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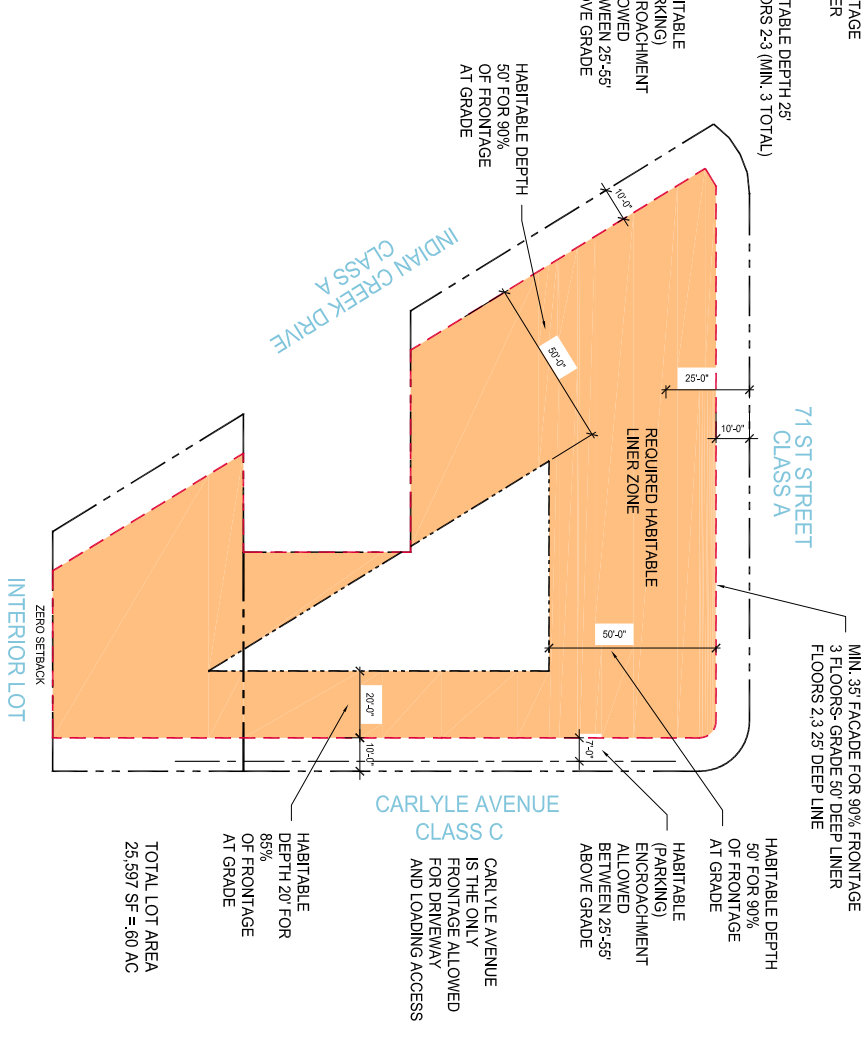
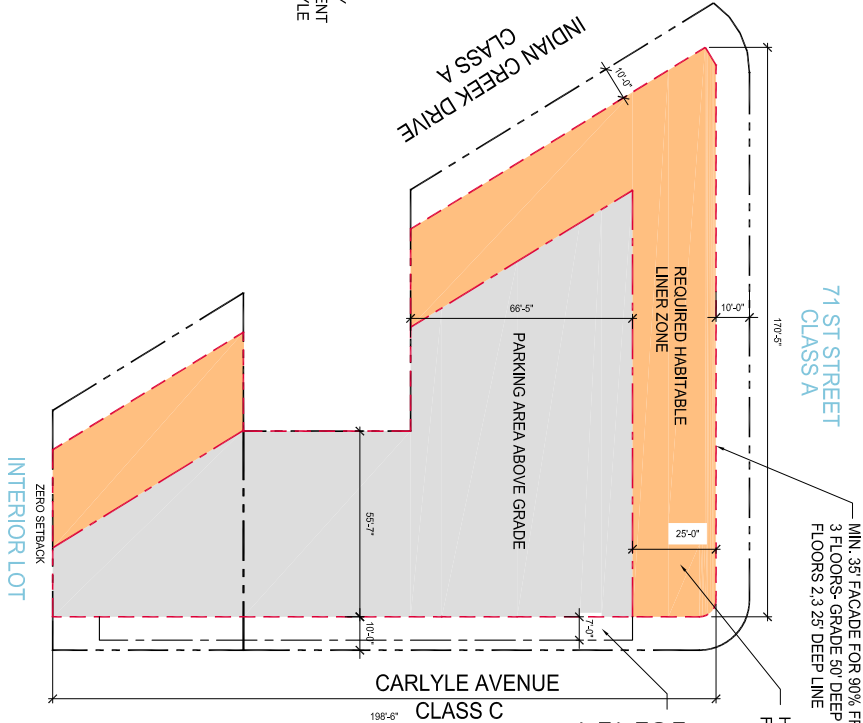
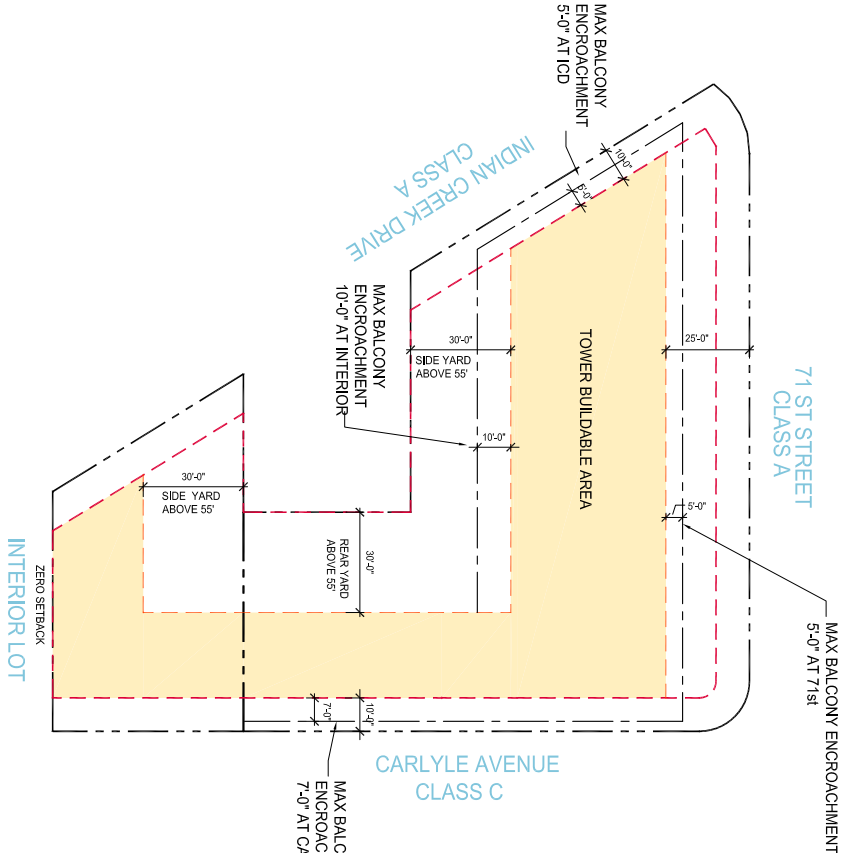
Town Center Gateway

71 st Street & Indian Creek Drive
DRB 20-0505 FINAL Submittal
Due Date March 09, 2020



NoBe Creek LLC

B U I L T F O R M
A R C H I T E C T U R E



TOWER LEVELS ZONING CRITERIA
55' UP TO 125' (165' WITH PUBLIC BENEFIT)


PODIUM LEVEL ZONING CRITERIA
35' MIN, 3 FLOORS ON 71ST AND ICD

GRADE LEVEL ZONING CRITERIA

71st Street and Indian Creek Drive

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TOWN CENTER CENTRAL CORE (TC-C) DISTRICT - ZONING DATA										
ITEM #		Project Information								
1		666 71st Street DR820-0505								
a		Board and file numbers :	0232110021200 / 0232110021230					TC-C		
b		Folio number(s):						4.02		
c		Year constructed:	25597 SF					8.0		
d		Lot Area:	193'-8"					5		
e		Lot width:	208'-6"							
f		Lot Depth:	CM8 Free Board:							
2		Zoning Information		Maximum		Existing		Proposed		
a		Base Maximum Height	125				140		Deficiencies	
a		If exceeding Base Maximum height per CM8 142-743 (b)(2) for public benefit participation if applicable. Provide value:	2440 sf x \$3.00				13		\$7,320.00 payment	
b		Number of Stories	N/A				3.5 / 89580		NONE	
c		FAR	3.5 x 25,597 sf = 89,589 FAR				136674		NONE	
d		Gross square footage							NONE	
3		Uses		Proposed use/uses:						
a		Existing use:	Quantity		Hotel uses:		Quantity			
b		Residential:	80		Hotel units					
c		Apartment/townhomes:	0		Micro hotel					
d		Workforce housing:	0		Commercial uses (specify type below)		Area			
e		Affordable housing:	0							
f		Co-living:	N/A							
g		Co-living amenity area and %:	N/A							
h		Live-work:	N/A							
i		Total residential units:	80							
j		Minimum Unit Size:	550							
k		Residential density proposed (150/acre Max.):	138		Total commercial area:		8100			
4		Setbacks (As applicable)		Required		Existing		Proposed		
a		Class A - 71 Street:	10 feet		5'		10 feet		NONE	
		Grade to 55 feet	0 feet max.		5'		0 feet		NONE	
		Allowable Habitable encroachment	25 feet		N/A		25 feet		NONE	
		55 to max. height	5 feet max.				5 feet		NONE	
b		Class A - 72nd Street:								
		Grade to max height	20 feet from back of curb							
		Allowable Habitable encroachment	5 feet max.							
c		Class A - Collins Avenue:	10 feet							
		Grade to 55 feet	20 feet							
		55 feet to 125 feet	35 feet							
		125 feet to max height	5 feet max.							
		Allowable Habitable encroachment								
d		Class A - Indian Creek:	10 feet		0'		10 feet		NONE	
		Grade to max height	5 feet max.		0'		5 feet		NONE	
e		Class B - Abbott Avenue and Dickens Avenue:	10 feet							
		Grade to max height	5 feet max.							
		Allowable Habitable encroachment	10 feet							
f		Class B - 69th Street:	10 feet							
		Grade to 55 feet	125 feet							
		55 to max. height	5 feet max.							
		Allowable Habitable encroachment								
g		Class C - Byron Avenue:	10 feet							
		Grade to max height	7 feet max.							
		Allowable Habitable encroachment	10 feet							
h		Class C - Canyle Avenue and Harding Avenue:	10 feet							
		Grade to max height	7 feet max.							
		Allowable Habitable encroachment	10 feet							
i		Class D - 70 Street Alley line:	10 feet							
		Grade to max height	3 feet max.							
		Allowable Habitable encroachment								

	4					
4	Setbacks		Required	Existing	Proposed	Deficiencies
J	Interior side:					
	Grade to 55 feet on lots greater than 110 feet wide or		0 feet	0	0 feet	NONE
	Grade to 75 feet on lots 110 feet wide or less.					
	Allowable Habitable encroachment		0 feet max.	0	0 feet	NONE
	55 to max. height on lots greater than 110 feet wide, or 75 feet to maximum height on lots 110 feet wide or less.		30 feet	0	30 feet	NONE
	Allowable Habitable encroachment		10 feet max.	n/a	7 feet	NONE
	K	Rear abutting an alley (except 70th Street Alley)				
	Grade to 55 feet		5 feet			
	Allowable Habitable encroachment		0 feet max.			
	55 to max. height		20 feet			
	Allowable Habitable encroachment		10 feet max.			
	I	Rear abutting a parcel:				
	Grade to 55 feet		0 feet	0	0 feet	NONE
	Allowable Habitable encroachment		0 feet max.	0	0 feet	NONE
	55 to max. height		30 feet	n/a	30 feet	NONE
	Allowable Habitable encroachment		10 feet max.			

Driveways & vehicle access: prohibited , unless is the only access.	comply			
If only one street access--driveway max 22' in width	comply			
Driveway for loading and parking shall be combined unless waived by DRB	comply			
Driveways dist. min 60' apart.	comply			
Driveways with mount, Curb.	comply			
Off-street Loading prohibited, unless is the only access	comply			
On-street loading is prohibited.	comply			
10 Class A (Indian Creek Drive)				
Facade Minimum height: 35'-0" from BFE+5'-0"= 13.0' NGVD	comply			
Facade with min. 3 floors along 90% of the length of setback line 90% = x'-x" Required	comply			
1. Min depth of hab. space =50'-0" from bldg. facade	comply			
2. Ground floor- Commercial and hotel uses	comply			
3. 2nd and 3rd floors- Residential and Office/w/ min depth of 25'-0" from building facade.	not provided			
4. Parking at ground floor and surface setback 50'-0" from bldg. facade.	comply			
Loading prohibited unless is the only site access.	comply			
Driveways & vehicle access: prohibited , unless is the only access	comply			
If only one street access--driveway max 22' in width	comply			
Driveway for loading and parking shall be combined unless waived by DRB	comply			
Driveways dist. min 60' apart.	comply			
Driveways with mount, Curb.	comply			
Off-street Loading prohibited, unless is the only access	comply			
On-street loading is prohibited.	comply			
11 Class C (Caiyle Avenue)				
Facade Minimum height: 35'-0" from BFE+5'-0"= 13.0' NGVD	comply			
Facade with min. 1 floor along 85% of the length of setback line 85% = x'-x" Required	comply			
1. Min depth of hab. space =20'-0" from bldg. facade	comply			
2. Ground floor- Residential, commercial and hotel uses	comply			
3. Building can be recessed back for a plaza with no floor above.	comply			
4. When Resid. Units at the ground floor, Building may recessed for garden up to 5'-0".	comply			
5. Parking at ground floor and surface setback 20'-0" from bldg. facade and shall be screened from pedestrian path.	comply			
Columns for allowable habit encroach, allowed up to 2'-0" width and 20'-0" apart.	comply			
Driveway for loading and parking shall be combined unless waived by DRB	comply			
Driveways w/ max 25' in width	comply			
Driveways dist. min 60' apart. Or waived by DRB	comply			
Driveways with mount, Curb.	comply			
Loading located behind minimum habitable depth 20' required.	comply			
12 Class D (70th Street alley)				
Facade Minimum height: 20'-0" from BFE+5'-0"=13.0' NGVD				
Facade with min. 1 floor along 25% of the length of setback line 25% = x'-x" Required				
1. Min depth of hab. space =20'-0" from bldg. facade				
2. Ground floor- Residential, commercial and hotel uses				
3. Building can be recessed back for a plaza with no floor above.				
4. Parking at ground floor and surface setback 20'-0" from bldg. facade and shall be screened from pedestrian				
Driveways and Loading prohibited				
Setback of 10'-0" shall contained pedestrian path. (min 5'-0")				
Each building on both sides can provide one elevated pedestrian walkway to connect to the opposite side at 25' to 55' in height.				
Elevated walkway shall be setback min. 30' from class A, B, C setbacks.				
Elevated walkway may be enclosed, shall be architecturally treated. Max width of 20'-0".				
Elevated walkway may contain up to 5'-0" of setback of adjacent parcel.				
13 Parking (District # 8)	Required	Existing	Proposed	Deficiencies
Total # of parking spaces				
# of parking spaces per use (Provide a separate chart for a breakdown calculation)	43 res / 24 com	n/a	79	comply
# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
Electric Vehicles Parking spaces (2%)	3		4	NONE
Parking Space Dimensions	8'-6" x 18'-0"		comply	comply
Parking Space configuration (45o, 60o, 90o, Parallel)			75(90 d) 4 (parallel)	comply
ADA Spaces	4		4	comply

Tandem Spaces			0	NONE
Drive aisle width	22'		22'	NONE
Valet drop off and pick up			n/a	NONE
Loading zones and Trash collection areas	3		3	NONE
Bicycle parking, location and Number of racks	88 res / 6 com		92	NONE
14 Restaurants, Cafes, Bars, Lounges, Nightclubs				
Type of use				
Number of seats located outside on private property				
Number of seats inside			20	
Total number of seats			32	
Total number of seats per venue (Provide a separate chart for a breakdown calculation)				
Total occupant content				
Occupant content per venue (Provide a separate chart for a breakdown calculation)				
Proposed hours of operation				
Is this an NIE? (Neighbor Impact Establishment, see CMB 142-741 (5))				
Is dancing and/or entertainment proposed ? (see CMB 114)				NO

Notes:

If not applicable write N/A

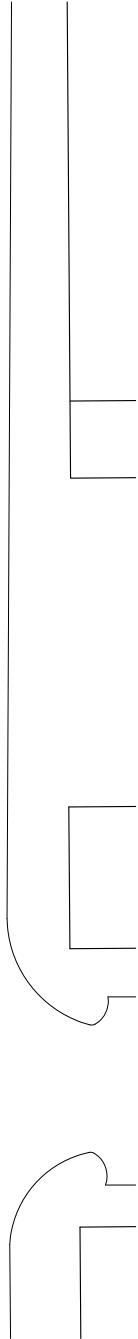
Additional data or information must be presented in the format outlined in this section

71st Street and Indian Creek Drive

NoBe Creek LLC

B U I L T F O R M
A R C H I T E C T U R E

ZONING CHECKLIST



INDIAN CREEK DRIVE &

71ST STREET -CLASS A STREETS

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'
Proposed height 55' tall

71 ST STREET
CLASS A

SEC 142-745 d.e.2: Buildings shall have a minimum of three floors located along a minimum of 90 percent of the setback line.

71 st Street
90% x 165'-2" =148'-7"
Provided 143'-11" =87%
VARIANCE 7 REQUIRED

Indian Creek Drive
90% x 171'-9" =154'-6"
Provided = 156'-11" = 91%

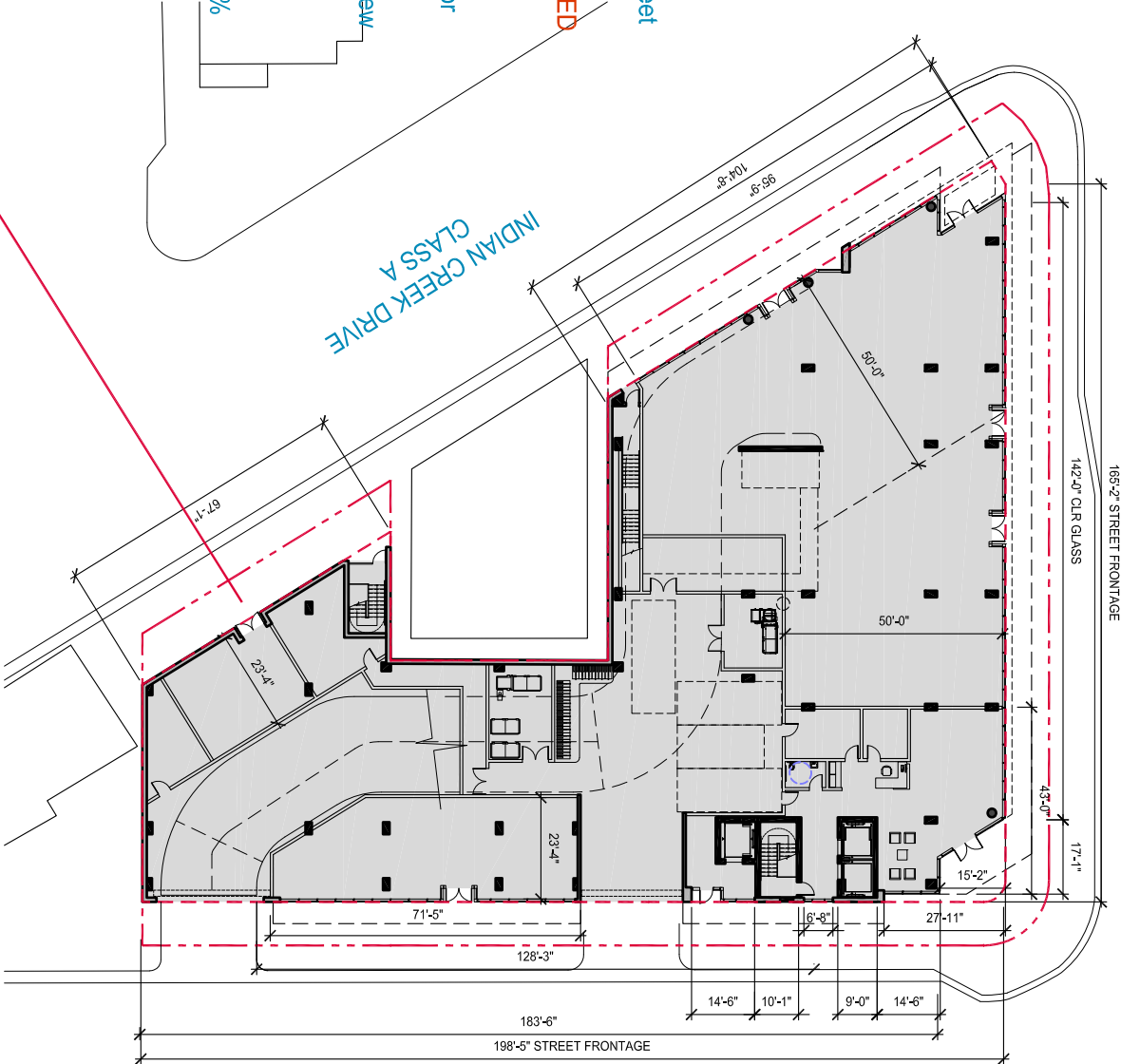
SEC 142-745 d.e.2.b: The ground floor shall contain habitable space with a minimum depth of 50 feet from the building facade
95'-9" / 171'-9" = 56%- **VARIANCE 4 REQUIRED**

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

71 st Street
total habitable frontage = 142'
frontage for access to upper floors=43'-0"=26%

Indian Creek Drive
total habitable frontage = 95'-9"
frontage for access to upper floors=0=0%

SEC 142-745 e.6:
VARIANCE 6 REQUIRED
To allow FPL / mechanical rooms on Class A street



CARLYLE AVENUE- CLASS C STREET

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'
Proposed height 37'-6" tall

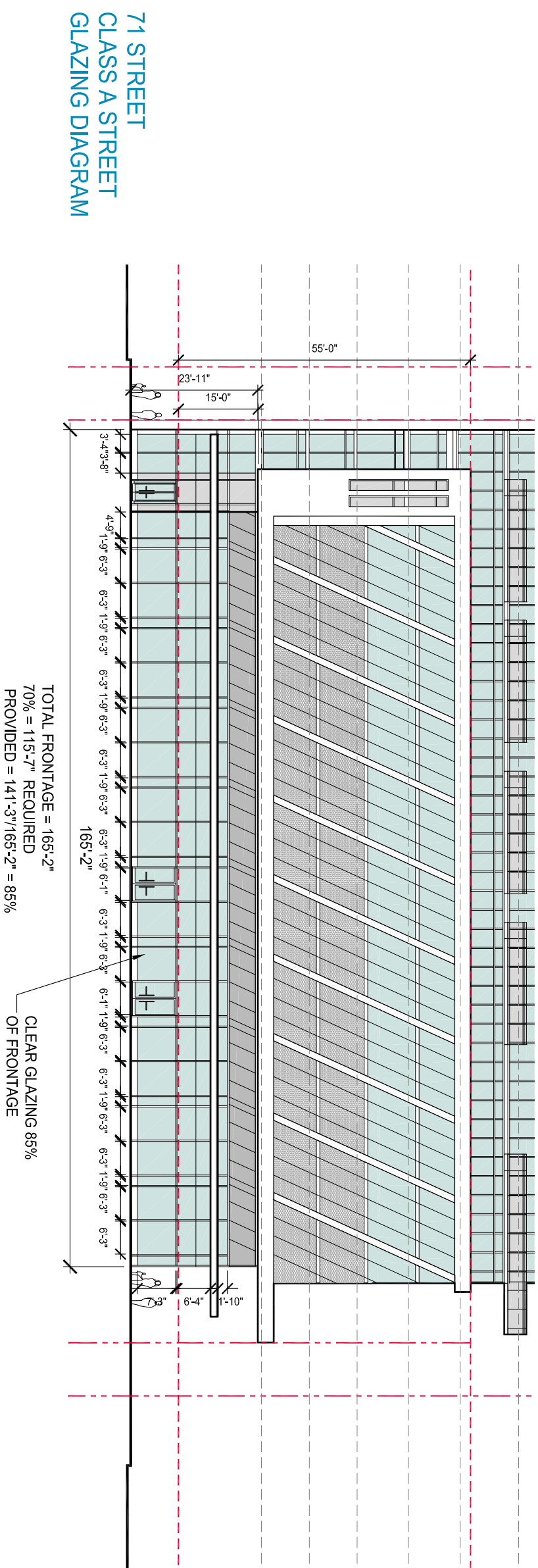
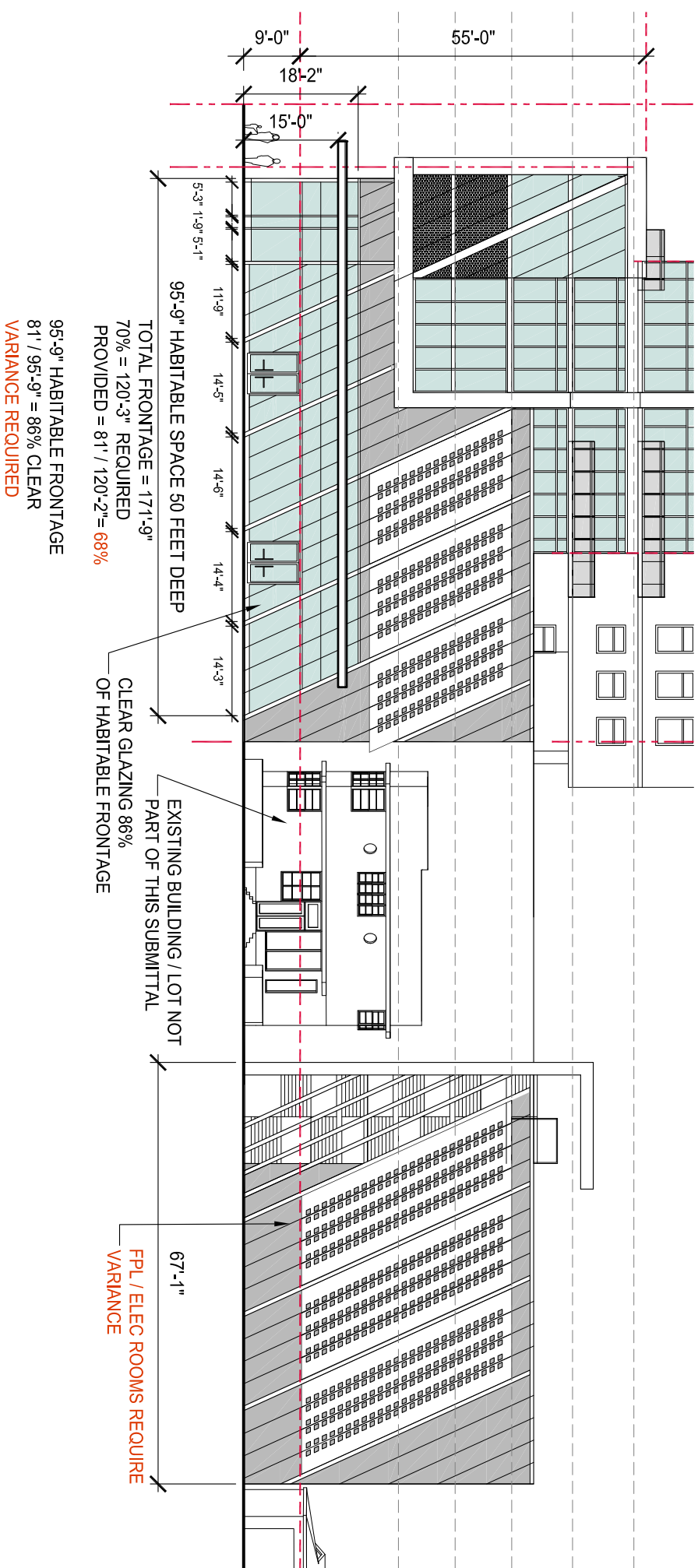
SEC 142-745 d.g.2: Buildings shall have a minimum of one floor located along a minimum of 85 percent of the setback line.

85% x 198'-5" =168'-7"
183'-6" = 92%

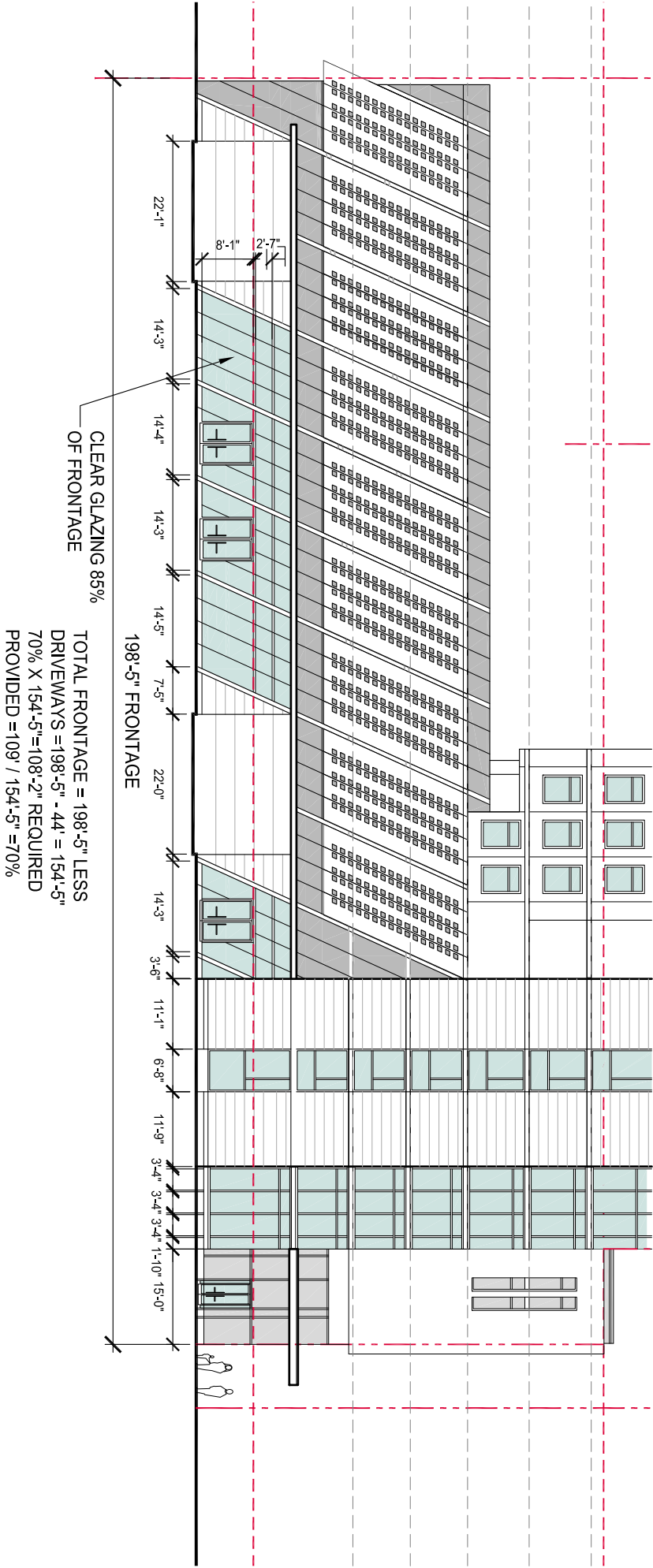
SEC 142-745 d.g.2.c: Except where required for driveways and utility infrastructure, the ground floor shall contain habitable space for residential, hotel, or commercial uses with a minimum depth of 20 feet from the building facade for the minimum required length along the setback line
PROVIDED

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

Total habitable frontage = 80'
frontage for access to upper floors = 28' = 35%



CARLYLE AVENUE
CLASS C STREET
GLAZING DIAGRAM



71st Street and Indian Creek Drive

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TOWN CENTER GATEWAY

3/9/2020

PROGRAM AREAS

AREA SUMMARY

		GROSS AREA W/ PARKING	FAR AREA	RESIDENTIAL RSF	UNITS	CORE	EFF	STORAGE LOCKERS	RESIDENTIAL SUPPORT	MECH BOH	RETAIL	PARKING AREA	PARKING CARS
1	GRADE ENTRY / RETAIL	19268	1390						2000		7000		
2	PARKING	19497	934									19497	38
3	PARKING	19497	934									19497	41
4	RESIDENTIAL PODIUM/ AMENITY POOL TERRACE	9811	9800	6673	7				1830				
5	RESIDENTIAL PODIUM	9614	9434	7955	10	1479	84%						
6	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
7	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
8	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
9	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
10	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
11	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
12	RESIDENTIAL TOWER	7120	7549	6235	9	1314	83%						
13	RESTAURANT / ROOF TERRACE	2447	2145								1100		
	ROOF												
	TOTALS	133,674	89,580	57,273	80	10,677		-	3,830	-	8,100	38,994	79
	RESIDENTIAL	RSF/UNIT		716									
		PARKING SF/CAR		494									
		MAX FAR = 89589		-9									

PROGRAM AREA SUMMARY

71st Street and Indian Creek Drive

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NOBe Creek LLC

PROGRAM DATA TABLES

DRB FINAL SUBMITTAL
MARCH 09, 2020

TRANSFORM

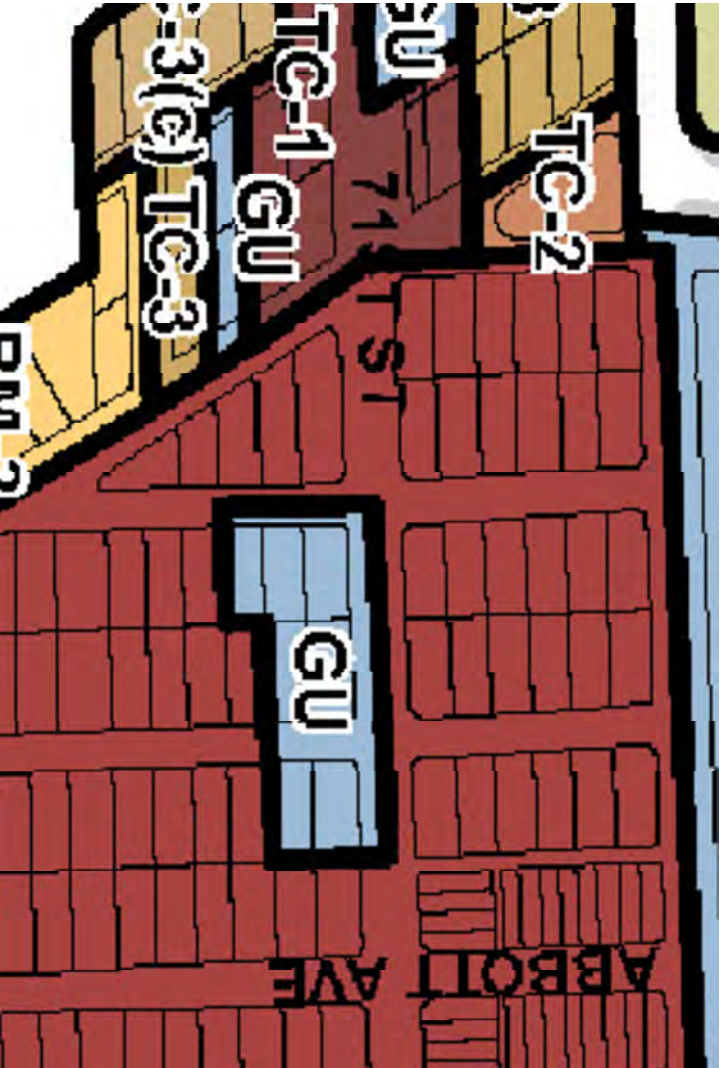
Unit Matrix Spreadsheet

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AVERAGE UNIT SIZE = 715.1

RETAIL	1/400	18
RESTAURANT	1/4 SEATS	6
TOTAL PARKING REQUIRED		69

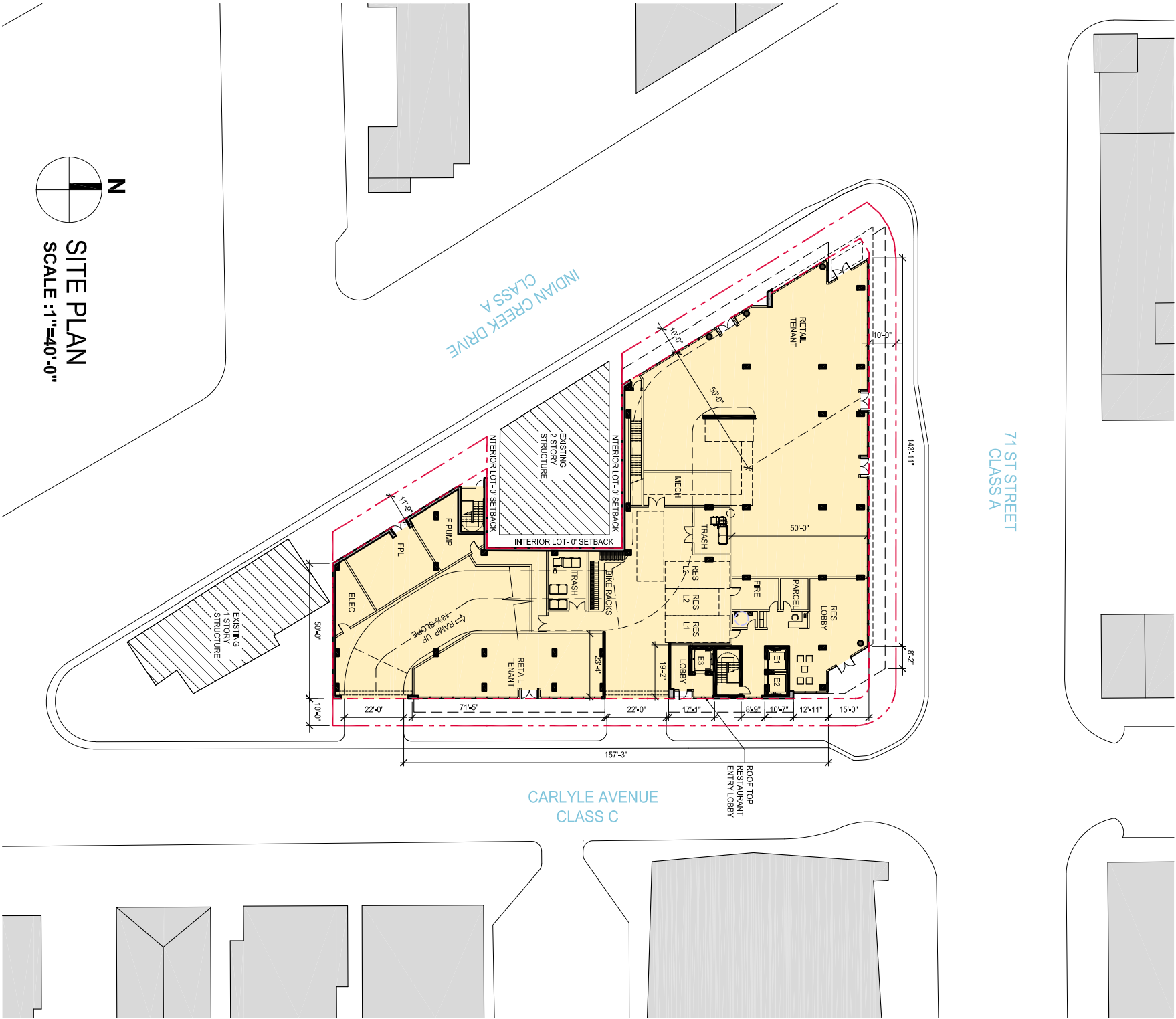
RESIDENTIAL UNIT MIX



ZONING MAP



AERIAL MAP



71st Street and Indian Creek Drive

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