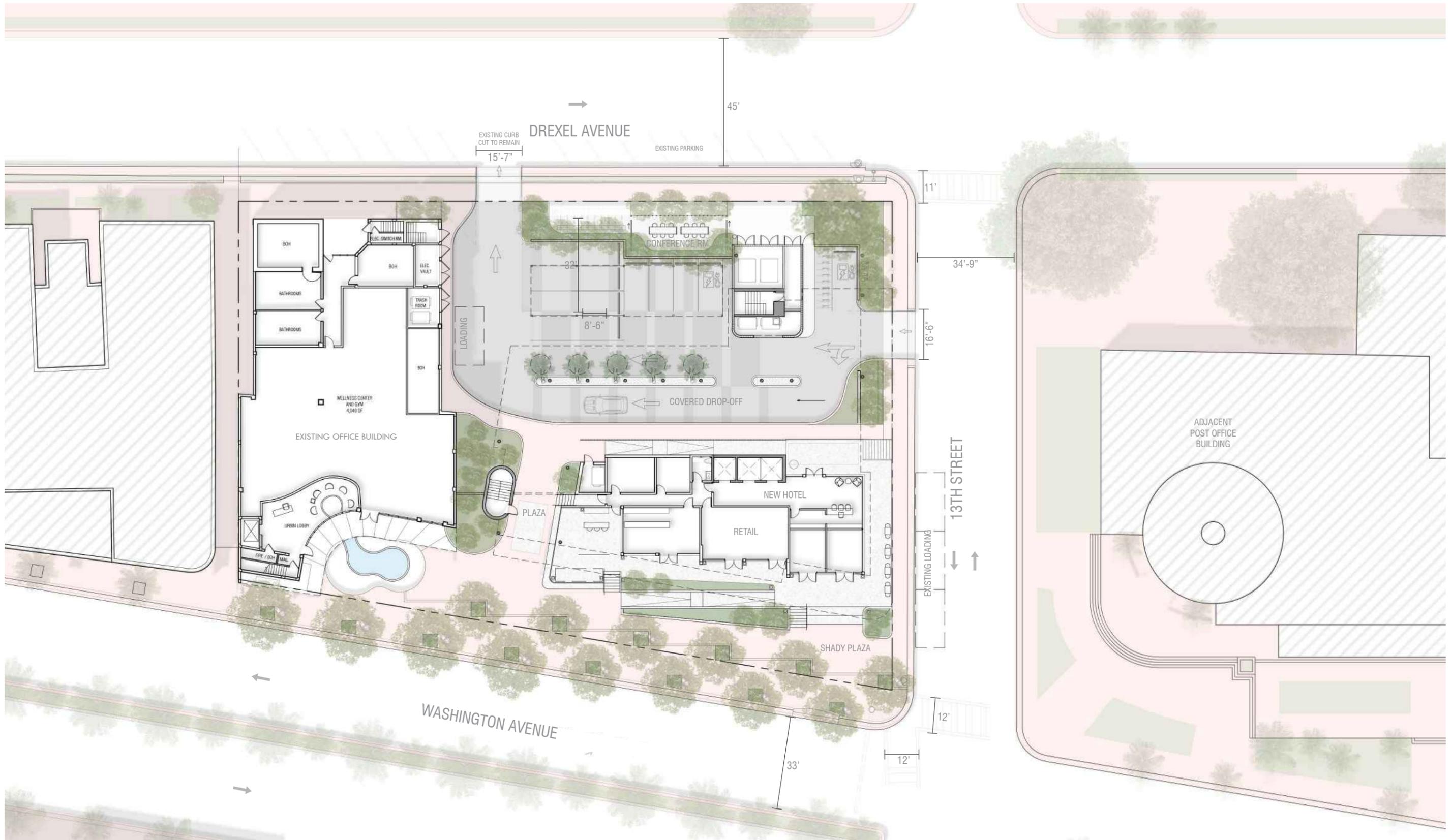


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MIAMI BEACH INSPIRATION



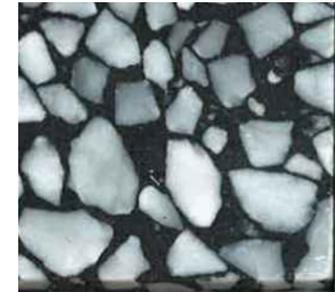
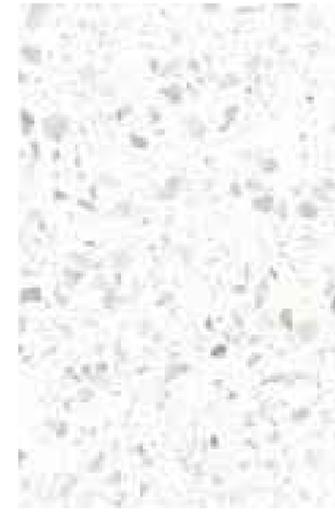

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URBAN DIAGRAM
 SCALE: 1/32" = 1'-0"

A-14.1

MIAMI BEACH INSPIRED



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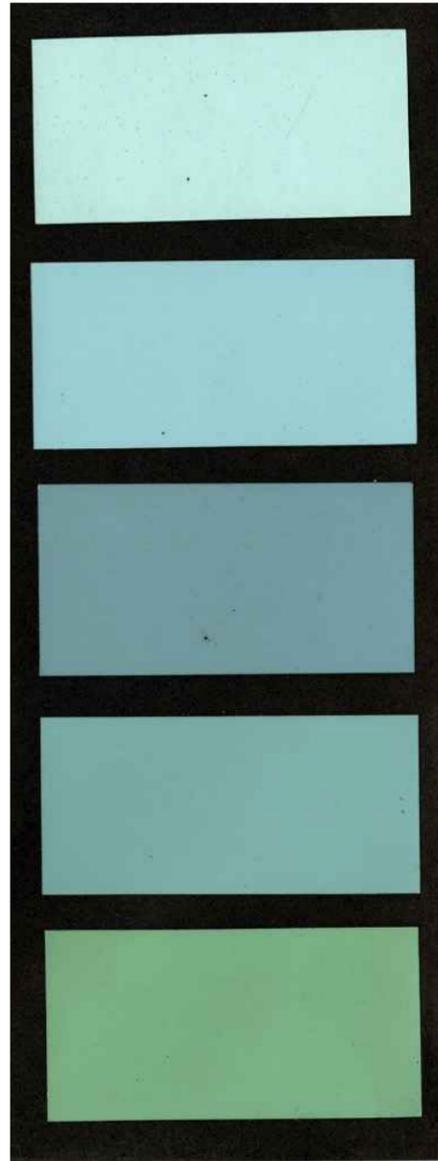


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MIAMI BEACH INSPIRATION

PALETTE:

COLOR EVOLUTION comes from Materials themselves. Still colorful and playful, but pared down.



MIAMI BEACH HISTORIC PALETTE



COPPER CLADDING

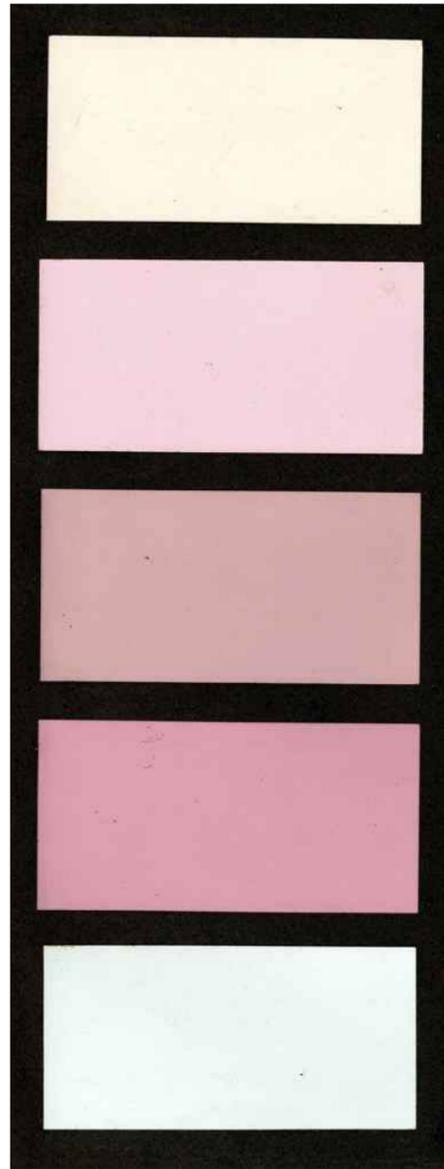


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INSPIRATION IMAGES - MIAMI BEACH HISTORIC PALETTE - REINTERPRETED



MIAMI BEACH HISTORIC PALETTE





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FACADE INSPIRATION

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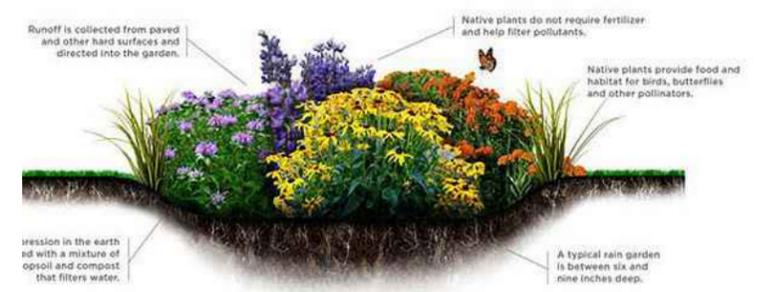
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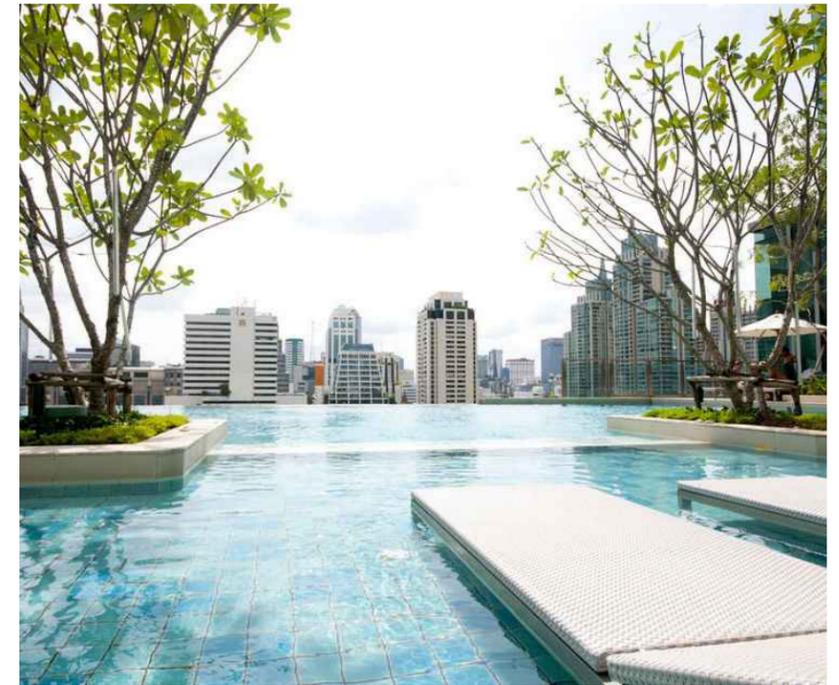
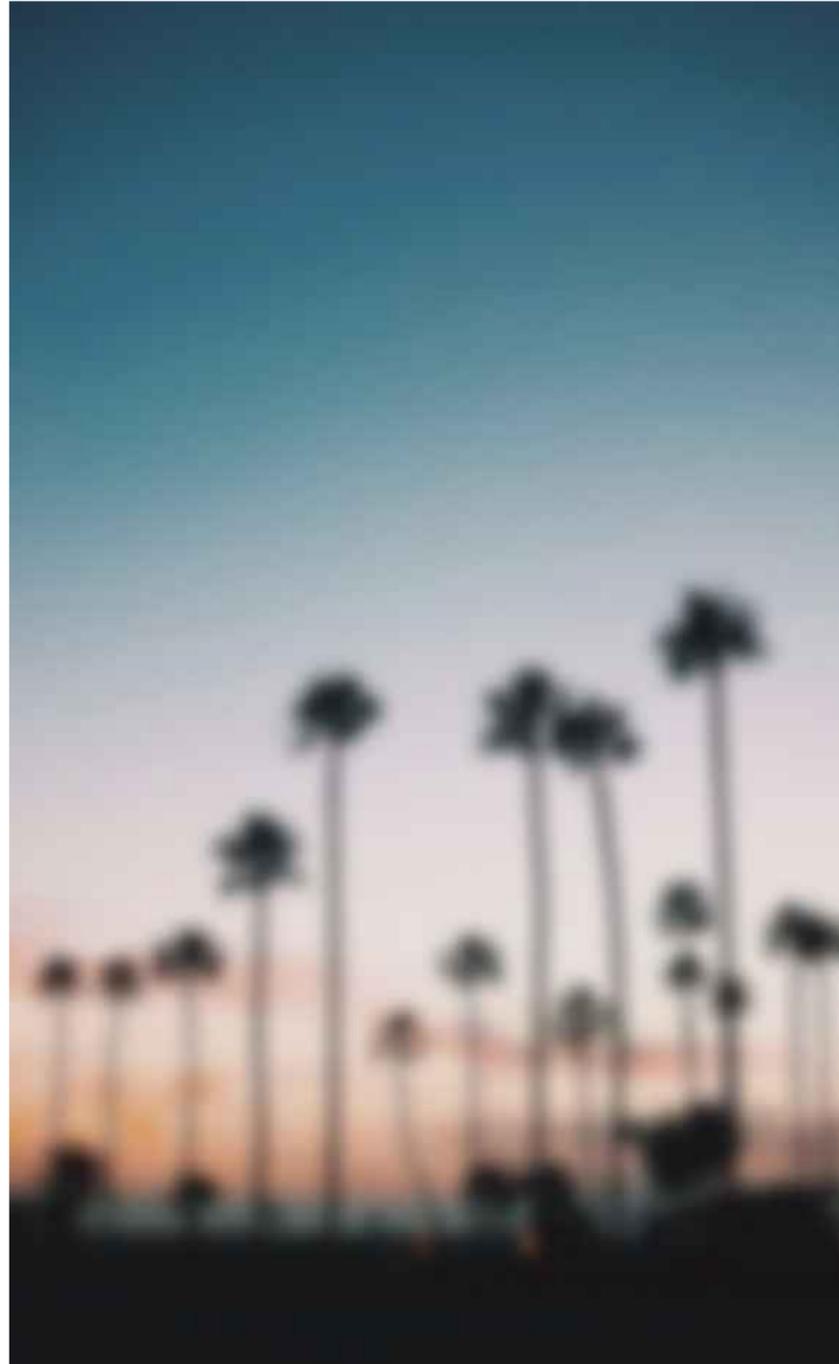
LANDSCAPE INSPIRATION



What is a Rain Garden?

Nature's Water Filter: Rain gardens are shallow landscaped depressions that capture, clean and absorb stormwater runoff from roofs, parking lots and roads.





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INSPIRATION IMAGES: ROOFTOP POOL

URBIN LIFE



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TOUZET STUDIO
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INSPIRATION IMAGES: LOCAL / MICRO RETAIL & MARKET

URBIN WORK



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URBAN ACTIVATION ON DREXEL AVENUE

A-22.1

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UNITS: INSPIRATION IMAGES



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INTERIOR INSPIRATION

DREXEL AVE

45' RIGHT OF WAY

12'-6" SIDE INTERIOR SETBACK

EXIT ONE WAY DRIVEWAY +3'-0" N.G.V.D.

7'-0" HIGH SOUND ATTENUATION WALL

5'-0" HIGH MTL. GATE

5'-0" HIGH MTL. FENCE

5'-0" HIGH GATE

COMMUNITY WATER FILLING STATION

7'-0" HIGH SOUND ATTENUATION WALL

5'-0" YARD SETBACK

15'-0" TOWER SETBACK UP TO 35'-0" HEIGHT

30'-0" TOWER SETBACK ABOVE 35'-0" HEIGHT

BOH

ELEC. SWITCH RM.

BOH

ELEC. VAULT

BATHROOMS

BATHROOMS

TRASH ROOM

173 SF

SOLAR CANOPY ABOVE

VALET PARKING ONLY

PARKING

+4'-0" N.G.V.D.

FPL

FPL

UP STAIR #1

10 LONG TERM BIKE PARK

ELECTRIC SHUTTLE

ROLL UP GATE

BREEZE BLOCK SCREEN

ENTRANCE

BUILDING OUTLINE ABOVE 1:20 SLOPE

1:20 SLOPE

1:20 SLOPE

7'-0" HIGH SOUND ATTENUATION WALL SIDEWALK

+3'-0" N.G.V.D.

13TH STREET 34'-9" RIGHT OF WAY

WELLNESS CENTER AND GYM 4,040 SF

GROUND FLOOR +0'-0"

COVERED DROP OFF

WALKWAY +6'-4" N.G.V.D.

13'-8" HIGH BREEZE BLOCK SCREEN

UP RAMP 1:12 SLOPE

RAMP

TRASH RM 108 SF

FIRE COMMAND CENTER 223 SF

PUMP ROOM 161 SF

SERVICE ELEV. 3

ELEV. 2

ELEV. 1

VALET

URBAN LOBBY +9'-0" N.G.V.D. 1,215 SF

URBAN LOBBY

FIRE / BOH MAIL

OASIS

UP STAIR #2

HIDDEN PLAZA +5'-0" N.G.V.D.

12'-0" HIGH ROLL DOWN DOOR

12'-0" HIGH SOUND ATTENUATION WALL

+5'-0" N.G.V.D.

1:40 SLOPE

SCREENED OUTDOOR BAR 565 SF

(ENTERTAINMENT AREA)

TEMPORARY STAGE DURING EVENTS

UP

PLAZA +5'-0" N.G.V.D.

SHADY PLAZA

CAFE 469 SF

GARDENERS MARKET 581 SF

FRONT PORCH 981 SF

MICRO RETAIL 203 SF

MICRO RETAIL 208 SF

OFFICE

PORCH +9'-0" N.G.V.D.

LOADING ZONE PERMIT ONLY MON-SAT 7AM - 3PM

LOADING 10'-0"

LOADING 20'-0"

LOADING 10'-0"

FLOORING MATERIALS

(A) PINK MIAMI BEACH STANDARD SIDEWALK

(B) TERRAZZO

(C) TERRAZZO INLAY

(D) CONCRETE PERMEABLE PAVER

(S) - 12 SPEAKERS TOTAL

LOBBY
RETAIL
BOH

EXISTING WATER FEATURE TO BE RESTORED. ORIGINAL CONFIGURATION TO REMAIN. SEE LANDSCAPE PLANS

WASHINGTON AVENUE 33' RIGHT OF WAY

URBIN RETREAT 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED GROUND FLOOR PLAN

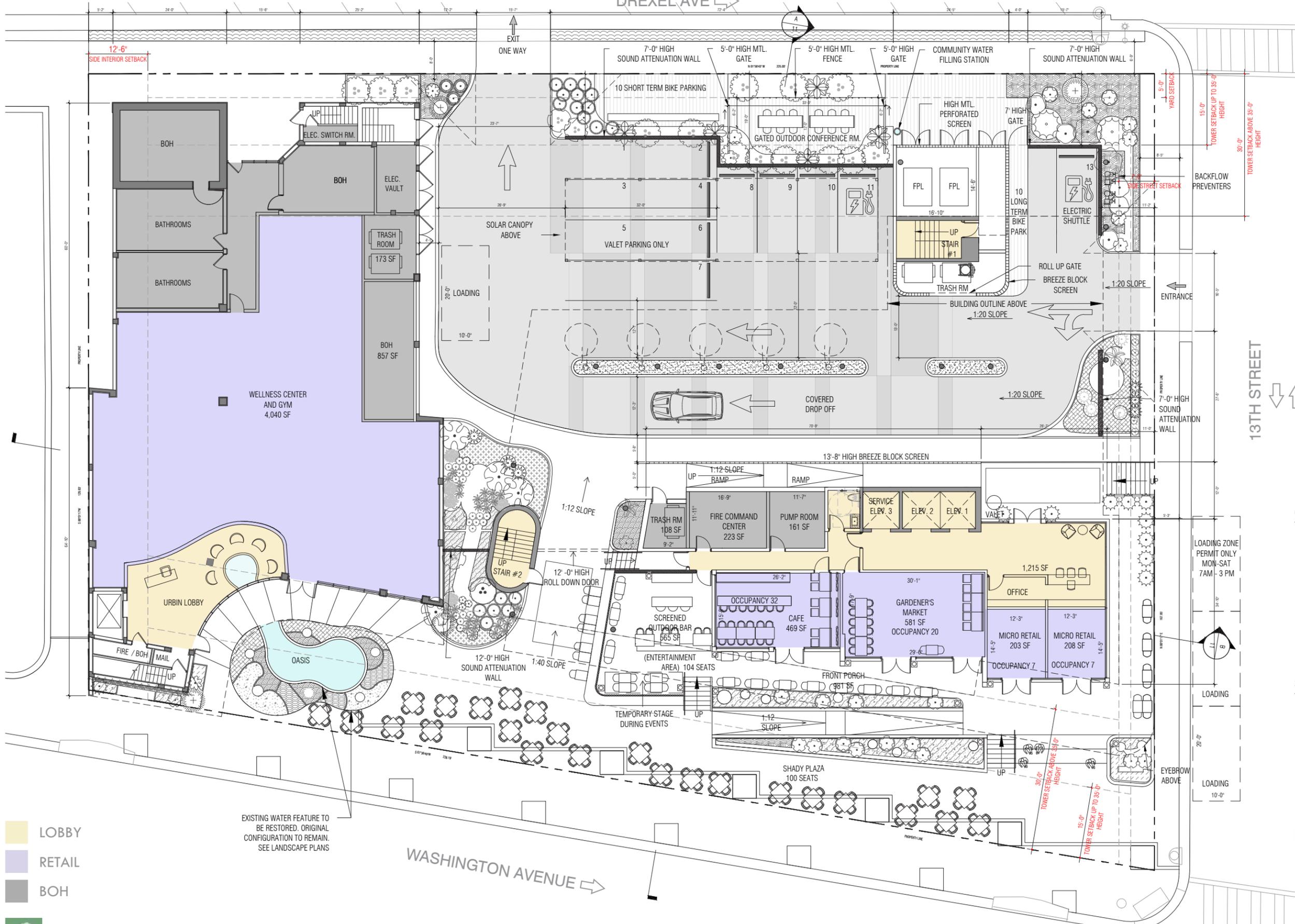
0' 5' 10' 25' 50' SCALE: 1:20

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DREXEL AVE



- LOBBY
- RETAIL
- BOH

EXISTING WATER FEATURE TO BE RESTORED. ORIGINAL CONFIGURATION TO REMAIN. SEE LANDSCAPE PLANS

OCCUPANCY COUNT

MARKET	20
CAFE	32
MICRO RETAIL 1	7
MICRO RETAIL 2	7
TOTAL	66

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

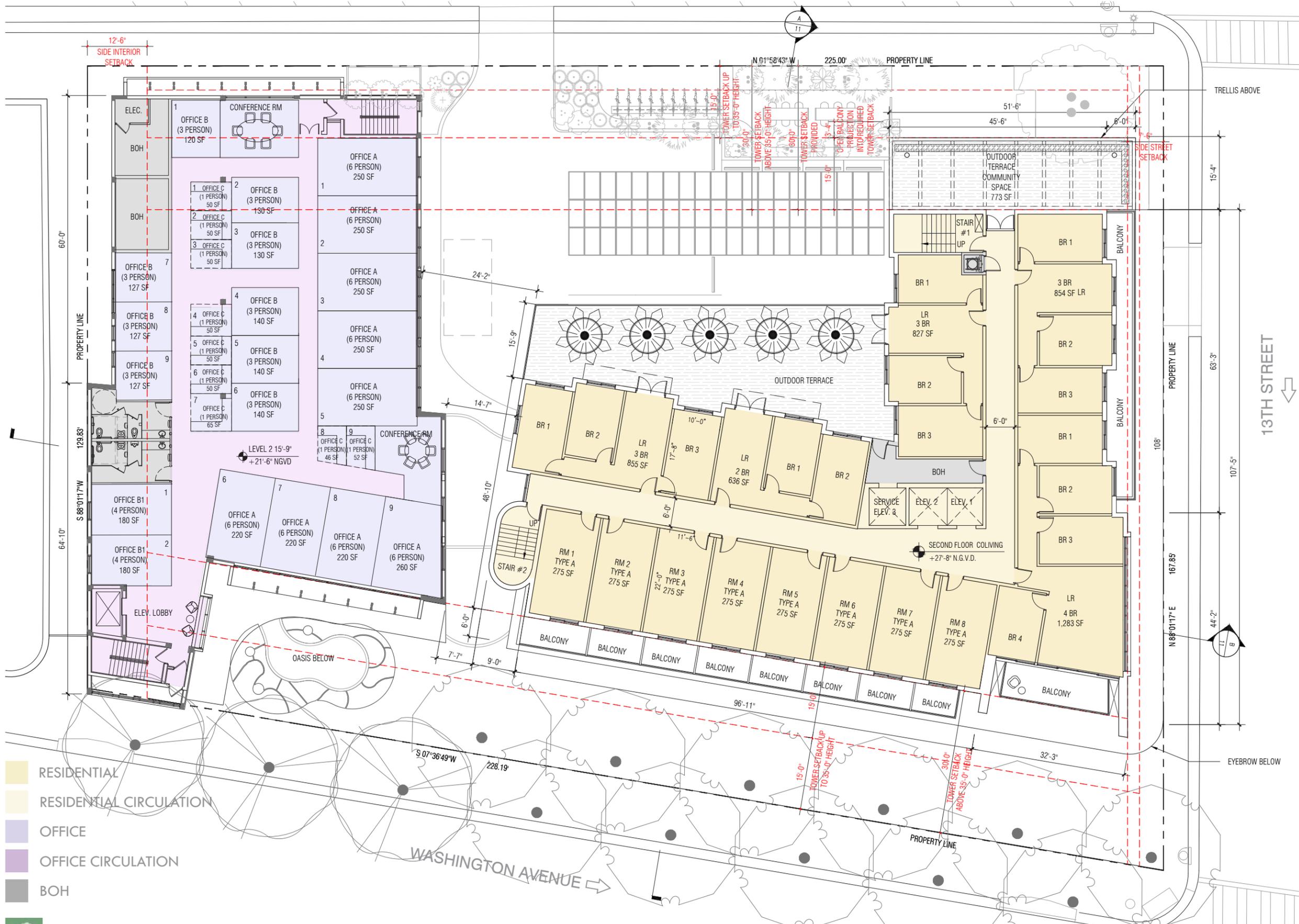
MARKET	20
CAFE	32
OUTDOOR BAR	82
SHADY PLAZA	100
MICRO RETAIL 1	0
MICRO RETAIL 2	0
TOTAL	234 SEATS

⊗ - 12 SPEAKERS TOTAL

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED GROUND FLOOR PLAN - F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20

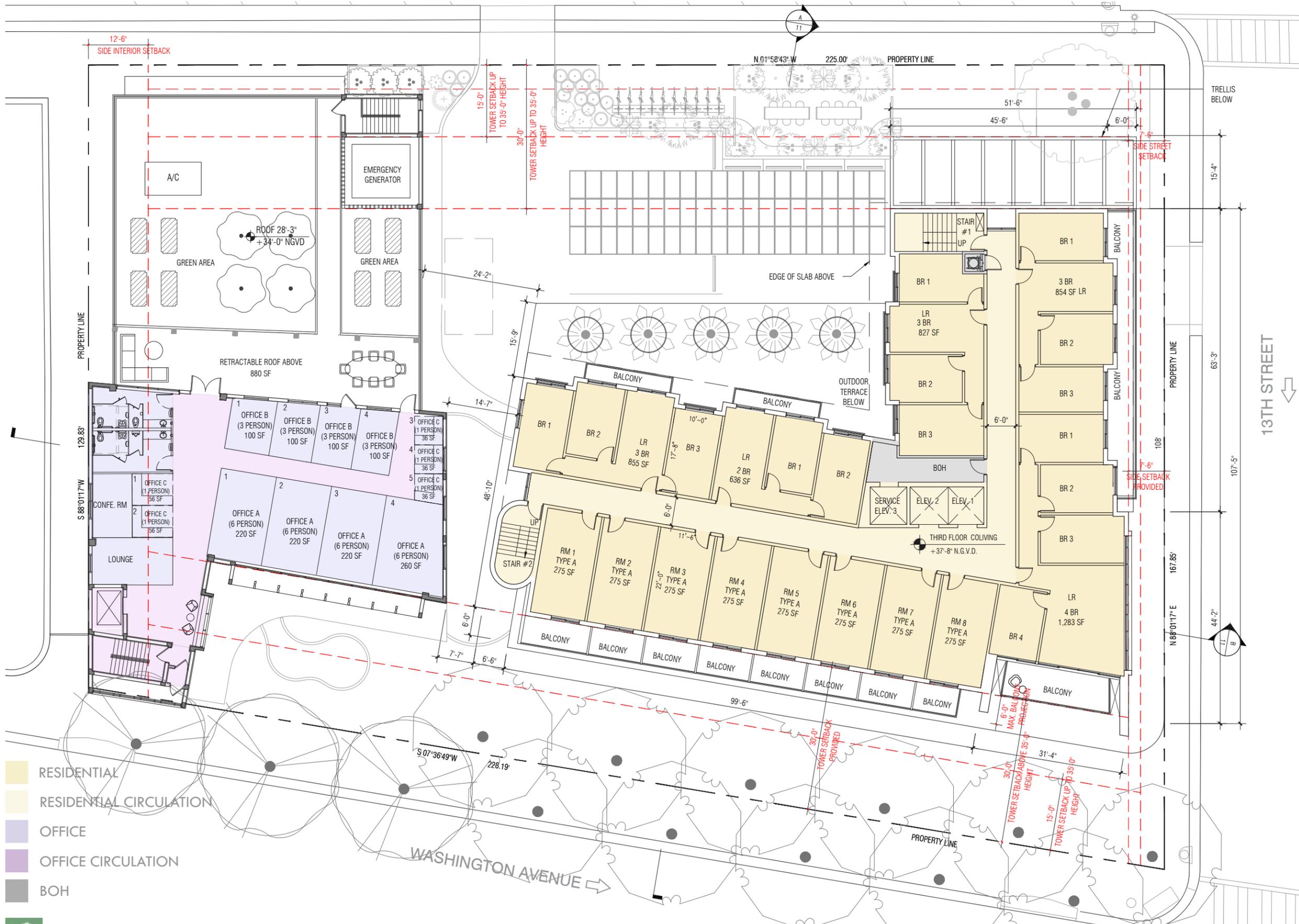


- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- OFFICE
- OFFICE CIRCULATION
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED SECOND FLOOR: OFFICE & CO-LIVING

0' 5' 10' 25' 50' SCALE: 1:20



- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- OFFICE
- OFFICE CIRCULATION
- BOH

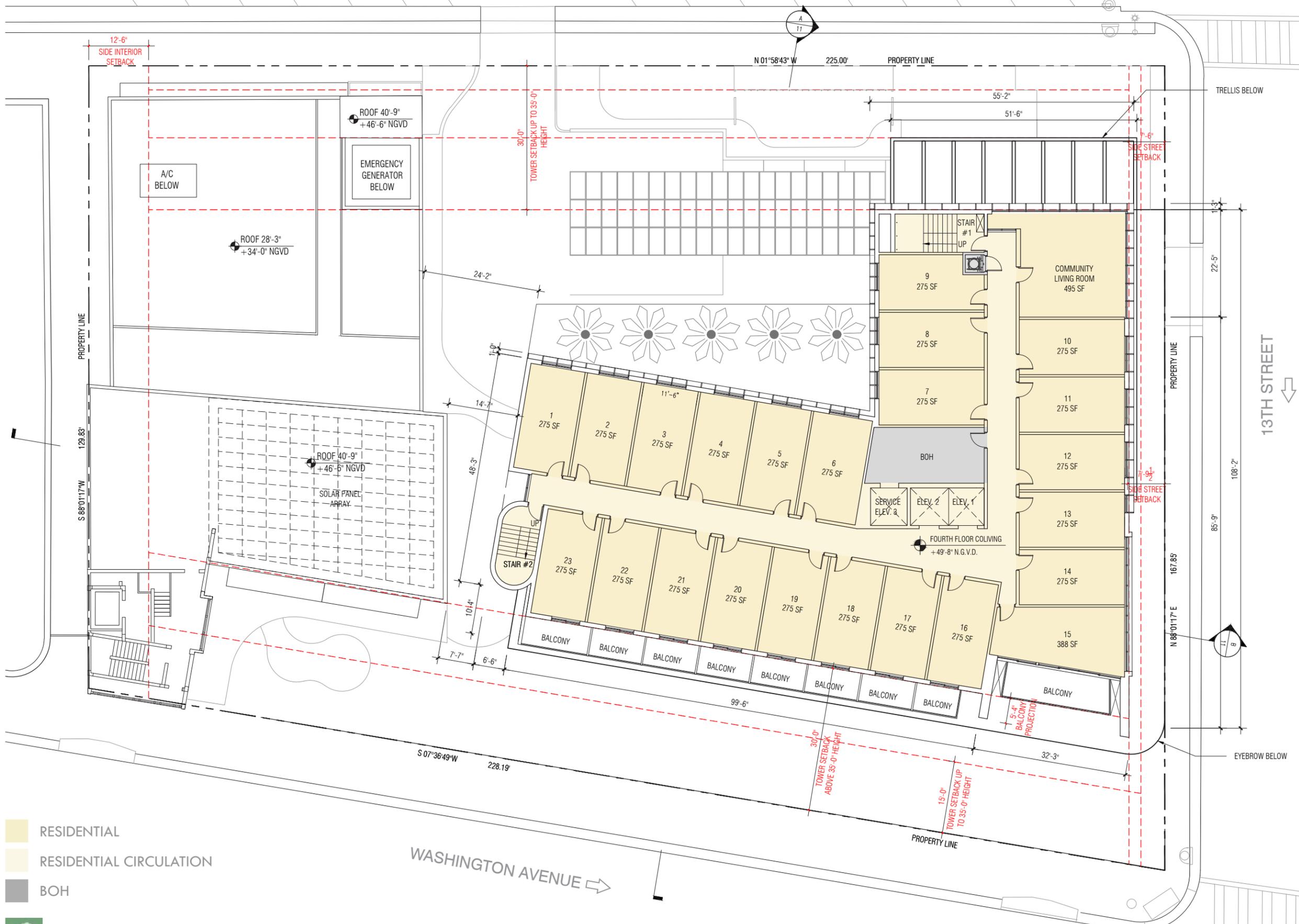
URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED THIRD FLOOR: OFFICE & CO-LIVING

0' 5' 10' 25' 50' SCALE: 1:20



DREXEL AVE



- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- BOH

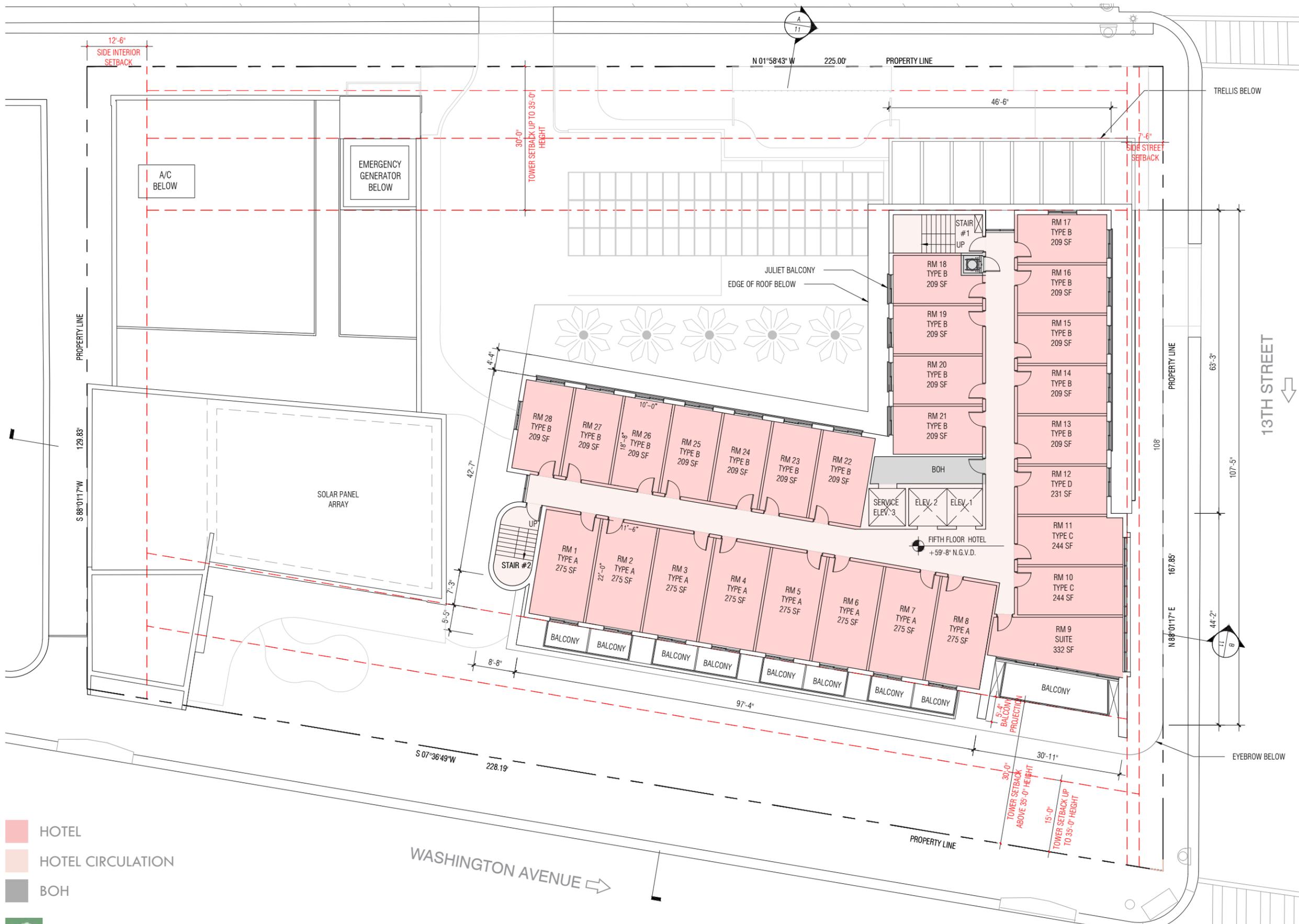
URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

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PROPOSED FOURTH FLOOR: CO-LIVING
 0' 5' 10' 25' 50' SCALE: 1:20



DREXEL AVE



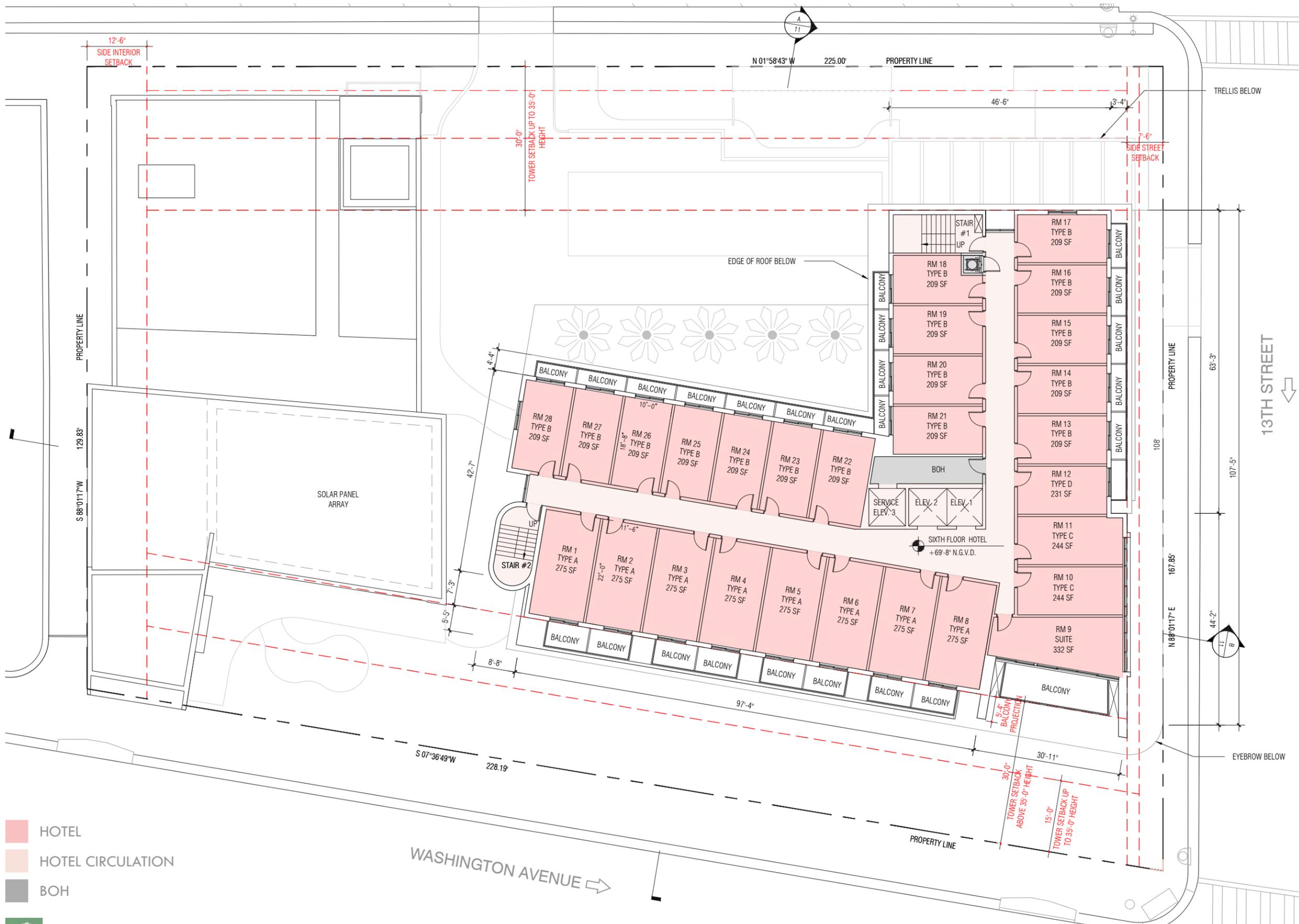
- HOTEL
- HOTEL CIRCULATION
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

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PROPOSED FIFTH FLOOR - HOTEL
 0' 5' 10' 25' 50' SCALE: 1:20

DREXEL AVE



- HOTEL
- HOTEL CIRCULATION
- BOH

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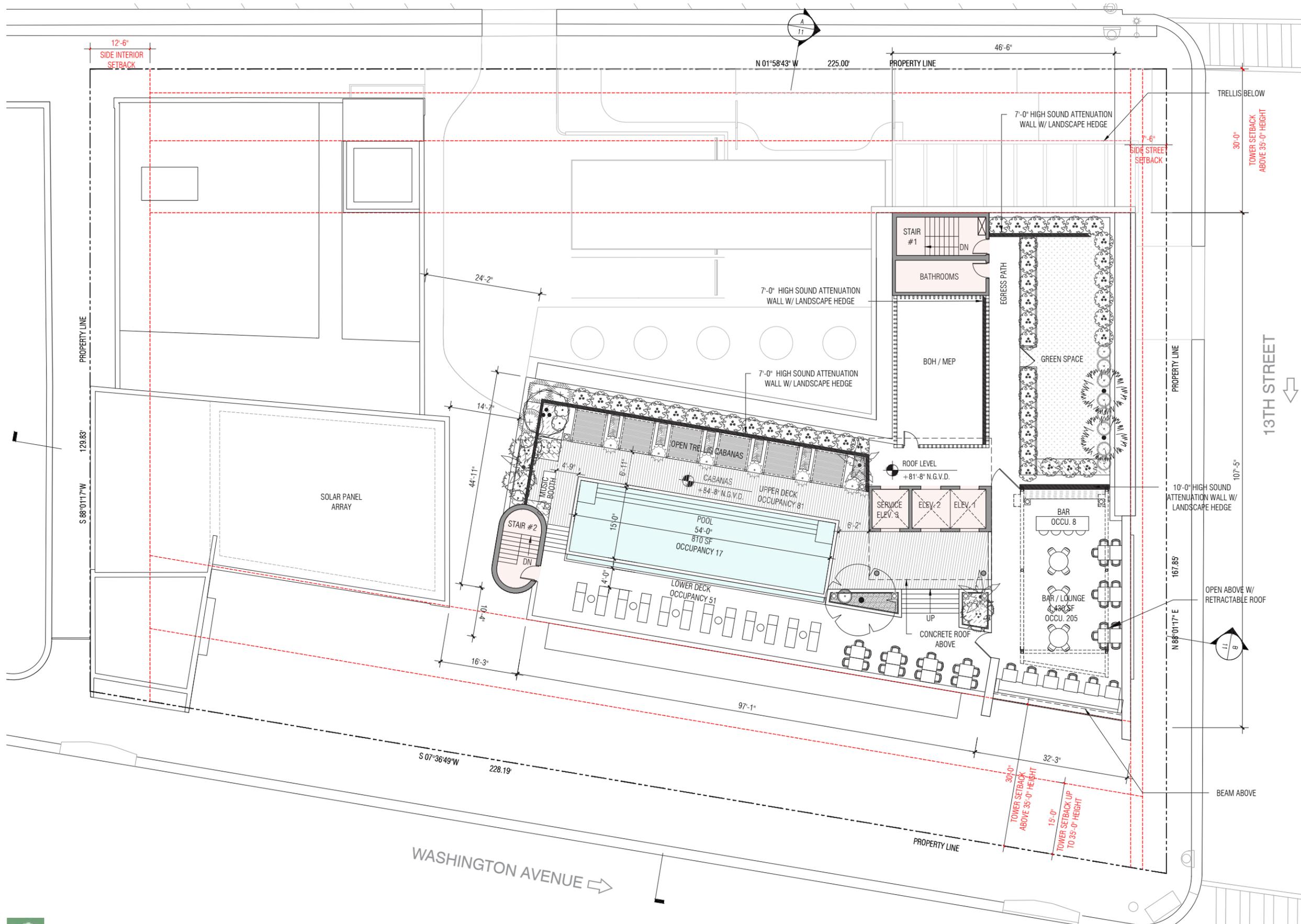
PROPOSED SIXTH FLOOR - HOTEL

0' 5' 10' 25' 50' SCALE: 1:20

A-29.1

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DREXEL AVE



13TH STREET

OCCUPANCY COUNT

UPPER DECK	81
LOWER DECK	51
POOL	17
BAR LOUNGE	205
TOTAL	354

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

UPPER DECK	12 (2 PER CABANA)
LOWER DECK	12
POOL	0
BAR LOUNGE	63
TOTAL	87 SEATS

9 SPEAKERS TOTAL

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

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PROPOSED ROOF PLAN AND F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20

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