

THESE PLANS COMPLY WITH THE
FLORIDA BUILDING CODE 2014
AND AS per FFPC 101 5th edition 2012

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355-WASHINGTON AVE
MIAMI BEACH, FLORIDA 33139

100% DESIGN SCHM DRAWINGS 06-01-16
2nd SUBMISSION

SPECIAL NOTES:
1.) ALL WORK TO BE PERFORMED UNDER FL. BLDG CODE 2014 AND FL. EXISTING BLDG. CODE 2012 FLORIDA, AND FFPC 101 5th EDITION, NFPA 1/101 2012 EDITION
2.) GENERAL CONTRACTOR TO FOLLOW ALL RULES PERTAINING TO MIAMI BEACH BUILDING DEPT. RULES/ BYLAWS. FOR DEMOLITION DEBRIS REMOVAL, CONSTRUCTION, HOURS OF OPERATION (WORK).
3.) OWNER AND GC TO PROCURE THAT UNITS WILL BE UNOCCUPIED DURING THE DEMOLITION AND CONSTRUCTION PHASE.
4.) THIS SCOPE OF WORK IS NOT LIMITED TO THE ENTIRE PROJECT GENERAL CONTRACTOR TO REVIEW EACH SHEET ENTIRELY AFTER SURFSIDE BUILDING DEPT. AND ALL OTHER GOVERNMENT AGENCYS FINAL APPROVALS PRIOR TO FINAL CONTRACT/ESTIMATE/BID.
5.) GC TO PROCURE THAT THE FULL SCOPE OF DEMO AS OUTLINED AND NOTED ON PLANS BE PERFORMED. IF ANY EXCESSIVE DEMOLITION EITHER BY A MISTAKE AND OR ACCIDENT, COINCIDENTAL OF ADJACENT SURFACES, FINISHES AND STRUCTURAL ENTITIES RELATED TO THE DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF DESIGN CONSULTANT (AFD) AND OWNER IMMEDIATELY AFTER INCIDENT.
- PARTIAL EXTERIOR AND INTERIOR RENOVATION ONLY. - EXISTING 1 STORY CBS CONSTRUCTION. - TYPE OF CONSTRUCTION: ALTERATION LEVEL 3. - OCCUPANCY CLASSIFICATION R-2. - FFPC 101 CHAPTER 43 CLASSIFICATION: FULL ALTERATION TO BE DETERMINED DURING CONSTRUCTION PERMITTING PAHSE
EXTERIOR DEMO SCOPE OF WORK:
1. EXISTING REAR CONC. STAIRS OF UNIT # 8 AND RAILINGS TO BE REMOVED AND DISCARDED AS DENOTED ON THE PLANS.
2. EXISTING REAR ENTRY DOOR OF UNIT #8 AND WINDOWS TO BE REMOVED AND DISCARDED AS DENOTED ON THE PLANS.
3. SEE PLANS FOR OTHER MISC. ITEMS TO BE REMOVED AND OR DISCARDED. AS DENOTED ON THE PLANS.
EXTERIOR PROPOSED SCOPE OF WORK:
1. PROVIDE NEW DADE COUNTY APPROVED WINDOWS AS DENOTED ON THE PLANS.
2. PROVIDE NEW FRONT ENTRY DOOR AND WINDOWS AS DENOTED ON THE PLANS.
3. PROVIDE A NEW PLANTER AREA AS DENOTED ON THE PLANS.
4. PROVIDE NEW CONC. STEPS INTO FRONT ENTRY OF UNIT 1.
5. PROVIDE NEW 2nd FLOOR STRUCTURE TO PROVIDE NEW HOTEL UNITS WITH OPEN COMMON CORRIDOR.
6. PROVIDE NEW 3 LEVEL ELEVATOR.
7. PROVIDE NEW ROOF TOP GARDEN WITH A SEPARATED AREA FOR AC CONDENSERS, GENERATOR, ETC.



LOCATION SKETCH

SCALE: NOT TO SCALE

AREA OF WORK

DRAWING SCHEDULE:
A-0.0 COVER SHEET/ NOTES / INFO/ LEGENDS/ MISC. SURVEY
FAR-1 FAR DIAGRAM REFERENCE SHEET
FAR-2 OPEN SPACE DIAGRAM REFERENCE SHEET
LOS-1 LINE OF SIGHT ELEVATION
REN-1 HAND RENDER FRONT ELEVATION
REN-2 HAND RENDER SIDE ELEVATIONS
REN-3 DIGITAL RENDER ELEVATION
PICS-1 PICTURES PAST AND PRESENT
D-SP-1.0 SITE DEMO PLAN
SP-1.0 PROPOSED SITE PLAN
LA-1.0 PROPOSED LANDSCAPE SITE PLAN
LA-2 PROPOSED 2nd FLOOR LANDSCAPE PLAN
LA-3 PROPOSED ROOF GARDEN LANDSCAPE PLAN
A-1.0 PROPOSED 1st FLOOR PLAN
A-2.0 PROPOSED 2nd FLOOR PLAN
A-3.0 AS-BUILT-DEMO ROOF PLAN
A-4.0 PROPOSED ROOF PLAN
A-5.0 AS-BUILT SIDE ELEVATIONS
A-6.0 PROPOSED SIDE ELEVATIONS
A-7.0 AS-BUILT FRONT & REAR ELEVATIONS
A-8.0 PROPOSED FRONT & REAR ELEVATIONS
A-9.0 PROPOSED SECTION AA
STRUCTURAL NOTE:
THE NEW STRUCTURAL DESIGN INTENTION FOR THIS ROOF-TOP ADDITION WITH A GREEN ROOF WILL HAVE A MINIMAL IMPACT ON THE EXISTING STRUCTURE.
THE STRUCTURAL MEMBERS FOR THE PROPOSED ADDITION WILL BE AN ENVELOPEN OF EXISITING STRUCTURE.
THE EXISTING STRUCTURE WILL NOT NEED ANY SHORING OR ANY EXTERIOR STRUCTURAL SUPPORT WORK THAT WOULD BE NECESSARY IN TYPICAL RECONSTRUCTION OR ADDITION WORK.
SEE LETTER OF RECOMENDATION BY LICENSED STRUCTURAL ENGINEER.

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
STAlonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

DESIGNERS OF RECORD:
JAM ASSOCIATES
MIAMI: 7205 S.W. 54th AVE. MIAMI, FL 33149. TEL. 305.394.9552
BRUNSWICK, 16255 ORANGE BLVD. SUITE 400 DUNN, FL 32009. TEL. 904.320.6551
Jose A. Moralez, P.E.
Adolfo D. Lopez, P.E.
Octavio Garcia, P.E.

ADOLFO LOPEZ, JR.
Lic. # 0010003

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DRAWN BY: RAFAEL H. & SUSANA A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 04-07-2016
SCALE: AS SHOWN
PROJECT NO. 015-17
SHEET NO.
A-0.0

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

DESIGNERS OF RECORD:
JAM ASSOCIATES
MIAMI: 6720 S.W. 54th AVE. MIAMI, FL 33149. TEL: 305.394.9552
BROWARD: 16225 Orange Ct. Suite 400, Davie, FL 33317. TEL: 754.940.6551
Jose A. Modatz, P.E.
Adolfo D. Lopez, P.E.
Octavio Garcia, P.E.

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DRAWN BY: RAFAEL H. & SUSANA A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 04-07-2016
SCALE: AS SHOWN
PROJECT NO. 015-17
SHEET NO.

A-0.1



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

1 of 3

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	355 Washington Ave			
2	Board and file numbers :	HPB 5882, HPB 7628			
3	Folio number(s):	02-4203-003-0970			
4	Year constructed:	1953	Zoning District:	RPS-3	
5	Based Flood Elevation:	8.00 NGVD	Grade value in NGVD:	5.66' NGVD	
6	Adjusted grade (Flood+Grade/2):	6.83 NGVD	Lot Area:	6,500 sf	
7	Lot width:	50 ft	Lot Depth:	130 ft	
8	Minimum Unit Size	453	Average Unit Size	484	
9	Existing use:	Hotel	Proposed use:	Hotel	

	Maximum	Existing	Proposed	Deficiencies
10 Height	40 ft	14 ft	25 ft	none
11 Number of Stories	4	1	2	none
12 FAR	11,375 sf	3,855 sf	8,300 sf	none
13 Gross square footage		6,500 sf	11,303 sf	none
14 Square Footage by use	N/A	3,855 sf	8,300 sf	none
15 Number of units Residential	N/A	none	none	none
16 Number of units Hotel	N/A	8	15	none
17 Number of seats	N/A	none	none	none
18 Occupancy load	N/A	N/A		none

Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:				
19 Front Setback:	N/A	N/A	N/A	N/A
20 Side Setback:	N/A	N/A	N/A	N/A
21 Side Setback:	N/A	N/A	N/A	N/A
22 Side Setback facing street:	N/A	N/A	N/A	N/A
23 Rear Setback:	N/A	N/A	N/A	N/A
At Grade Parking:				
24 Front Setback:	N/A	N/A	N/A	N/A
25 Side Setback:	N/A	N/A	N/A	N/A
26 Side Setback:	N/A	N/A	N/A	N/A
27 Side Setback facing street:	N/A	N/A	N/A	N/A
28 Rear Setback:	N/A	N/A	N/A	N/A

Pedestal:				
29 Front Setback:	5 ft	0 ft	15 ft 3 in	None
30 Side Setback:	5 ft	10.00 ft	5 ft	None
31 Side Setback:	5 ft	10.1 ft	3 ft 6 in	1 ft 6 in

32 Side Setback facing street:				
33 Rear Setback:	13 ft	7 in	7in	12 ft 5 in

Tower:				
34 Front Setback:	N/A	N/A	N/A	N/A
35 Side Setback:	N/A	N/A	N/A	N/A

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

2 of 3

38	Rear Setback:	N/A	N/A	N/A	N/A
----	---------------	-----	-----	-----	-----

Parking	Required	Existing	Proposed	Deficiencies
39 Parking district	PD 1			
40 Total # of parking spaces	4	0	0	4
41 # of parking spaces per use (Provide a separate chart for a breakdown calculation)	7 new hotel rooms x .5 spaces per unit			
42 # of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43 Parking Space Dimensions	N/A	N/A	N/A	N/A
44 Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	N/A
45 ADA Spaces	N/A	N/A	N/A	N/A
46 Tandem Spaces	N/A	N/A	N/A	N/A
47 Drive aisle width	N/A	N/A	N/A	N/A
48 Valet drop off and pick up	N/A	N/A	N/A	N/A
49 Loading zones and Trash collection areas	N/A	N/A	N/A	N/A
50 racks	N/A	N/A	N/A	N/A

Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51 Type of use	N/A	N/A	N/A	N/A
52 Number of seats located outside on private property	N/A	N/A	N/A	N/A
53 Number of seats inside	N/A	N/A	N/A	N/A
54 Total number of seats	N/A	N/A	N/A	N/A
55 Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
56 Total occupant content	N/A	N/A	N/A	N/A
57 Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A

58 Proposed hours of operation	N/A
59 Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	N/A
60 Is dancing and/or entertainment proposed ? (see CMB 141-1361)	N/A
61 Is this a contributing building?	yes
62 Located within a Local Historic District?	yes

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

MULTYFAMILY - COMMERCIAL - ZONING CHECK LIST

CHECK LIST of required Items	Included	PAGE # (s)
Survey (signed and sealed in the last 6 months)	Yes/No	
Final Recorded Order to be delivered to our department	Yes/No	
ZONING DATA SHEET	Yes/No	
Unit size (provide table)	Yes/No	
Parking Spaces (Provide Table)	Yes/No	

Site plan showing:

Required setbacks with dimensions	Yes/No	
Accessory structures with setbacks with dimensions	Yes/No	
Mechanical/pool equipment setbacks with dimensions	Yes/No	
Backflowpreventor and Siamese pipes	Yes/No	
Projections into required setbacks with dimensions	Yes/No	
Driveways, walkways, decks with setbacks and dimensions	Yes/No	
Swimming pool, decks with setbacks and dimensions	Yes/No	
Docks with setbacks and dimensions	Yes/No	
Elevations showing dimensions from flood to maximum height	Yes/No	
Section showing dimensions from flood to maximum height	Yes/No	

Landscape plan	Yes/No	
Irrigation plan	Yes/No	

Notes:

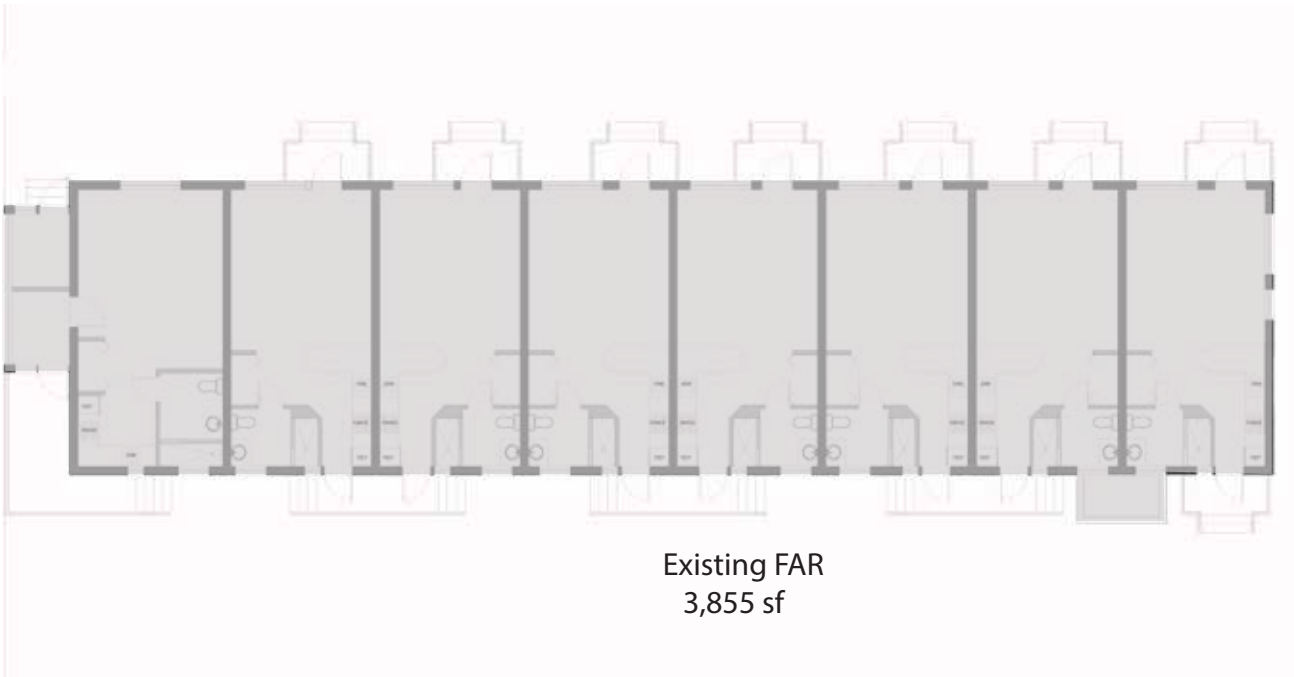
If not applicable write N/A

This check list is only a part of all items and plans that are required for permit approval

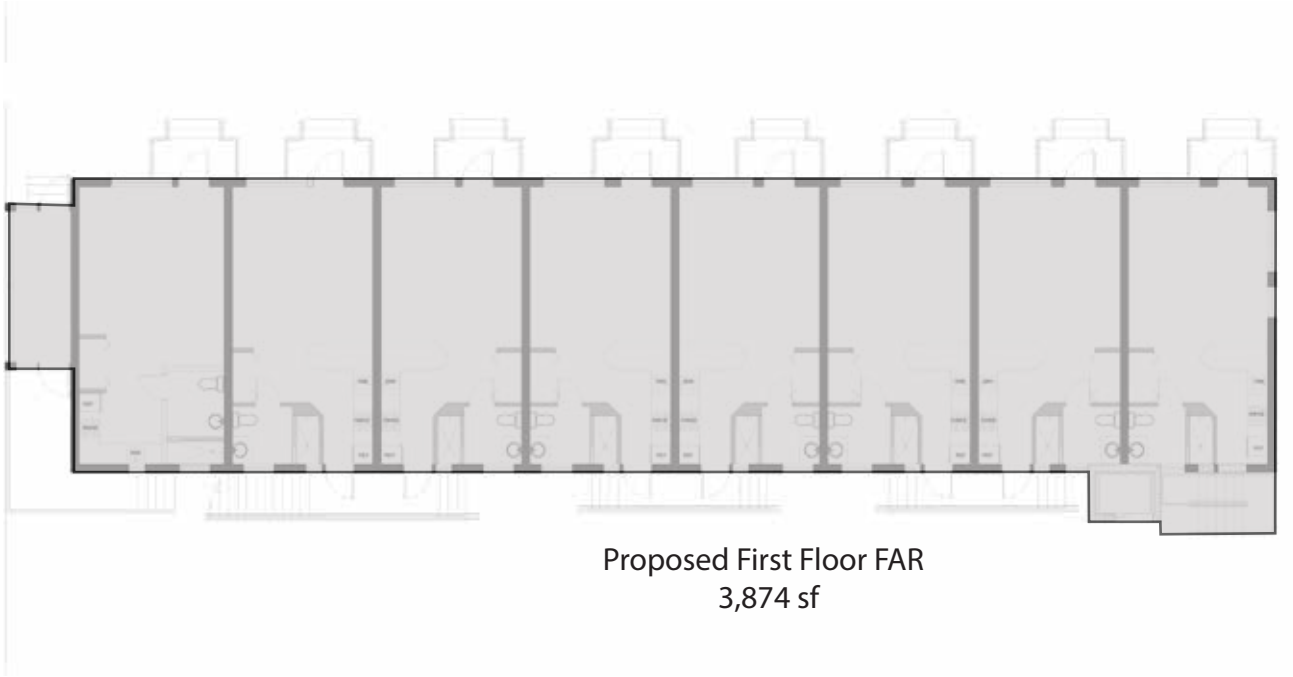
A complete set of plans shall be submitted for permit approval

Upon review of the submitted material it may be deemed that further information be required

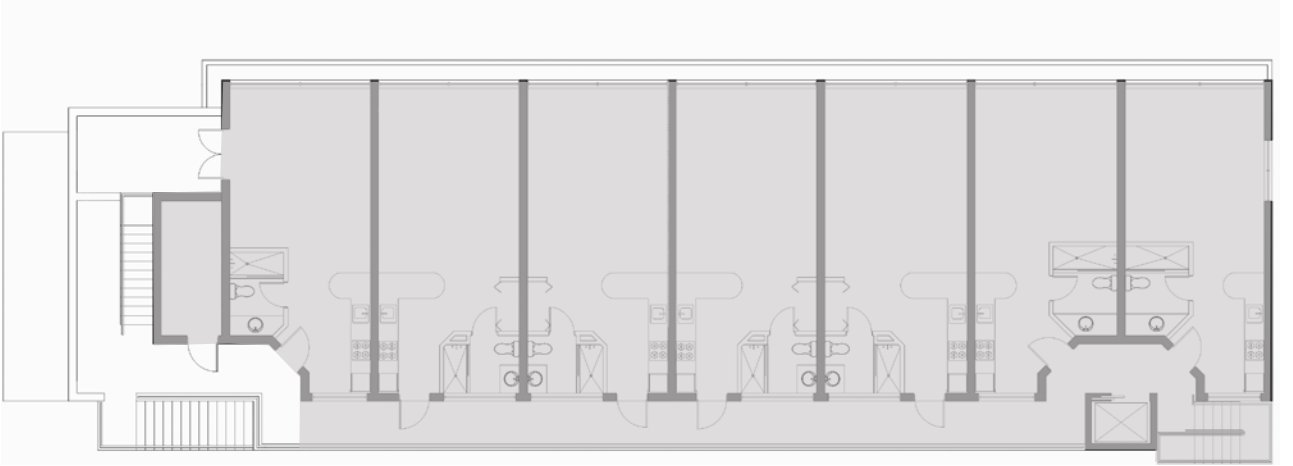
PROPERTY DATA/LEGEND/



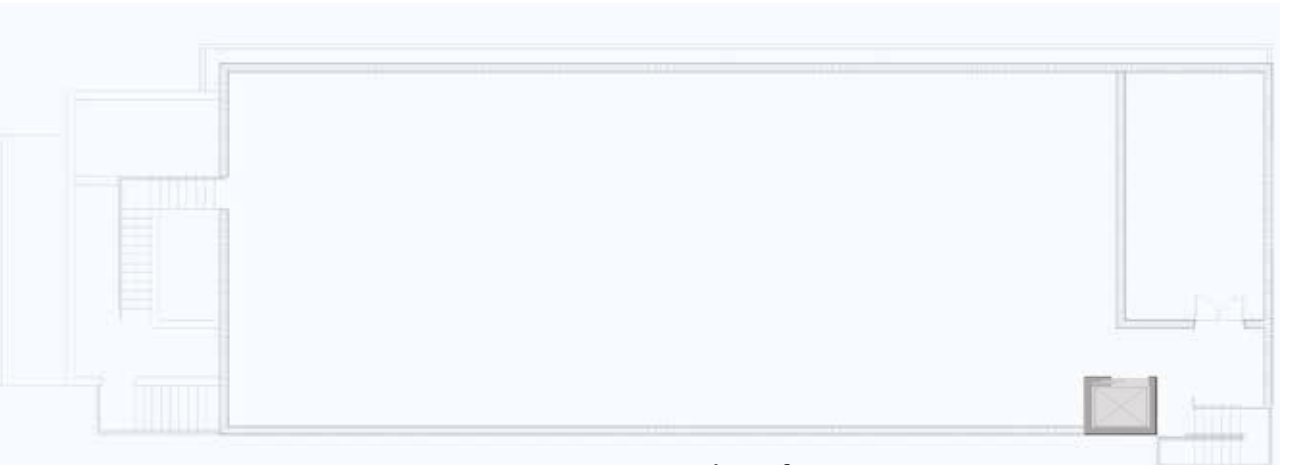
Existing FAR
3,855 sf



Proposed First Floor FAR
3,874 sf



Proposed Second Floor FAR
4,383 sf



Proposed Roof Top FAR
43 sf

Total Proposed FAR
8,300 sf

	Area (sf)
unit 1	478
unit 2	453
unit 3	453
unit 4	453
unit 5	453
unit 6	458
unit 7	456
unit 8	460
Total Existing Units	3664
Average Existing Unit	458
unit 9	499
unit 10	527
unit 11	527
unit 12	527
unit 13	533
unit 14	492
unit 15	498
Total New Unit	3603
Average New unit	514.71
Total Units	7267
Total Average Units	484.47

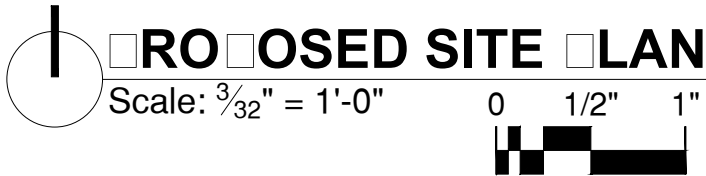
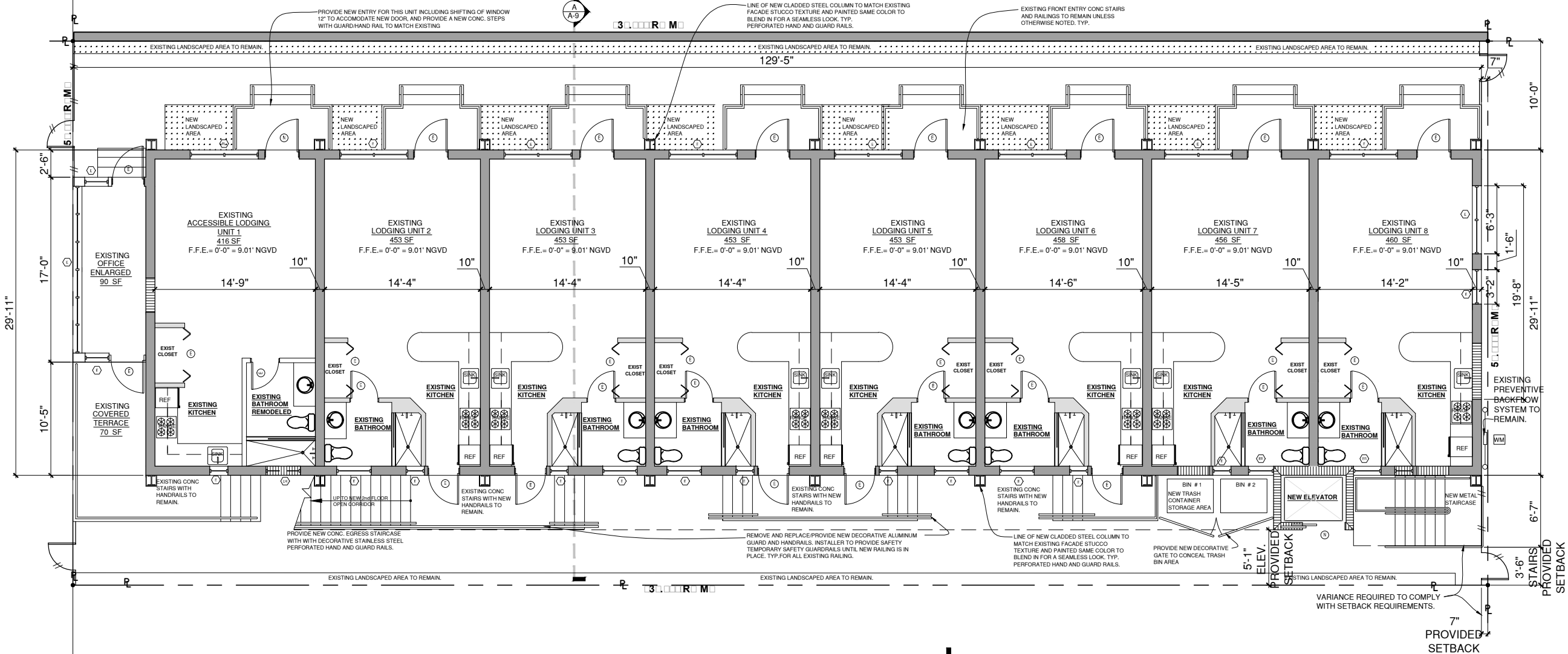
Common Areas	
reception	90
storage	120
elevator (43 sf x3)	129
stairs (77 sf x3)	231
catwalk	540
FAR	
first floor	3874
second floor	4383
roof top	43
Total FAR	8300

WASHINGTON AVENUE

28.50' ASPHALT PAVEMENT

2.50' Curb and Gutter

5.00' Concrete Sidewalk



100% DESIGN SCHM DRAWINGS 06-01-16
2nd SUBMISSION

REVISION

BY

DESIGN CONSULTING SERVICES BY:

SUSANA ALONSO, AICP

AND RAFAEL HERNANDEZ / AFD DESIGN

ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS

S7Alonso@gmail.com 305-775-8716

STAlonso@gmail.com 305-775-8716

AFDESIGN101@GMAIL.COM

DESIGNERS OF RECORD:

JAM ASSOCIATES

MAMIAMI 2205 S.W. 54TH AVE. MIAMI FL 33156 TEL: (305) 959-9952

BRONX, NY 10462-1522 ORANGE CA 92667 TEL: (949) 350-5551

Jose A. Modatz, P.A.

Adolfo D. Lopez, P.A.

Oscarito Garcia, P.A.

RENOVATION/ ADDITIONAL 2nd STORY TO:

HOTEL CASA COLORETTA

355 WASHINGTON AVE.

MIAMI BEACH, FLORIDA

DRAWN BY: RAFAEL H. & SUSANA A.

REVIEWED BY: ADOLFO LOPEZ

DATE: 04-07-2016

SCALE: AS SHOWN

PROJECT NO. 015-17

SHEET NO.

SP-1.0

FOR INFORMATION ON SITE
WORK SEE SHEET D-SP-1.0
AND SP-1.0...

100% DESIGN SCHM DRAWINGS 06-01-16
2nd SUBMISSION

REVISION
BY

LEGEND

- EXISTING CONCRETE BLOCK WALL AND OR DRYWALL PARTITION TO REMAIN.
- NEW CONC. BLOCK WALL
- NEW 3-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD.
- NEW 5-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD
- EXISTING DOOR AND FRAME, TO REMAIN.
- NEW DOOR AND FRAME.
- EXISTING WINDOWS TO REMAIN.
- NEW DADE COUNTY APPROVED IMPACT PROOF WINDOWS.

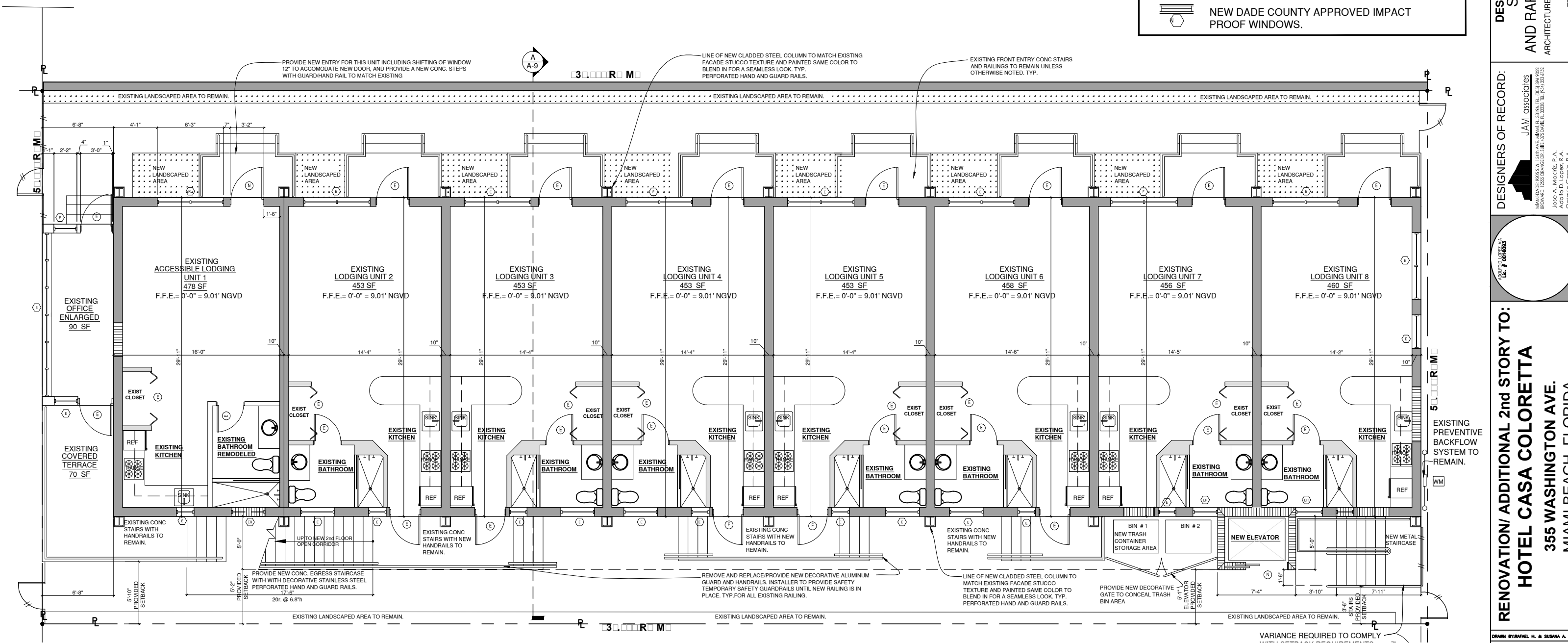
DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

DESIGNERS OF RECORD:
JAM ASSOCIATES
MANABADE 9203 SW 154th AVE MIAMI FL 33186 TEL 305 394 9552
BROWARD 12555 GRANGER AVE SUITE 403 JUNE FL 33351 TEL 754 525 6552
Jose A. Moralez, P.A.
Adolfo D. Lopez, P.A.
Octavio Garcia, P.A.

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DRAWN BY: RAFAEL H. & SUSANA A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 04-07-2016
SCALE: AS SHOWN
PROJECT NO. 015-17
SHEET NO.

A-1.0



PROPOSED 2ND FLOOR PLAN

0 1/2" 1"

LEGEND

- EXISTING CONCRETE BLOCK WALL AND OR DRYWALL PARTITION TO REMAIN.
- NEW 8" CONC. BLOCK WALL
- NEW 8" CONC. BLOCK PARAPET WALL.
- NEW 6" CONC. PLANTER WALL.
- NEW 3-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD.
- NEW 5-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD
- NEW DOOR AND FRAME.
- NEW DADE COUNTY APPROVED IMPACT PROOF WINDOWS.

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

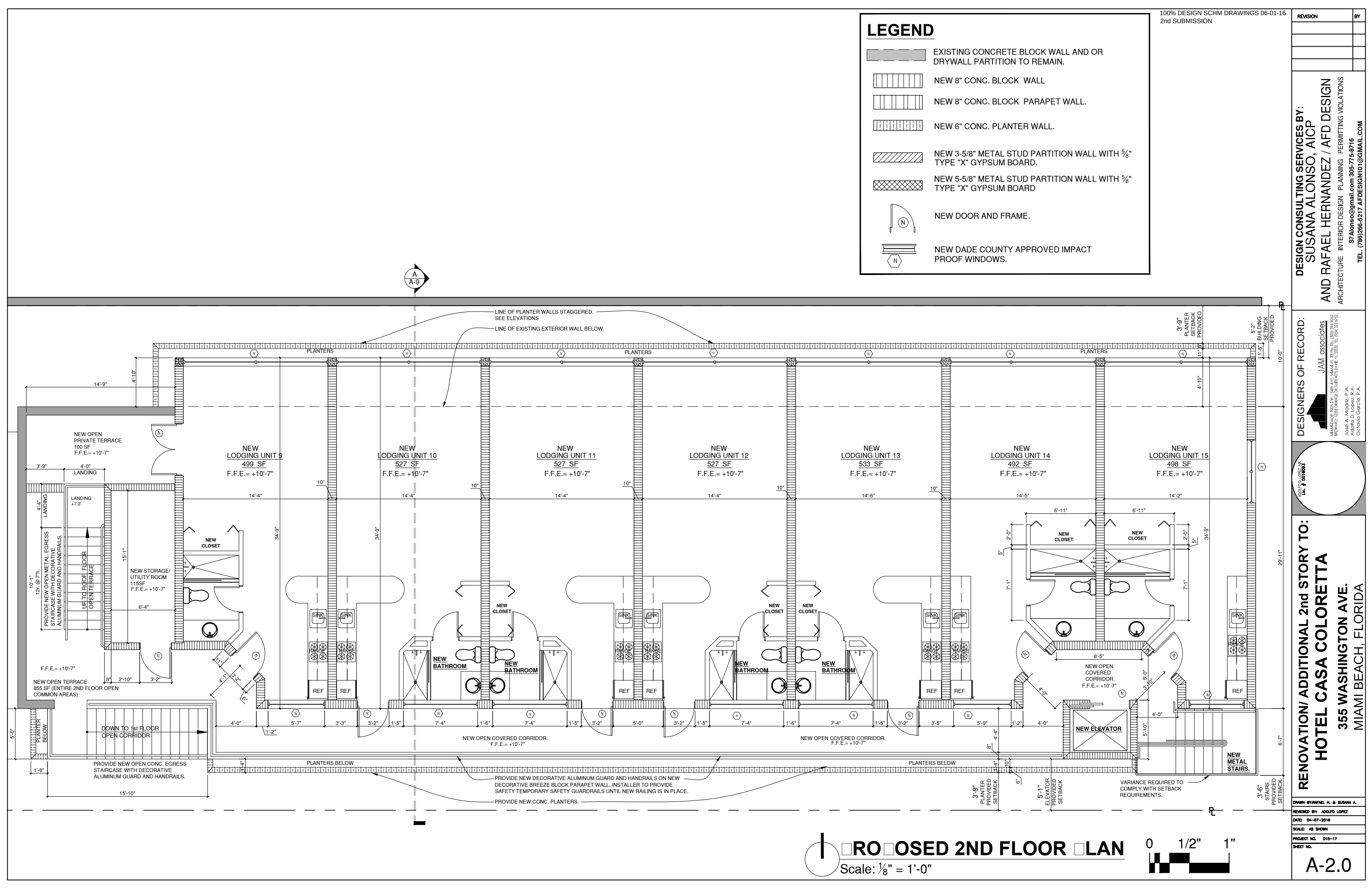
DESIGNERS OF RECORD:
JAM ASSOCIATES
JAM ASSOCIATES
1500 S.W. 15th Ave. Suite 100, Miami, FL 33136
Tel: (305) 954-0552
Fax: (305) 954-0553
Jose A. Modatz, P.A.
Adolfo D. Lopez, P.A.
Octavio Garcia, P.A.

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DESIGNED BY: RAFAEL H. & SUSANA A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 04-07-2016
SCALE: AS SHOWN
PROJECT NO. 015-17
SHEET NO.

A-2.0

PROPOSED 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"



	EXISTING CONCRETE BLOCK WALL AND OR DRYWALL PARTITION TO REMAIN.
	NEW 8" CONC. BLOCK WALL
	NEW 8" CONC. BLOCK PARAPET WALL.
	NEW 6" CONC. PLANTER WALL.
	NEW 3-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD.
	NEW 5-5/8" METAL STUD PARTITION WALL WITH 5/8" TYPE "X" GYPSUM BOARD
	NEW DOOR AND FRAME.
	NEW DADE COUNTY APPROVED IMPACT PROOF WINDOWS.

REVISION	BY

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
57 Alonso@gmail.com 305-775-8716
TEL: (786)266-5217 AFDDESIGN01@GMAIL.COM

DESIGNERS OF RECORD:

 **JAM associates**

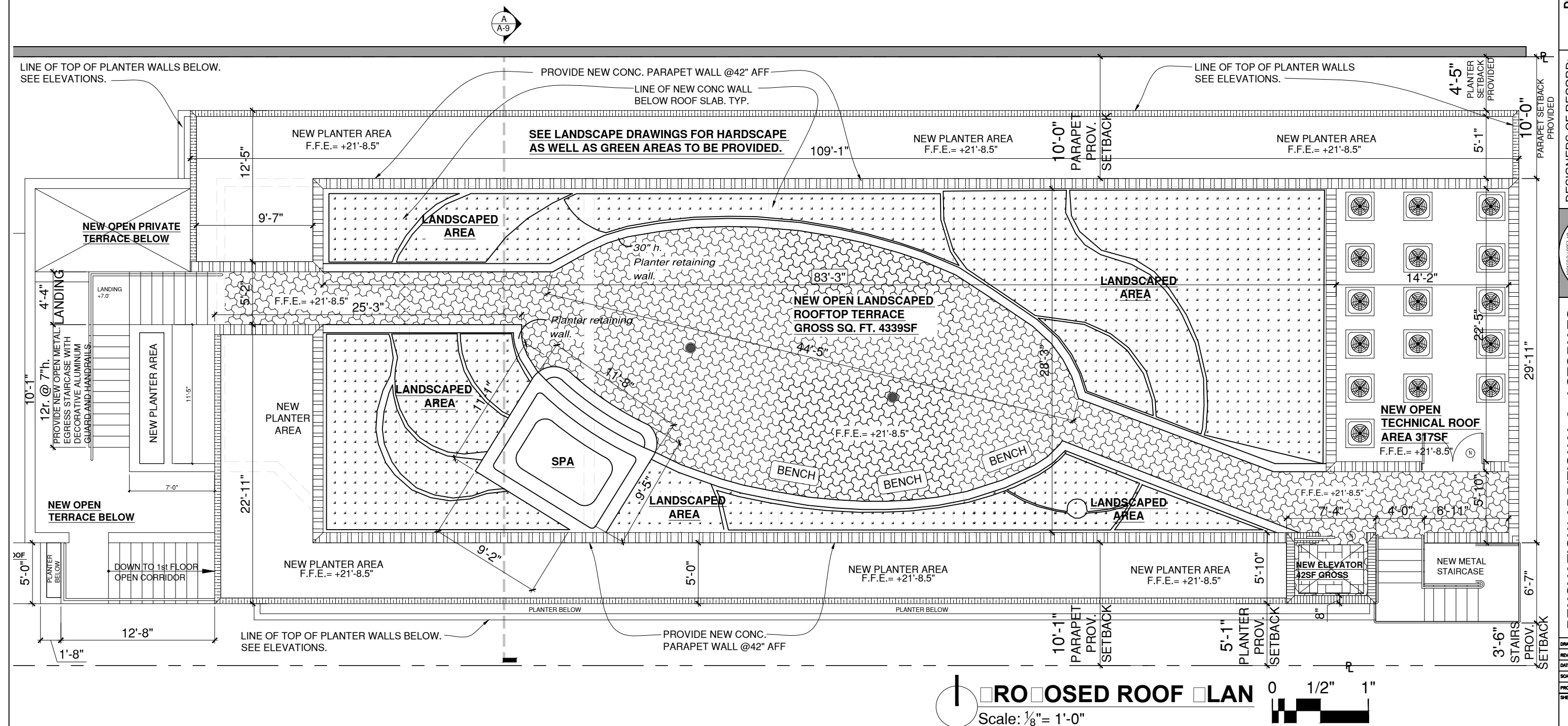
MAMIQUIDE 9203 S.W. 154th AVE. MIAMI, FL 33196 TEL. (305) 394-9052
BROWARD 15555 CANNON DR., SUITE 405 DAVIE, FL 33306 TEL. (754) 523-6752

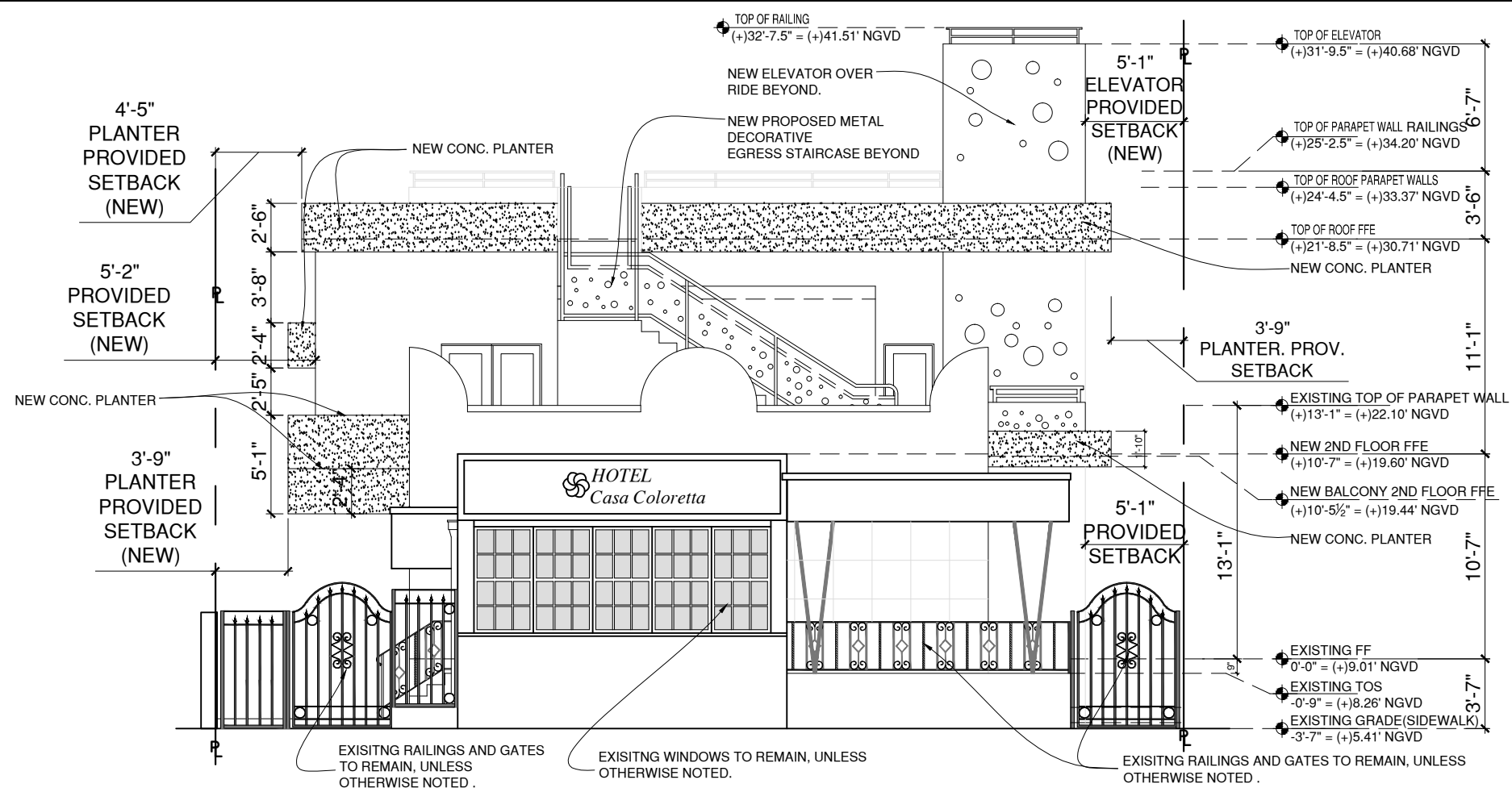
Jose A. Madrid, P.A.
Adolfo D. Lopez, R.A.
Octavio Garcia, P.A.

RENOVATION/ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

OWN BY: RAFAEL H. & SUSANA A.
VIEWED BY: ADOLFO LOPEZ
TE: 04-07-2016
ALE: AS SHOWN
JECT NO. 015-17
ET NO.

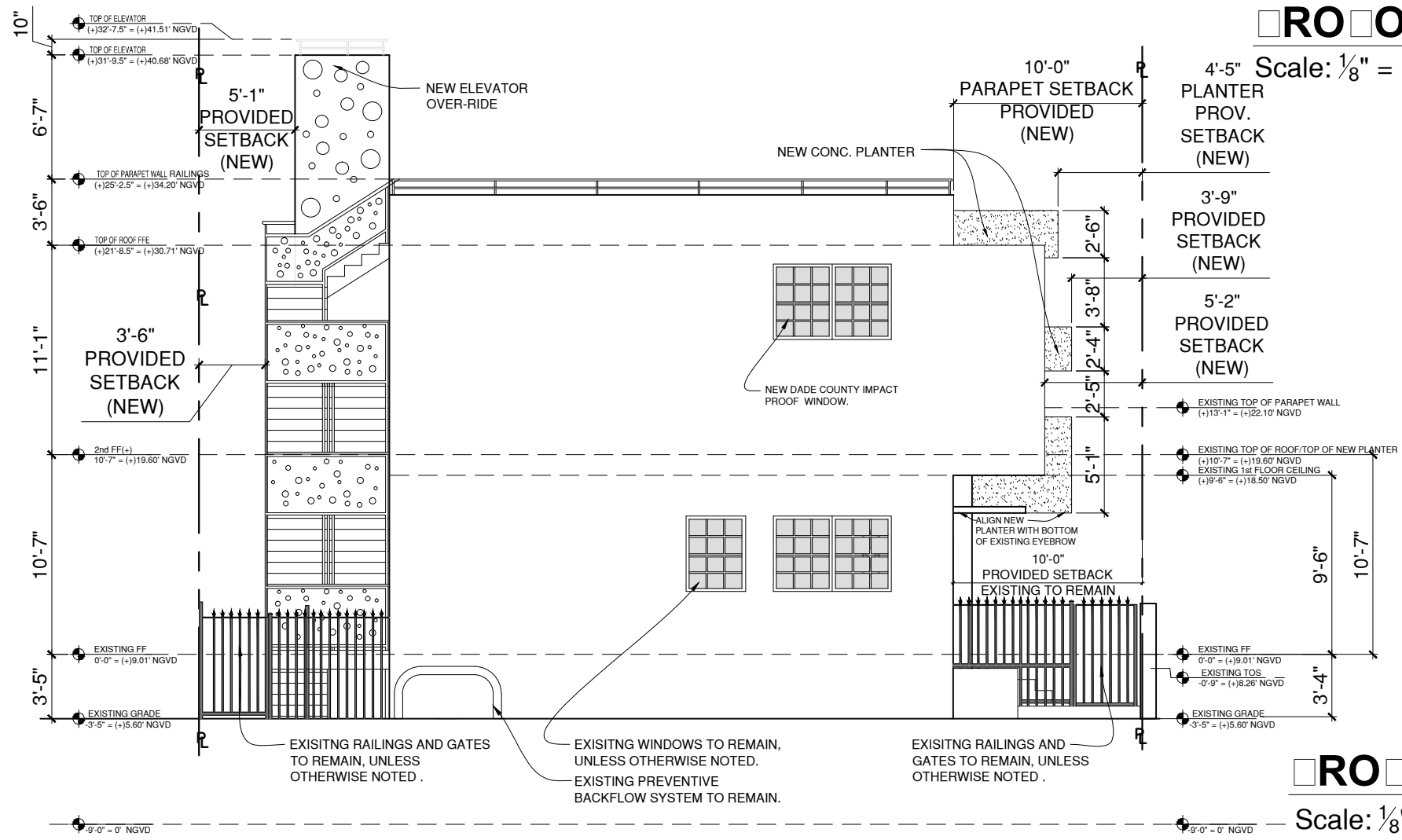
A-4.0





PROPOSED FRONT ELEVATION

Scale: 1/8" = 1'-0"



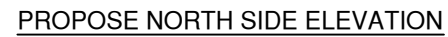
PROPOSED REAR ELEVATION

Scale: 1/8" = 1'-0"

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
57 Alonso@gmail.com 305-775-6716
TEL. (786) 266-5217 AFDDESIGN101@GMAIL.COM

DESIGNERS OF RECORD:
JAM ASSOCIATES
15401 SW 15th Ave, Suite 400, Miami, FL 33176, TEL. (305) 894-9552
BROWARD: 15255 Orange Ct, Suite 400, Davie, FL 33317, TEL. (954) 320-6751
Jose A. Moralez, P.A.
Adolfo D. Lopez, P.A.
Cecilio Garcia, P.A.

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA



0 1/2" 1"



DESIGNERS OF RECORD:

 **JAM associates**

MANHATTAN: 200 W. 4TH ST., 10TH FL., NEW YORK, NY 10013, TEL: (212) 904-9600
BROOKLYN: 1255 ORANGE ST., SUITE 405 DUMFRIES, TEL: (718) 323-9352

OWN BY: RAFAEL H. & SUSANA A.
VIEWED BY: ADOLFO LOPEZ
E: 04-07-2016
LE: AS SHOWN
JECT NO. 015-17
ET NO.
A-9.0



West Façade

DESIGNERS OF RECORD:

[illegible]

**RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA**

Officer Stephen H. A. & Barbara A.
REVIEWED BY: ADD/PD LOPCE
DATE: 02-03-2018
SCALE: All Scales
PROJECT NO.: 018-17
SHEET NO.

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@gmail.com

DESIGNERS OF RECORD:
JAM ASSOCIATES
ARCHITECTS INC. 1101 N. MIAMI AVE. 11TH FLOOR
MIAMI, FL 33132
Jose A. Modesto, P.A.
Adolfo D. Lopez, P.A.
Cristiano Garcia, P.A.
Douglas Coates, PhD



RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

Checked by: SUSANA A.
Reviewed by: ADOLFO LOPEZ
Date: 02-03-2018
Scale: AS SHOWN
Project No. 018-17
Sheet No.



North Façade



South Façade



DESIGNED BY: JAM ASSOCIATES
REVIEWED BY: JOSE A. MUÑOZ, P.A.
DATE: 02-03-2018
SCALE: AS SHOWN
PROJECT NO.: 010-17
SHEET NO.: 18

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA



DESIGNERS OF RECORD:
JAM ASSOCIATES
JOSE A. MUÑOZ, P.A.
ADRIAN D. LUPAT, P.A.
OSCARO GARCIA, P.A.
Douglas Collins, PhD

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

REVISION	BY

**RENOVATION/ ADDITIONAL 2nd STORY TO:**

HOTEL CASA COLORRETA

3555 WASHINGTON AVE.

MIAMI BEACH, FLORIDA

**DESIGNERS OF RECORD:**

JAM associates

© 1999 by The McGraw-Hill Companies, Inc. All rights reserved. Printed in the United States of America. This publication is protected by copyright. Any unauthorized reproduction or distribution, in any form or by any means, without the prior written permission of The McGraw-Hill Companies, Inc., is prohibited. This consent does not extend to multiple copying for promotional or other special sales. ISBN 0-07-000000-0

Jose A. Maciute, P.A.
Adolfo D. Lopez, R.A.

Oscar A. Garcia, P.A.

Oscar A. Garcia, P.A.

Oscar A. Garcia, P.A.
Douglas Castillo, PhD

DESIGN CONSULTING SERVICES BY:

SUSANA ALONSO, AICP
MAEEL HERNANDEZ / AED DESANI

AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS

S7Alonso@gmail.com 305-775-8716

TEL. (786) 266-5217 AFDESIGN101@GMAIL.COM

TEL. (786) 266-5217 AFDESIGN101@GMAIL.COM



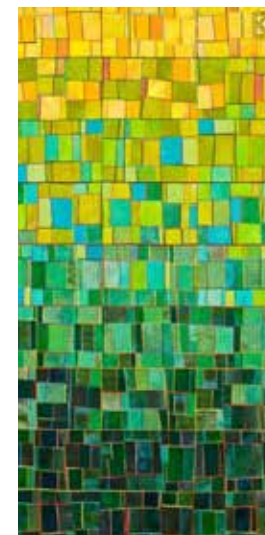


DESIGNED BY: ADOLFO LOPEZ
DATE: 02-03-2018
SCALE: AS SHOWN
PROJECT NO.: 010-17
SHEET 05

RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DESIGNERS OF RECORD:
JAM ASSOCIATES
JAM ASSOCIATES, INC.
10000 SW 15th Ave, Suite 100
Miami, FL 33185
Jose A. Morales, P.A.
Adolfo D. Lopez, P.A.
Oscar G. Garcia, P.A.
Douglas Collins, PhD

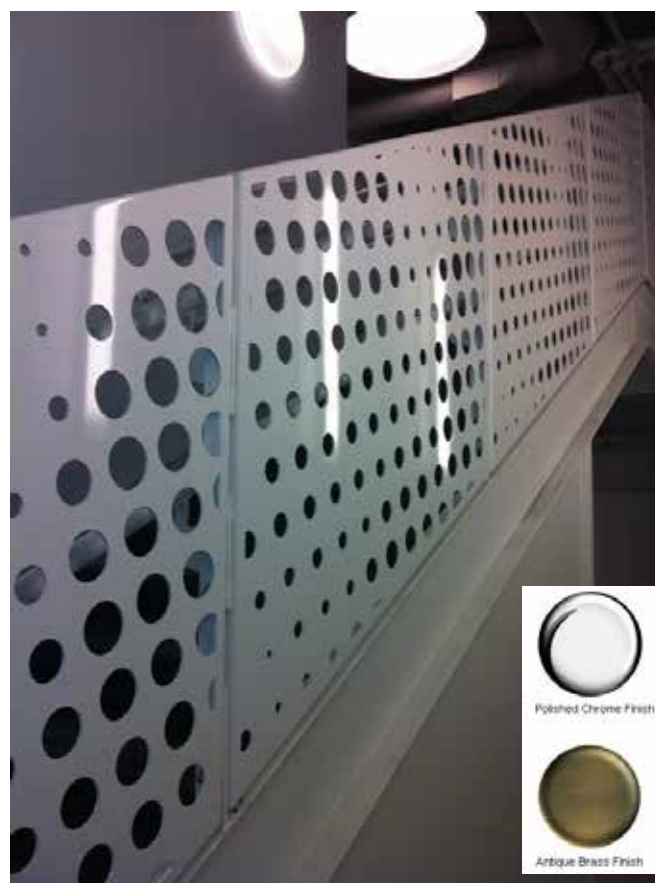
DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL: (786)266-5217 AFDDESIGN101@GMAIL.COM



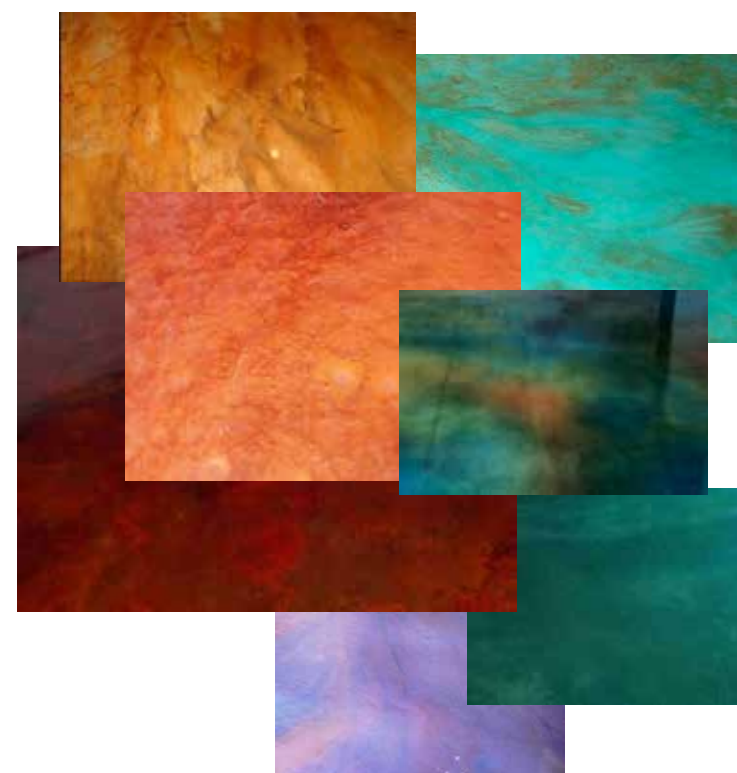
Mosaic tile inlays for exterior wall round insets and Mosaic instalation on rooftop pathways



Color scheme for stucco walls with white trim



white aluminum finish windows and railings



Acid Stained Concrete on Catwalks and Walkways

COLOR SELECTION GUIDE

OVER GREY	OVER WHITE
ACCENT BLACK	MAHOGANY
ALMOND	MOLASSES
AMBER	NAVY
BLUE	OLIVE
BRONZE	PERSIMMON
BLACK FOREST	RED
BLUES PRUCE	REDOAK
CEDAR MIST	RUST
GOLD	SILVER
GREEN	TANGERINE
IVY	YELLOW
LEAD	BLACK

NOTE: "OVER GREY" IS SIM STAIN APPLIED OVER PLAIN GREY CONCRETE.
 "OVER WHITE" IS SIM STAIN APPLIED OVER 1/4" PLASTER. SIM STAIN RESULTS MAY VARY.

NOTE: "OVER GREY" IS SIM STAIN APPLIED OVER PLAIN GREY CONCRETE.
"OVER WHITE" IS SIM STAIN APPLIED OVER 1 SA IN INDUSTRIES 1,1 C'S WHITE SIM STAIN. RESULTS MAY VARY.

DESIGNERS OF RECORD:

 **JAM associates**
JAM ASSOCIATES, INC., 100 W. 4TH ST., SUITE 200, NEW YORK, NY 10014-2001
TELEPHONE: (212) 691-1000 FAX: (212) 691-1001

Joseph A. Mancini, P.E.
Richard D. Lopez, P.E.
Oscarino Garcia, P.E.

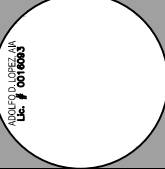
Douglas Costello, PhD

**RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA**

DESIGN BY/FOR: M. A. GUSTAV A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 02-03-2018
SCHD: 48 SCHD
PROJECT NO.: 018-17
SHEET NO.

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDDESIGN101@GMAIL.COM

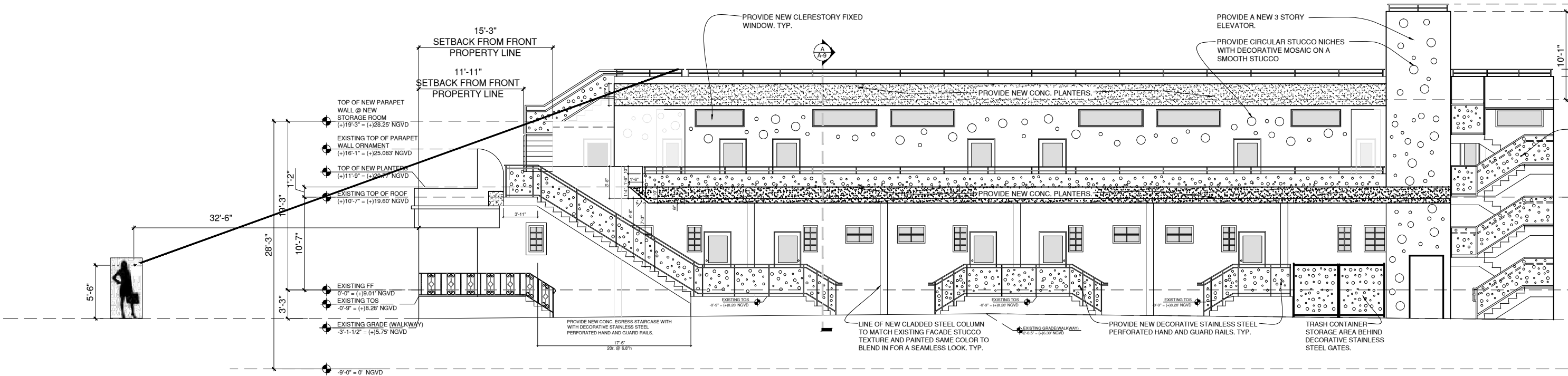
DESIGNERS OF RECORD:
JAM ASSOCIATES
JAM ASSOCIATES
1400 S.W. 15TH AVE. SUITE 1000
MIAMI, FL 33136 TEL. (305) 894-0052
FAX (305) 894-0053
Jose A. Madrid, P.A.
Adolfo D. Lopez, P.A.
Octavio Garcia, P.A.



RENOVATION/ ADDITIONAL 2nd STORY TO:
HOTEL CASA COLORETTA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

DRAWN BY: RAFAEL H. & SUSANA A.
REVIEWED BY: ADOLFO LOPEZ
DATE: 04-07-2016
SCALE: AS SHOWN
PROJECT NO. 015-17
SHEET NO.

LOS-1

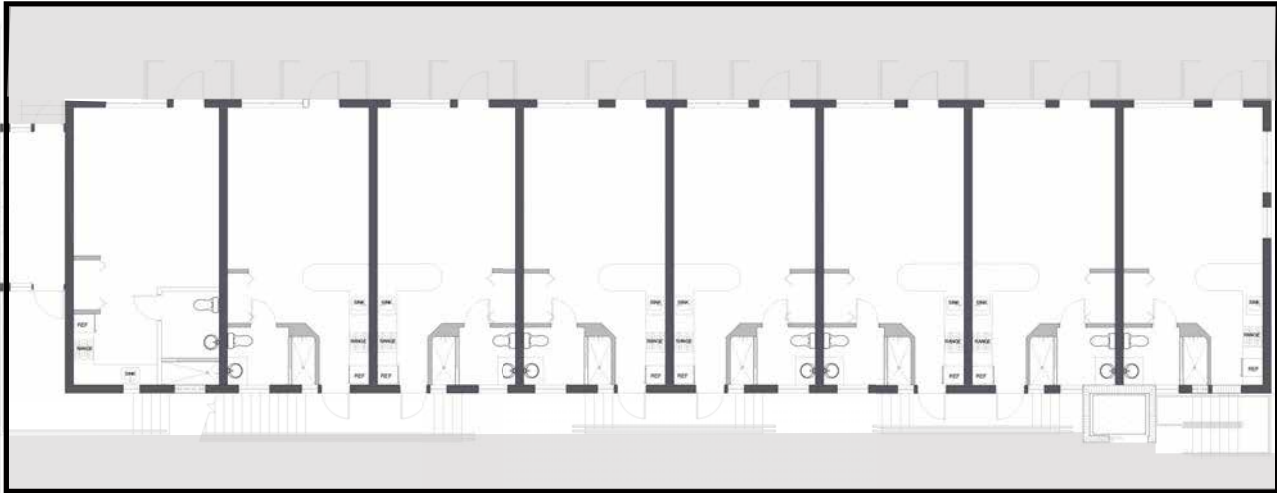


PROPOSED SOUTH SIDE ELEVATION

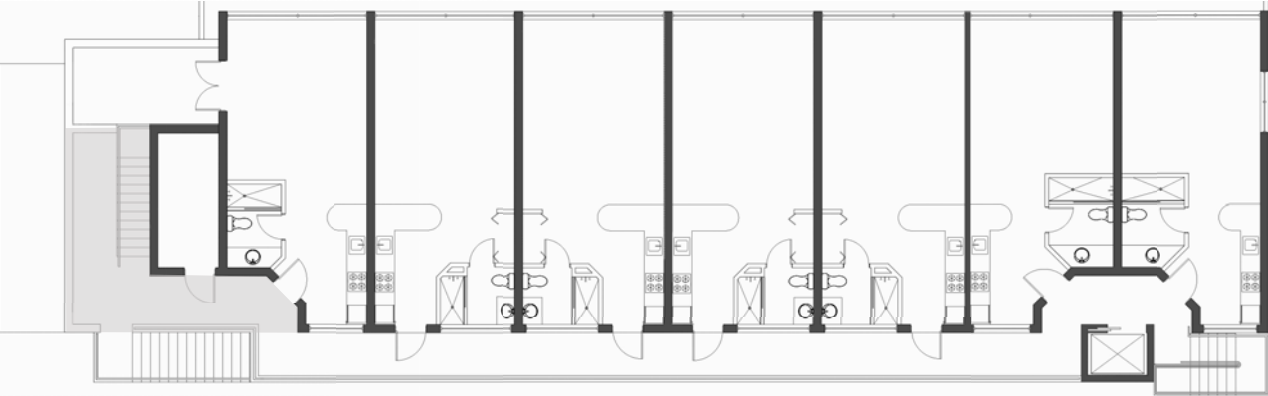
LINE OF SIGHT DIAGRAM

Scale: $\frac{3}{32}$ " = 1'-0"

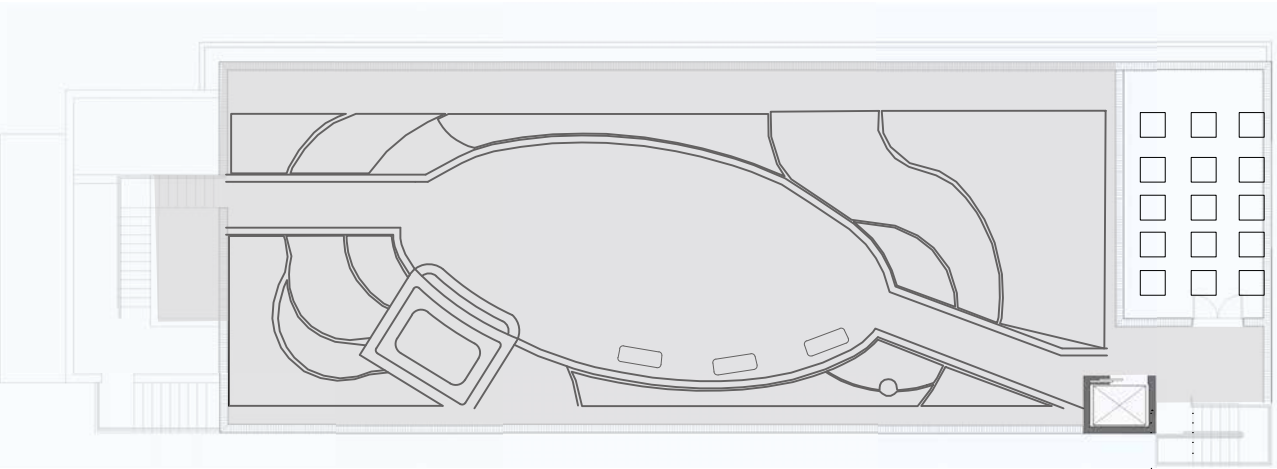




Ground Floor Open Space
1,360 sf



Second Floor Open Space
96 sf



Roof Top Open Space
4,339 sf

Total Required Open Space
 $6,500 \text{ sf} \times 0.70 = 4,550 \text{ sf}$

Total Proposed Open Space
5,795 sf

REVISION	BY

DESIGN CONSULTING SERVICES BY:
SUSANA ALONSO, AICP
AND RAFAEL HERNANDEZ / AFD DESIGN
ARCHITECTURE INTERIOR DESIGN PLANNING PERMITTING VIOLATIONS
S7Alonso@gmail.com 305-775-8716
TEL. (786)266-5217 AFDESIGN101@gmail.com

DESIGNERS OF RECORD:

JAM associates

JOSE A. MORALES, P.A.
ADRIAN D. LOPEZ, P.A.
CIBRIANO GARCIA, P.A.

Douglas Coates, PhD

RENOVATION/ ADDITIONAL 2nd STORY TO:

HOTEL CASA COLORRETA
355 WASHINGTON AVE.
MIAMI BEACH, FLORIDA

OWNER: RICHARD H. & SUSANA A.

REVIEWED BY: JOSE LOPEZ

DATE: 02-03-2018

SCALE: AS SHOWN

PROJECT NO.: 015-17

SHEET NO.