

LEGEND

- 
COVERAGE
- 
GREEN SPACE
- 
PERVIOUS CONCRETE

UNDER AC SQ. FT. PER UNIT	
UNIT A	2125.69
UNIT B	2076.99
UNIT C	2076.99
UNIT D	2125.69
TOTAL	8,405.36

**Plus avg 229 Sq. Ft. per
unit of Balcony & Terraces.

F.A.R. SQ. FT. TOTAL	
GROUND LEVEL	523.33
FIRST LEVEL	3426.88
SECOND LEVEL	2961.39
THIRD LEVEL/ROOF DECK	2411.07
TOTAL	9,322.67
	1.243%
MAX F.A.R. ALLOWED	9,375.00
F.A.R. PROVIDED	9,322.67
DIFFERENCE	-52.33
	-0.01

GENERAL NOTES

PERVIOUS CONCRETE IS TO BE USED FOR THE PARKING AREAS AND DRIVEWAYS IN ORDER TO PROVIDE FOR DRAINAGE. THEREFORE, THESE AREAS ARE NOT INCLUDED IN THE LOT COVERAGE CALCULATIONS.

PER THE CITY CODE SECTION 142-155(3)(e) "IMPERVIOUS PARKING AREAS AND IMPERVIOUS DRIVEWAYS SHALL ALSO BE INCLUDED IN THE LOT COVERAGE CALCULATIONS. THE DESIGN REVIEW BOARD OR HISTORIC PRESERVATION BOARD, AS APPLICABLE, MAY WAIVE THE LOT COVERAGE REQUIREMENTS IN ACCORDANCE WITH THE DESIGN REVIEW OR CERTIFICATE OF APPROPRIATENESS CRITERIA, AS APPLICABLE."

THE FRONT FACADE INCLUDES EXTERIOR PRIVATE BALCONIES AT THE FIRST LEVEL, WHICH EXTEND APPROXIMATELY 1'-0" INTO THE FRONT SETBACK. THE BALCONY PROJECTION IS NOT INCLUDED IN THE LOT COVERAGE CALCULATIONS.

PER THE CITY CODE SECTION 114-1, LOT COVERAGE MEANS THE PERCENTAGE OF THE TOTAL AREA OF A LOT THAT, WHEN VIEWED DIRECTLY FROM ABOVE, WOULD BE COVERED BY ALL PRINCIPAL AND ACCESSORY BUILDINGS AND STRUCTURES, OR PORTIONS THEREOF; PROVIDED, HOWEVER, THAT EXTERIOR UNENCLOSED PRIVATE BALCONIES, AND AWNINGS SHALL NOT BE INCLUDED IN DETERMINING THE BUILDING AREA.

PER THE CITY CODE 142-1132 (O) "THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED. (1) BELT COURSES. (2) CHIMNEYS. (3) CORNICES. (4) EXTERIOR UNENCLOSED PRIVATE BALCONIES. (5) ORNAMENTAL FEATURES."

2 FIRST LEVEL

SCALE: 1/16" = 1'-0"

AREA: 3,426.88 Sq.Ft. (45.69%)



1 GROUND LEVEL

SCALE: 1/16" = 1'-0"

AREA: 523.33 Sq.Ft. (6.98%)



A0.11

DRAWING TITLE:

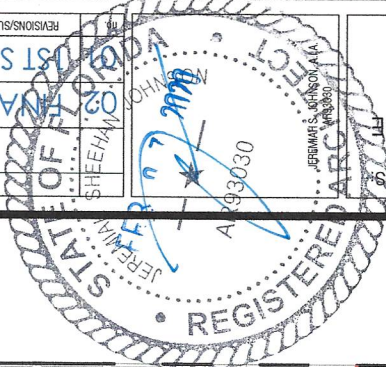
F.A.R. DIAGRAMS

DRB REVIEW

PROJECT # 17-M-05

PROJECT NAME / ADDRESS
1311 15TH TERRACE
CONDO
1311 15TH TERRACE
MIAMI BEACH FL 33139

REVISIONS/SUBMISSIONS	
01.20.20	DRB SUB
02.10.20	FINAL SUB
	date

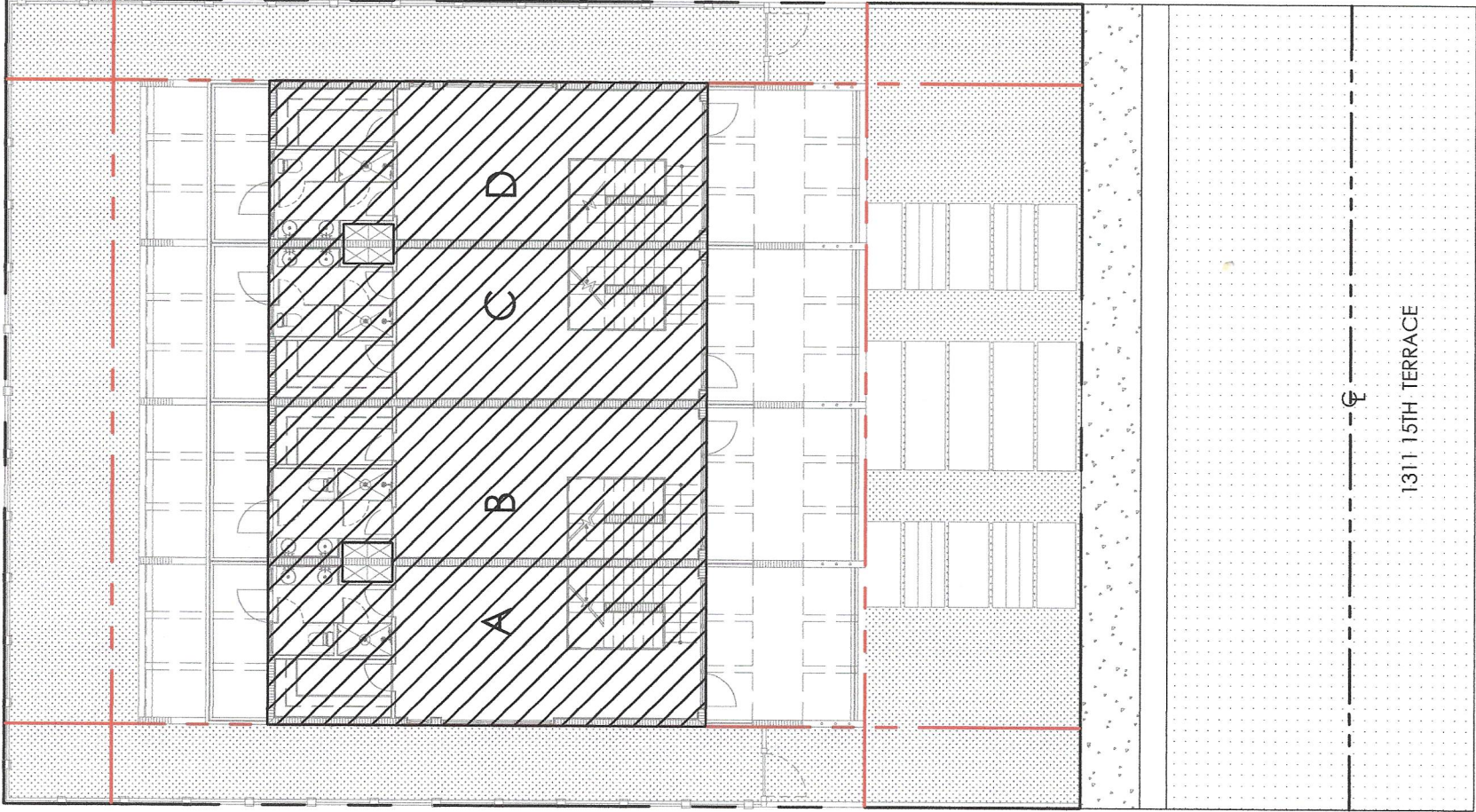


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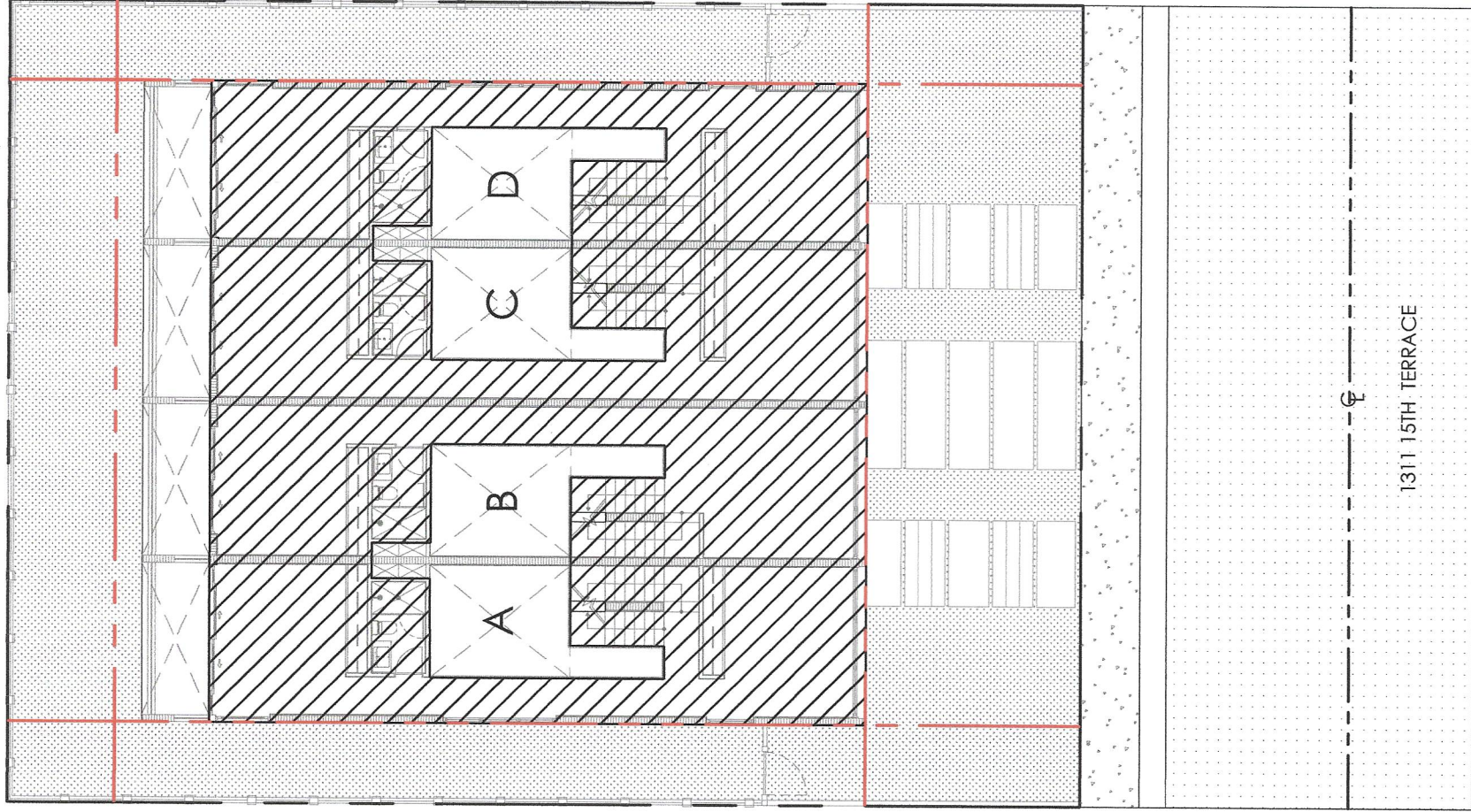
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2 THIRD LEVEL
SCALE: 1/16" = 1'-0"

AREA: 2,411.07 Sq.Ft. (32.15%)



1 SECOND LEVEL
SCALE: 1/16" = 1'-0"

AREA: 2,961.39 Sq.Ft. (39.49%)



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01	01	01ST SUB	01.20.20
02	02	FINAL SUB	02.10.20



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CONDO
MIAMI BEACH FL 33139

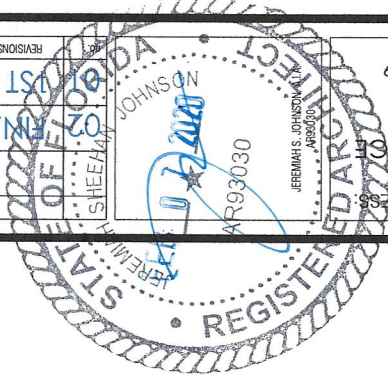
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F.A.R. DIAGRAMS
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02.10.20	DRB FINAL SUB	02.10.20
01.20.20	DRB PRELIM SUB	01.20.20

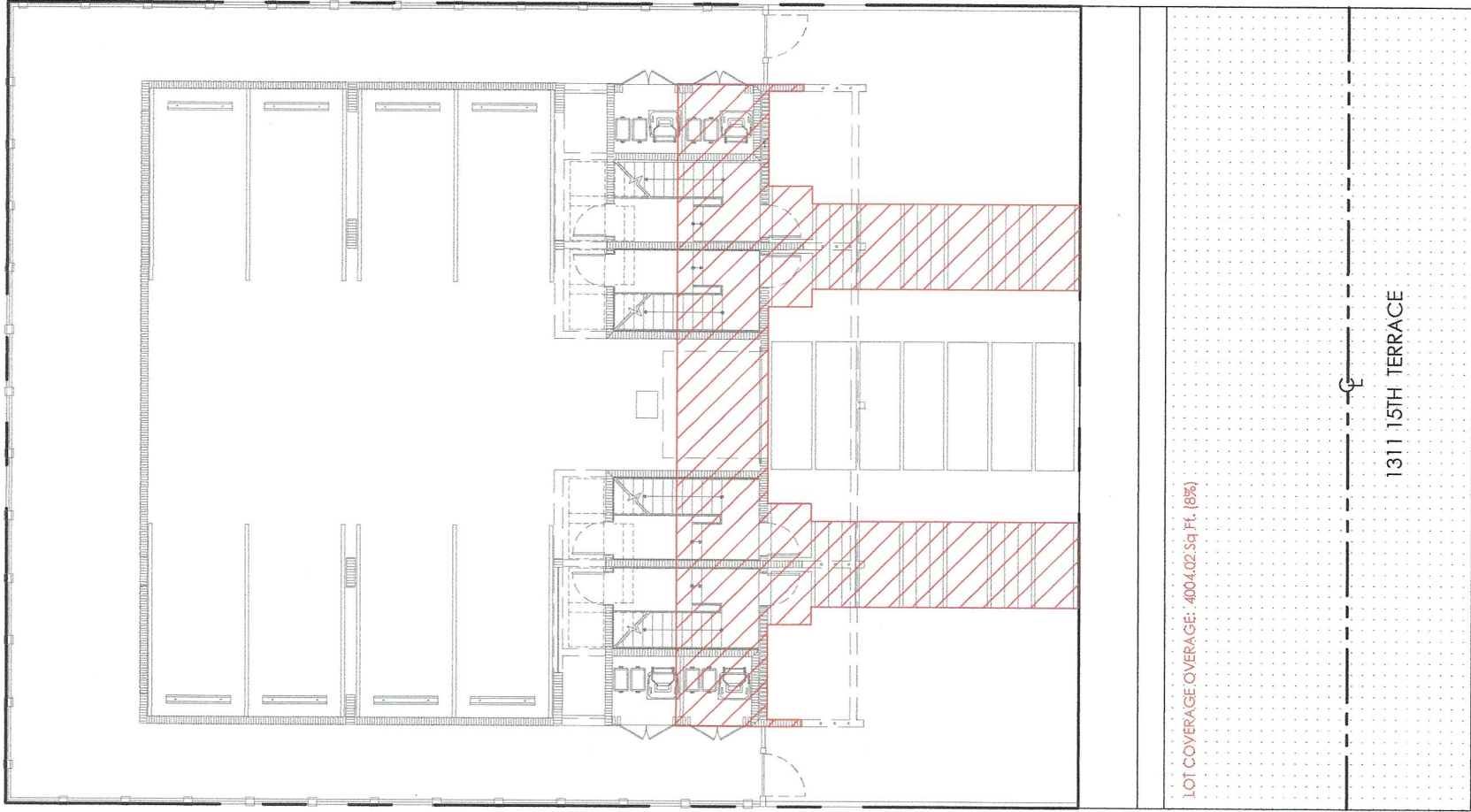


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**1311 15TH TERRACE
CONDO**
1311 15TH TERRACE
MIAMI BEACH FL 33139

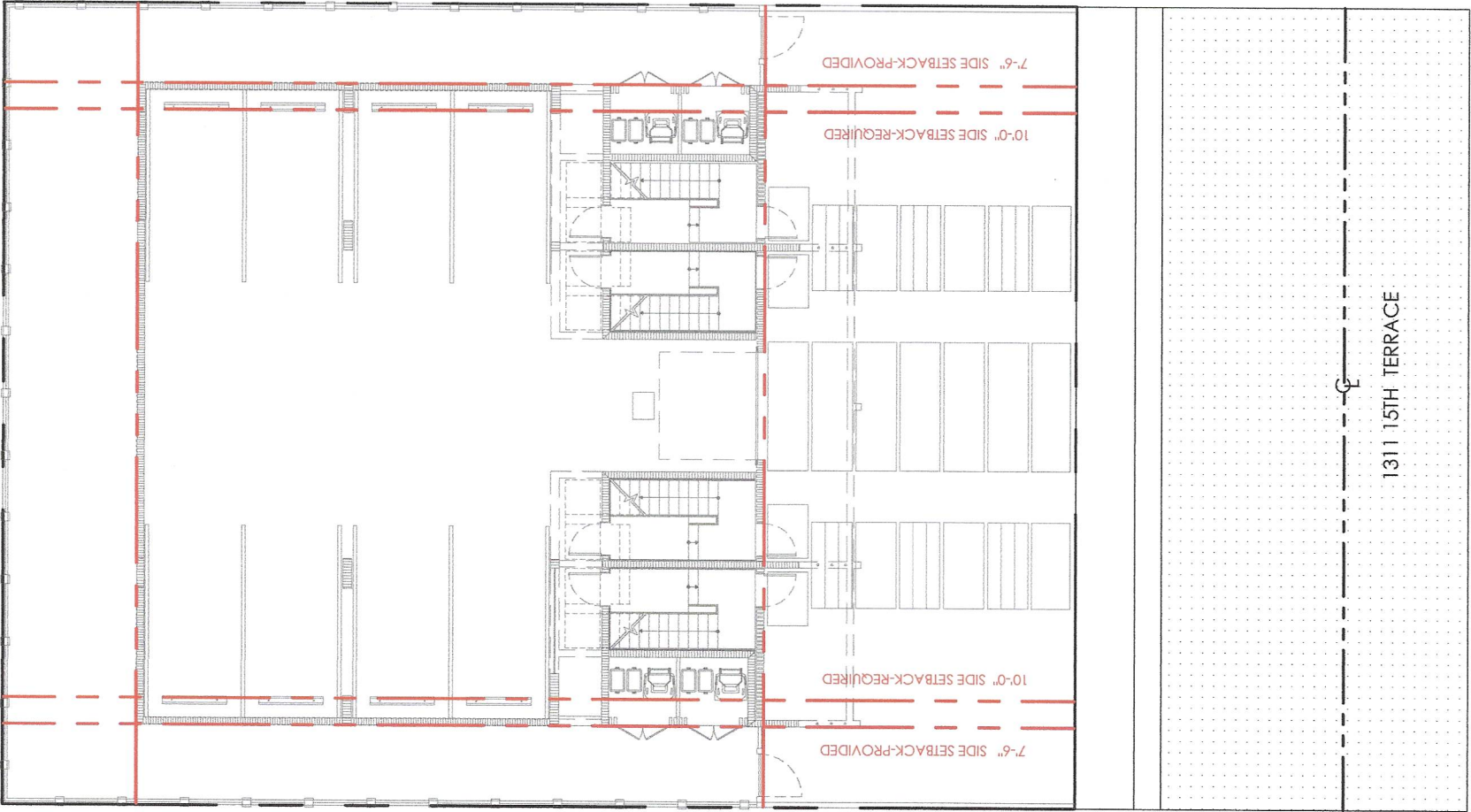
DRAWING TITLE:
VARIANCE / WAIVER DIAG.

PROJECT #:
17-M-05

DRB REVIEW



1 COVERAGE WAIVER DIAGRAM
SCALE: 1/16" = 1'-0"
AREA: 4004.02 Sq.Ft. (53%)
OVERAGE 629.02 Sq.Ft. (8%)



2 SIDE SETBACK VARIANCE DIAGRAM
SCALE: 1/16" = 1'-0"
SETBACK REDUCTION: - (2'-6")

100'-0" LOT SIZE

67'-6" SHELL

20'-0" FRONT SETBACK

25'-0"

ROAD CENTER LINE TO PROPERTY LINE



1 SITE PLAN

SCALE: 3/32" = 1'-0"



PROJECT #
17-M-05

DRB REVIEW

DRAWING TITLE:

SITE PLAN

PROJECT NAME / ADDRESS
1311 15TH TERRACE
CONDO
MIAMI BEACH, FL 33139

REVISIONS/SUBMISSIONS	date
01.20.20 01.20.20	01.20.20
02.10.20 02.10.20	02.10.20



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REVISIONS/SUBMISSIONS	DATE
FINAL SUB	02.10.20
1ST SUB	01.20.20



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MIAMI BEACH, FL 33139

DRAWING TITLE:

GROUND LEVEL PLAN

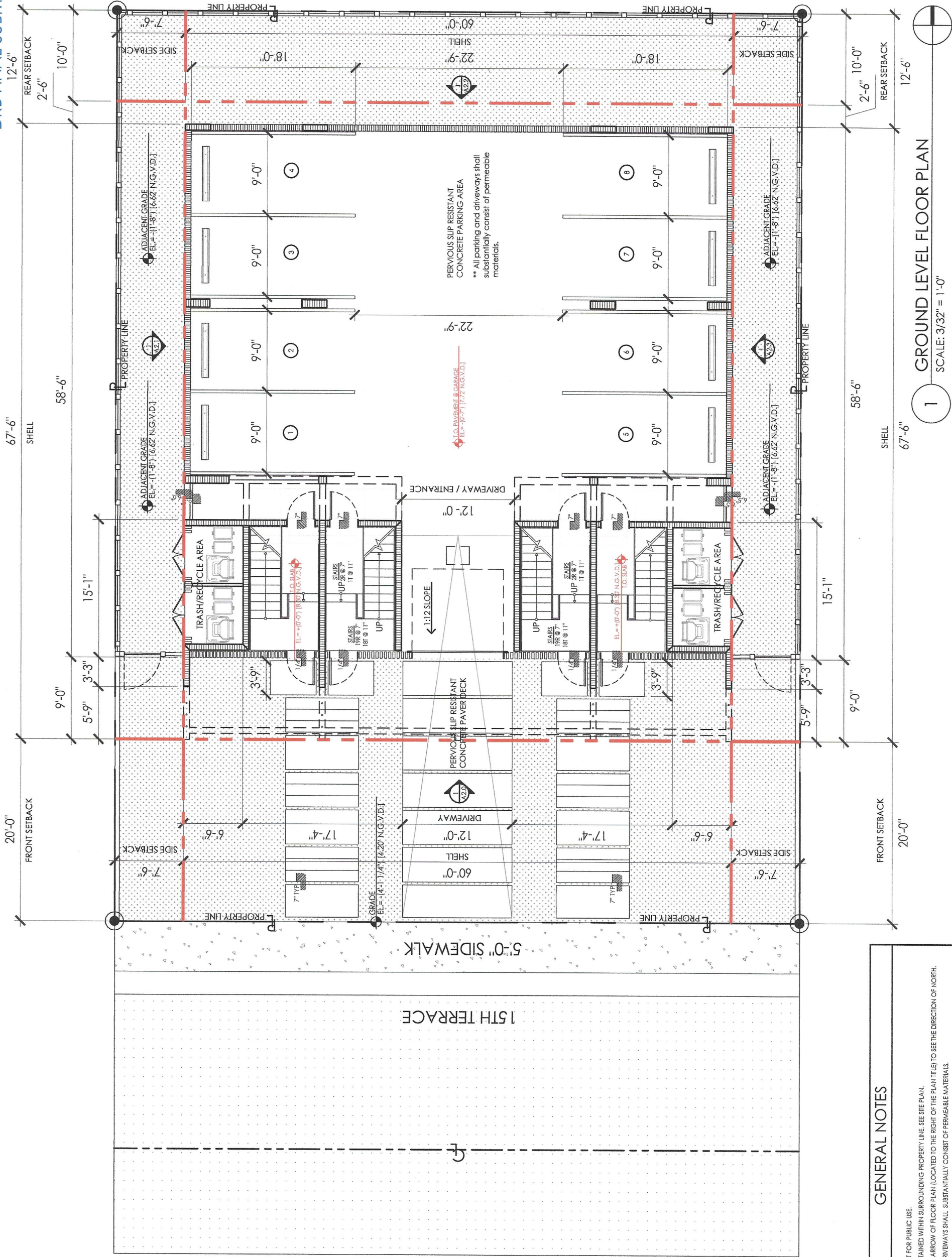
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17-M-05

DRB REVIEW

A1.0

SHEET



- GENERAL NOTES
1.

FLAT ROOF AREA NOT FOR PUBLIC USE.
2.

RAINWATER TO BE RETAINED WITHIN SURROUNDING PROPERTY LINE. SEE SITE PLAN.
3.

REFER TO THE NORTH ARROW OF FLOOR PLAN (LOCATED TO THE RIGHT OF THE PLAN TITLE) TO SEE THE DIRECTION OF NORTH.
4.

ALL PARKING AND DRIVEWAYS SHALL SUBSTANTIALLY CONSIST OF PERMEABLE MATERIALS.

1

GROUND LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"

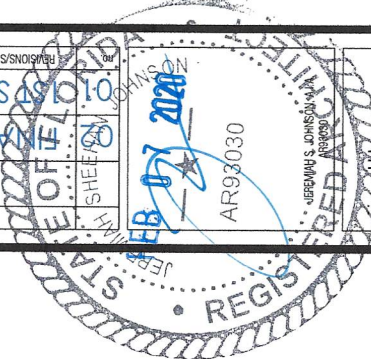
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02.10.20	02.10.20 SUB	



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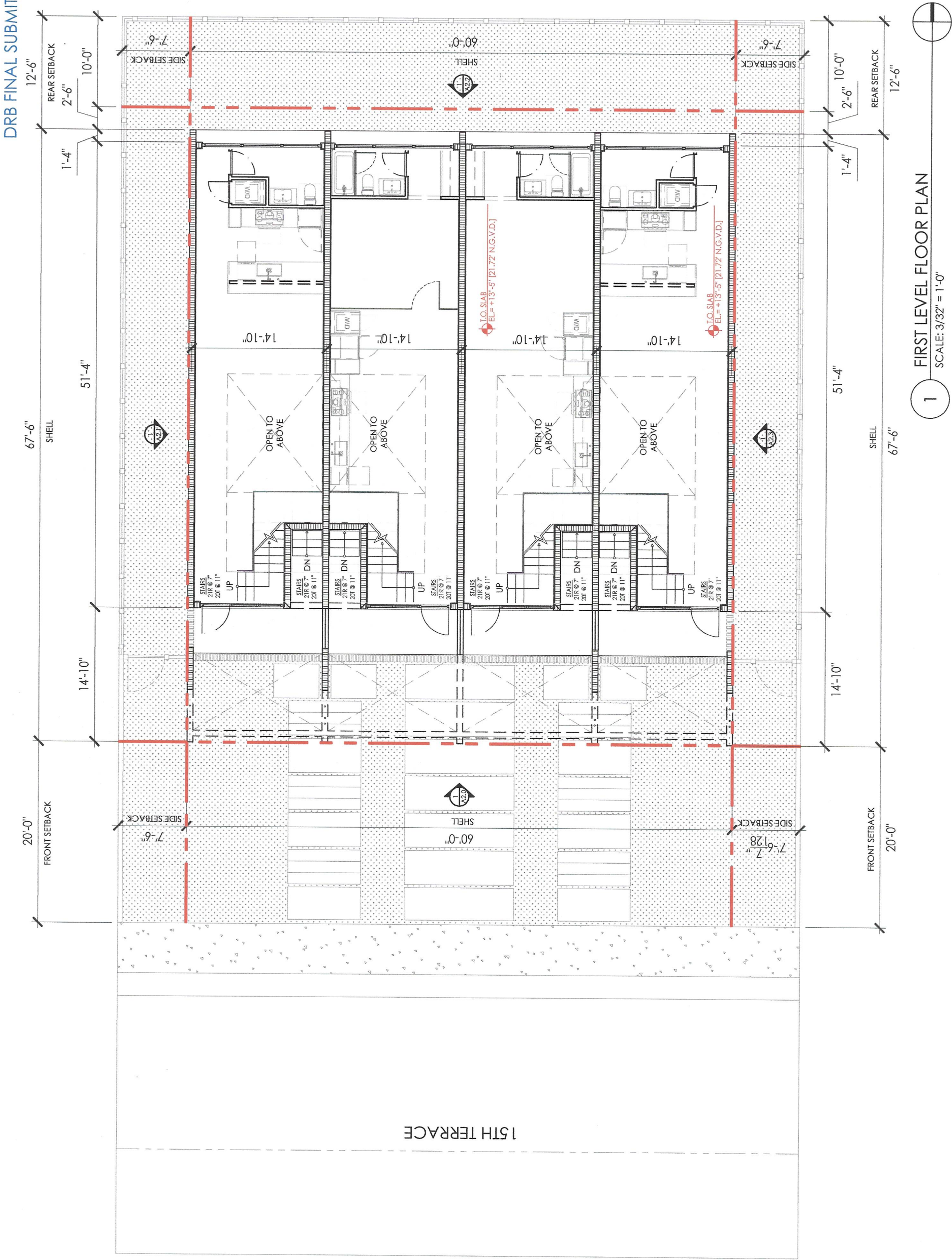
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FIRST LEVEL PLAN

PROJECT #

17-M-05

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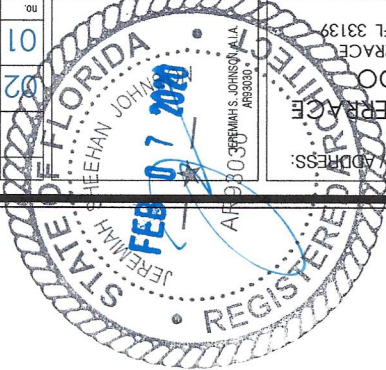
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01	1ST SUB	01.20.20
02	FINAL SUB	02.10.20



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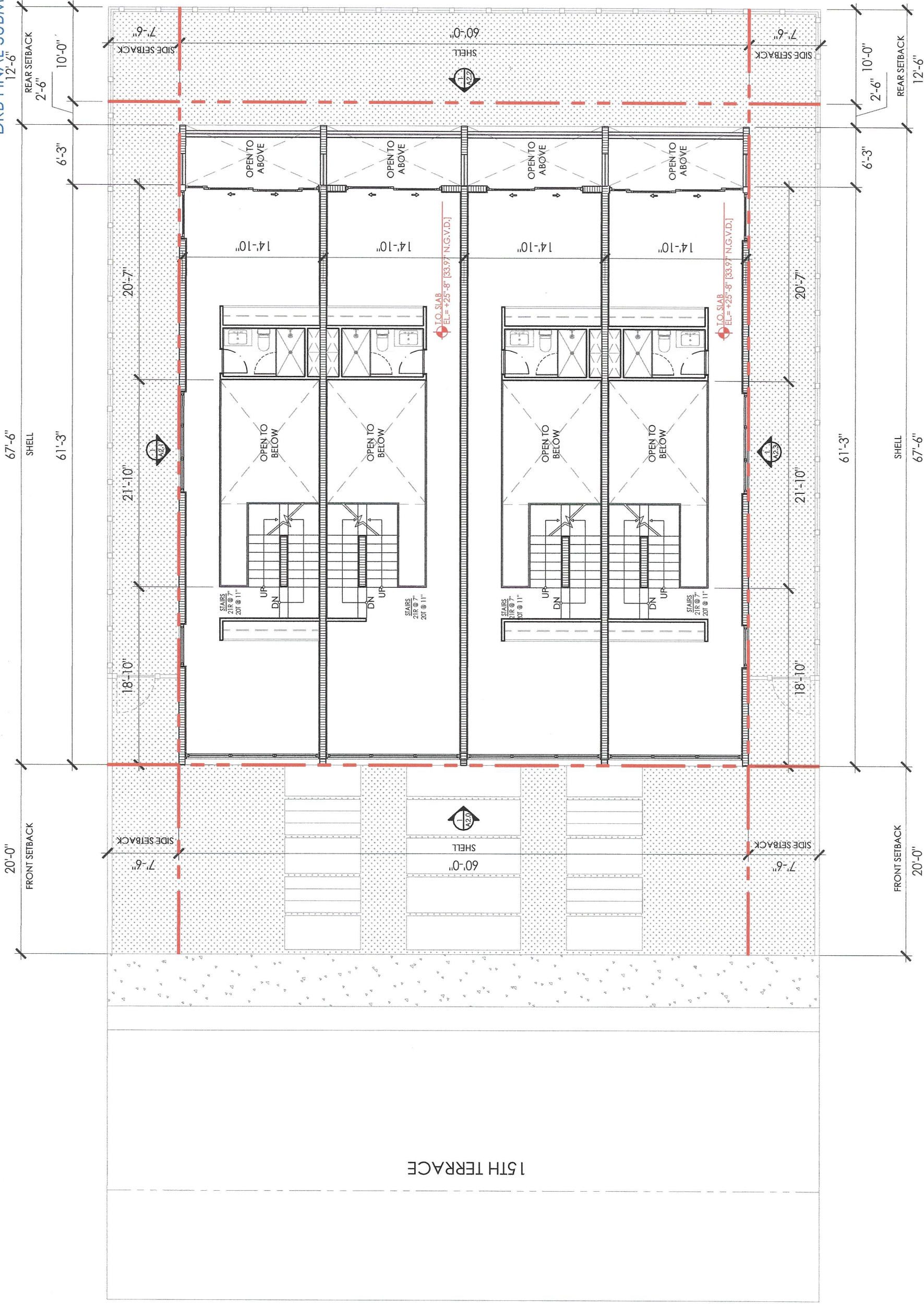
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DRAWING TITLE:
SECOND LEVEL PLAN

A1.2

SHEET

DRB FINAL SUBMITTAL 02.10.20



1 SECOND LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"

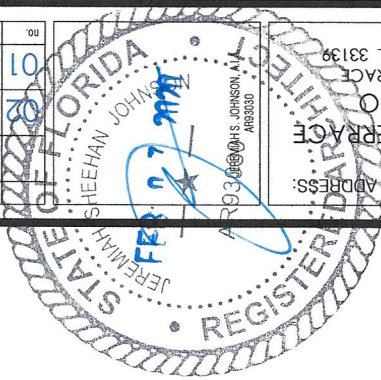
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02	FINAL SUB	02.10.20



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MIAMI BEACH FL 33139

DRAWING TITLE:

THIRD LEVEL PLAN

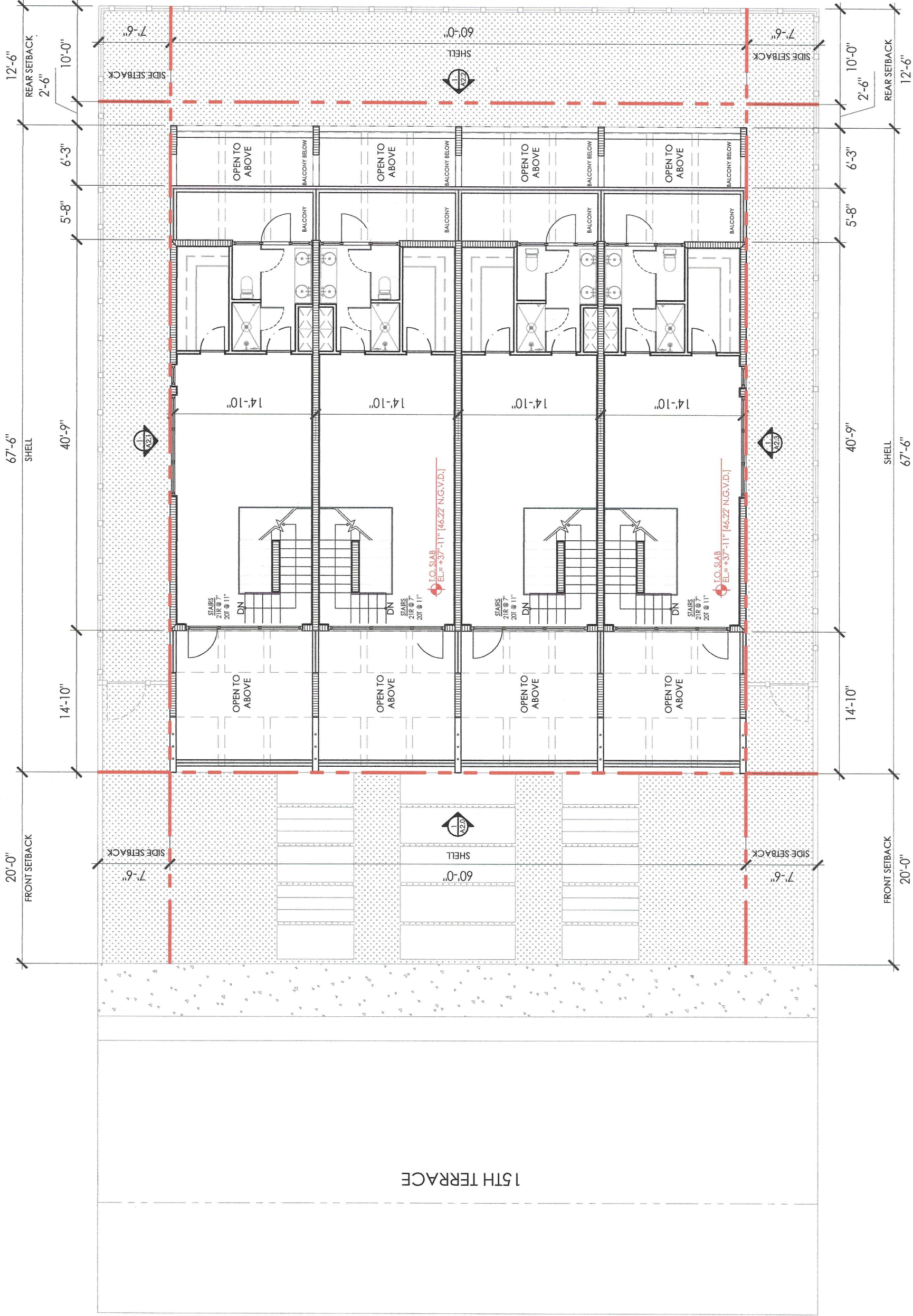
PROJECT #:

17-M-05

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A1.3

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1 THIRD LEVEL FLOOR PLAN
SCALE: 3/32" = 1'-0"

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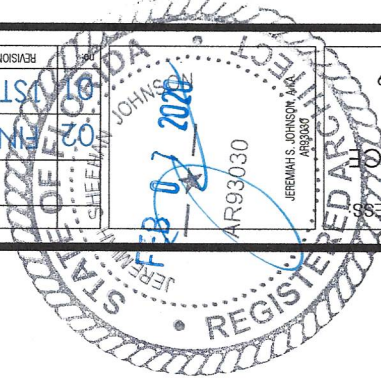
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REVISIONS/SUBMISSIONS	date
02.10.20 FINAL SUB	02.10.20
01.20.20 SUB	01.20.20



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CONDO
MIAMI BEACH FL 33139

DRAWING TITLE:

ROOF PLAN

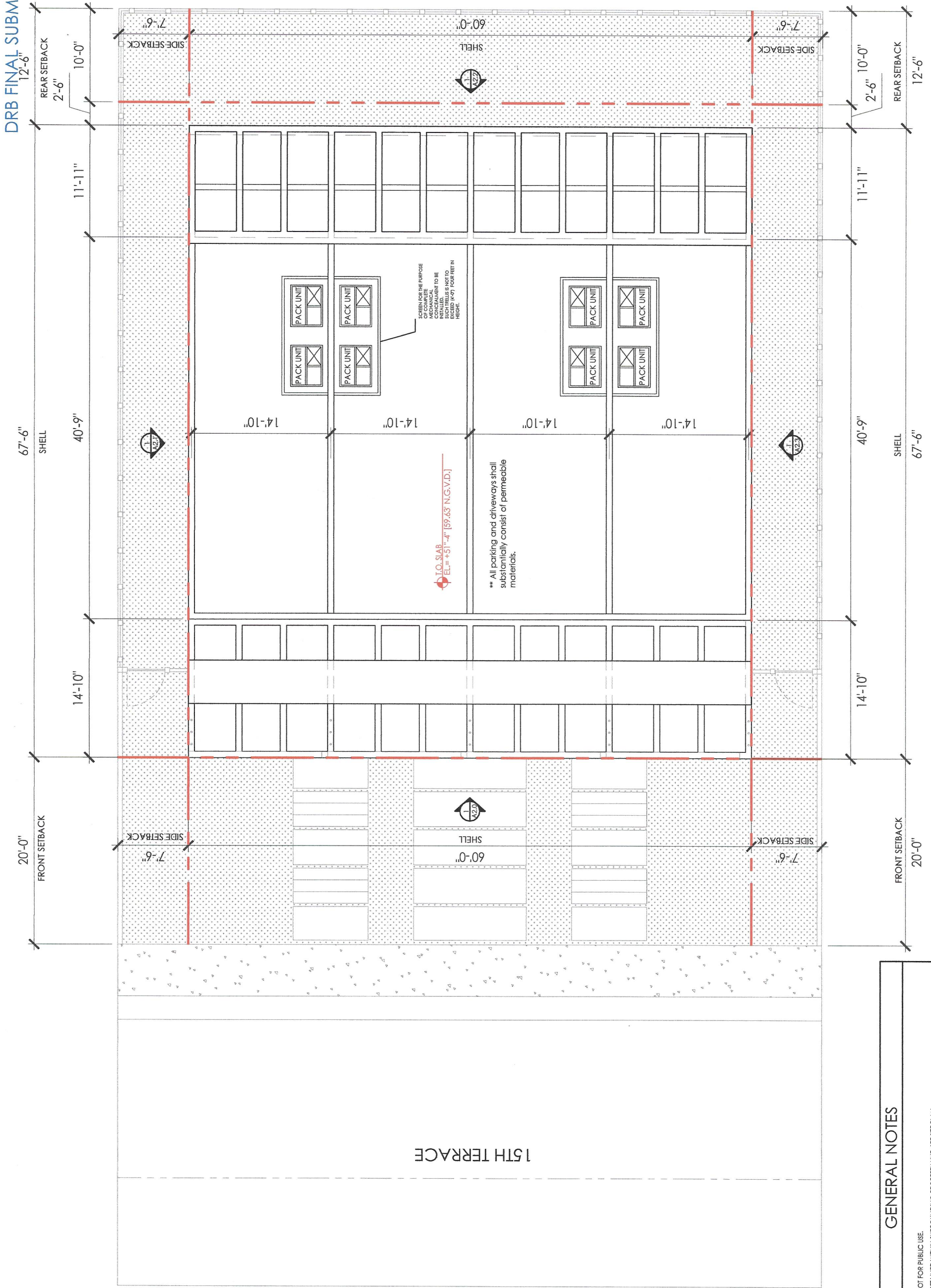
17-M-05

DRB REVIEW

A1.4

SHEET

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GENERAL NOTES

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2. RAINWATER TO BE RETAINED WITHIN SURROUNDING PROPERTY LINE. SEE SITE PLAN.
3. REFER TO THE NORTH ARROW OF FLOOR PLAN (LOCATED TO THE RIGHT OF THE PLAN TITLE) TO SEE THE DIRECTION OF NORTH.
4. ALL PARKING AND DRIVEWAYS SHALL SUBSTANTIALLY CONSIST OF PERMEABLE MATERIALS.

1 ROOF PLAN

SCALE: 3/32" = 1'-0"