



5230 S University Dr #106D,
Davie, FL 33328
AA26001846
954-861-0852
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Project Information	
Date	05/07/2019
Drawn by	LFF
A000	
Scale	As indicated

2/11/2020 12:24:27 PM

FLORIDA FIRE PREVENTION INFORMATION

FFPC & NFPA OCCUPANCY: MIXED OCCUPANCY
*As per NFPA 1-Table 6.1.14.4.1. (a) - Required separation shall be 2-hour fire rating.

FFPC & NFPA OCCUPANCY: MERCHANTILE
*As per NFPA 1-20.12.3.2 Interior Wall and Ceiling finish. Interior wall and ceiling finish materials shall be Class A, Class B, or Class C.

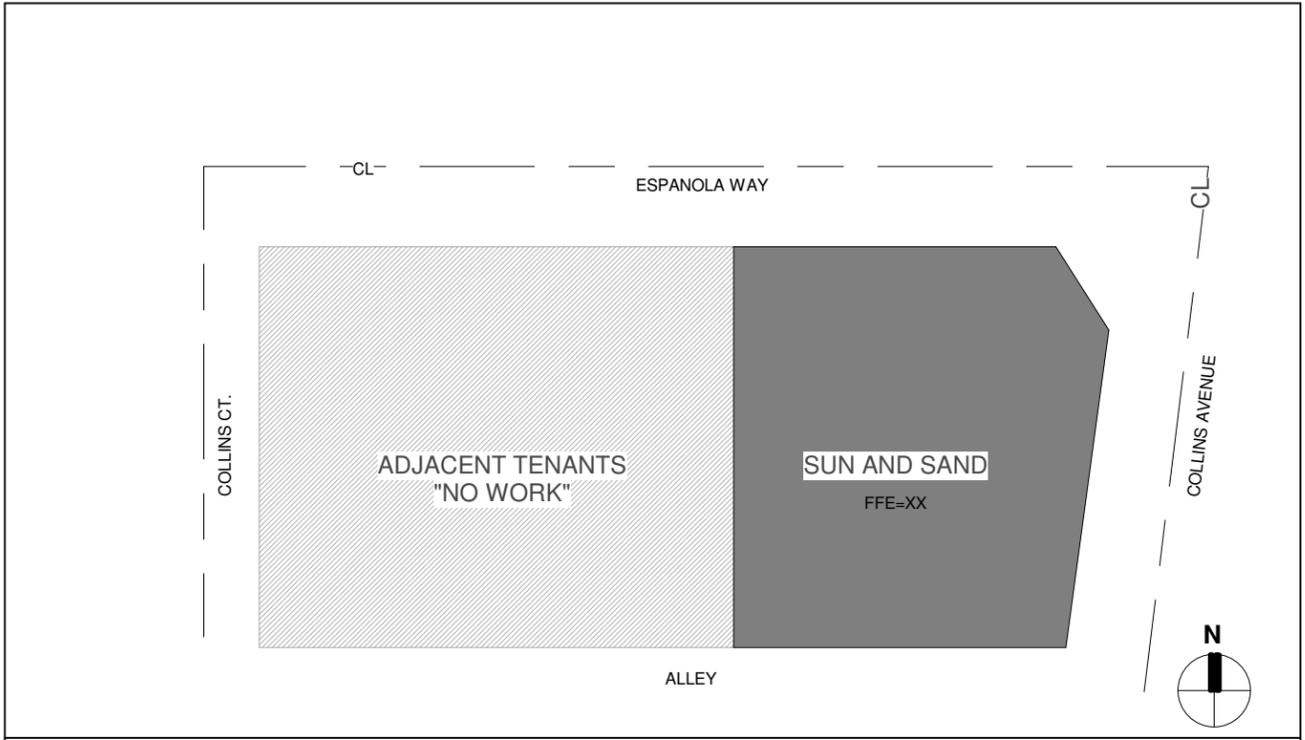
Existing Adjacent Tenant Occupancies (no work - shown for reference only)
West adjacent tenant: Pink Rock Sea - a restaurant.
FFPC & NFPA Occupancy: Assembly (less than 300).
Unit Area: approx. 1,700 sq ft.

BUILDING INFORMATION

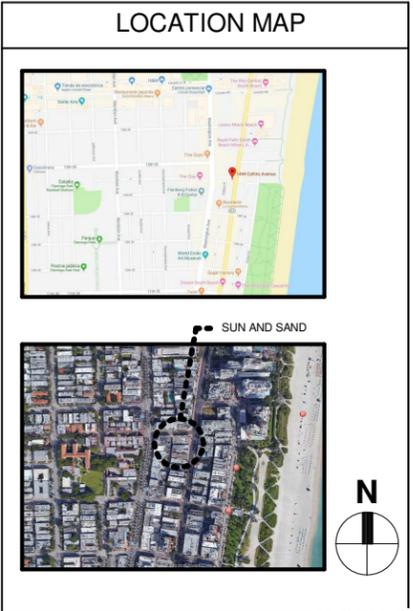
OCCUPANCY TYPE: M (MERCANTILE)
GROSS BUILDING AREA: 4,678 S.F.
EXISTING CONSTRUCTION TYPE: IIIA
LEVEL OF ALTERATION: LEVEL 3
FIRE SPRINKLERS: NO
FIRE EXTINGUISHERS: YES
HAZARDOUS MATERIALS IN OCCUPANCY GROUP M SHALL NOT EXCEED THE MAXIMUM ALLOWABLE QUANTITIES IN ACCORDANCE WITH F.B.C. SECTION 414.2.5 PROVIDED THAT THEY ARE DISPLAYED AND STORED IN ACCORDANCE WITH THE FLORIDA FIRE PREVENTION CODE.

SCOPE OF WORK

- INTERIOR ALTERATION TO AN EXISTING TENANT UNIT OF 4,678 S.F. TO ACCOMMODATE NEW RETAIL STORE.
- THERE IS NO WORK TO THE EXTERIOR SHELL OR ROOF.
- NO SQUARE FOOTAGE SHALL BE ADDED OR REMOVED FROM THE BUILDING
- MECHANICAL:** SHALL BE MODIFIED AS SHOWN.
- ELECTRICAL:** THE EXISTING ELECTRICAL SERVICE, METER AND PANEL SHALL REMAIN UNDISTURBED. RECEPTACLES AND LIGHTING SHALL BE MODIFIED AS SHOWN.
- PLUMBING:** THE EXISTING SANITARY AND WATER SUPPLY LINES SHALL BE MODIFIED AS SHOWN.



SUN AND SAND



DRAWING INDEX

ARCHITECTURAL	
A000	PROJECT INFORMATION
A010	CONTEXT LOCATION PLAN
-	SURVEY
A011	SITE PLAN
A012	PROJECT SITE AND EXISTING IMAGES
A013	EXISTING INTERIOR IMAGES
A014	CONTEXT IMAGES
EX101	EXISTING PLANS
EX201	EXISTING ELEVATIONS
D101	DEMOLITION PLANS
D201	DEMOLITION ELEVATIONS
A101	PROPOSE FIRST & SECOND FLOOR PLAN
A102	PROPOSE LIFE SAFETY PLANS
A103	PROPOSE ROOF PLAN
A201	PROPOSE ELEVATIONS
A202	PROPOSE SECTIONS & DETAILS
A203	RENDER - NEW ELEVATIONS
A204	RENDER - NEW ELEVATIONS
A205	RENDERS

PROJECT TEAM

ARCHITECT
SQUARE ONE ARCHITECTURE
CONTACT: JOHN N. GARRA
ADDRESS: 5230 S UNIVERSITY DR SUITE # 106D, DAVIE, FL 33328
PHONE: (954) 861-0852
EMAIL: JOHN@SQ-1.NET

STRUCTURAL ENGINEER
SPECIALTY ENGINEERING CONSULTANTS, INC.
CONTACT: ADAM LE BLANC
PHONE: (561) 752-5440
EMAIL: adam@specsf.com

MEP ENGINEERS
RCI Engineering.
CONTACT: BRIAN COLDWELL
ADDRESS: 5230 S UNIVERSITY DR SUITE # 106D, DAVIE, FL 33328
PHONE: (954) 680-2690

OWNER
SUN AND SAND
ADDRESS: 1438 Collins Ave, Miami Beach, FL 33139

FBC OCCUPANT LOAD

MECHANICAL: 1 PER 30 s.f. gross	4,018 s.f. / 30 = 134 occupants
STORAGE: 1 PER 200 s.f. gross	660 s.f. / 200 = 3 occupants
TOTAL OCCUPANTS:	137 occupants

Per Plumbing Table 403.1
(0) water closet, (0) lavatory, (0) drinking fountain and (1) service sink are required.

FIXTURE LOAD CALCULATIONS

TOTAL OCCUPANTS: 137		
FIXTURE TYPE	REQUIRED BY CODE	PROVIDED
MALE WATER CLOSET	1 PER 500	137 OCCUPANTS/500 = 1 W.C.
FEMALE WATER CLOSET		
MALE LAVATORY	1 PER 750	137 OCCUPANTS/750 = 1 LAVATORY
FEMALE LAVATORY		
DRINKING FOUNTAIN	1 PER 1000	1

Sunshine State One Call of Florida
Call before you dig 1-800-432-4770
- Call two full business days before digging. Call 10 days before digging when digging under water.
- Wait the required time for buried utilities to be located and marked.
- Protect the marks during your project. If marks are destroyed, call again.
- Dig safely, using extreme caution when digging within 24 inches on either side of the marks to avoid hitting the buried utility lines.
- This is a free service to help keep Florida safe!

REMODELING AREA

MECHANICAL	= Aprox. 750 sq.ft.
ELECTRICAL	= Aprox. 110 sq.ft.
PLUMBING	= Aprox. 45 sq.ft.
FLOORING	= Aprox. 4,450 sq.ft.
- FIRST FLOOR	= Aprox. 370 sq.ft.
- SECOND FLOOR	=Aprox. 4,820 sq.ft.

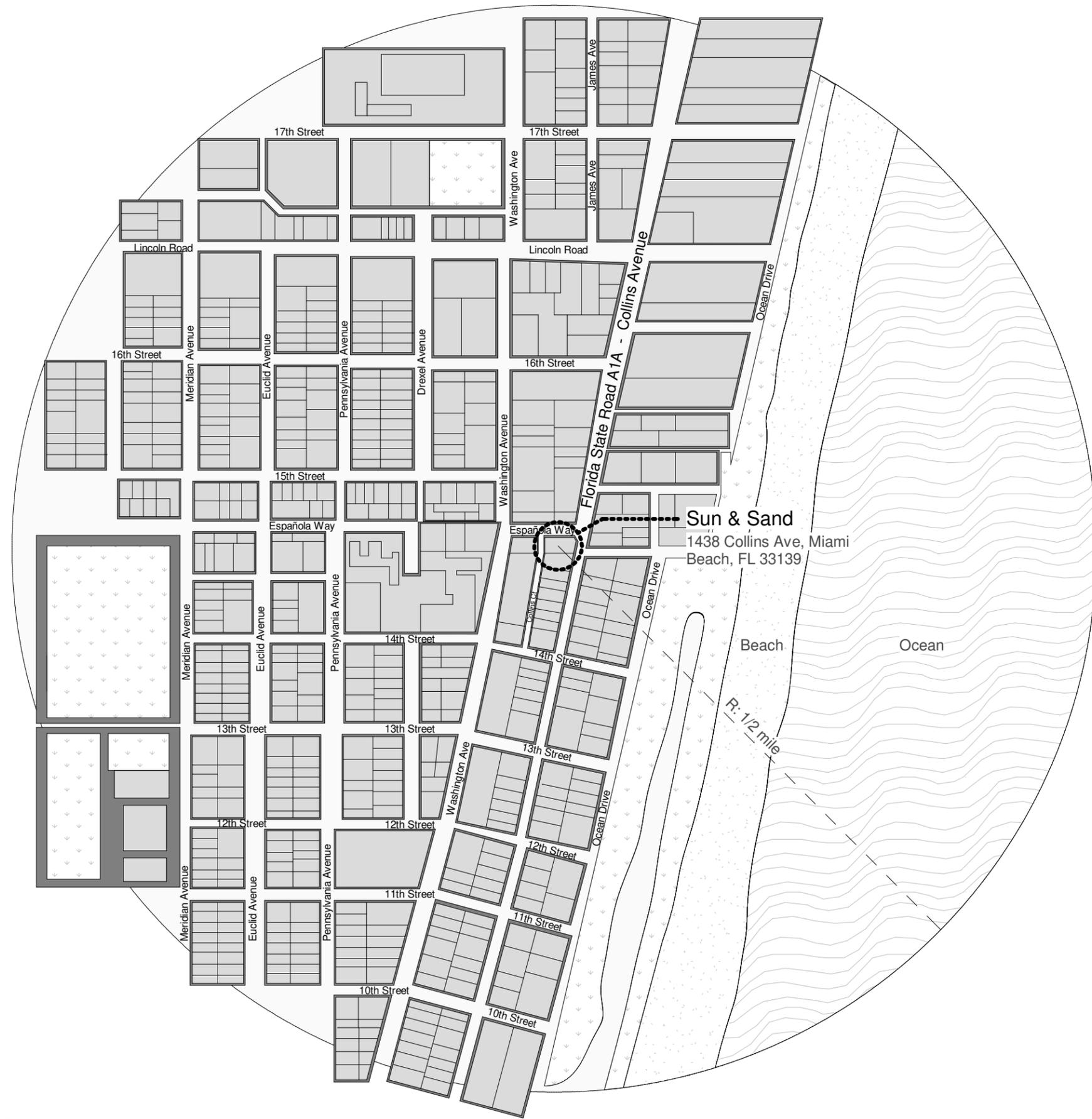
CODE REFERENCES

FLORIDA BUILDING CODE 2017, 6th EDITION
FLORIDA BUILDING CODE EXISTING BUILDING 2017, 6th EDITION
FLORIDA BUILDING CODE ACCESSIBILITY 2017, 6th EDITION
FLORIDA BUILDING CODE, 6th EDITION (2017) ELECTRIC CODE (N.E.C.) CURRENT EDITION.
NATIONAL FLORIDA EXISTING CODE, 6TH EDITION (2017)
FLORIDA FIRE PREVENTION CODE, 6th EDITION.

EGRESS REQUIREMENTS

TABLE 1006.3.1, FBC 2017
MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY

OCCUPANT LOAD REQUIRED	EXITS
1-500	2
501-1000	3
MORE THAN 1,000	4
TOTAL EXITS REQUIRED	2
TOTAL EXITS PROVIDED	5



○ Context location plan
1 : 6000



COPYRIGHT 2017



SQUARE ONE
ARCHITECTURE
5230 S University Dr #106D,
Davie, FL 33328
AA26001846
954-861-0852
www.sq-1.net

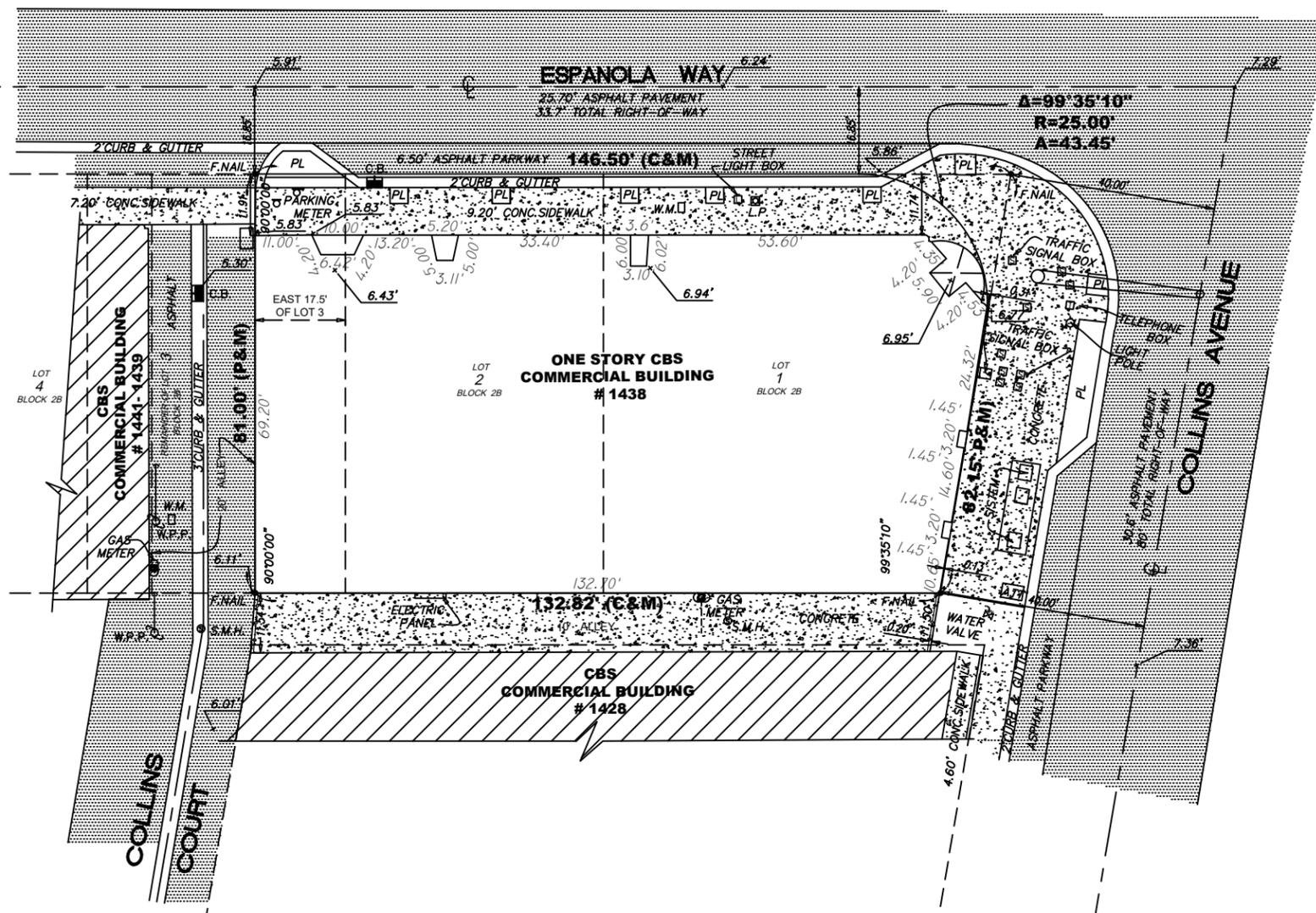
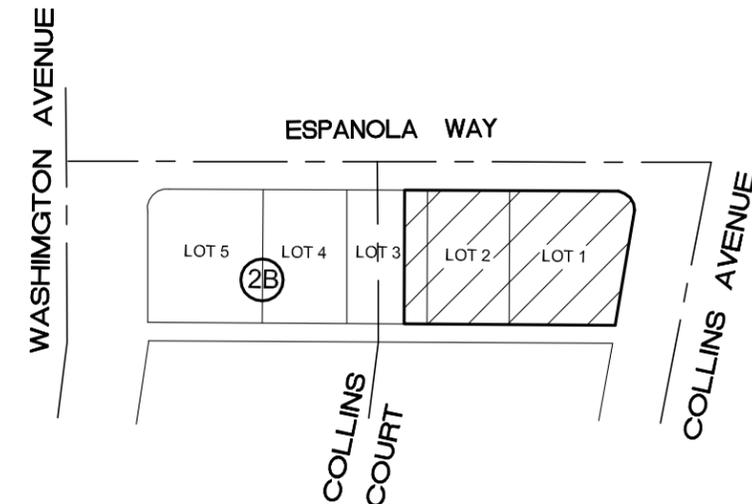
Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Context Location Plan	
Date	05/07/2019
Drawn by	Author
A010	
Scale	1 : 6000

2/11/2020 12:24:46 PM



PROPERTY ADDRESS: 1438 COLLINS AVE., MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: THE EAST 17.5 FEET OF LOT 3, AND ALL OF LOTS 1 AND 2, BLOCK 2, ESPANOLA VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 45, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
- 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- 7) OWNERSHIP OF FENCES ARE UNKNOWN.
- 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
- 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
- 11) ELEVATIONS BASED OFF OF BM# D-148-R LOC# 3220 N ELEV. 6.35'

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES
BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 7 PG: 45

BOUNDARY SURVEY

LEGEND & ABBREVIATIONS:

<p>CONCRETE CONC. BLOCK WALL WOOD DECK COVERED AREA ASPHALT CHAIN LINK FENCE (CLF) WOOD FENCE (WF) IRON FENCE (IF) ARC DISTANCE CENTRAL ANGLE / DELTA RADIUS TANGENT POINT OF TANGENCY POINT OF CURVATURE POINT OF COMPOUND CURVE CATCH BASIN CABLE UTILITY BOX</p>	<p>B.C. = BLOCK CORNER P = PROPERTY LINE C = CENTER LINE M = MONUMENT LINE CALC. = CALCULATED M. = FIELD MEASURED P. = PER PLAT TYP. = TYPICAL P.R.M. = PERMANENT REFERENCE MONUMENT P.C.P. = PERMANENT CONTROL POINT FD. NAIL = FOUND NAIL FD. D/H = FOUND DRILL HOLE FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER C.M. = CONCRETE MONUMENT W.M. = WATER METER R/W = RIGHT OF WAY</p>	<p>U.E. = UTILITY EASEMENT A.E. = ANCHOR EASEMENT D.E. = DRAINAGE EASEMENT ENCR. = ENCROACHMENT F.F. ELEV. = FINISHED FLOOR ELEVATION N.T.S. = NOT TO SCALE P.B. = PLAT BOOK O.R.B. = OFFICIAL RECORD BOOK M.H. = MAN HOLE C.B.S. = CONCRETE BLOCK STRUCTURE BLDG = BUILDING O.H.L. = OVERHEAD UTILITY LINES TEL. = TELEPHONE FACILITIES</p>	<p>P.R.C. = POINT OF REVERSE CURVE CH = CHORD CH. BRG. = CHORD BEARING B.M. = BENCH MARK B.R. = BEARING REFERENCE P.O.C. = POINT OF COMMENCEMENT P.O.B. = POINT OF BEGINNING T.B.M. = TEMPORARY BENCH MARK P.O.B. = POINT OF BEGINNING T.B.M. = TEMPORARY BENCH MARK FD. I.R. = FOUND IRON REBAR FD. P.K.NAIL = FOUND PARKER-KALON NAIL P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER A/C = AIR CONDITIONER PAD TX = TRANSFORMER P.P. = POWER POLE D.M.E. = DRAINAGE & MAINTENANCE EASEMENT + 0.0' = EXISTING ELEVATION</p>	<p>ELEV. = ELEVATION SEC. = SECTION TWS. = TOWNSHIP RG. = RANGE SWK = SIDEWALK</p>
---	---	--	---	--

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EASEMENTS APPEARING ON THE PLAT OR VISIBLE EASEMENTS OTHER THAN AS SHOWN HEREON.

[Signature]

ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

SINCE 1987

BLANCO SURVEYORS INC.

Engineers • Land Surveyors • Planners • LB # 0007059
555 NORTH SHORE DRIVE
MIAMI BEACH, FL 33141
Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: AE		SUFFIX: L FEMA DATE: 09/11/09 BASE: 8'	
PANEL: 0317		COMMUNITY # 120651	
DATE: 11/27/19	SCALE: 1" = 30'	DWN. BY: R.BELLO	JOB No. 19-742

NOT VALID UNLESS EMBOSSED WITH
SURVEYOR'S SEAL

REVISED:

CODE REFERENCES:

FLORIDA BUILDING CODE 2017, 6th EDITION
 FLORIDA BUILDING CODE EXISTING BUILDING 2017, 6th EDITION
 FLORIDA BUILDING CODE ACCESSIBILITY 2017, 6th EDITION
 FLORIDA BUILDING CODE, 6th EDITION (2017) ELECTRIC CODE (N.E.C.) CURRENT EDITION.
 NATIONAL FLORIDA EXISTING CODE, 6TH EDITION (2017)
 FLORIDA FIRE PREVENTION CODE, 6th EDITION.

FLOOD ZONE INFORMATION:

NFIP COMMUNITY NUMBER: 120651
 MAP/PANEL #: 0317
 SUFFIX: L
 FLOOD ZONE: AE
 BASE FLOOD ELEVATION: +8' NAVD
 EXISTING AND NEW FIRST FLOOR ELEVATION: 5.5' NAVD

LEGAL DESCRIPTION

THE EAST 17.5 FEET OF LOT 3, AND ALL OF LOTS 1 AND 2, BLOCK 2, ESPANOLA VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 45, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT AREA

LOT 1 AREA: 4,630 sq.ft
 LOT 2 AREA: 4,590 sq.ft

CALL BEFORE YOU DIG

Sunshine State One Call of Florida
 Call before you dig 1-800-432-4770
 - Call two full business days before digging. Call 10 days before digging when digging under water.
 - Wait the required time for buried utilities to be located and marked.
 - Protect the marks during your project. If marks are destroyed, call again.
 - Dig safely, using extreme caution when digging within 24 inches on either side of the marks to avoid hitting the buried utility lines.
 - This is a free service to help keep Florida safe!

GRAPHIC LEGEND

- NEW PARTITION WALL
- EXISTING ASPHALT PAVEMENT
- NEW CMU WALL
- EXISTING BUILDING- NO WORK
- CONCRETE
- AREA OF WORK



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

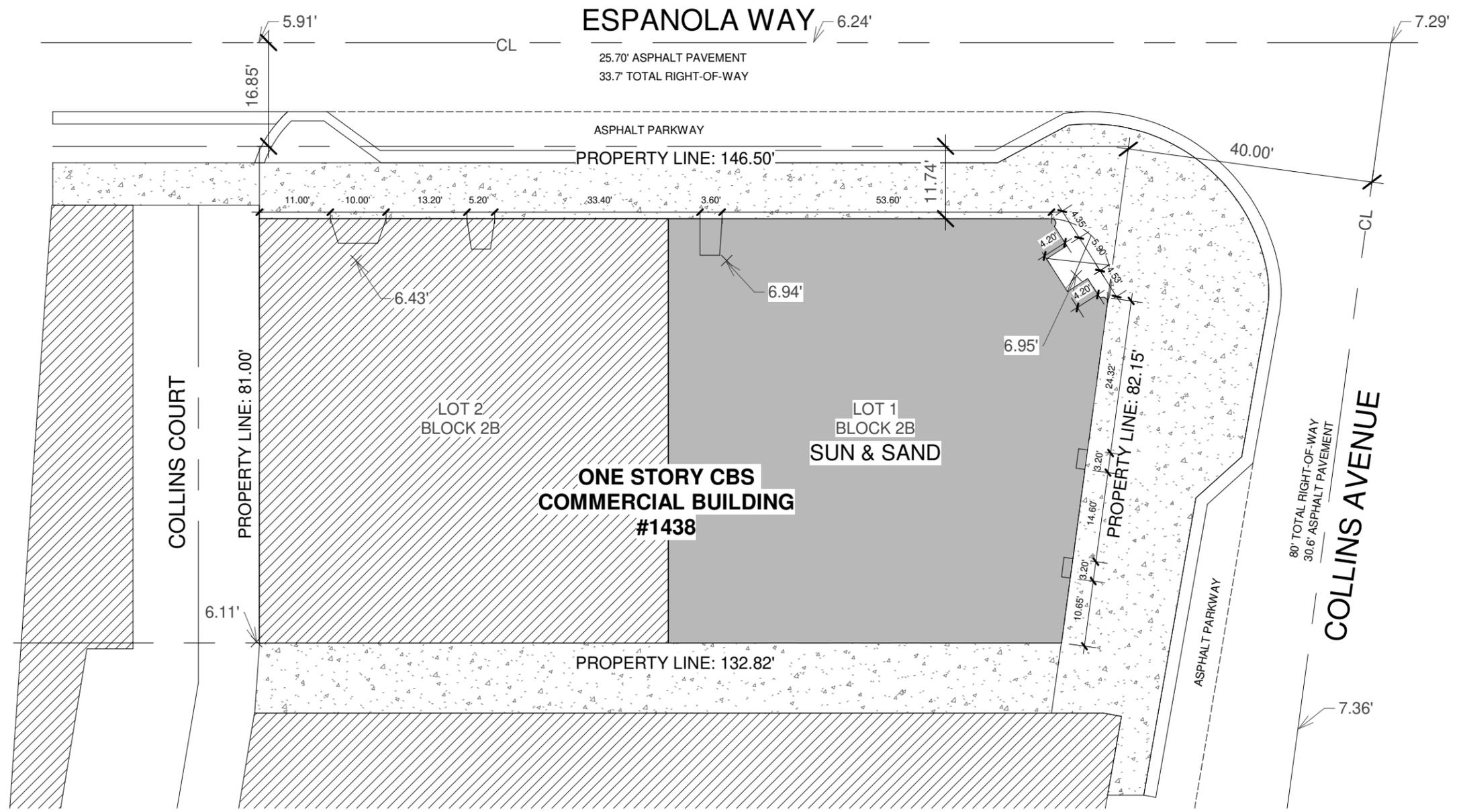
John Norman Garra
 Florida Architect AR92545

Site Plan

Date: 05/07/2019
 Drawn by: LFF

A011

Scale: As indicated



1.0 - Site Plan
 1" = 20'-0"



COPYRIGHT 2017

2/11/2020 12:24:47 PM

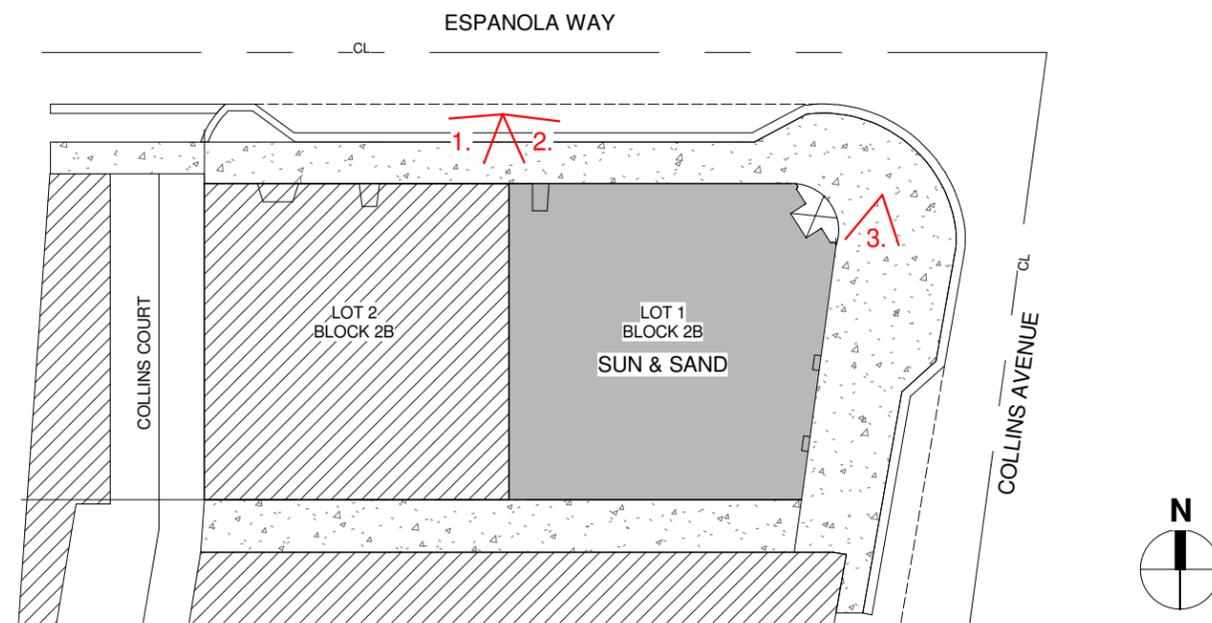
1.



2.



3.



① 1.5 - Directional plan - B
1" = 40'-0"

*NOTE: Pictures from 2020.01.06



SQUARE ONE
ARCHITECTURE

5230 S University Dr #106D,
Davie, FL 33328
AA26001846
954-861-0852
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Project site and
existing

Date 05/07/2019
Drawn by Author

A012

Scale 1" = 40'-0"

COPYRIGHT 2017

2/11/2020 12:24:47 PM



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

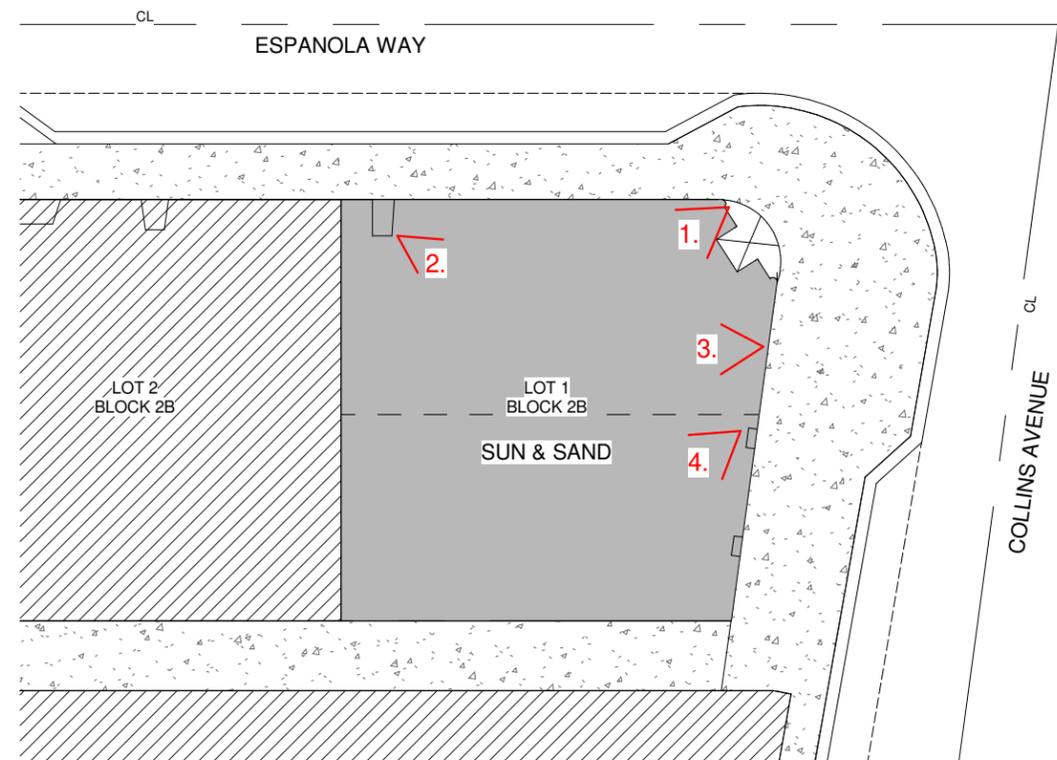
Existing interior images

Date 05/07/2019
 Drawn by LFF

A013

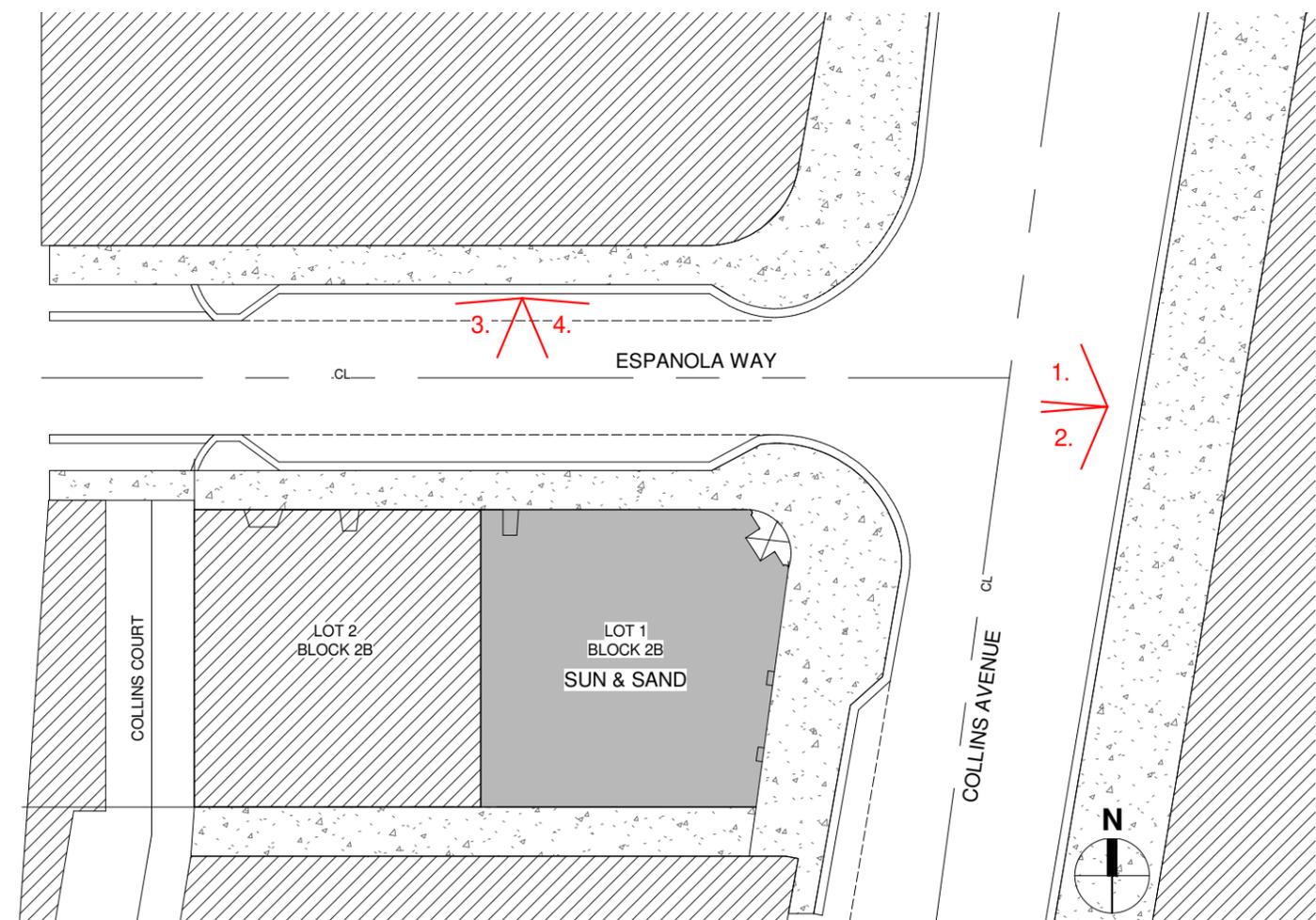
Scale 1" = 30'-0"

2/11/2020 12:24:48 PM



1.4 - Directional plan - A
 1" = 30'-0"

*NOTE: Pictures from 2017.05



① 1.6 - Directional plan - C
1" = 40'-0"

*NOTE: Pictures from 2020.01.06



5230 S University Dr #106D,
Davie, FL 33328
AA26001846
954-861-0852
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Context images

Date 05/07/2019
Drawn by LFF

A014

Scale 1" = 40'-0"



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

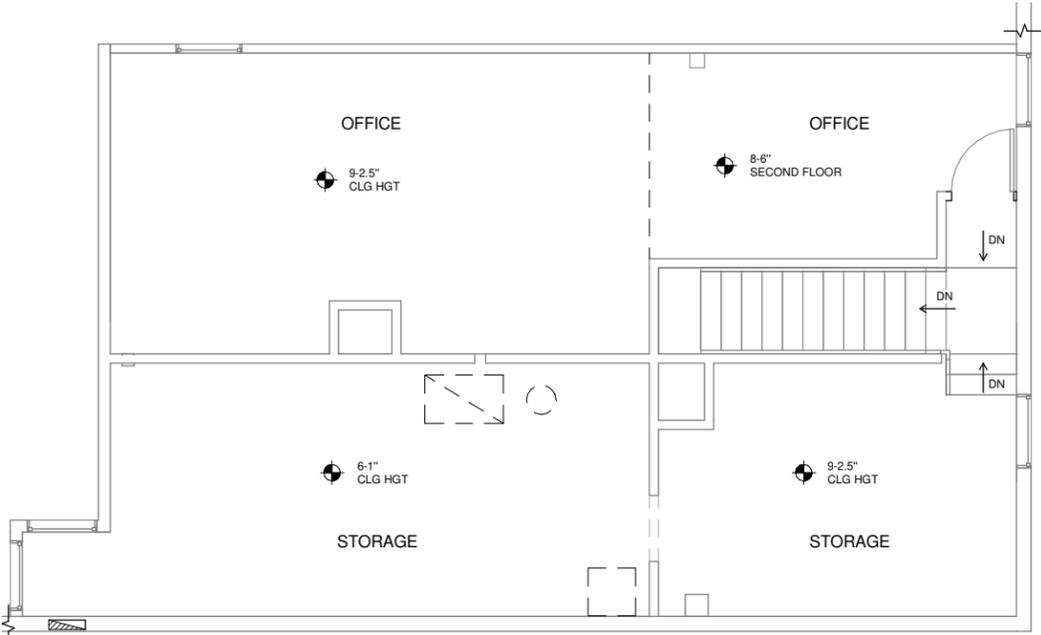
Existing Plans

Date 05/07/2019
 Drawn by LFF

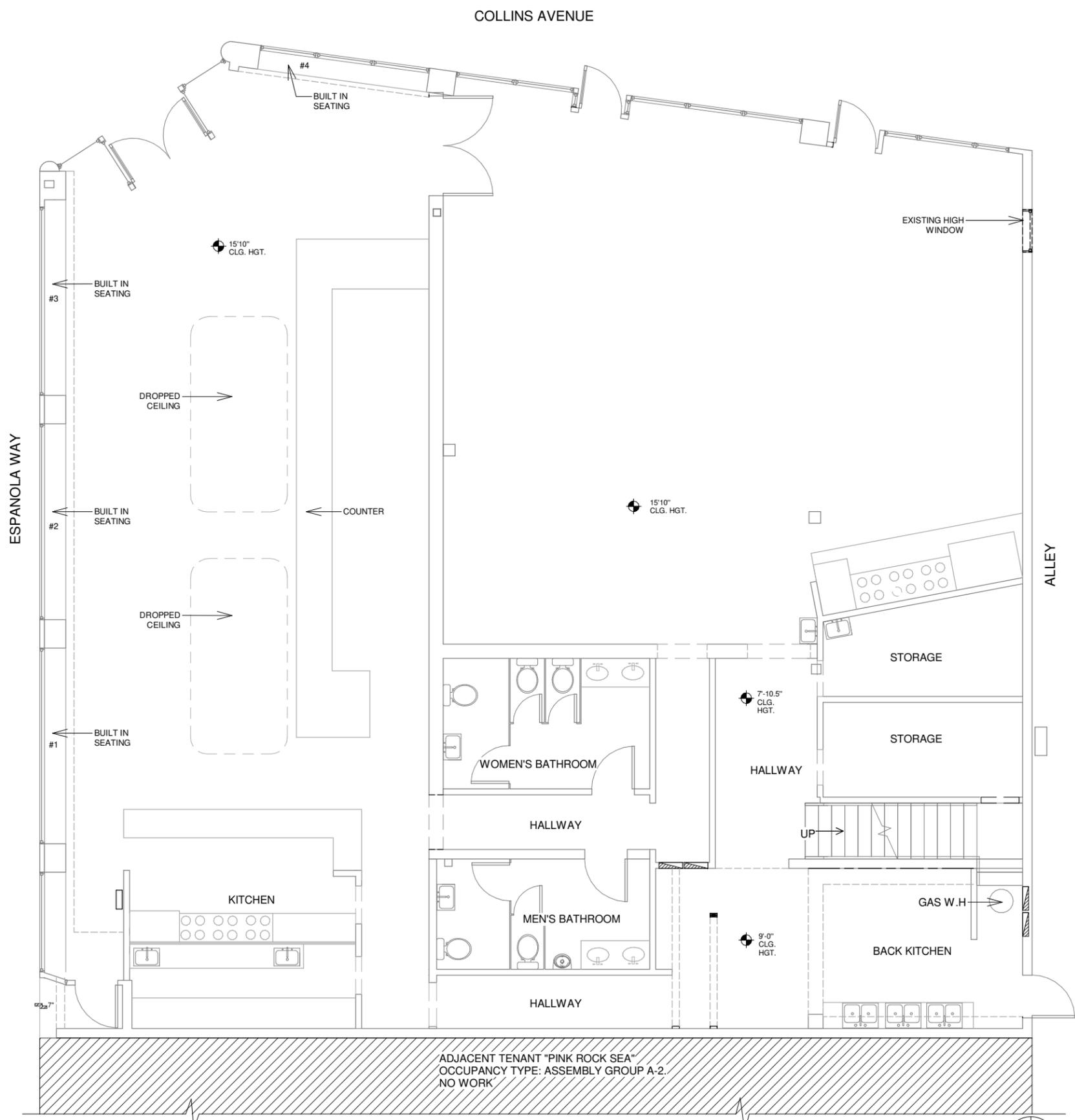
EX101

Scale 1" = 8'-4"

2/11/2020 12:28:44 PM



2 Existing Second Floor Plan
 1" = 8'-4"



1 Existing First Floor Plan
 1" = 8'-4"

ADJACENT TENANT "PINK ROCK SEA"
 OCCUPANCY TYPE: ASSEMBLY GROUP A-2.
 NO WORK



COPYRIGHT 2017



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 954-861-0852
 www.sq-1.net

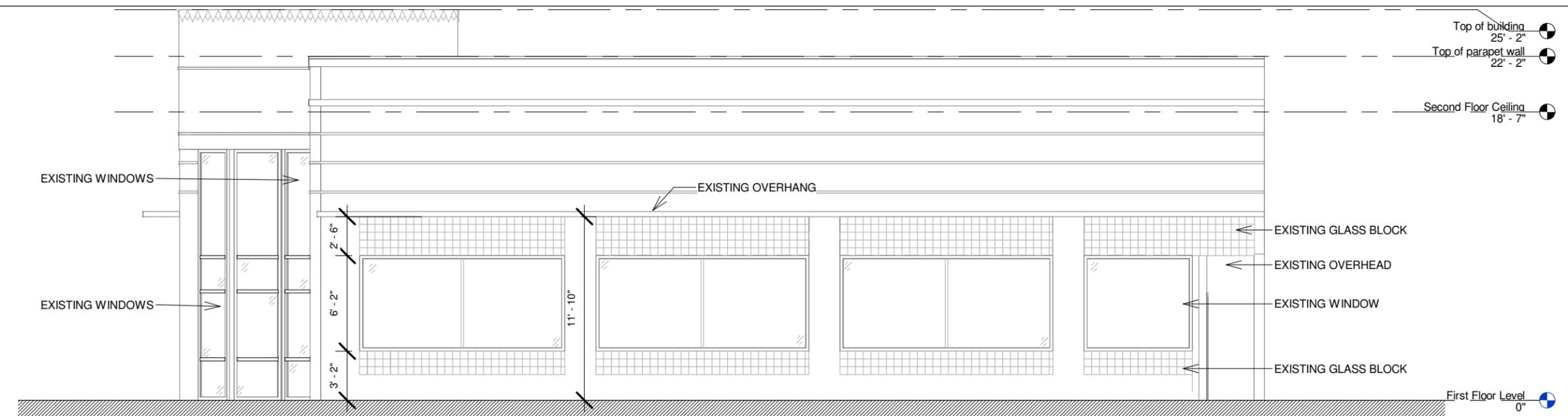
Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

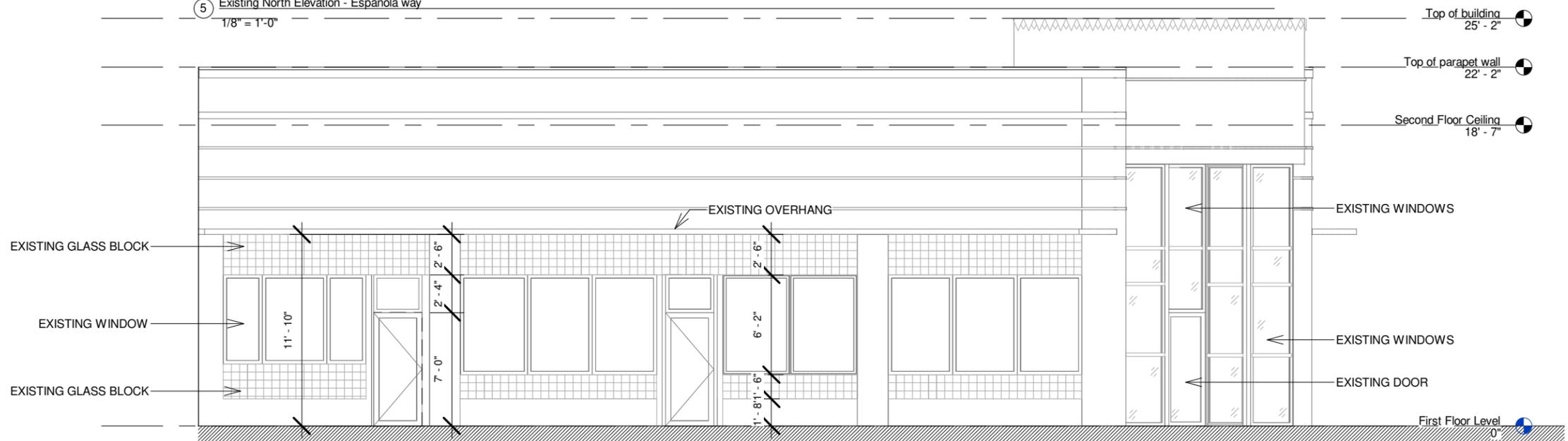
John Norman Garra
 Florida Architect AR92545

Existing Elevations
 Date 05/07/2019
 Drawn by LFF
EX201
 Scale 1/8" = 1'-0"

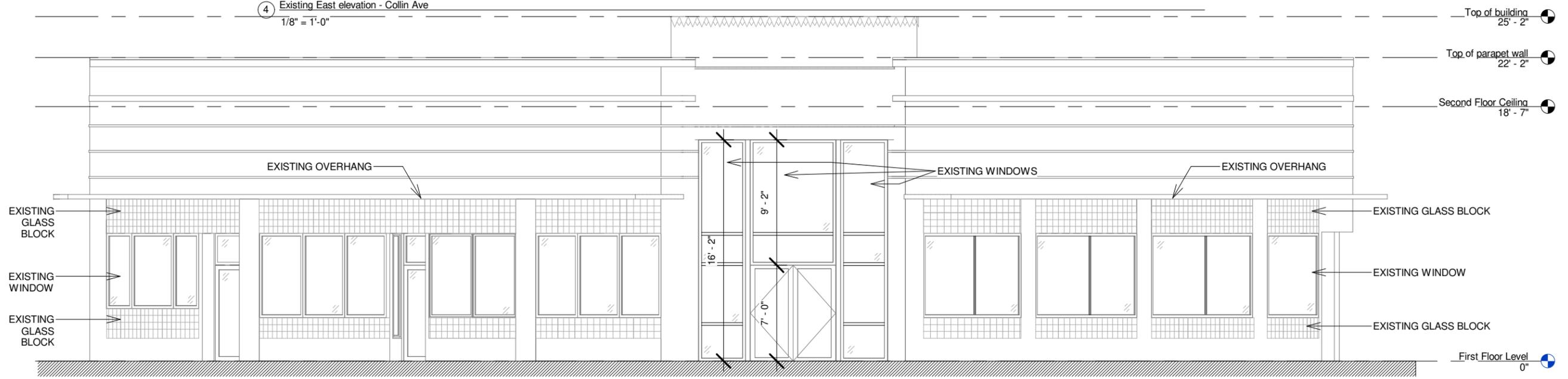
2/11/2020 12:28:44 PM



5 Existing North Elevation - Espanola way
 1/8" = 1'-0"



4 Existing East elevation - Collin Ave
 1/8" = 1'-0"

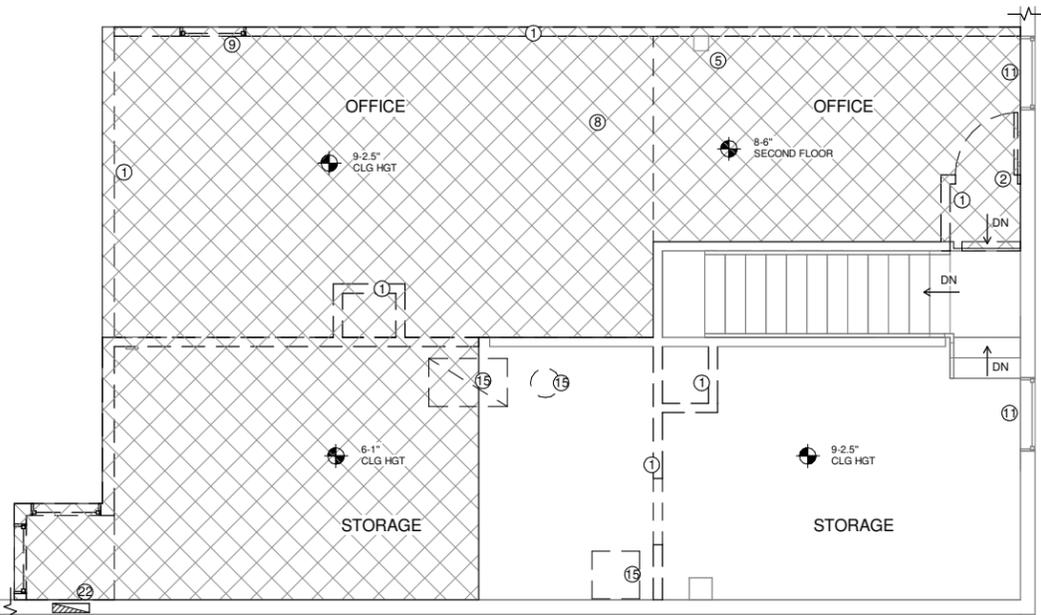


6 Existing North east elevation
 1/8" = 1'-0"

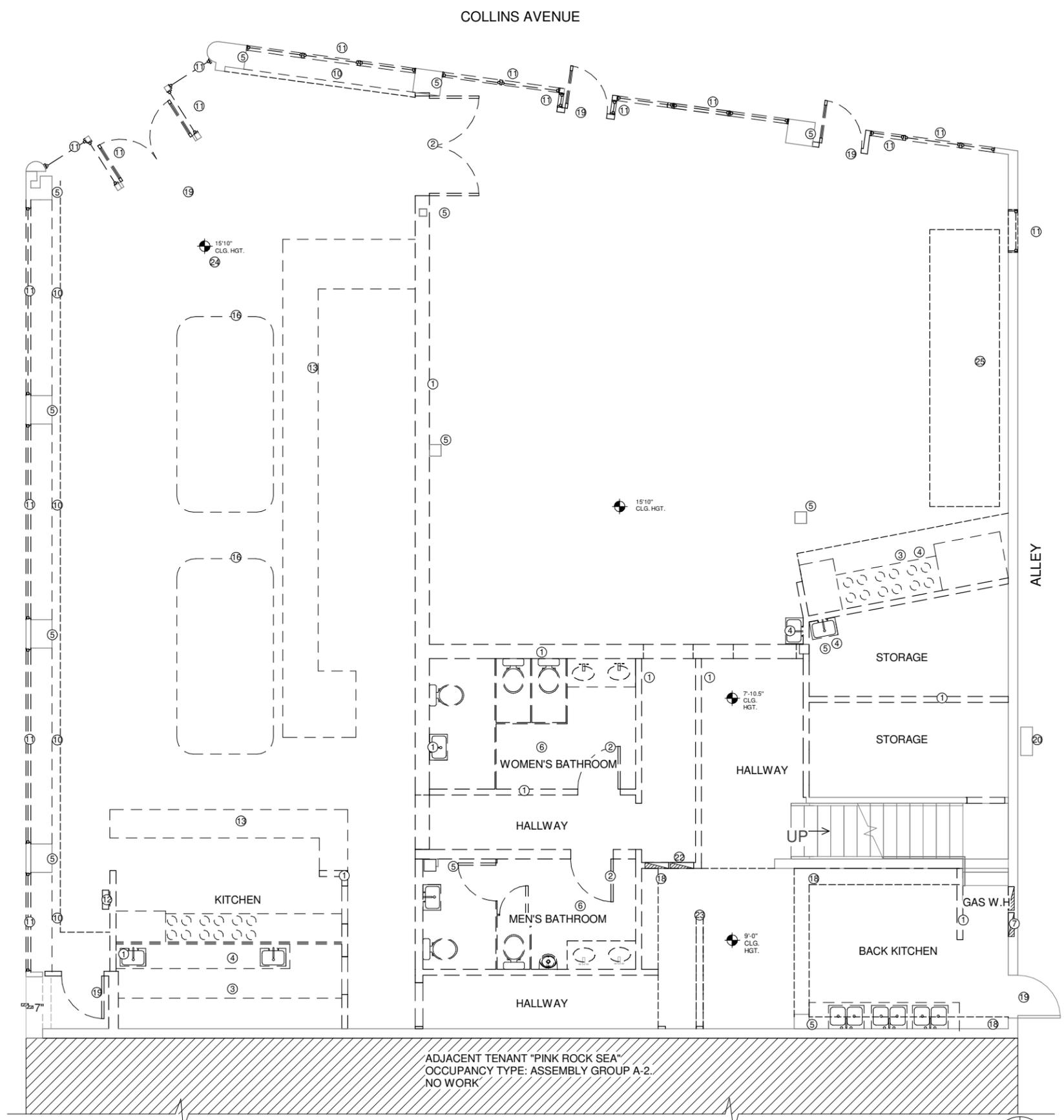
COPYRIGHT 2017

LEGEND	
	AREA TO REMOVE
	NO WORK
	WALL TO BE REMOVED
	WALL TO REMAIN
	OVERHEAD ITEMS
	CMU WALL TO REMAIN

DEMO PLAN LEGEND	
#	DESCRIPTION
1	REMOVE EXISTING PARTITION WALL.
2	REMOVE EXISTING DOOR.
3	REMOVE EXISTING KITCHEN EQUIPMENT, HOOD, SINKS & APPLIANCES.
4	PLUMBING FIXTURES SHALL BE REMOVED AND CAPPED.
5	EXISTING COLUMN, DO NOT DISTURB.
6	REMOVE EXISTING BATHROOM FINISHES & FIXTURES. PLUMBING FIXTURES SHALL BE REMOVED AND CAPPED.
7	EXISTING ELECTRICAL PANEL, DO NOT DISTURB.
8	REMOVE EXISTING HATCHED PORTION OF SECOND FLOOR FRAMING & INTERIOR WALLS. SEE GENERAL NOTE #1.
9	REMOVE EXISTING WINDOW.
10	REMOVE BUILT IN SEATING.
11	EXISTING WINDOW, DO NOT DISTURB.
12	REMOVE & SALVAGE EXISTING FIRE ALARM PANEL.
13	REMOVE EXISTING COUNTER.
14	EXISTING BATHROOM FINISHES AND FIXTURES SHALL REMAIN.
15	REMOVE EXISTING AC DUCTS.
16	REMOVE DROPPED CEILING.
17	REMOVE EXISTING WINDOWS, GLASS BLOCK BELOW AND GLASS BLOCK ABOVE.
18	EXISTING BEAM, DO NOT DISTURB.
19	EXISTING DOOR, DO NOT DISTURB.
20	EXISTING GAS METER SHALL REMAIN. MAIN SHALL BE CAPPED AND ALL INTERIOR GAS PIPING SHALL BE REMOVED.
21	REMOVE EXISTING GLASS, MULLIONS AND DOORS.
22	REMOVE & SALVAGE EXISTING ELECTRICAL PANELS.
23	SHORE UP & REMOVE EXISTING COLUMN.
24	REMOVE EXISTING CEILING FRAMING.
25	LOCATION TO STORE DEMOLISHED/NEW MATERIAL.
NOTES	1. CONTRACTOR SHALL VERIFY THAT WALLS NOTED TO BE DEMOLISHED ARE NOT LOAD BEARING. 2. CONTRACTOR SHALL CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE FIELD. 3. ISOLATE ELECTRICAL CIRCUITS TO BE DISTURBED AND REMOVE ALL ELECTRICAL WIRING AND DEVICES WITHIN WALLS AND CEILINGS BEING REMOVED. 4. REMOVE ALL DUCTWORK WITHIN WALLS AND CEILINGS BEING REMOVED. CLEANLY CUT ALL BRANCH DUCTWORK TO BE REMOVED FROM TRUNKS TO REMAIN. PROTECT PORTION OF DUCTWORK TO REMAIN. 5. CONTRACTOR SHALL SHORE UP LOAD BEARING WALLS/COLUMNS PRIOR TO REMOVAL. 6. SPACE SHALL NOT BE OCCUPIED DURING DEMOLITION. 7. ALL LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION.



② 0.1 - Demolition Plan Second Floor
1 : 100



① 0.0 - Demolition Plan
1" = 8'-4"

SQUARE ONE ARCHITECTURE
 5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 ☎ 954-861-0852 ☎
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

Demolition Plans
 Date 05/07/2019
 Drawn by LFF
D101
 Scale As indicated



2/11/2020 12:24:51 PM



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 954-861-0852
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

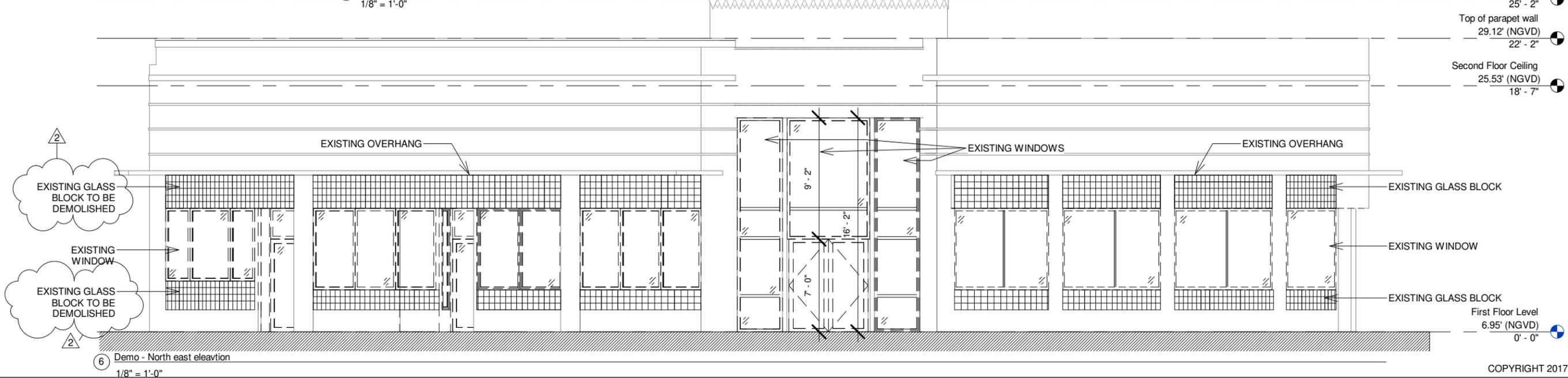
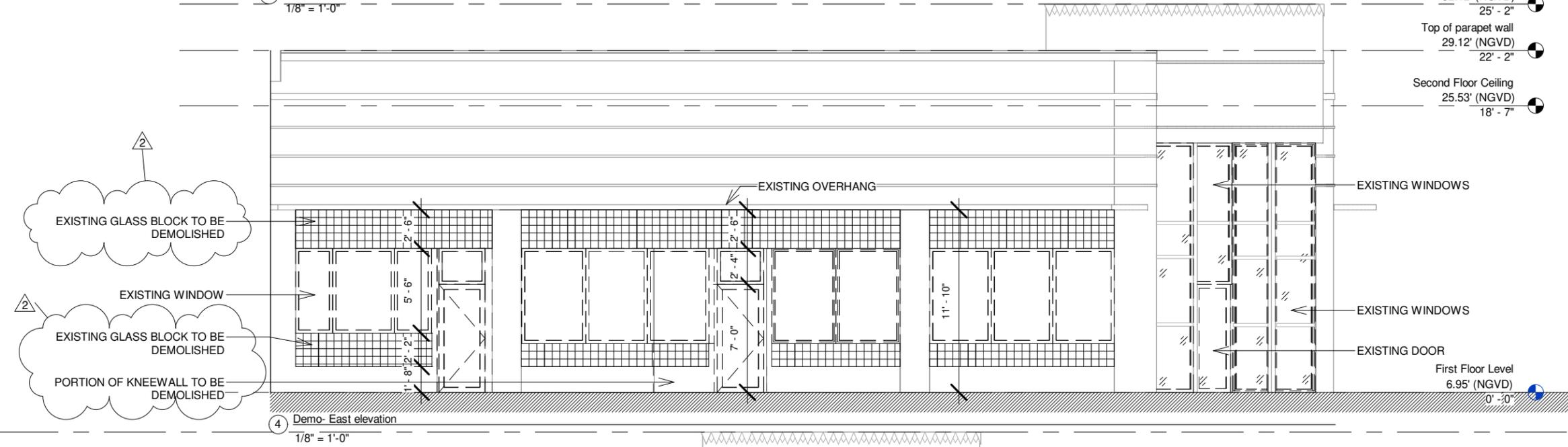
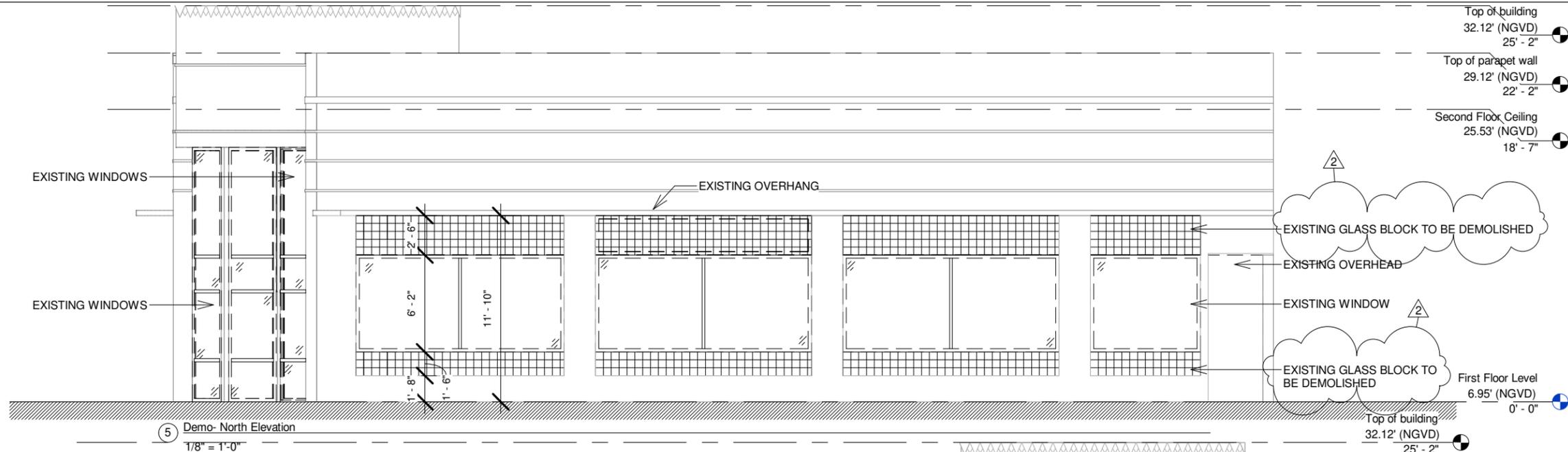
Demo Elevations

Date 05/07/2019
 Drawn by LFF

D201

Scale 1/8" = 1'-0"

2/11/2020 12:24:51 PM



GRAPHIC LEGEND	
	OVERHEAD OBJECT
	NEW PARTITION WALL
	EXISTING PARTITION WALL TO REMAIN
	EXISTING CMU WALL TO REMAIN
	NO WORK

CODE REFERENCES	
FLORIDA BUILDING CODE 2017, 6TH EDITION	
FLORIDA BUILDING CODE EXISTING BUILDING 2017, 6TH EDITION	
FLORIDA BUILDING CODE ACCESSIBILITY 2017, 6TH EDITION	
FLORIDA BUILDING CODE, 6TH EDITION (2017) ELECTRIC CODE (N.E.C.) CURRENT EDITION	
NATIONAL FLORIDA EXISTING CODE, 6TH EDITION (2017)	
FLORIDA FIRE PREVENTION CODE, 6TH EDITION	

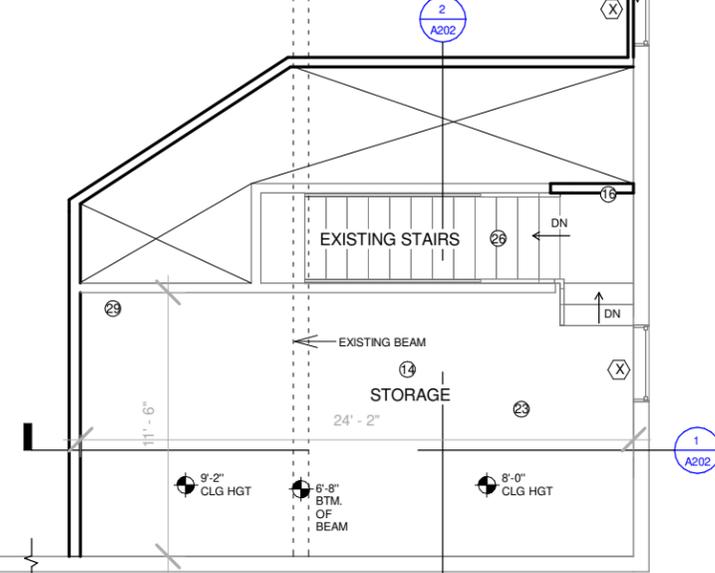
#	DESCRIPTION
1	REPAIR EXISTING COLUMN IF NEEDED. SEE STRUCTURAL DRAWINGS.
2	INSTALL NEW ELECTRIC TANKLESS HOTWATER HEATER. SEE PLUMBING DRAWINGS.
3	RESTORE POLISHED CONCRETE FLOORS.
4	RELOCATED ELECTRICAL PANEL. SEE STRUCTURAL DRAWINGS.
5	INSTALL RETAIL FURNITURE SELECTED BY OWNER.
6	INSTALL NEW COUNTER & P.O.S SYSTEM.
7	RELOCATED FIRE ALARM PANEL. FIRE ALARM SYSTEMS IS EXISTING TO REMAIN.
8	INSTALL SLAT WALL.
9	INSTALL NEW SIGN INDICATING MAXIMUM OCCUPANT LOAD.
10	INSTALL NEW STORE SIGN. SEE SHOP DRAWINGS.
11	INSTALL NEW DRESSING ROOMS. FRONT PARTITION WALL SHALL EXTEND TO ROOF FRAMING ABOVE.
12	PAINT CEILING.
13	INSTALL WOOD LOAD BEARING WALL. SEE STRUCTURAL DRAWINGS.
14	CEILING SHALL BE RAISED AS MUCH AS POSSIBLE.
15	PROVIDE TACTILE EXIST SIGN STATING "EXIT" ADJACENT TO EACH EXIT AND EXIT PASSAGE WAY.
16	FILL EXISTING OPENING. SEE STRUCTURAL DRAWINGS.
17	NEW DOOR IN EXISTING OPENING.
18	INSTALL 34" TALL SUPPORT WALLS FOR FRONT DESK. ALLOW FOR ADA ACCESS.
19	NO SOLID DISPLAY CASES WITHIN 10' OF STORE FRONT WINDOWS.
20	INSTALL UTILITY SINK AND SINK FAUCET WITH LEVER HANDLES.
21	30" x 48" ACCESSIBLE CLEAR FLOOR SPACE PARALLEL APPROACH.
22	INSTALL NEW ACCESSIBLE TOILET, SINK AND SINK FAUCET. TOP OF SINK SHALL BE 34" FROM FINISHED FLOOR. FAUCET SHALL COMPLY WITH FBC ACCESSIBILITY 309 AND HAVE A LEVER HANDLE. SINK SHALL COMPLY WITH KINES ADA CLEARANCE AND SHALL NOT EXTEND BEYOND 22" FROM VERTICAL WALL.
23	INSTALL FLOOR JOIST. SEE STRUCTURAL DRAWINGS.
24	INSTALL DRINKING FOUNTAIN AS PER MANUFACTURERS INSTRUCTIONS.
25	A PORTION OF THE COUNTER SURFACE THAT IS 36 INCHES (915 mm) LONG MINIMUM AND 38 INCHES (915 mm) HIGH MAXIMUM ABOVE THE FINISH FLOOR SHALL BE PROVIDED. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 SHALL BE POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE 36 INCH (915 mm) MINIMUM LENGTH OF COUNTER.
26	EXISTING STAIRS AND GUARDRAILS TO REMAIN. DO NOT DISTURB.
27	INSTALL SIGN STATING "DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS".
28	INSTALL UTILITY SINK AND SINK FAUCET WITH LEVER HANDLES.
29	INSTALL NEW ACCESSIBLE DRESSING ROOM.
30	INSTALL NEW 3" CONCRETE SLAB WITH POLISH CONCRETE FINISH.
NOTES	1. FLOOR ELEVATION ACROSS DOORS SHALL BE LEVEL ON BOTH SIDES WITH 1/2" MAX ACROSS THE THRESHOLD. 2. ALL INTERIOR FINISHES SHALL COMPLY WITH FFPC 6TH EDITION, TABLE 10.2.7 FOR MERCHANTABILITY.

#	Width	Height	Description
1	3'-0"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
2	10'-11"	2'-6"	NEW FIXED TRANSOM WINDOW TBD BY OWNER
3	7'-0"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
4	12'-0"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
5	12'-0"	2'-6"	NEW FIXED TRANSOM WINDOW TBD BY OWNER
6	13'-9"	2'-6"	NEW FIXED TRANSOM WINDOW TBD BY OWNER
7	12'-7"	2'-6"	NEW FIXED TRANSOM WINDOW TBD BY OWNER
8	12'-7"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
9	13'-9"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
10	24'-7"	2'-6"	NEW FIXED TRANSOM WINDOW TBD BY OWNER
11	3'-5"	6'-10"	NEW FIXED WINDOW TBD BY OWNER
12	3'-5"	9'-4"	NEW FIXED WINDOW TBD BY OWNER
13	3'-7"	6'-10"	NEW FIXED WINDOW TBD BY OWNER
14	3'-7"	9'-4"	NEW FIXED WINDOW TBD BY OWNER
15	6'-0"	6'-10"	NEW FIXED WINDOW TBD BY OWNER
16	6'-0"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
17	3'-7"	7'-8"	NEW FIXED WINDOW TBD BY OWNER
X	-	-	EXISTING WINDOWS

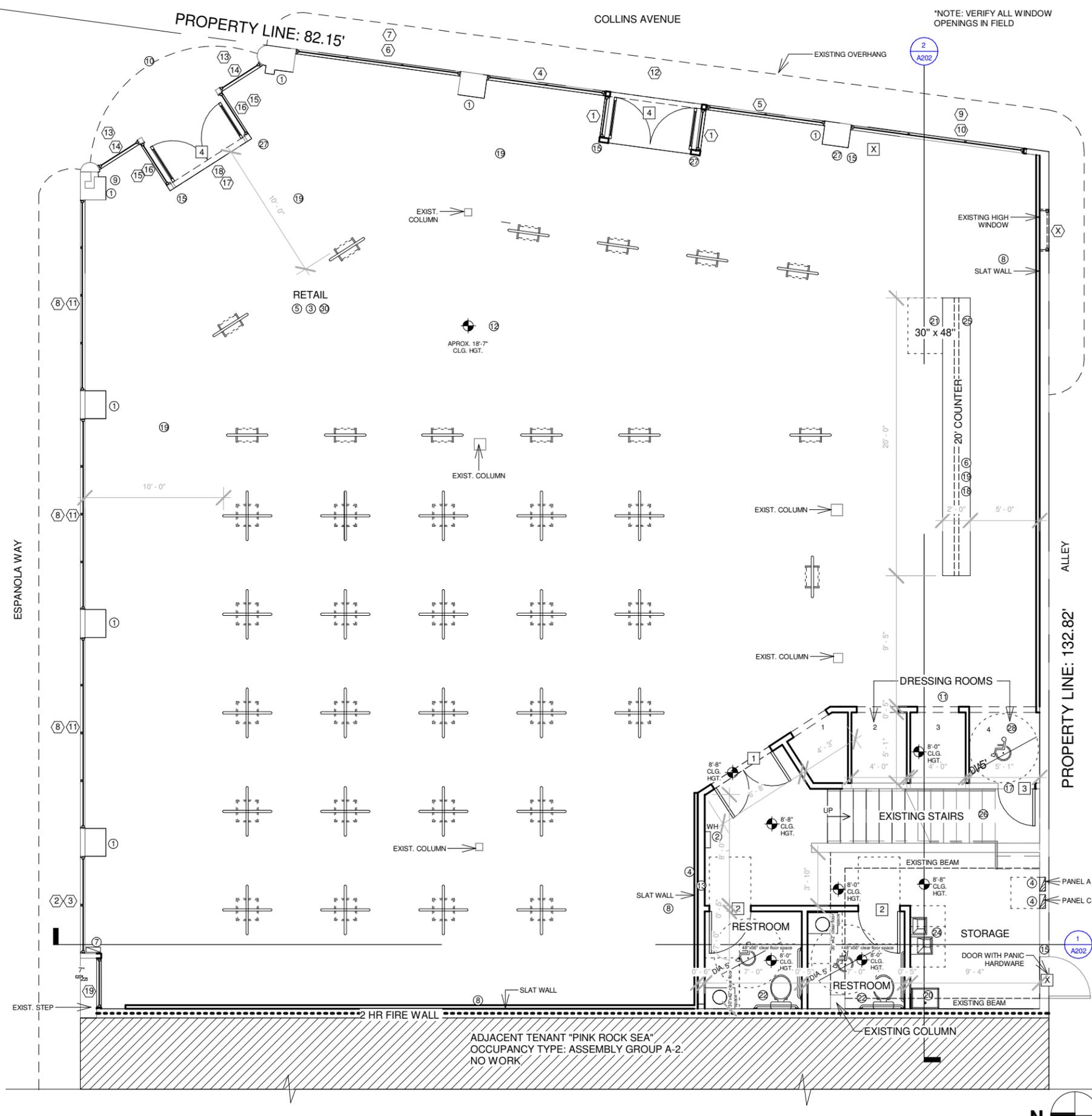
Notes:
 1. All glazing in hazardous locations defined in F.B.C. Chapter 24, Section 2406 Safety Glazing including shower enclosures, windows, etc. shall comply with the requirements of the section.
 2. All new windows shall be impact resistant.
 3. contractor shall verify all window sizes and jamb thickness prior to ordering.
 4. All operable windows shall have screens.
 5. all windows designated as egress shall meet the requirements of F.B.C. per section R310.

#	Width	Height	Description
1	5'-0"	6'-8"	NEW INTERIOR DOUBLE DOOR TBD BY OWNER
2	3'-0"	6'-8"	NEW INTERIOR DOOR TBD BY OWNER
3	2'-8"	6'-8"	NEW INTERIOR DOOR TBD BY OWNER
4	6'-0"	7'-0"	NEW EXTERIOR GLASS DOOR TBD BY OWNER
X	-	-	EXISTING DOORS

Notes:
 1. Jamb depth shall be verified in field.
 2. See structural drawings for wind pressure calculations.
 3. All substitutions shall be approved as equal by the Architect.
 4. All doors to exterior shall have weatherstripping, threshold and screens.
 5. All glazing in hazardous locations defined in F.B.C. Chapter 24, Section 2406 Safety Glazing including shower enclosures, windows, etc. shall comply with requirements of the section.
 6. All new exterior door shall be impact resistant.
 7. Doors shall not require a key or special knowledge to open for egress.
 8. Doors serving 100 persons shall be provided with panic hardware.
 9. Verify all window openings in field.



2.1 - Second Floor Plan
1/8" = 1'-0"



1.1 - First Floor Plan
1/8" = 1'-0"



SQUARE ONE ARCHITECTURE
 5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 954-861-0852
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

First & Second Floor Plan

Date: 05/07/2019
 Drawn by: LEA

A101

Scale: As indicated

2/11/2020 12:24:49 PM



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

Life Safety Plan

Date 05/07/2019
 Drawn by LFF

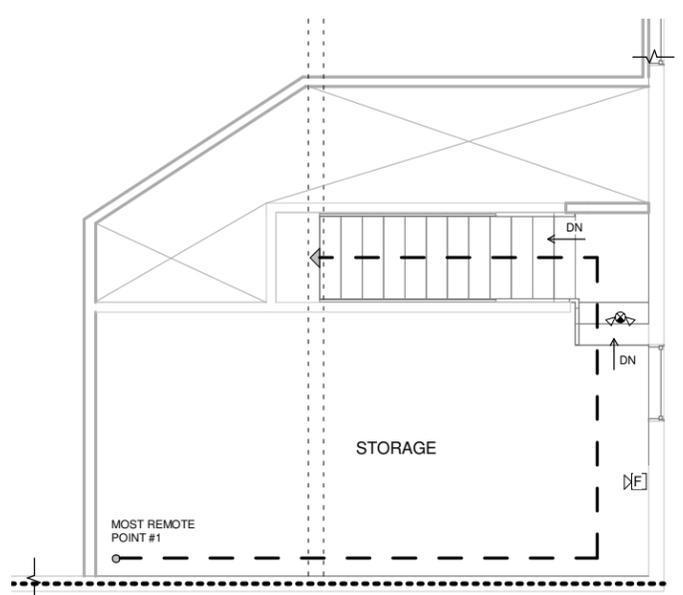
A102

Scale As indicated

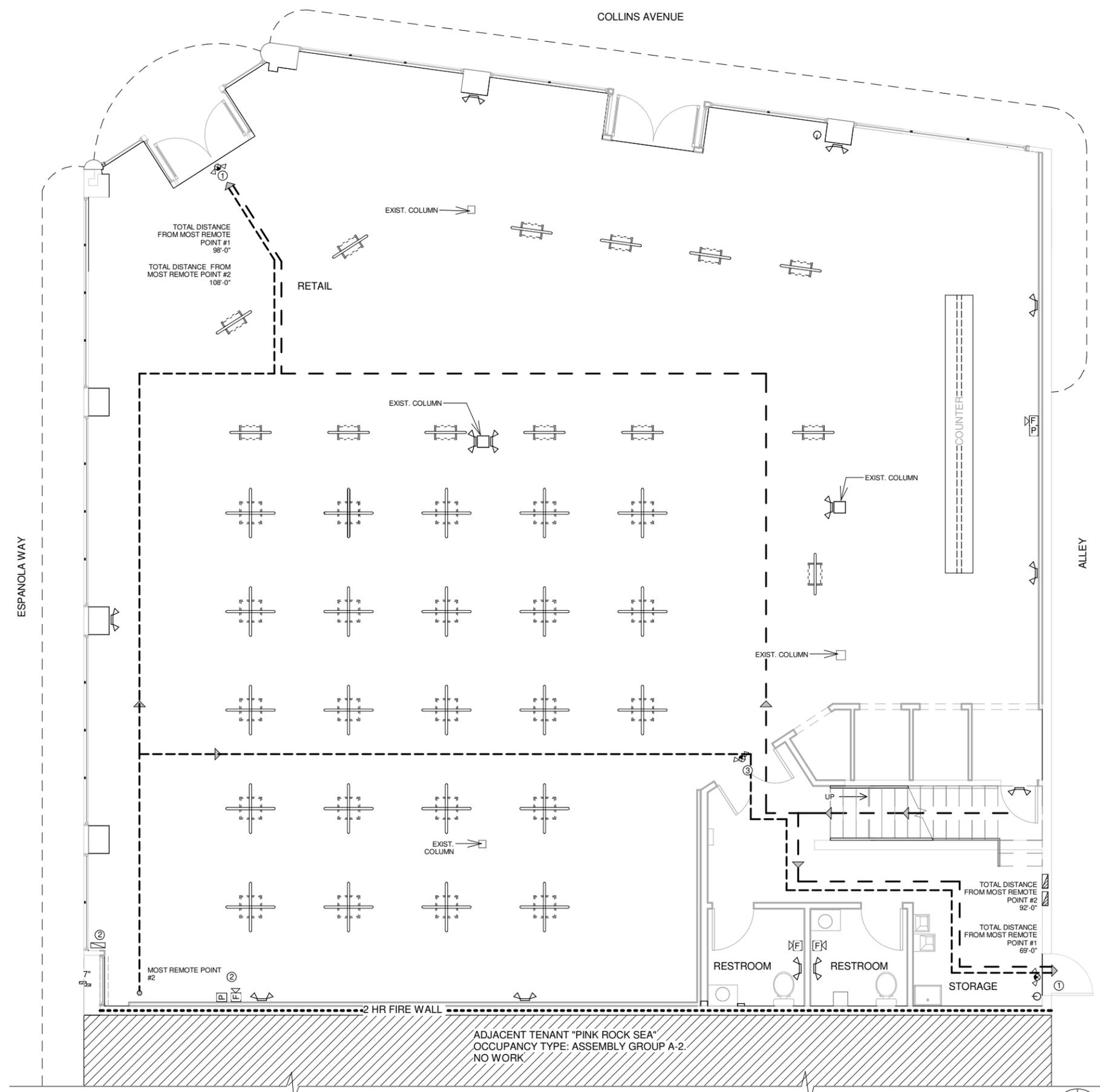
2/11/2020 12:24:49 PM

LIFE SAFETY PLAN LEGEND	
#	DESCRIPTION
	EXIT SIGN W/ BATTERY BACKUP. ARROW INDICATES DIRECTIONAL. DARK AREA INDICATES SIGN FACE.
	COMBINATION: EMERGENCY LIGHTS/ EXIT SIGN W/ BATTERY BACKUP.
	EMERGENCY LIGHTS W/ BATTERY BACKUP.
	FIRE ALARM HORN AND STROBE.
	FIRE ALARM PULL STATION.
	FIRE EXTINGUISHER, 2A-10 BC, WITH SERVICE TAG.
	FIRE ALARM PANEL.
	TYCO RF-11, 1/2" 5bk, 155 WHITE CONCEALED
	TYCO TY-B, 1/2" 5bk, 155 CHROME SEMI-RECESSED
	SMOKE DETECTOR
	2HR FIRE WALL
	ROUTE FOR MOST REMOTE POINT #1
	ROUTE FOR MOST REMOTE POINT #2

LIFE SAFETY PLAN LEGEND	
#	DESCRIPTION
1	VERIFY PANIC HARDWARE ON EXISTING DOOR.
2	RELOCATED.
3	PROVIDE EXISTING PANIC HARDWARE ON NEW DOOR.
NOTES	1. STORE FRONT DOORS LACK OF PANIC HARDWARE AND SWING TO THE INSIDE, MAKING THEM UNSUITABLE AS AN EMERGENCY MEAN OF EGRESS.



② 2.1 - Second Floor Life Safety Plan
 1/8" = 1'-0"



① 1.1 - First Floor Life Safety Plan
 1/8" = 1'-0"



COPYRIGHT 2017



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

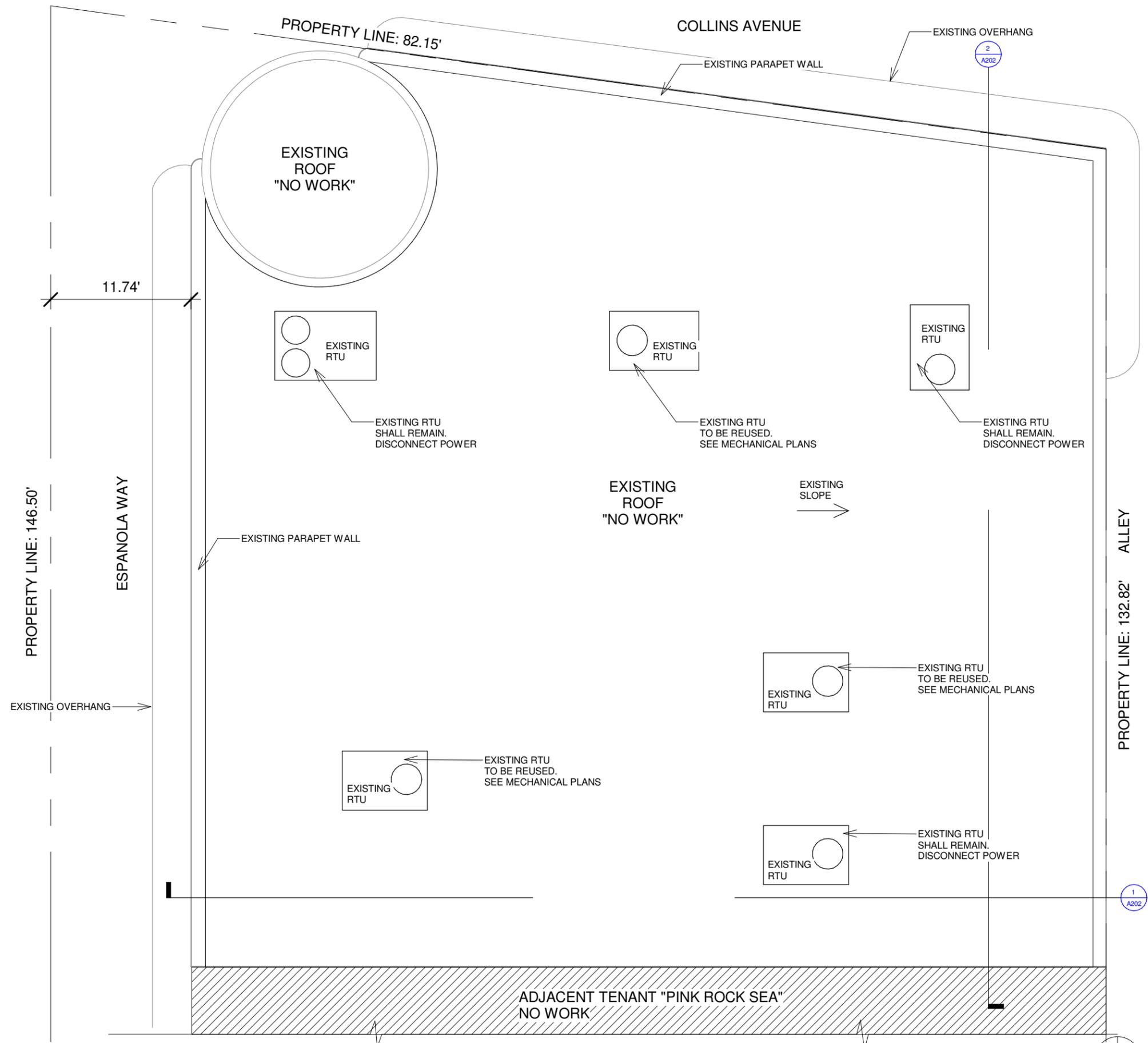
Propose Roof Plan

Date 05/07/2019
 Drawn by LFF

A103

Scale 1/8" = 1'-0"

2/11/2020 12:24:50 PM



1 Roof Plan
 1/8" = 1'-0"



COPYRIGHT 2017



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 : : : : 954-861-0852 : : : :
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

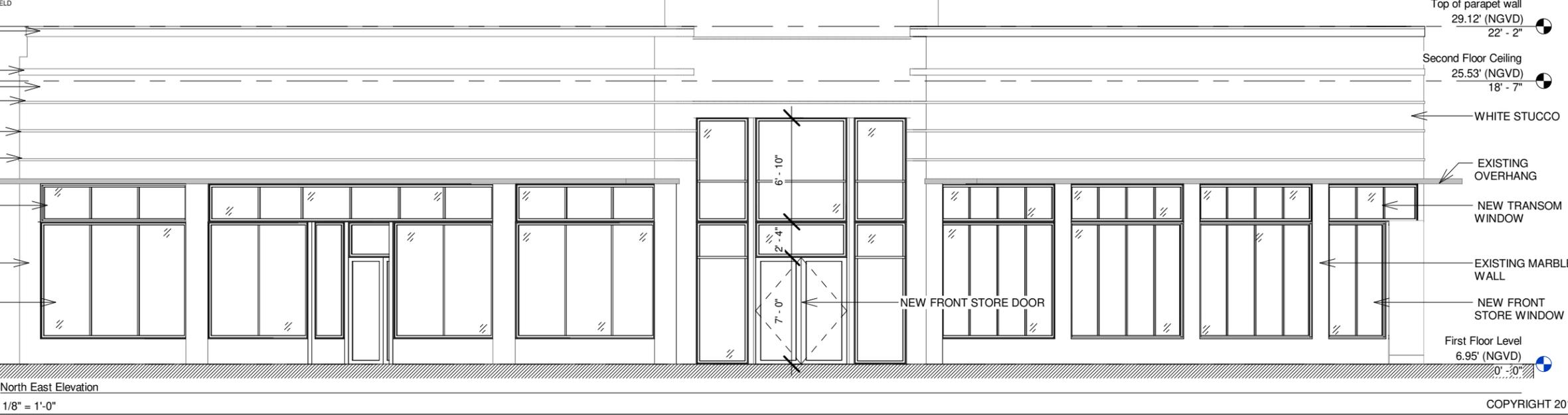
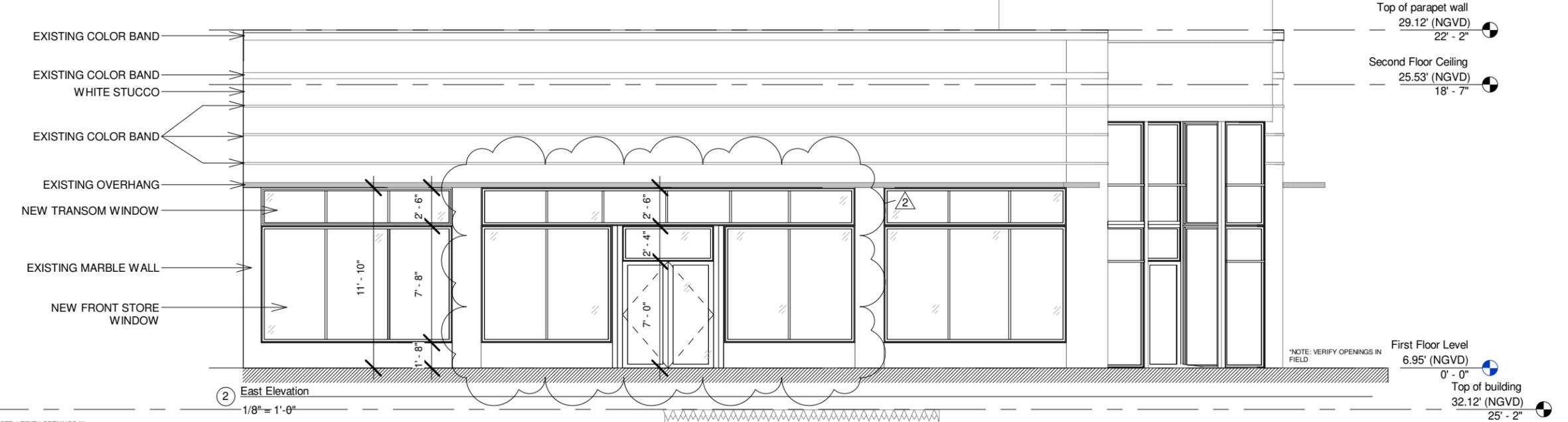
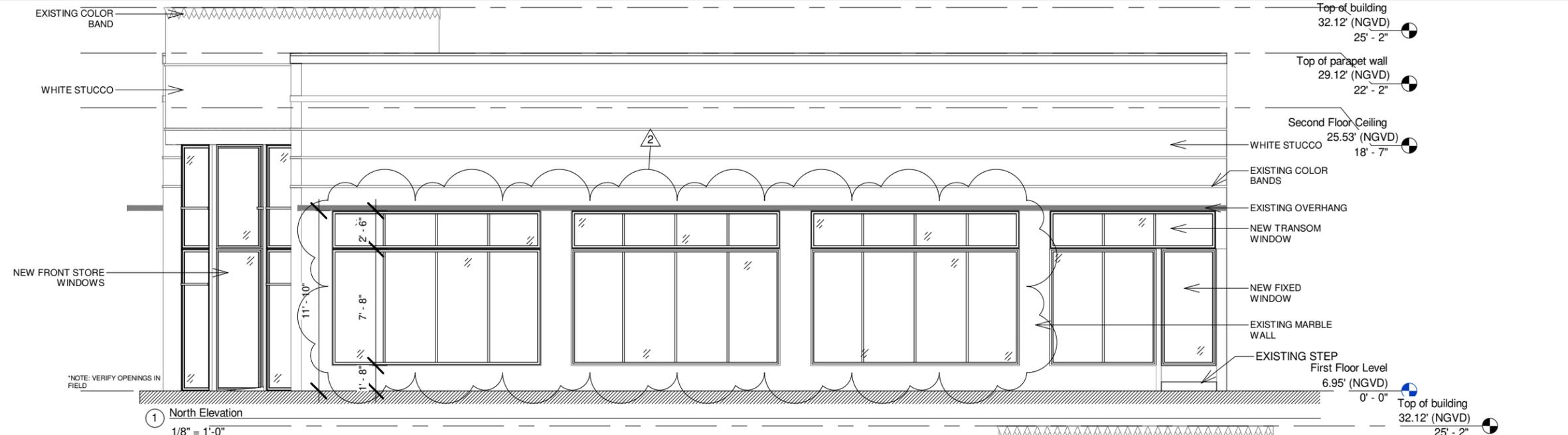
John Norman Garra
 Florida Architect AR92545

Propose Elevations

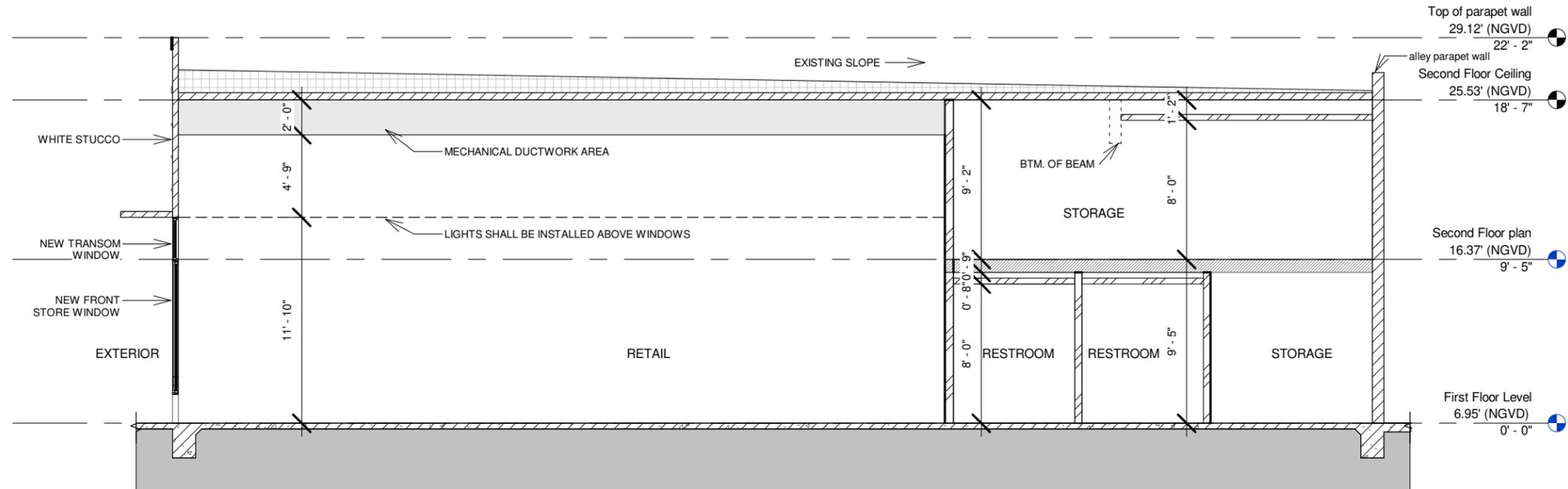
Date 05/07/2019
 Drawn by LFF

A201

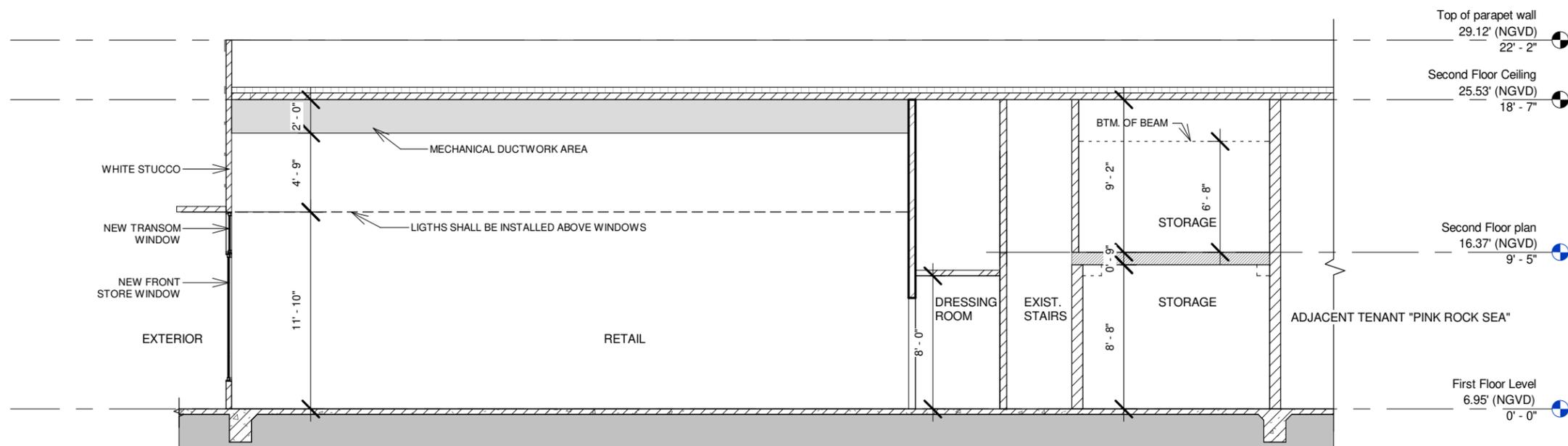
Scale 1/8" = 1'-0"



EXISTING	
NEW CMU	
CONCRETE	
WOOD	
METAL FRAMING	



① Section 1 North - South
1/8" = 1'-0"



② Section 2 East - West
1/8" = 1'-0"



SQUARE ONE
ARCHITECTURE
5230 S University Dr #106D,
Davie, FL 33328
AA26001846
954-861-0852
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Propose
Sections

Date 05/07/2019
Drawn by LFF

A202

Scale As indicated

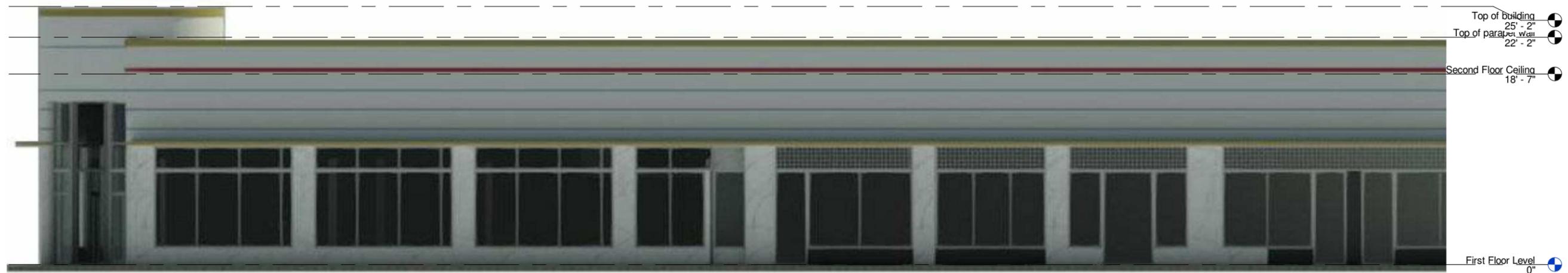


5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139



① North Elevation - Sun & Sand
 1/8" = 1'-0"



② North Elevation - Complete facade
 3/32" = 1'-0"

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

Render - New Elevations

Date 05/07/2019
 Drawn by Author

A203

Scale As indicated



5230 S University Dr #106D,
 Davie, FL 33328
 AA26001846
 :::: 954-861-0852 ::::
 www.sq-1.net

Sun & Sand
 Tenant modification
 1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
 Florida Architect AR92545

Render - New Elevations

Date 05/07/2019
 Drawn by LFF

A204

Scale 1/8" = 1'-0"

2/11/2020 12:19:35 PM



② East Elevation
 1/8" = 1'-0"



① North East Elevation
 1/8" = 1'-0"



① Render - Main entrance
12" = 1'-0"



③ Render - Perspective
12" = 1'-0"



④ Render - Collins ave.
12" = 1'-0"



② Render - Espanola way
12" = 1'-0"



SQUARE ONE
ARCHITECTURE
5230 S University Dr #106D,
Davie, FL 33328
AA26001846
: 954-861-0852 :
www.sq-1.net

Sun & Sand
Tenant modification
1438 Collins Ave, Miami Beach, FL 33139

No.	Description	Date
1	FIRST SUBMITTAL	01/17/20
2	FINAL SUBMITTAL	02/10/20

John Norman Garra
Florida Architect AR92545

Renders

Date 05/07/2019
Drawn by Author

A205

Scale 12" = 1'-0"