



DESIGN REVIEW BOARD
FINAL SUBMISSION
FEBRUARY 10TH, 2020

GLOBAL BANK
1790 ALTON ROAD
MIAMI BEACH, FLORIDA

- SCOPE OF WORK
- ONE STORY BANK BUILDING

PROJECT:
GLOBAL BANK

1790 Alton Road
Miami Beach, FL 33139

DRAWING:

COVER PAGE

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SCALE:

CHECK: JMcG

DATE: 02/10/2020

SHEET NUMBER

A 0.00

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ZONING DATA

ZONING DATA SHEET					
ITEM #	Zoning Information LAND USE: CD-2				
1	Address:	1790 Alton Road, Miami Beach , FL 33139			
2	Board and File numbers:	DRB19-0493			
3	Folio number(s):	02-3233-012-0700			
4	Year constructed:	N/A	Zoning District:	CD-2 (SUNSET HARBOUR NEIGHBORHOOD)	
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	5'-4"	
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	10,331 SF	
7	Lot Width	50'-0"	Lot Depth:	137'-0"	
8	Minimum Unit Size	301 SF		N/A	
9	Existing User	VACANT	Proposed Use:	Bank	

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	0'.00"	15'-9"	
11	Number of Stories	N/A	N/A	1	-
12	FAR	1.5	0.00	0.29	-
13	FLOOR AREA Square Footage	15,497 SF	0 SF	3,000 SF	-
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	N/A	N/A	-
17	Number of Seats	N/A	N/A	N/A	-
18	Occupancy Load	N/A	N/A	30	-

	Setbacks	Required	Existing	Proposed	Deficiencies
	At Grade Parking (CD-2) SUNSET HARBOR				
19	Front Setback (NORTH):	5'-0"	N/A	5'-0"	-
20	Rear Setback (WEST):	5'-0"	N/A	5'-1"	-
21	Side Setback facing Street (EAST):	5'-0"	N/A	5' - 9"	-
22	Side Setback facing Street (SOUTH):	5'-0"	N/A	21'-1 1/2"	-
	Pedestal LEVEL 1 (CD-2) SUNSET HARBOR				
23	Front Setback (NORTH):	0'-0"	N/A	4' - 5"	-
24	Rear Setback (WEST):	5'-0"	N/A	50' - 4"	-
25	Side Setback facing Street (EAST):	0'-0"	N/A	5'-1"	-
26	Side Setback facing Street (SOUTH):	0'-0"	N/A	23'-11"	-

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District (DISTRICT #5)	10	0	10	-
32	Total # of parking spaces	10	N/A	10	-
33	# of parking spaces required	10	N/A	10	-
34	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	-
35	Parking Space Configurations (45°, 60°, 90°, Parallel)	90 DEGREE	N/A	90 DEGREE	-
36	ADA Spaces	1	N/A	1	-
37	Tandem Spaces	N/A	N/A	N/A	-
38	Drive Aisle Width	22'	N/A	22'	-
39	Valet Drop off and pick up	N/A	N/A	N/A	-
40	Loading zones and Trash collection areas	N/A	N/A	N/A	-
41	Bike Racks (15% of required parking)	2	N/A	6	-

47	Is this a contributing building?	NO
48	Located within a Local Historic District?	NO

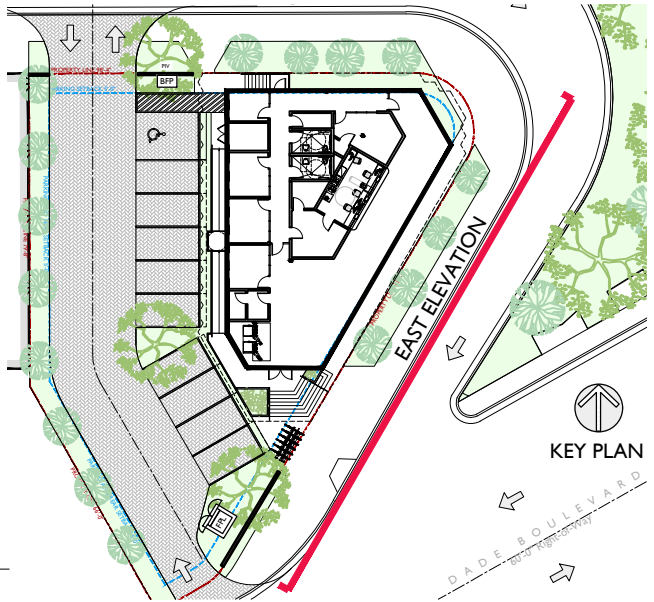
Notes: If not applicable write N/A
All other data information may be required and presented like the above format.
* SEE PARKING REQUIREMENTS (A)



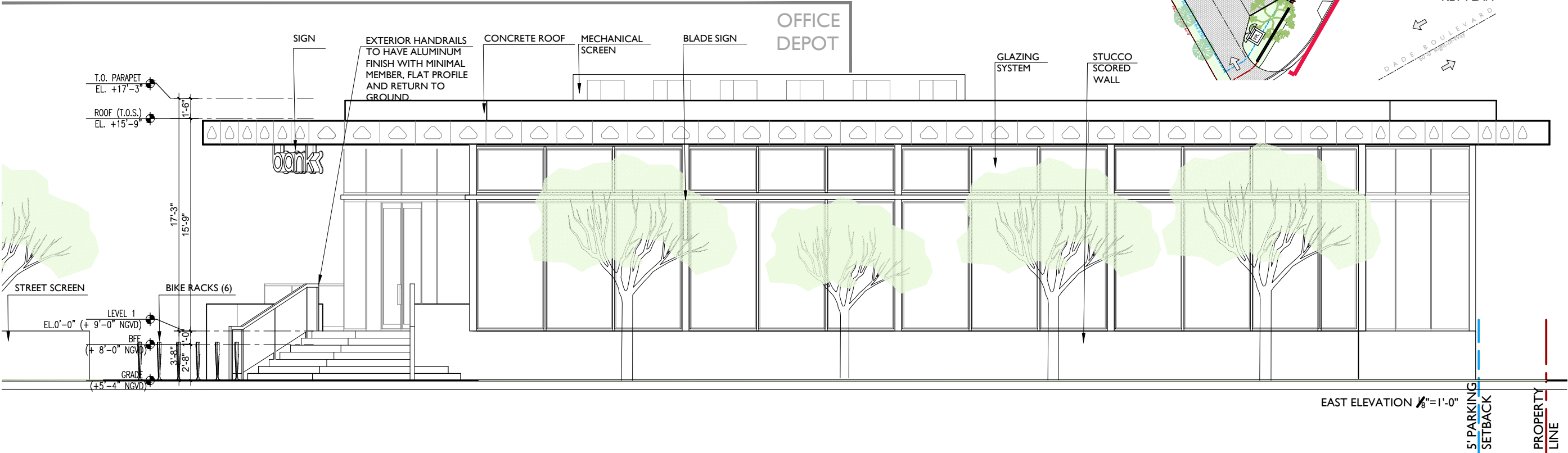


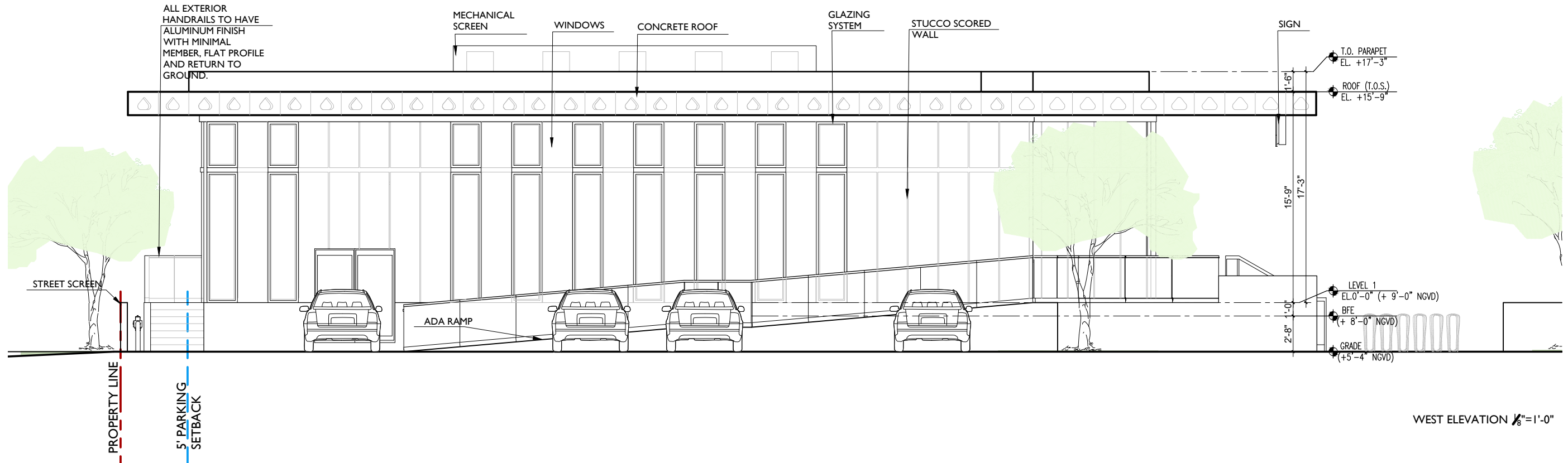


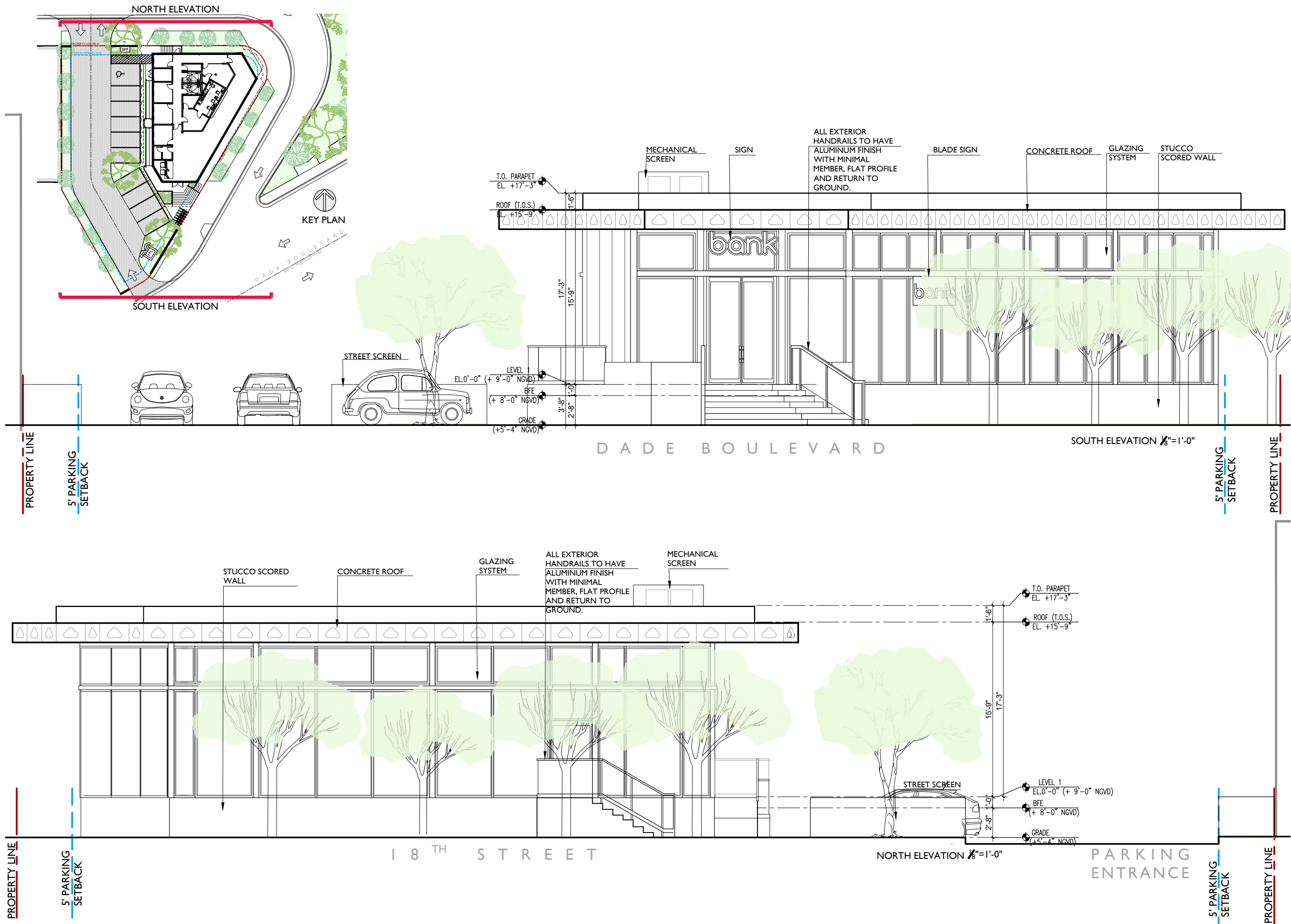


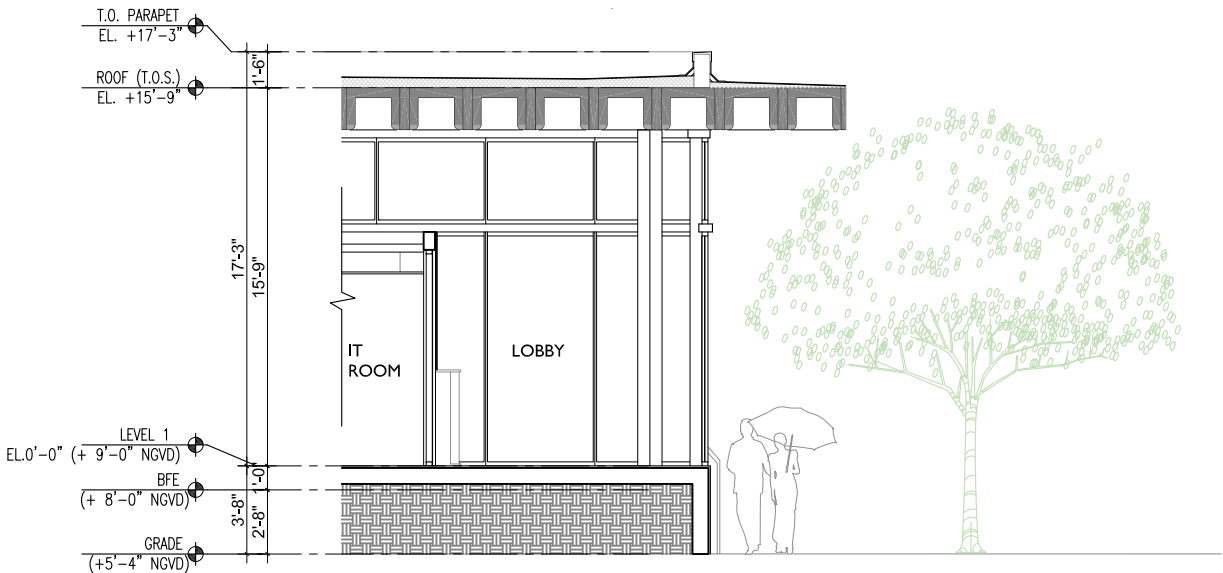


KEY PLAN





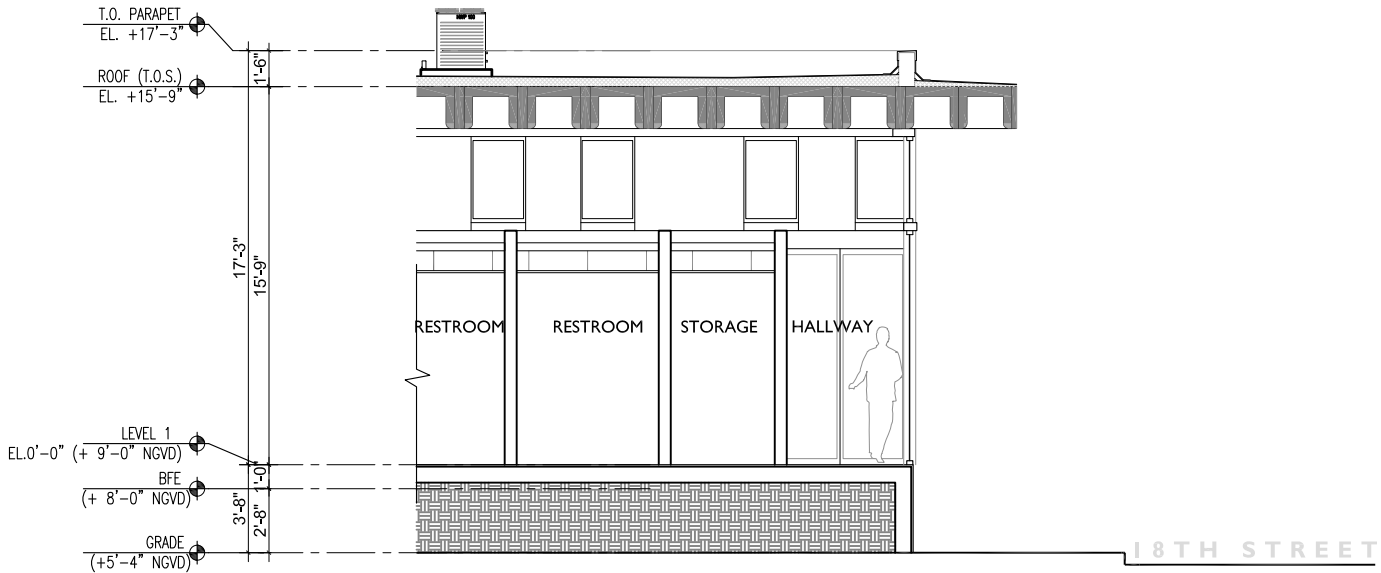




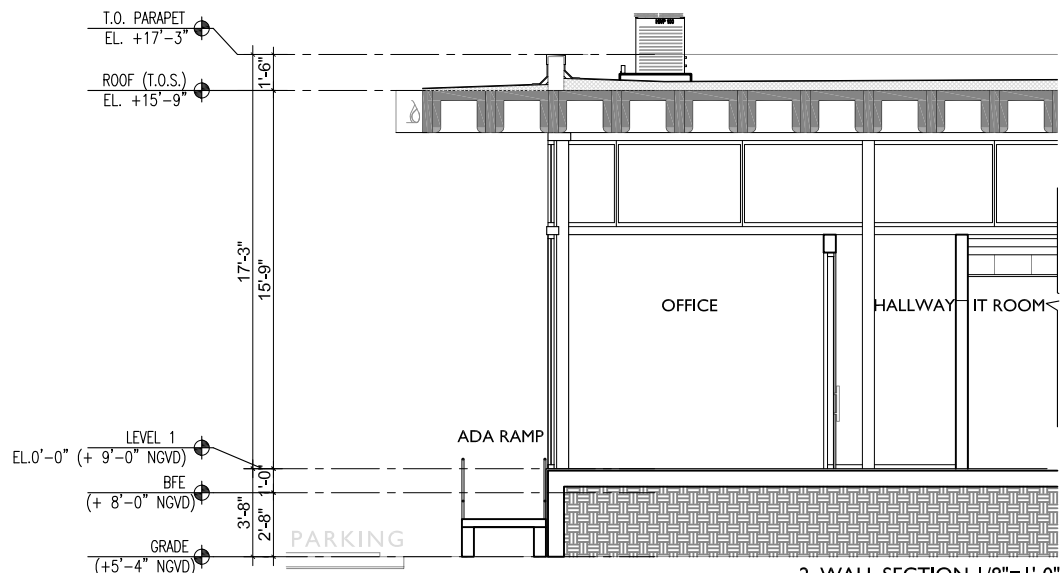
5 WALL SECTION 1/8"=1'-0"



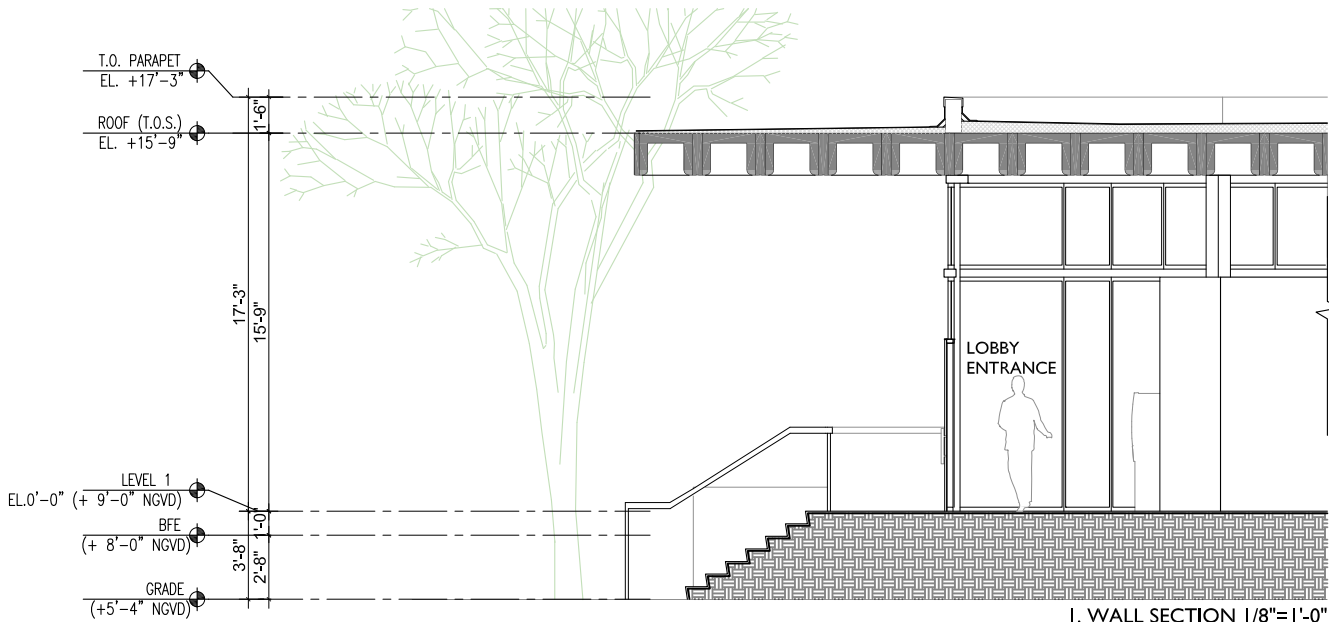
4. WALL SECTION 1/8"=1'-0"



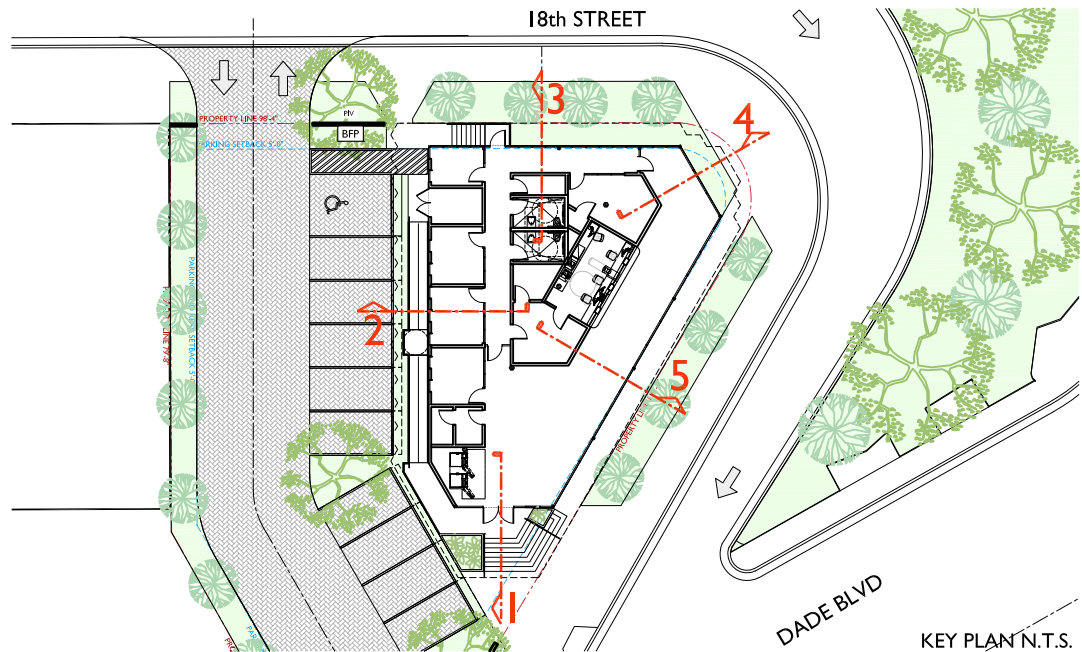
3. WALL SECTION 1/8"=1'-0"



2. WALL SECTION 1/8"=1'-0"



1. WALL SECTION 1/8"=1'-0"



KEY PLAN N.T.S.

