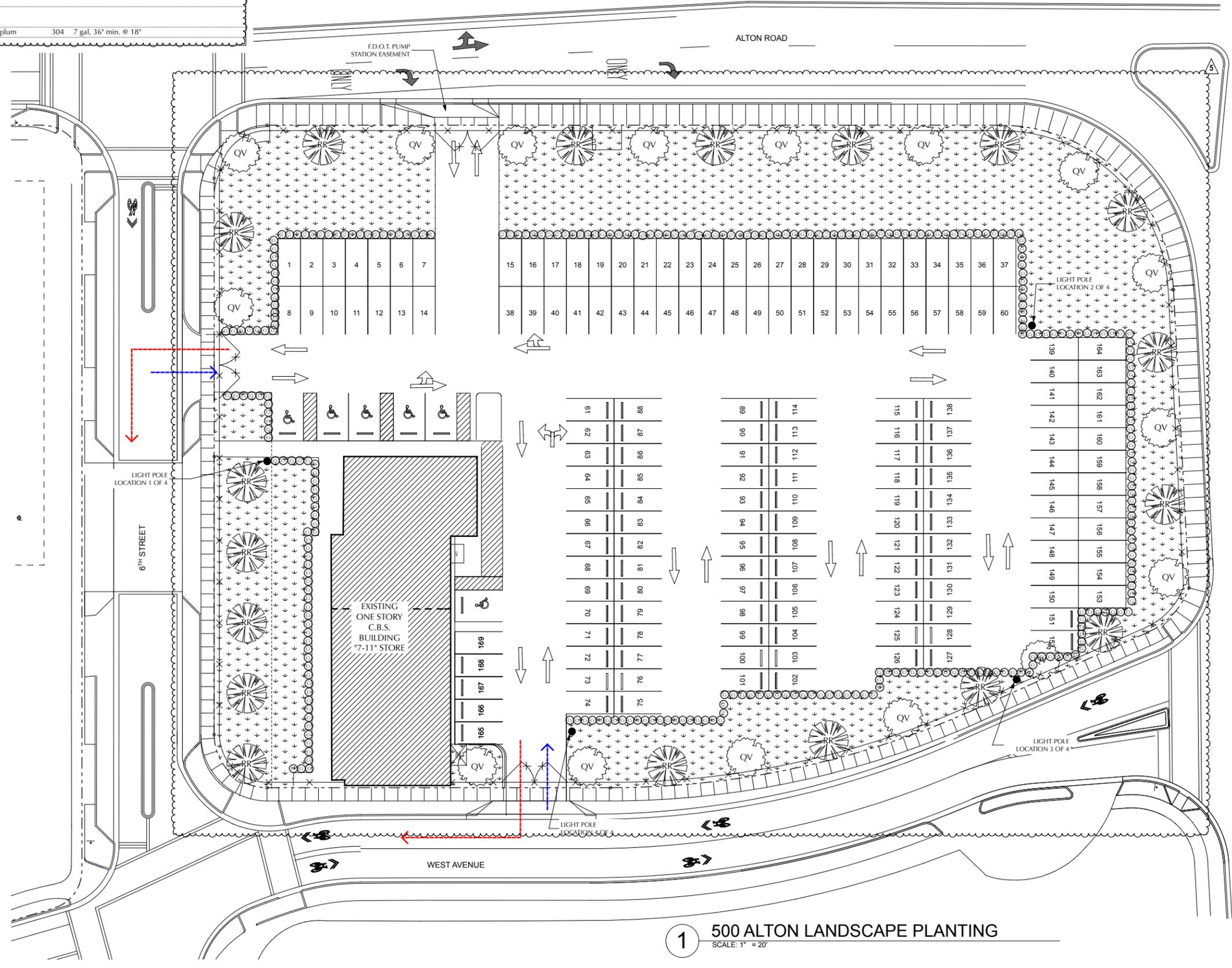


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PLANT SCHEDULE & SPECIFICATIONS				
Abb.	Botanical Name	Common Name	Qty	Specifications
TREES & PALMS				
QV	<i>Quercus virginiana</i>	Live Oak	16	Single Leader Standard, 12-14' HT, 3" CAL, matching
RR	<i>Roystonea regia</i>	Royal Palm	18	Relocated from Bentley Bay
SHRUBS & ACCENTS				
CI	<i>Chrysobalanus icaco 'Red Tip'</i>	Red Tip' Cocoplum	304	7 gal, 36" min. @ 18"

SYMBOLS LEGEND	
	SOD
	LIGHT POLE (4 total)

- TEMP. PARKING LOT NOTES**
- EXISTING PIGEON PLUMS FROM 709 ALTON ROAD TO BE RELOCATED TO PROJECT SITE AS SHOWN. EXISTING PIGEON PLUMS ARE THE PROPERTY OF THE SAME OWNERSHIP FOR THIS CONTRACT. REFER TO ATTACHED TREE SURVEY.
 - STANDARD PARKING SPACES SHALL BE 18'-0" LONG BY 8'-6" WIDE TYPICAL WITH WHEEL STOPS PROVIDED.
 - PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 8'-6" WIDE, WHEEL STOPS ARE NOT TO BE PROVIDED.
 - STANDARD HANDICAP PARKING SPACES SHALL BE 18'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.).
 - HANDICAP PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.), WHEEL STOPS ARE NOT TO BE PROVIDED.
 - IRRIGATION PLAN SHALL PROVIDE 100% COVERAGE INCLUSIVE OF A CONTROLLER AND RAIN SENSOR.



ARCHITECT:
 URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 406
 MIAMI BEACH, FL 33139
 (786) 246-4857
 (786) 768-2537, F

M.E.P. ENGINEERS:
 H. VIDAL & ASSOCIATES, INC.
 241 NW SOUTH RIVER DRIVE
 MIAMI, FL 33128
 (305) 571-1860
 (305) 571-1861, F

CIVIL ENGINEERS:
 COASTAL SYSTEMS INT'L, INC.
 464 SOUTH DIXIE HWY.
 CORAL GABLES, FL 33146
 (305) 661-3655
 (305) 661-1914, F

GENERAL CONTRACTOR

500 ALTON PARKING LOT
 500 ALTON RD. :: MIAMI BEACH, FL 33139

SEAL

URBAN ROBOT LLC
 AA26002760 IB26001534 LC26000511

REVISIONS

2	03/10/16	OWNER / CME
4	04/16/16	CMB PB APP
5	04/27/16	CMB PB APP

1410
 PROJECT NO.
 03/09/2015
 DATE
 AR / JJ / ML / JV
 DRAWN / CHECKED

LANDSCAPE PLAN
 - 500 ALTON

L-100

1 500 ALTON LANDSCAPE PLANTING
 SCALE: 1" = 20'

APPROVED

500 ALTON

500 ALTON RD :: MIAMI BEACH, FL 33139

ARCHITECT:



420 LINCOLN ROAD S.406 | MIAMI BEACH, FL 33139
T.786.246.4857 | F.786.768.2537 |
HTTP://WWW.URBANROBOTASSOCIATES.COM
URBAN ROBOT ASSOCIATES

500 ALTON PARKING LOT

APPLICABLE CODE :

FLORIDA BUILDING CODE 2014
FLORIDA FIRE PREVENTION CODE 2014

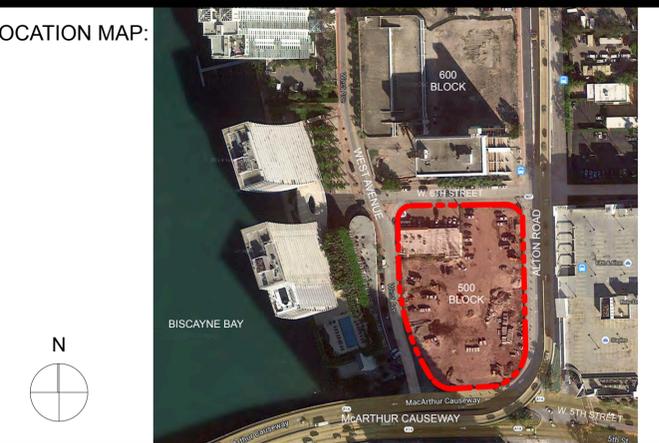
SCOPE OF WORK :

NEW CONSTRUCTION OF TEMPORARY OFF-STREET PARKING LOT
INCLUDING PAVING, DRAINAGE, LANDSCAPING AND LIGHTING.

DRAWING INDEX:

G-000	COVER PAGE
-----	500 ALTON - SURVEY
G-100	GENERAL NOTES AND ZONING DATA
G-200	500 ALTON PARKING SITE PLAN
PGD-1	PAVING, GRADING, DRAINAGE SITE PLAN
L-100	TREE DISPOSITION PLAN - 600 ALTON
L-200	LANDSCAPE PLAN - 500 ALTON
L-300	LANDSCAPE LIGHTING PLAN - 500 ALTON
-----	709 ALTON - TREE SURVEY PG. 1
-----	709 ALTON - TREE SURVEY PG. 2
E-100	LANDSCAPE LIGHTING PLAN - 500 ALTON
E-200	PARKING LOT LIGHTING
E-300	DETAILS AND SCHEDULES

LOCATION MAP:



REVISIONS

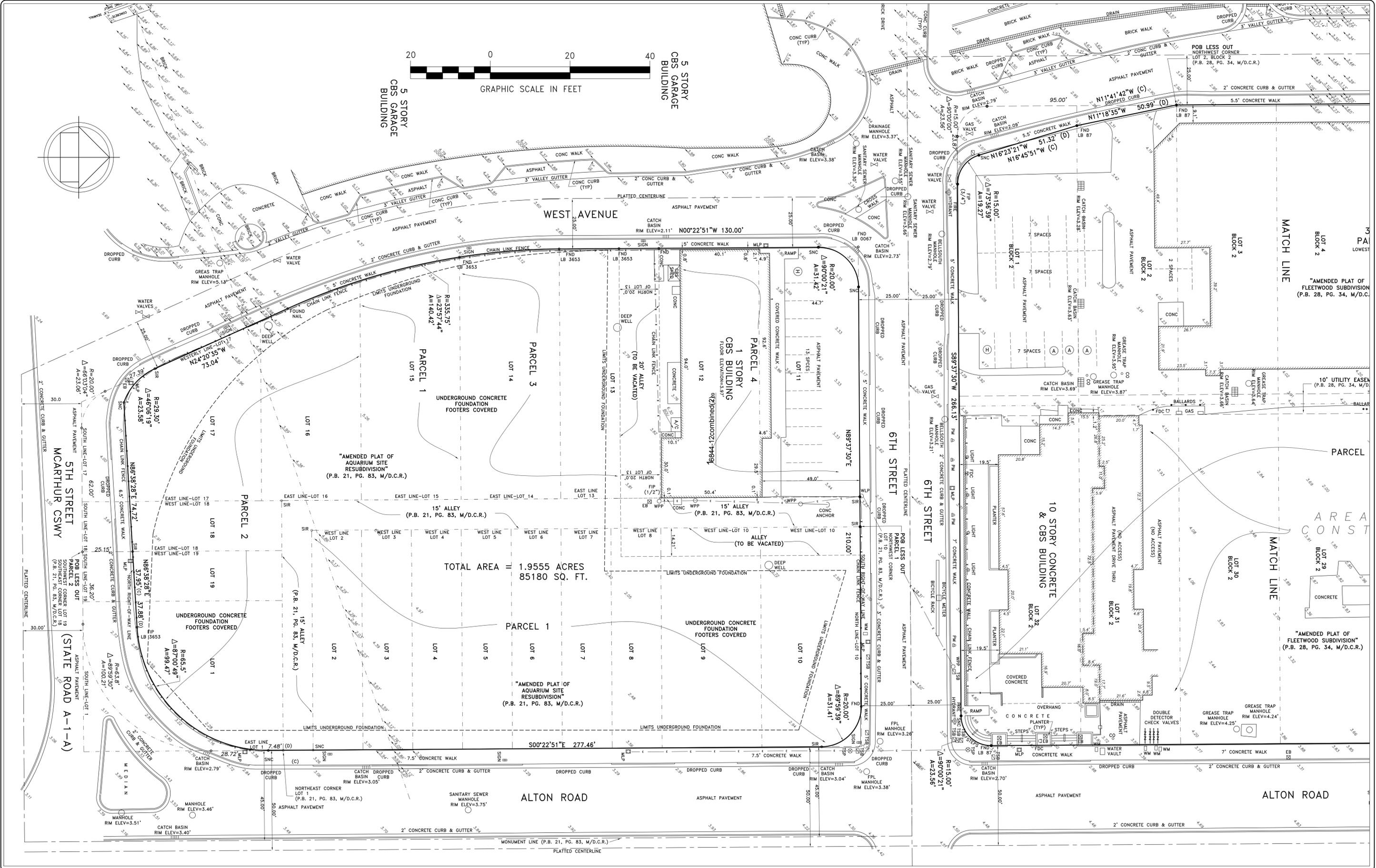
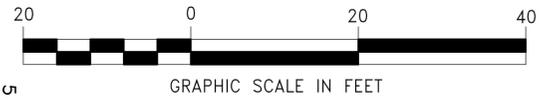
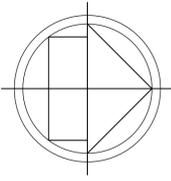
No.	DESCRIPTION	DATE

SUBMITTAL: PLANNING BOARD

DATE: MARCH 9, 2015

COVER PAGE

G-000



TOTAL AREA = 1.9555 ACRES
85180 SQ. FT.

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
CRESCENT HEIGHTS

ALTON ROAD
MIAMI BEACH, FLORIDA

UNIFIED SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
COMBINED SITES	10/30/14	---	AM	REC
ADDED GRADES PER THE CITY OF MIAMI BEACH & THE SITE AREA	11/13/14	SKETCH	REC	REC

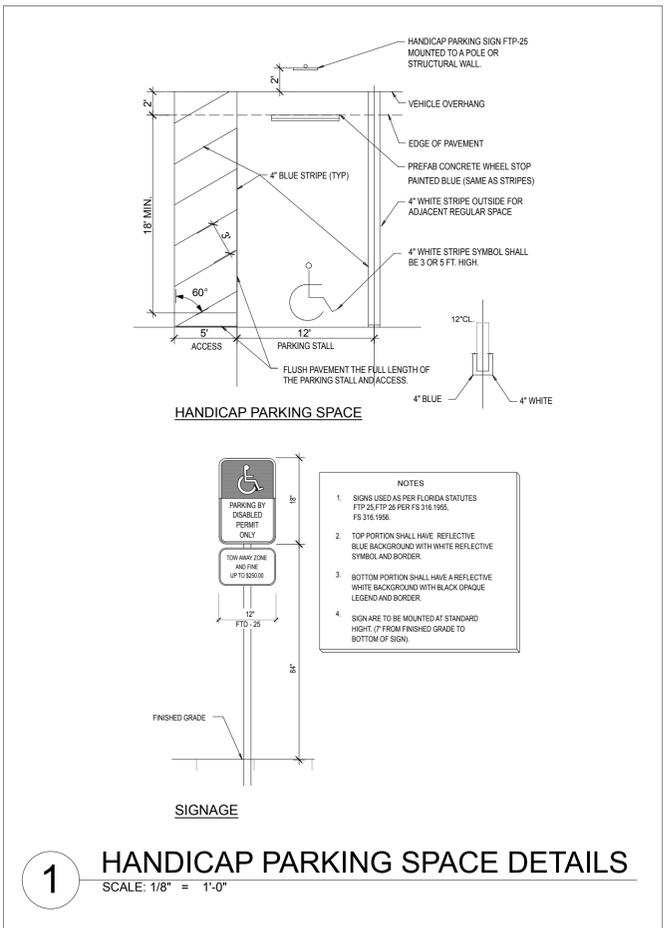
PROJECT NUMBER : 6844-12
SHEET 2 OF 3 SHEETS
SCALE : 1" = 20'

L
K
J
I
H
G
F
E
D
C
B
A

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CITY OF MIAMI BEACH PUBLIC WORKS NOTES

- REMOVE AND REPLACE SIDEWALK ON PROPERTY AFFECTED BY NEW SCOPE OF WORK.
- ANY WORK AND/OR IMPROVEMENTS FROM/TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- ALL CONSTRUCTION, IMPROVEMENTS (INCLUDING LANDSCAPING) AND/OR USE OF EQUIPMENT IN THE RIGHT OF WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT ALONG WITH AN FDOT PERMIT FOR ALTON ROAD AND WEST AVENUE PRIOR TO START OF CONSTRUCTION.
- NO ENCROACHMENT ABOVE AND/OR UNDERGROUND INTO THE RIGHT OF WAY IS ALLOWED.
- LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY WILL REQUIRE A PRELIMINARY APPROVAL FROM CITY OF MIAMI BEACH PLANNING AND PARKS DEPARTMENTS PRIOR TO APPLYING FOR PUBLIC WORKS CONSTRUCTION PERMIT.



LEGAL DESCRIPTION

PARCEL 1:
LOTS 2 THROUGH 10 INCLUSIVE, AND LOT 15, OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21 PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 2:
LOTS 1, 16, 17, 18 AND 19, OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21 PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PARCELS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 19 OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", AS RECORDED IN PLAT BOOK 21, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN NORTH ALONG THE WEST LINE OF SAID LOT 19 FOR A DISTANCE OF 25.15 FEET TO THE POINT OF INTERSECTION WITH THE RIGHT-OF-WAY LINE OF STATE ROAD A-1-A; THENCE DEFLECTING 87°01'19" TO THE RIGHT, RUN ALONG THE RIGHT-OF-WAY LINE OF STATE ROAD A-1-A FOR A DISTANCE OF 37.88 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE RUN ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 65.5 FEET AND A CENTRAL ANGLE OF 87°00'49", FOR AN ARC DISTANCE OF 99.47 FEET TO THE POINT OF TANGENCY WITH THE EAST LINE OF SAID LOT 1, SAID POINT BEING 7.48 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 1; THENCE RUN SOUTH ALONG THE EAST LINE OF LOT 1, FOR A DISTANCE OF 28.72 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE RUN ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 63.80 FEET AND A CENTRAL ANGLE OF 46°59'30", FOR AN ARC DISTANCE OF 100.21 FEET TO A POINT OF TANGENCY WITH THE SOUTH LINE OF LOT 1, AT A DISTANCE OF 11.20 FEET FROM THE SOUTHWEST CORNER OF LOT 1; THENCE RUN WEST ALONG SOUTH LINE OF SAID LOTS 1 AND 19 FOR A DISTANCE OF 36.20 FEET TO THE POINT OF BEGINNING.

AND

BEGINNING AT THE SOUTHEAST CORNER OF LOT 18 OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", AS RECORDED IN PLAT BOOK 21, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, RUN WEST ALONG THE SOUTH LINE OF LOTS 18 AND 17 A DISTANCE OF 62.00 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE RUN ALONG THE ARC OF SAID CIRCULAR CURVE, HAVING A RADIUS OF 20.00 FEET AND A CENTRAL ANGLE OF 66°03'04", FOR AN ARC DISTANCE OF 23.06 FEET TO THE POINT OF TANGENCY WITH THE WESTERLY LINE OF SAID LOT 17; THENCE RUN NORTHWESTERLY ALONG SAID WESTERLY LINE OF LOT 17, A DISTANCE OF 27.39 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF A TANGENTIAL CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 29.30 FEET AND A CENTRAL ANGLE OF 46°06'19", FOR AN ARC DISTANCE OF 23.58 FEET TO A POINT; THENCE RUN EASTERLY ALONG A STRAIGHT LINE A DISTANCE OF 74.72 FEET TO A POINT ON THE EAST LINE OF SAID LOT 18, SAID POINT BEING 25.15 FEET NORTH OF THE SOUTHEAST CORNER OF LOT 18; THENCE RUN SOUTH ALONG SAID EAST LINE OF LOT 18, FOR A DISTANCE OF 25.15 FEET TO THE POINT OF BEGINNING.

PARCEL 3:
LOTS 13 AND 14, OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21 PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 4
LOTS 11 AND 12, OF "AMENDED PLAT OF AQUARIUM SITE RESUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING DATA

CODE OF THE CITY OF MIAMI BEACH

LOCATION: 500 ALTON RD, MIAMI BEACH, FLORIDA
FOLIO: 02-4204-006-0010
ZONING DISTRICT: CPS-2 (GENERAL MIXED-USE COMMERCIAL)

SITE DATA USE & OCCUPANCY CLASSIFICATION	REQUIRED / ALLOWED	EXISTING PARCEL 4 ONLY: (2,992 SF CONVENIENCE STORE) (2,759 SF OFFICE)	PROPOSED
	---	PARCELS 1, 2, & 3: VACANT	EXISTING TO REMAIN PARKING LOT (TEMPORARY)
BUILDING DATA FAR TOTAL LOT AREA PARKING LOT AREA	2.0 60,000 SF MIN. N/A	N/A 85,180 SF N/A	N/A 85,180 SF 64,459 SF
SETBACKS: FRONT: SIDE, INTERIOR (NORTH & WEST): SIDE, STREET (N,S,E,W): REAR :	0'-0" 0'-0" 0'-0" N/A	N/A N/A N/A N/A	6'-0" MIN. 0'-0" 6'-0" MIN. 0'-0"
LANDSCAPE REQUIREMENTS: PARKING LOT AREA: LANDSCAPE AREA: INTERIOR LANDSCAPING:	N/A 20% (64,459 x 0.2) = 12,892 SF 5% (64,459 x 0.05) = 3,223 SF	N/A NONE NONE	64,459 SF 25.4% (16,384 SF) 5.9% (3,813 SF)
PARKING DATA: (PARKING DISTRICT NO. 6)			
PARCEL 1, 2, & 3:	---	NONE	171
PARCEL 4 ONLY: (2,992 SF CONVENIENCE STORE) (2,759 SF OFFICE)	< 3,500 SF (NOT REQUIRED) 1 PER 400 SF (7 SPACES)	12 NONE	12 7
TOTAL SPACES:			190 (INCLUDING H.C. SPACES)
HANDICAPPED SPACES : (FBC 2012 - ACCESSIBILITY)			
PARCEL 1, 2, & 3: PARCEL 4:	6 2 (1 '7'-11", 1 OFFICE)	NONE 1	8 H.C. SPACES 2 H.C. SPACES
TOTAL H.C. SPACES	8		10 H.C. SPACES

GENERAL NOTES

- THE COMPLETE SCOPE OF WORK FOR THIS PROJECT IS NOT LIMITED TO THE INFORMATION INDICATED IN THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND COORDINATING THE WORK OF OTHERS INCLUDING, BUT NOT LIMITED TO CIVIL ENGINEERS AND LANDSCAPE ARCHITECT IN CONNECTION WITH THE DESIGN, ENGINEERING AND CONSTRUCTION OF ALL APPLICABLE SYSTEMS.
- THE CONTRACTOR SHALL COORDINATE THE TRADES OF OTHERS WITH EXISTING CONDITIONS AND REQUIREMENTS SHOWN ON THE CONTRACT DOCUMENTS AND SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCIES THAT ARISE FROM THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION. ALL DELAYS AND ADDITIONAL COST RESULTING FROM THE INCOMPLETE OR UNTIMELY SUBMISSION OF THE ABOVE REPORT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REMEDY.
- ALL WORK MATERIAL AND INSTALLATION SHALL BE IN FULL CONFORMANCE WITH THE A.D.A. AND LATEST FEDERAL, STATE AND LOCAL CODES, LAW AND ORDINANCES, INCLUDING THE MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS.
- THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INCORRECT CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
- ALL EXISTING HAZARDOUS MATERIALS SHALL BE REPORTED TO OWNER/LANDLORD AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATES CODES. NO NEW OR EXISTING CONSTRUCTION SHALL CONTAIN HAZARDOUS OR PROHIBITED MATERIAL OF ANY KIND.
- ALL DIMENSIONS ARE TO BE AS INDICATED ON THE DRAWINGS OR AS CLARIFIED BY THE ARCHITECT IN WRITING. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR PART OF AN EXISTING FIELD CONDITION.
- DIMENSIONS ARE TO FACE OF CURBS AND PROPERTY LINES.
- THE CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "CLEAR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
- SCHEDULE ALL WORK IN COMPLIANCE WITH LOCAL ORDINANCES AND REQUIREMENTS.
- REMOVE AND LAWFULLY DISPOSE FROM THE SITE ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTORS OPERATION DAILY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AREAS ADJACENT TO DEMOLITION AND NEW CONSTRUCTION FROM NOISE, DEBRIS AND DUST THROUGHOUT THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL EXISTING FINISHES TO REMAIN, AND REPAIR ANY DAMAGES THAT OCCURS. PATCH AND FINISH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES. EXTEND PATCH TO THE NEAREST NATURAL BREAK POINT, INSIDE CORNER, EXISTING JOINT OR LOCATION APPROVED BY ARCHITECT. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, AND STRUCTURAL SYSTEMS REQUIRED FOR THE INSTALLATION OF THE WORK.
- SURFACES TO REMAIN, WHEN CUT, DAMAGED, OR OTHERWISE DISTURBED DURING DEMOLITION, INSTALLATION OF NEW WORK OR REMOVAL AND REINSTALLATION OF EXISTING ITEMS TO REMAIN SHALL BE RESTORED AS NECESSARY TO PROVIDE A SMOOTH, CLEAN, COMPLETE, PROPERLY DETAILED AND FINISHED INSTALLATION WITH APPEARANCE, FUNCTION, AND WEARING QUALITIES EQUAL TO NEW WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PROTECTION AS REQUIRED FOR SAFETY OF PEDESTRIANS AND JOB SITE PERSONNEL.
- CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING STANDARDS FOR CONSTRUCTION ACTIVITIES.
- ALL WORK SHALL BE PLUMB, SQUARE, AND LEVEL, IN PROPER ALIGNMENT AND SECURELY FASTENED AS REQUIRED TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.
- TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOB SITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSION OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND MANUFACTURER'S INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DOCUMENTS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME. MARK-UP THESE DRAWINGS DURING THE PROGRESS OF THE WORK TO DOCUMENT CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE AN ACCURATE AND COMPLETE RECORD FOR THE OWNER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS" AND TRANSMIT TO OWNER.
- CONTRACTOR TO PROVIDE 10' HIGH CONSTRUCTION CHAIN LINK FENCE AND SECURE JOB SITE AT ALL TIMES.

APPROVED

ARCHITECT:
URBAN ROBOT LLC
420 LINCOLN ROAD, S. 406
MIAMI BEACH, FL 33139
(786) 246-4857
(786) 768-2537, F

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(305) 571-1861, F

CIVIL ENGINEERS:
COASTAL SYSTEMS INT'L, INC.
464 SOUTH DIXIE HWY.
CORAL GABLES, FL 33146
(305) 661-3655
(305) 661-1914, F

GENERAL CONTRACTOR:
500 ALTON PARKING LOT
500 ALTON RD :: MIAMI BEACH, FL 33139

SEAL

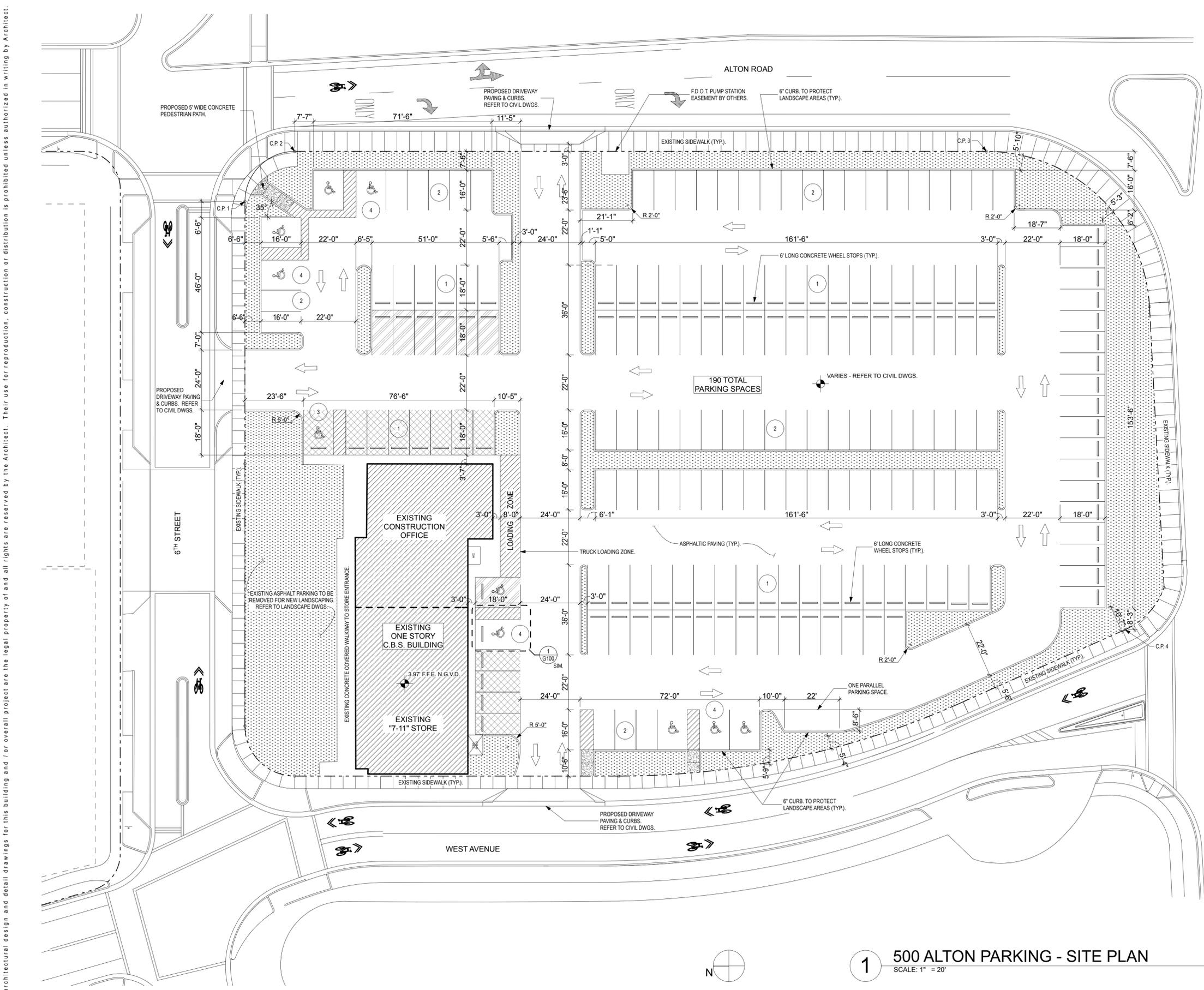
URBAN ROBOT LLC
AA26002760 IB26001534 LC26000510

REVISIONS

1410
PROJECT NO:
03/09/2015
DATE
AR / JJ / ML / JV
DRAWN / CHECKED

GENERAL NOTES
AND ZONING DATA

G-100



SYMBOLS LEGEND:

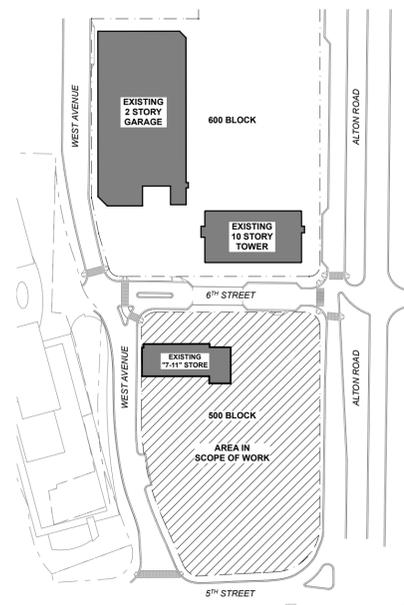
- NEW LANDSCAPED AREAS. REFER TO LANDSCAPE DRAWINGS.
- PARKING SPACES FOR EXISTING 7-11 STORE.
- PARKING SPACES FOR EXISTING CONSTRUCTION OFFICE.
- PROPERTY LINE.
- DIRECTIONAL PAVEMENT PARKING ARROWS. REFER TO CIVIL DWGS.
- CONTROL POINTS. REFER TO CIVIL DWGS.

PARKING SPACES NOTES:

- STANDARD PARKING SPACES SHALL BE 18'-0" LONG BY 8'-6" WIDE TYPICAL WITH WHEEL STOPS PROVIDED.
- PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 8'-6" WIDE. WHEEL STOPS ARE NOT TO BE PROVIDED.
- STANDARD HANDICAP PARKING SPACES SHALL BE 18'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.).
- HANDICAP PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.). WHEEL STOPS ARE NOT TO BE PROVIDED.

NOTES TO CONTRACTOR:

- CONTRACTOR SHALL COORDINATE THE SCOPE OF WORK IN THIS CONTRACT WITH IN PROGRESS AND PROPOSED STREET AND UTILITY IMPROVEMENTS TO ALTON ROAD, WEST AVENUE, AND 5TH & 6TH STREETS. AT MINIMUM REFER TO LATEST DOCUMENTS, CONSTRUCTION PLANS FOR CITY OF MIAMI BEACH 6TH STREET BAYFRONT STORMWATER PUMP STATION AND F.D.O.T. CONTRACT PLANS FOR STATE ROAD NO. 907 / ALTON ROAD AT 6TH STREET DRAINAGE IMPROVEMENTS BOTH BY GREENMAN-PEDERSON, INC. (GPI).
- CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ON THE 500 BLOCK PUBLIC SIDEWALK FOR THE LOCATION OF EXISTING CURB CUTS, DROPPED CURBS, AND OTHER VEHICULAR OR PEDESTRIAN TRAFFIC DEVICES THAT CONFLICT WITH NEW SCOPE OF WORK. SUCH CONFLICTS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT FOR RESOLUTION. REQUIRED MODIFICATIONS OR RESTORATION TO THE PUBLIC SIDEWALK ARE TO MATCH EXISTING CONDITIONS IN WORKMANSHIP AND APPEARANCE.



1 500 ALTON PARKING - SITE PLAN
SCALE: 1" = 20'

KEY PLAN

APPROVED

ARCHITECT:
URBAN ROBOT LLC
420 LINCOLN ROAD, S. 406
MIAMI BEACH, FL 33139
(786) 246-4857
(786) 768-2537, F

M.E.P. ENGINEERS:
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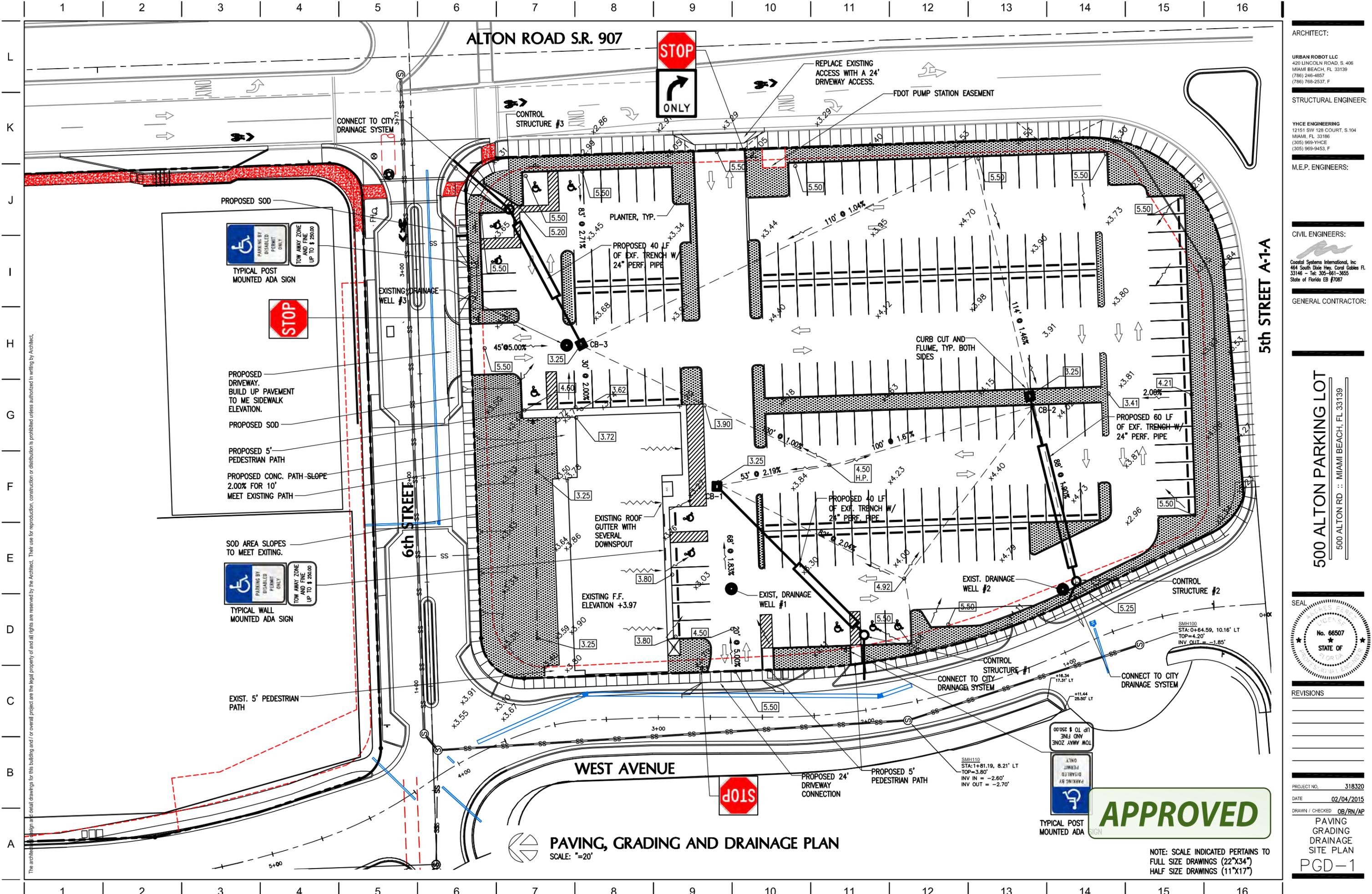
GENERAL CONTRACTOR:

500 ALTON PARKING LOT
500 ALTON RD. :: MIAMI BEACH, FL 33139

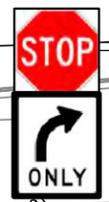
SEAL
URBAN ROBOT LLC
AA26002760 IB26001534 LC26000510

REVISIONS
1410 PROJECT NO.
03/09/2015 DATE
AR / JJ / ML / JV
DRAWN / CHECKED

500 ALTON PARKING SITE PLAN
G-200



ALTON ROAD S.R. 907



REPLACE EXISTING ACCESS WITH A 24' DRIVEWAY ACCESS.
FDOT PUMP STATION EASEMENT

PROPOSED SOD
TYPICAL POST MOUNTED ADA SIGN
TOW AWAY ZONE AND FINE UP TO \$ 250.00



PROPOSED DRIVEWAY. BUILD UP PAVEMENT TO ME SIDEWALK ELEVATION.
PROPOSED SOD

PROPOSED 5' PEDESTRIAN PATH
PROPOSED CONC. PATH - SLOPE 2.00% FOR 10' MEET EXISTING PATH

SOD AREA SLOPES TO MEET EXISTING.
TYPICAL WALL MOUNTED ADA SIGN
TOW AWAY ZONE AND FINE UP TO \$ 250.00

EXIST. 5' PEDESTRIAN PATH

PAVING, GRADING AND DRAINAGE PLAN
SCALE: " = 20'

TYPICAL POST MOUNTED ADA SIGN
TOW AWAY ZONE AND FINE UP TO \$ 250.00

APPROVED

NOTE: SCALE INDICATED PERTAINS TO FULL SIZE DRAWINGS (22"x34") HALF SIZE DRAWINGS (11"x17")

ARCHITECT:
URBAN ROBOT LLC
420 LINCOLN ROAD S. 406
MIAMI BEACH, FL 33139
(786) 246-4857
(786) 788-2537, F

STRUCTURAL ENGINEER:
YHCE ENGINEERING
12151 SW 129 COURT, S.104
MIAMI, FL 33196
(305) 969-YHCE
(305) 969-9453, F

M.E.P. ENGINEERS:

CIVIL ENGINEERS:
Coastal Systems International, Inc.
464 South Dixie Hwy, Coral Gables FL
33146 - Tel: 305-861-3655
State of Florida EB #7087

GENERAL CONTRACTOR:

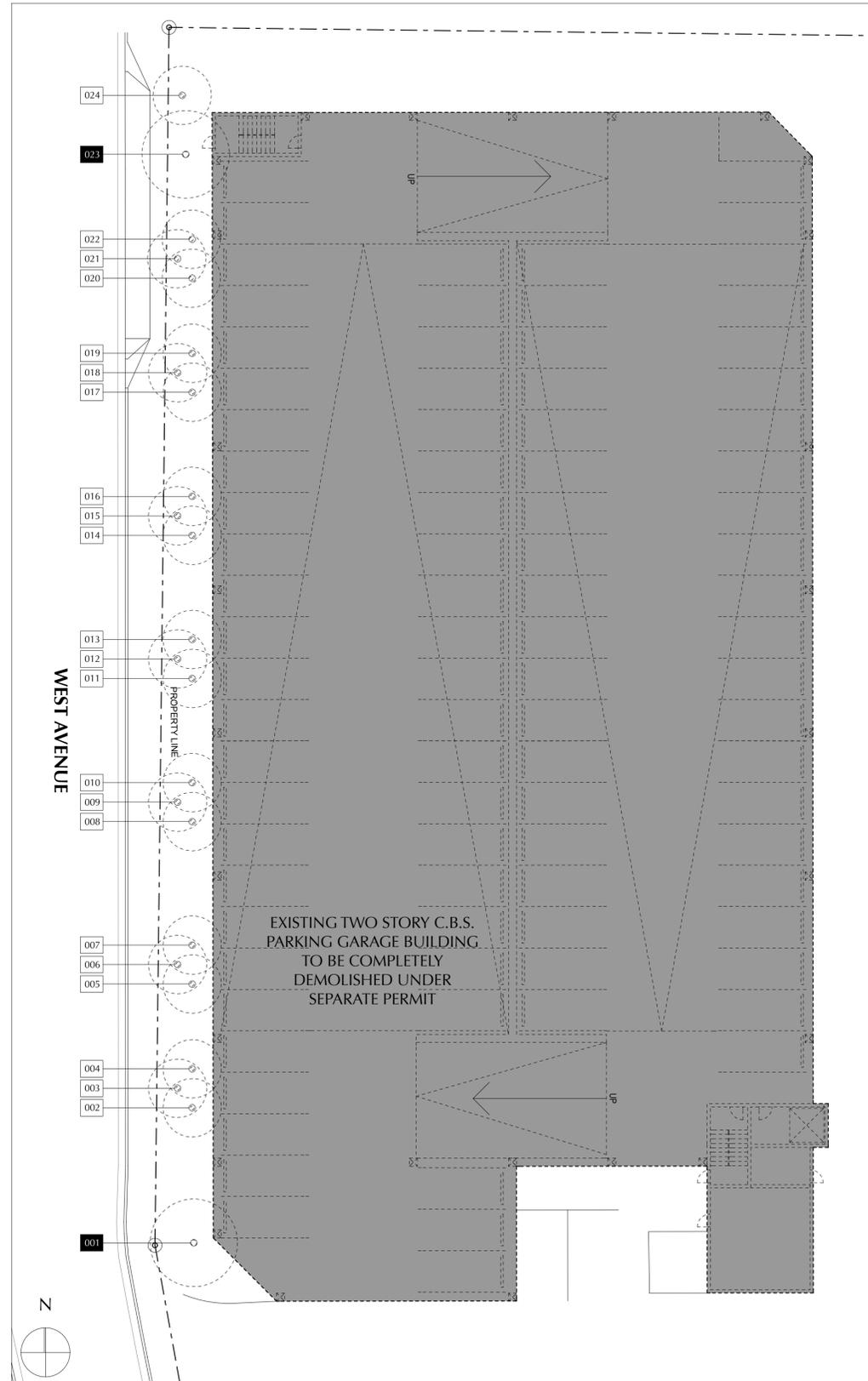
500 ALTON PARKING LOT
500 ALTON RD. :: MIAMI BEACH, FL 33139



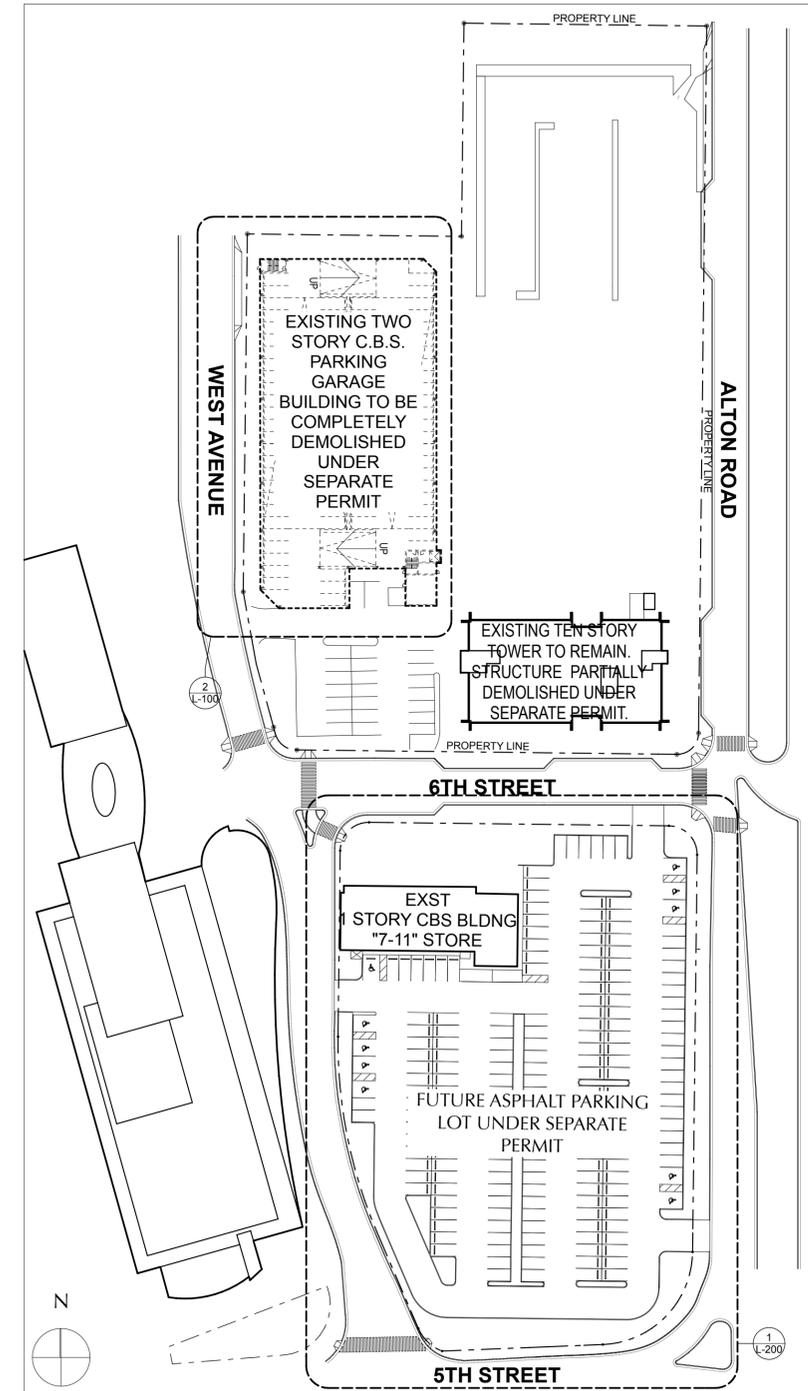
REVISIONS

PROJECT NO. 318320
DATE 02/04/2015
DRAWN / CHECKED OB/RN/AP
PAVING
GRADING
DRAINAGE
SITE PLAN
PGD-1

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TREE DISPOSITION PLAN
SCALE: 1/16" = 1'-0" **2**



LOCATION PLAN
SCALE: 1/64" = 1'-0" **1**

KEY LEGEND

- EXISTING TREE TO BE RELOCATED
- EXISTING TREE TO BE REMOVED
- EXISTING TREE SYMBOL:
- central solid circle indicates caliper / DBH
- dashed circle indicates drip line / spread

TREE DISPOSITION SCHEDULE

Tree #	Scientific Name	Common Name	DBH	Height	Spread	Canopy SF	Native	Disposition	Condition	Designation/Remarks
EXISTING TREES & PALMS DISPOSITION CHART										
1	<i>Schefflera actinophylla</i>	Umbrella Tree	30"	34'	12'	114	No	Remove	Good	Prohibited
2	<i>Sabal palmetto</i>	Sabal Palm	12"	34'	12'	114	Yes	Relocate	Good	
3	<i>Sabal palmetto</i>	Sabal Palm	11"	33'	8'	50	Yes	Relocate	Good	
4	<i>Sabal palmetto</i>	Sabal Palm	13"	32'	10'	79	Yes	Relocate	Good	
5	<i>Sabal palmetto</i>	Sabal Palm	13"	32'	9'	64	Yes	Relocate	Good	
6	<i>Sabal palmetto</i>	Sabal Palm	10"	30'	8'	50	Yes	Relocate	Good	
7	<i>Sabal palmetto</i>	Sabal Palm	12"	33'	9'	64	Yes	Relocate	Good	
8	<i>Sabal palmetto</i>	Sabal Palm	12"	32'	11'	95	Yes	Relocate	Good	
9	<i>Sabal palmetto</i>	Sabal Palm	12"	32'	9'	64	Yes	Relocate	Good	
10	<i>Sabal palmetto</i>	Sabal Palm	12"	32'	8'	50	Yes	Relocate	Good	
11	<i>Sabal palmetto</i>	Sabal Palm	12"	32'	12'	114	Yes	Relocate	Good	
12	<i>Sabal palmetto</i>	Sabal Palm	12"	32'	10'	79	Yes	Relocate	Good	
13	<i>Sabal palmetto</i>	Sabal Palm	8"	25'	10'	79	Yes	Relocate	Good	
14	<i>Sabal palmetto</i>	Sabal Palm	14"	35'	11'	95	Yes	Relocate	Good	
15	<i>Sabal palmetto</i>	Sabal Palm	12"	30'	8'	47	Yes	Relocate	Good	
16	<i>Sabal palmetto</i>	Sabal Palm	12"	30'	9'	64	Yes	Relocate	Good	
17	<i>Sabal palmetto</i>	Sabal Palm	10"	28'	12'	114	Yes	Relocate	Good	
18	<i>Sabal palmetto</i>	Sabal Palm	13"	32'	12'	114	Yes	Relocate	Good	
19	<i>Sabal palmetto</i>	Sabal Palm	13"	31'	10'	79	Yes	Relocate	Good	
20	<i>Sabal palmetto</i>	Sabal Palm	13"	35'	11'	95	Yes	Relocate	Good	
21	<i>Sabal palmetto</i>	Sabal Palm	11"	30'	7'	38	Yes	Relocate	Good	
22	<i>Sabal palmetto</i>	Sabal Palm	14"	35'	10'	79	Yes	Relocate	Good	
23	<i>Schefflera actinophylla</i>	Umbrella Tree	36"	40'	20'	314	No	Remove	Good	Prohibited
24	<i>Sabal palmetto</i>	Sabal Palm	13"	32'	11'	95	Yes	Relocate	Good	

TOTAL DBH TO BE REMOVED (EXCLUDES TREE #1 AND TREE #23 PER SECTION 17.6.3 PROHIBITED SPECIES) = 0"
TOTAL DBH TO BE RELOCATED = 264"

NOTES

GENERAL NOTES
TREES TO BE RELOCATED TO 500 ALTON ROAD TEMPORARY PARKING LOT (UNDER SEPARATE PERMIT). SEE L-200 LANDSCAPE PLAN.

NO PERSON AND NO AGENT OR REPRESENTATIVE THEREOF, DIRECTLY OR INDIRECTLY, SHALL CUT DOWN, DESTROY, MOVE OR EFFECTIVELY DESTROY THROUGH DAMAGING ANY TREE SITUATED ON ANY REAL PROPERTY AS DESCRIBED IN CHAPTER 17 OF THE CITY CODE, WITHOUT FIRST OBTAINING APPROVAL AND A TREE REMOVAL PERMIT.

APPROVED

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GENERAL CONTRACTOR:

500 ALTON PARKING LOT
500 ALTON RD. :: MIAMI BEACH, FL 33139

SEAL
URBAN ROBOT LLC
AA26002760 IB26001534 LC26000510

REVISIONS

1410
PROJECT NO:
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TREE DISPOSITION PLAN - 600 ALTON

L-100

PLANT SCHEDULE & SPECIFICATIONS

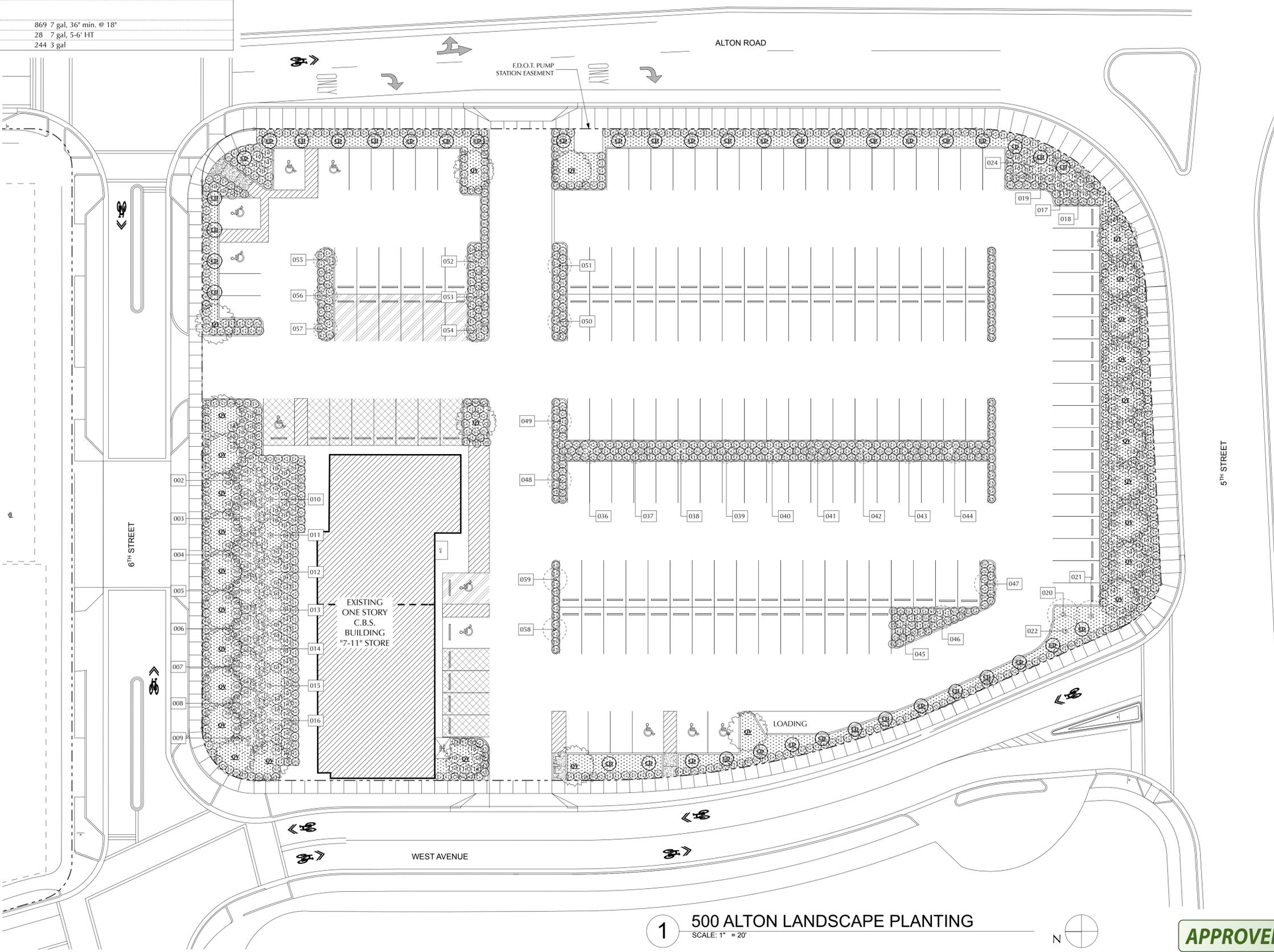
Abbv.	Botanical Name	Common Name	Qty	Specifications
TREES & PALMS				
CD	<i>Coccoloba diversifolia</i>	Pigeon Plum	42	Single Leader, 12' HT, 6' SPR
QV	<i>Quercus virginiana</i>	Live Oak	28	Single Leader Standard, 12-14' HT, 3" CAL, matching
#2-24	<i>Sabal palmetto</i> (Relocated from 600 Alton)	Sabal Palm	22	See L-100 Tree Disposition Plan 600 Alton Road
#36-59	<i>Coccoloba diversifolia</i> (Relocated from 709 Alton)	Pigeon Plum	24	See Temp. Parking Lot Notes
SHRUBS & ACCENTS				
CI	<i>Chrysobalanus icaco</i> 'Red Tip'	Red Tip' Cocoplum	869	7 gal, 36" min. @ 18"
Cu	<i>Coccoloba uvifera</i>	Sea Grape	28	7 gal, 5-6' HT
Td	<i>Tripsacum dactyloides</i>	Fakahatchee Grass	244	3 gal

SYMBOLS LEGEND



TEMP. PARKING LOT NOTES

- EXISTING PIGEON PLUMS FROM 709 ALTON ROAD TO BE RELOCATED TO PROJECT SITE AS SHOWN. EXISTING PIGEON PLUMS ARE THE PROPERTY OF THE SAME OWNERSHIP FOR THIS CONTRACT. REFER TO ATTACHED TREE SURVEY.
- STANDARD PARKING SPACES SHALL BE 18'-0" LONG BY 8'-6" WIDE TYPICAL WITH WHEEL STOPS PROVIDED.
- PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 8'-6" WIDE, WHEEL STOPS ARE NOT TO BE PROVIDED.
- STANDARD HANDICAP PARKING SPACES SHALL BE 18'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.).
- HANDICAP PARKING SPACES FRONTING LANDSCAPED CURBS SHALL BE 16'-0" LONG BY 12'-0" WIDE WITH 5'-0" WIDE STRIPED ACCESS AISLES AS SHOWN (TYP.). WHEEL STOPS ARE NOT TO BE PROVIDED.
- IRRIGATION PLAN SHALL PROVIDE 100% COVERAGE INCLUSIVE OF A CONTROLLER AND RAIN SENSOR.



1 500 ALTON LANDSCAPE PLANTING
SCALE: 1" = 20'



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AA26002760 IB26001534 LC26000510

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LANDSCAPE PLAN
- 500 ALTON
L-200

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LANDSCAPE LIGHTING SPECIFICATIONS

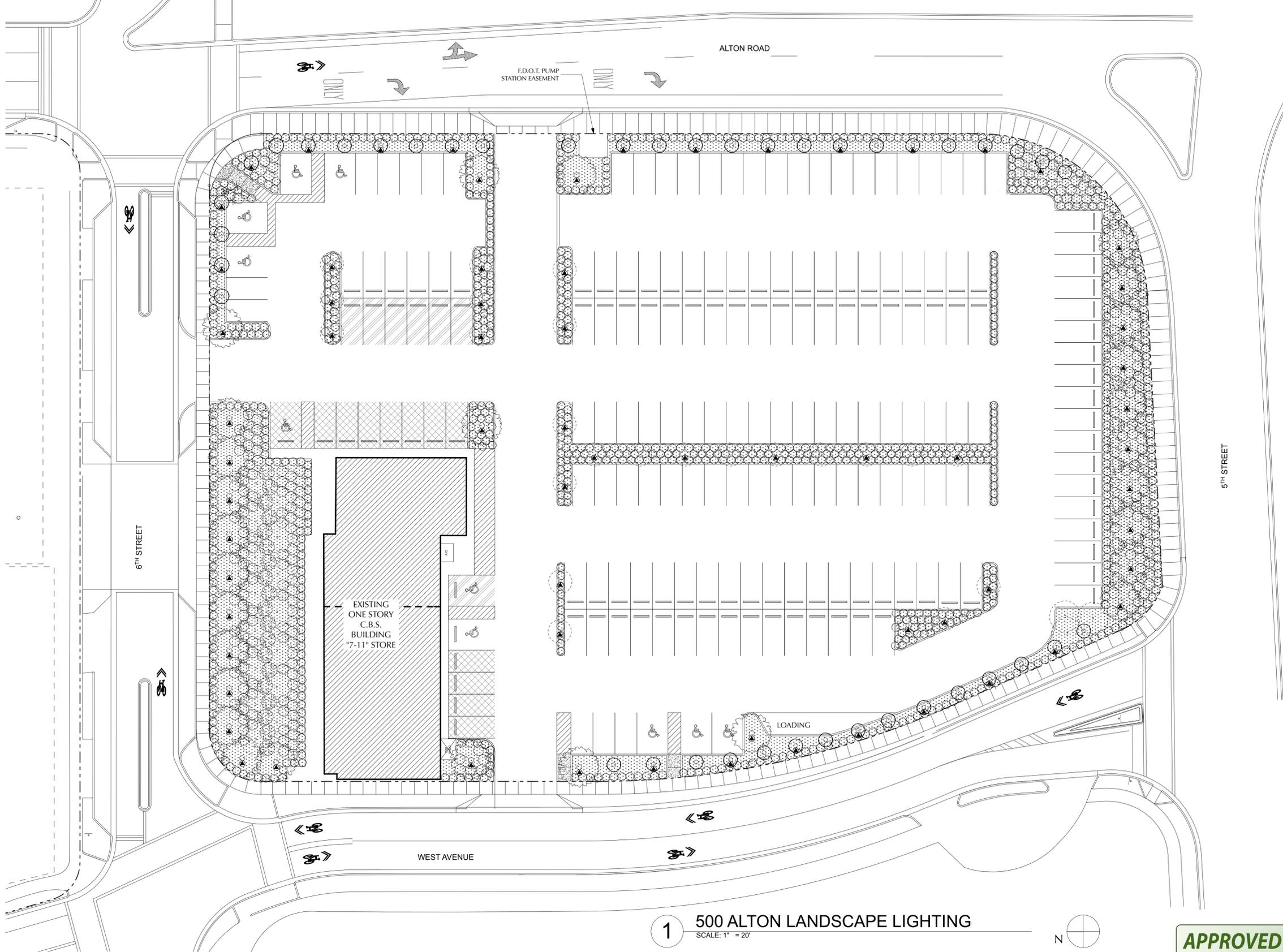
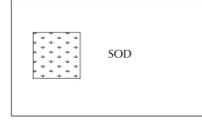
- All work shall comply with these drawings, the latest version of the Florida Building Code, and all Applicable Codes and Regulations. Code Compliance is the complete responsibility of the Contractor and any modifications required shall be performed at no additional charge.
- The Contractor is to familiarize himself with and confirm all Drawings, Specifications, and existing materials and conditions prior to Bid and commencing the work. Notify the Landscape Architect immediately of any discrepancies. The contractor shall include in his Bid all costs necessary for a complete and operational installation and shall visit the job site prior to bid date.
- All materials furnished on the job site shall be new and stored in such a manner as to protect them from the elements.
- Lighting plans are schematic in nature. Fixture symbols are not to scale. Verify exact location and orientation of each fixture in the field with Landscape Architect (L.A.). Verify all quantities, dimensions, and conditions in the field. Confirm fixture finishes & specs with Landscape Architect before purchase.
- All Contractors are to keep the job site clean and free of debris at all times.
- Do not scale drawings. Dimensions and/or existing conditions govern. Notify the Landscape Architect immediately of any discrepancies. Stop work in areas of discrepancy until all issues are resolved.
- All work shall be in strict accordance with the best practices of the construction trade.
- Contractor to coordinate programming, controls, and electrical with MEP & L.A.
- All details, sections, diagrams, etc. are intended to be typical and shall be construed to apply to any similar situation elsewhere in the project.
- The Contractor shall verify all utilities and placement locations of pipe, conduit, equipment, ductwork, etc., prior to submitting Bid to the Owner.
- Where conflicts and/or variances exist in the Drawings or Specifications, the arrangement of better quality, greater quantity, and higher cost shall be included in the Bid price. The Landscape Architect will have the final decision regarding item and manner in which work shall be installed.
- All fixtures to be UL-listed and wet-rated.
- Owner cannot guarantee that internal changes have not occurred since these Drawings have been prepared. It is the responsibility of the Contractor to field check all dimensions and conditions.
- Any penetrations or modifications to structural steel or concrete must be coordinated with the project's Structural Engineer. All lumber in contact with concrete or masonry shall be pressure treated.
- The Contractor shall check in with the on-site Construction Manager prior to start of work. During construction, the Contractor shall coordinate all work with the Owner and the on-site Construction Manager.
- The Contractor shall verify the locations of site utilities prior to the commencement of work. Existing utilities shall be protected or rerouted as required to accommodate the new work.
- The Contractor shall inspect the surfaces and substrate conditions on/in which the work shall be performed. Beginning of work means acceptance of existing surfaces, substrates and conditions.
- Prior to final acceptance, Contractor shall adjust all lighting to Owner's satisfaction.
- The Landscape Architect shall have final decision as to whether work of poor quality and/or substandard workmanship shall be repaired or replaced.
- The Contractor shall arrange for all building permits and inspections by the building authorities. Cost of all permits, fees, and special inspections shall be in the Bid wherever necessary.
- The Contractor shall provide proof of insurance and shall not send or employ for this project any laborers or subcontractors. Insurance shall provide protection against public liability and property damage for duration of work.
- The Contractor shall provide a minimum of one full year warranty for any and all labor and materials they provide, install, or apply.
- The Contractor shall verify the condition of all existing materials, system, or devices prior to reuse or connection to such materials, systems or devices. Contractor shall bear the full responsibility for reuse of such items and shall provide a minimum 1 year guarantee for all work, materials, and system.
- These drawings and documents, as instruments of service, are the property of the Landscape Architect and may not be used or reproduced in any manner without his/her express consent.
- It shall not be the intent of these plans and/or specifications to show every minor detail of construction. The Contractor shall be expected to furnish and install all items for a complete system and provide all requirements necessary for equipment to be placed in proper working order.
- All conduit runs are shown diagrammatically. Exact routing shall be determined in the field, unless otherwise noted.
- As-Built drawings shall be furnished to the Owner upon completion of work.

LIGHT FIXTURE SCHEDULE

Symbol	Fixture Type	Quantity	Brand	Name / Model No.	Material	Mount	Wattage	Lamp	Color	Optics	Voltage	Finish	Other
	SPOT LIGHT	68	Aurora Light	HSL16 Telluride	Brass [BR]	Stake [G/S]	7.5 watt [7]	LED/2700K [270]	Incandescent	25° [M]	12V	TBD	[90]

Locations shown are approximate; verify exact fixture placement and orientation in the field with Landscape Architect
Verify zoning & controls with Landscape Architect
Verify fixtures and finishes with Landscape Architect before purchase
All fixtures to be UL rated

SYMBOLS LEGEND



1 500 ALTON LANDSCAPE LIGHTING
SCALE: 1" = 20'



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LANDSCAPE LIGHTING PLAN-
500 ALTON
L-300

TREE NO. ON SURVEY	SPECIES		TRUNK DIA. AT BREAST HEIGHT INCHES	# OF TRUNKS	TREE HEIGHT FEET	CANOPY SPREAD FT2	CANOPY (SF)	CONDITION
	COMMON NAME	SCIENTIFIC NAME						
1	PONGAM		6	1	14	12		
2	PONGAM		16	1	16	25		
3	PONGAM		8	1	15	15		
4	PALM		15	1	40	8		
5	PONGAM		12	1	20	15		
6	PONGAM		24	1	20	20		
7	PONGAM		24	1	20	20		
8	PONGAM		8	1	18	15		
9	PALM		15	1	40	7		
10	PONGAM		8	1	14	20		
11	PONGAM		8	1	17	20		
12	PONGAM		8	1	24	25		
13	PONGAM		8	1	24	25		
14	PONGAM		14	1	29	20		
15	PONGAM		8	1	17	17		
16	PONGAM		14	1	25	30		
17	PONGAM		6	1	20	15		
18	PONGAM		24	1	20	26		
19	CYPRESS		24	1	30	33		
20	PONGAM		8	1	25	10		
21	PONGAM		8	1	6	6		
22	PONGAM		8	1	15	8		
23	REMOVED							
24	REMOVED							
25	REMOVED							
26	REMOVED							
27	REMOVED							
28	REMOVED							
29	REMOVED							
30	REMOVED							
31	REMOVED							
32	FICUS		60	1	40	35		
33	FICUS		48	1	40	20		
34	REMOVED							
35	PONGAM		6	1				

TREE NO. ON SURVEY	SPECIES		TRUNK DIA. AT BREAST HEIGHT INCHES	# OF TRUNKS	TREE HEIGHT FEET	CANOPY SPREAD FT2	CANOPY (SF)	CONDITION
	COMMON NAME	SCIENTIFIC NAME						
36	PIGEON PLUM		1	1	6	3		
37	PIGEON PLUM		3	1	6	3		
38	PIGEON PLUM		2	1	6	3		
39	PIGEON PLUM		2	1	6	3		
40	PIGEON PLUM		2	1	6	3		
41	PIGEON PLUM		1	1	6	3		
42	PIGEON PLUM		2	1	6	3		
43	PIGEON PLUM		2	1	6	3		
44	PIGEON PLUM		3	1	6	3		
45	PIGEON PLUM		2	1	6	3		
46	PIGEON PLUM		2	1	6	3		
47	PIGEON PLUM		2	1	6	3		
48	PIGEON PLUM		2	1	6	3		
49	PIGEON PLUM		2	1	6	3		
50	PIGEON PLUM		2	1	6	3		
51	PIGEON PLUM		2	1	6	3		
52	PIGEON PLUM		2	1	6	3		
53	PIGEON PLUM		2	1	6	3		
54	PIGEON PLUM		3	1	6	3		
55	PIGEON PLUM		2	1	6	3		
56	PIGEON PLUM		2	1	6	3		
57	PIGEON PLUM		2	1	6	3		
58	PIGEON PLUM		2	1	6	3		
59	PIGEON PLUM		1	1	6	3		

LEGEND:

CKD CHECKED BY
 CONC CONCRETE
 DWN DRAWN BY
 FB/PG FIELD BOOK AND PAGE
 SIR SET 5/8" IRON ROD & CAP #6448
 SNC SET NAIL AND CAP #6448
 FIR FOUND IRON ROD
 FIP FOUND IRON PIPE
 FNC FOUND NAIL AND CAP
 FND FOUND NAIL & DISC
 P.B. PLAT BOOK
 M/D.C.R. MIAMI/DADE COUNTY RECORDS
 -X- CHAIN LINK/ WOOD FENCE
 -E- OVERHEAD UTILITY LINE
 MLP METAL LIGHT POLE
 WM WATER METER
 TSB TRAFFIC SIGNAL BOX
 WPP WOOD POWER POLE
 FDH FOUND DRILL HOLE
 ALTA AMERICAN LAND TITLE ASSOCIATION
 ACSM AMERICAN CONGRESS ON SURVEYING & MAPPING
 ORB OFFICIAL RECORDS BOOK

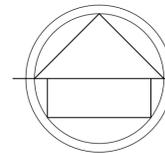
NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. EFFECTIVE DATE: JULY 29, 2014, REVISED: AUGUST 26, 2014, REVISED: SEPTEMBER 2, 2014. (FILE NUMBER: FL246579/FL-12858-14)
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- BENCHMARK REFERENCE: MIAMI/DADE COUNTY BENCHMARK W-310 ELEVATION=5.47'
- BEARINGS SHOWN HEREON ARE ASSUMED.

SCHEDULE B-II REVIEW:

- ITEM #13 - TERMS, CONDITIONS AND PROVISIONS PER ORB 29096, PG. 897.(AFFECTS/NOT PLOTTABLE)
- ITEM #14 - TERMS, CONDITIONS AND PROVISIONS PER ORB 29096, PG. 1000.(AFFECTS/NOT PLOTTABLE)
- ITEM #15 - RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS PER P.B. 2, PG. 81, M/D.C.R.(AFFECTS/PLOTTED)
- ITEM #16 - EASEMENTS PER DEED BOOK 370, PAGE 171, M/D.C.R.(COULD NOT ACCESS DOCUMENT)
- ITEM #17 - TERMS AND CONDITIONS OF UNRECORDED PARKING LOT LICENSE AGREEMENT WITH VIP'S PARKING SYSTEM INC, DATED SEPTEMBER 6, 2012.(AFFECTS/NOT PLOTTABLE)
- ITEM #18 - TERMS, CONDITIONS AND PROVISIONS PER ORB 22540, PG. 2804, AS MODIFIED IN ORB 27862, PG. 3999, M/D.C.R.(AFFECTS/NOT PLOTTABLE)
- ITEM #19 - RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS PER P.B. 28, PG. 34, M/D.C.R.(DOES NOT AFFECT/NOT PLOTTED)

ZONING TABLE		
CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT		
	ZONING REGULATIONS	ACTUAL
MINIMUM FRONT SETBACK	5 FEET	N/A
MINIMUM SIDE INTERIOR SETBACK	5 FEET	N/A
MINIMUM STREET SIDE SETBACK	5 FEET	N/A
REAR SETBACK	5 FEET	N/A
MAXIMUM HEIGHT	5 STORIES	N/A
REGULAR PARKING SPACES	N/A	55
HANDICAP SPACES	N/A	3



ALTA/ACSM LAND TITLE SURVEY



LOCATION MAP (NTS)

SURVEYOR'S CERTIFICATION

ALTON ROAD DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY
 PNC NATIONAL BANK, NATIONAL ASSOCIATION
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN MIAMI/DADE COUNTY, FLORIDA (ACCORDING TO TITLE SEARCH REPORT; FILE NUMBER: FL246579/FL-12858-14, EFFECTIVE DATE: JULY 29, 2014, REVISED: AUGUST 26, 2014, REVISED: SEPTEMBER 2, 2014), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 12, 13, 14, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

____ THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 10/23/14 FOR THE FIRM BY: *Richard E. Cousins*

RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
 CRESCENT HEIGHTS

709 ALTON ROAD
 MIAMI BEACH, FLORIDA

ALTA/ACSM LAND TITLE SURVEY

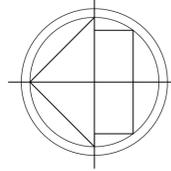
REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY/TOPO SURVEY	03/11/14	DATA/COLL	AM	REC
UPDATE TO ALTA / ACSM LAND TITLE SURVEY STANDARDS	07/19/14	DATA/COLL	AM	REC
REVISED CERTIFICATION	08/26/14		REC	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/04/14		JD	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/10/14		JD	REC
UPDATE SURVEY	10/23/14	SKETCH	REC	REC

PROJECT NUMBER : 7247-14

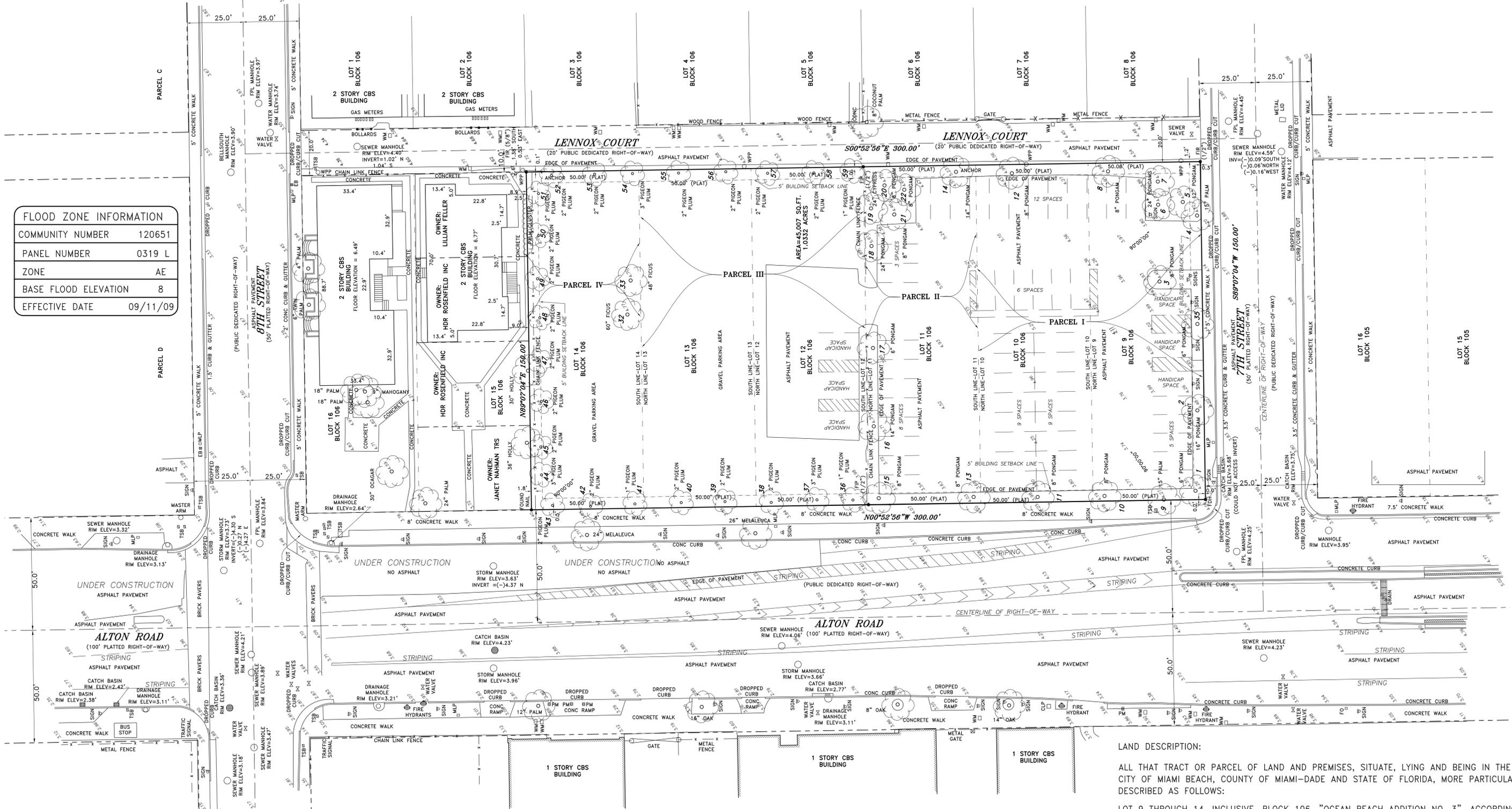
SCALE : 1" = 20'

SHEET
 1 OF 2
 SHEETS

ALTA/ACSM LAND TITLE SURVEY



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120651
PANEL NUMBER	0319 L
ZONE	AE
BASE FLOOD ELEVATION	8
EFFECTIVE DATE	09/11/09



LAND DESCRIPTION:
 ALL THAT TRACT OR PARCEL OF LAND AND PREMISES, SITUATE, LYING AND BEING IN THE CITY OF MIAMI BEACH, COUNTY OF MIAMI-DADE AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 LOT 9 THROUGH 14, INCLUSIVE, BLOCK 106, "OCEAN BEACH ADDITION NO. 3", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

REVISE THE TREE NAMES FOR TREES 36 - 59 12/02/14 ----- REC REC

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY/TOPO SURVEY	03/11/14	DATA/COLL	AM	REC
UPDATE TO ALTA / ACSM LAND TITLE SURVEY STANDARDS	07/19/14	DATA/COLL	AM	REC
REVISED CERTIFICATION	08/26/14	-----	REC	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/04/14	-----	JD	REC
REVISED TO REFLECT REVISED TITLE COMMITMENT	09/10/14	-----	JD	REC
UPDATE SURVEY	10/23/14	SKETCH	REC	REC

PROJECT NUMBER : 7247-14

SCALE : 1" = 20'

SHEET
 2
 OF
 2
 SHEETS

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
 CRESCENT HEIGHTS

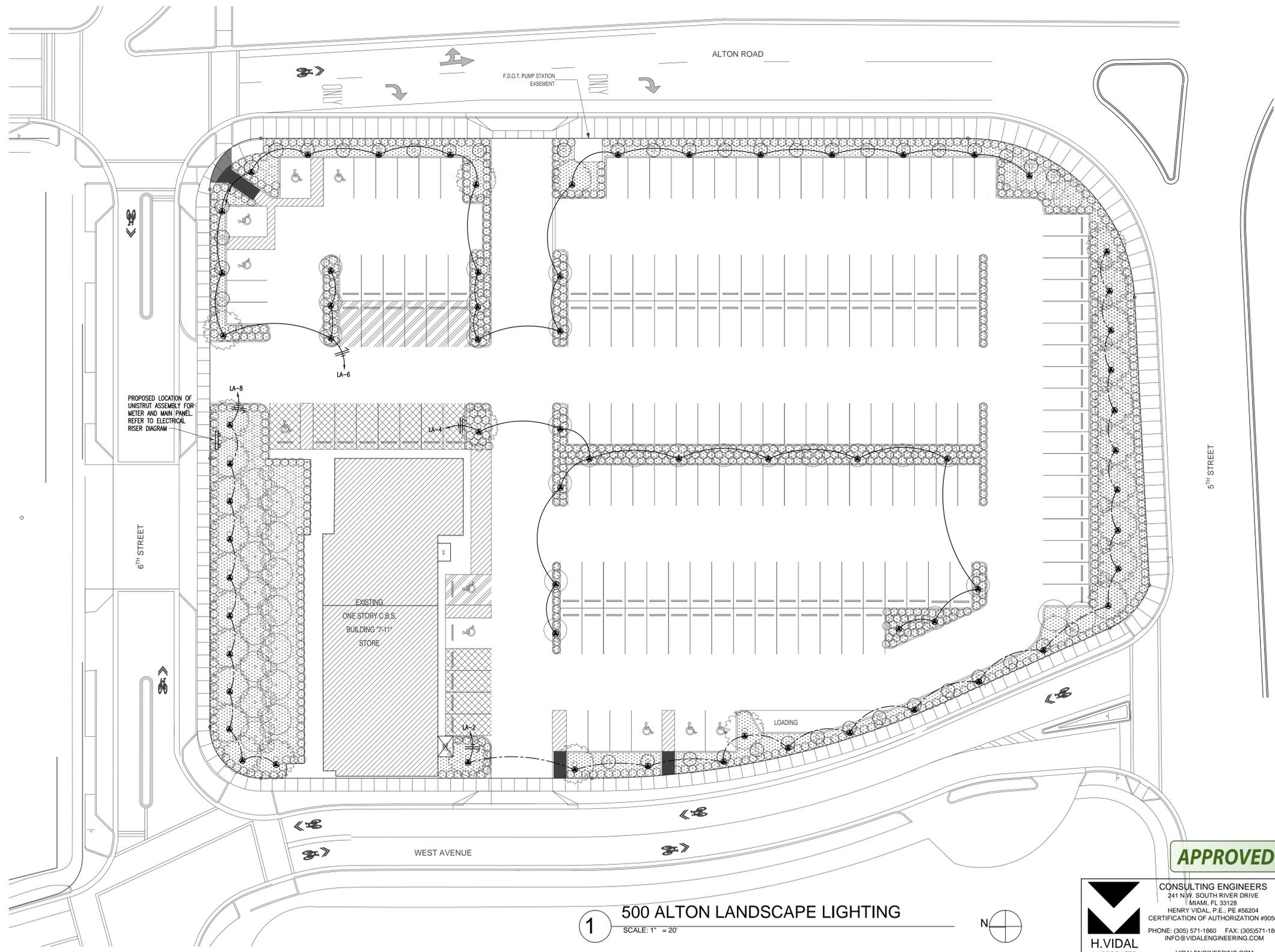
709 ALTON ROAD
 MIAMI BEACH, FLORIDA

ALTA/ACSM LAND TITLE SURVEY

- LANDSCAPE LIGHTING SPECIFICATIONS**
- All work shall comply with these drawings, the latest version of the Florida Building Code, and all Applicable Codes and Regulations. Code Compliance is the complete responsibility of the Contractor and any modifications required shall be performed at no additional charge.
 - The Contractor is to familiarize himself with and conform all Drawings, Specifications, and existing materials and conditions prior to Bid and commencing the work. Notify the Landscape Architect immediately of any discrepancies. The contractor shall include in his Bid all costs necessary for a complete and operational installation and shall visit the job site prior to bid date.
 - All materials furnished on the job site shall be new and stored in such a manner as to protect them from the elements.
 - Lighting plans are schematic in nature. Fixture symbols are not to scale. Verify exact location and orientation of each fixture in the field with Landscape Architect (L.A.). Verify all quantities, dimensions, and conditions in the field. Confirm fixture finishes & specs with Landscape Architect before purchase.
 - All Contractors are to keep the job site clean and free of debris at all times.
 - Do not scale drawings. Dimensions and/or existing conditions govern. Notify the Landscape Architect immediately of any discrepancies. Stop work in areas of discrepancy until all issues are resolved.
 - All work shall be in strict accordance with the best practices of the construction trade.
 - Contractor to coordinate programming, controls, and electrical with MEP & L.A.
 - All details, sections, diagrams, etc. are intended to be typical and shall be construed to apply to any similar situation elsewhere in the project.
 - The Contractor shall verify all utilities and placement locations of pipe, conduit, equipment, ductwork, etc., prior to submitting Bid to the Owner.
 - Where conflicts and/or variances exist in the Drawings or Specifications, the arrangement of better quality, greater quantity, and higher cost shall be included in the Bid price. The Landscape Architect will have the final decision regarding item and manner in which work shall be installed.
 - All fixtures to be UL-listed and wet-rated.
 - Owner cannot guarantee that internal changes have not occurred since these Drawings have been prepared. It is the responsibility of the Contractor to field check all dimensions and conditions.
 - Any penetrations or modifications to structural steel or concrete must be coordinated with the project's Structural Engineer. All lumber in contact with concrete or masonry shall be pressure treated.
 - The Contractor shall check in with the on-site Construction Manager prior to start of work. During construction, the Contractor shall coordinate all work with the Owner and the on-site Construction Manager.
 - The Contractor shall verify the locations of site utilities prior to the commencement of work. Existing utilities shall be protected or rerouted as required to accommodate the new work.
 - The Contractor shall inspect the surfaces and substrate conditions on which the work shall be performed. Beginning of work means acceptance of existing surfaces, substrates and conditions.
 - Prior to final acceptance, Contractor shall adjust all lighting to Owner's satisfaction.
 - The Landscape Architect shall have final decision as to whether work of poor quality and/or substandard workmanship shall be repaired or replaced.
 - The Contractor shall arrange for all building permits and inspections by the building authorities. Cost of all permits, fees, and special inspections shall be in the Bid wherever necessary.
 - The Contractor shall provide proof of insurance and shall not send or employ for this project any laborers or subcontractors. Insurance shall provide protection against public liability and property damage for duration of work.
 - The Contractor shall provide a minimum of one full year warranty for any and all labor and materials they provide, install, or apply.
 - The Contractor shall verify the condition of all existing materials, system, or devices prior to reuse or connection to such materials, systems or devices. Contractor shall bear the full responsibility for reuse of such items and shall provide a minimum 1 year guarantee for all work, materials, and system.
 - These drawings and documents, as instruments of service, are the property of the Landscape Architect and may not be used or reproduced in any manner without his/her express consent.
 - It shall not be the intent of these plans and/or specifications to show every minor detail of construction. The Contractor shall be expected to furnish and install all items for a complete system and provide all requirements necessary for equipment to be placed in proper working order.
 - All conduit runs are shown diagrammatically. Exact routing shall be determined in the field, unless otherwise noted.
 - As-Built drawings shall be furnished to the Owner upon completion of work.

LIGHT FIXTURE SCHEDULE

SYMBOL	FIXTURE TYPE	QUANTITY	BRAND	NAME/MODEL NO.	MATERIAL	MOUNT	WATTAGE	LAMP	COLOR	OPTICS	VOLTAGE	FINISH	OTHER
▲	SPOT LIGHT	68	AURORA LIGHT	HSL-16 TELLURIDE	BRASS/BR	GROUND STAKE (6'S)	7.5 WATT (7)	LED/2700K (270)	INCANDESCENT	HEMIUM 25° (M)	12V	TBD	SHOULD BE STRAIGHT 300



ARCHITECT:
URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 406
 MIAMI BEACH, FL 33139
 (786) 246-4857
 (786) 768-2537, F

STRUCTURAL ENGINEER
YHCE ENGINEERING
 12151 SW 128 COURT, S.104
 MIAMI, FL 33186
 (305) 969-YHCE
 (305) 969-9453, F

M.E.P. ENGINEERS:
H.VIDAL & ASSOCIATES
 241 N.W. SOUTH RIVER DR.
 MIAMI, FL 33128
 (305) 571-1860
 (305) 571-1861, F

CIVIL ENGINEERS:
COASTAL SYSTEMS INT'L, INC.
 464 SOUTH DIXIE HWY.
 CORAL GABLES, FL 33146
 (305) 661-3655
 (305) 661-1914, F

GENERAL CONTRACTOR:

500 ALTON PARKING LOT
 500 ALTON RD :: MIAMI BEACH, FL 33139

SEAL

HENRY VIDAL, P.E.
 PE #56204

REVISIONS

1410
 PROJECT NO.

03/09/2015
 DATE

AR / HO
 DRAWN / CHECKED

LANDSCAPE LIGHTING PLAN 500 ALTON
E-100

APPROVED

CONSULTING ENGINEERS
 241 N.W. SOUTH RIVER DRIVE
 MIAMI, FL 33128
 HENRY VIDAL, P.E., PE #56204
 CERTIFICATION OF AUTHORIZATION #9056
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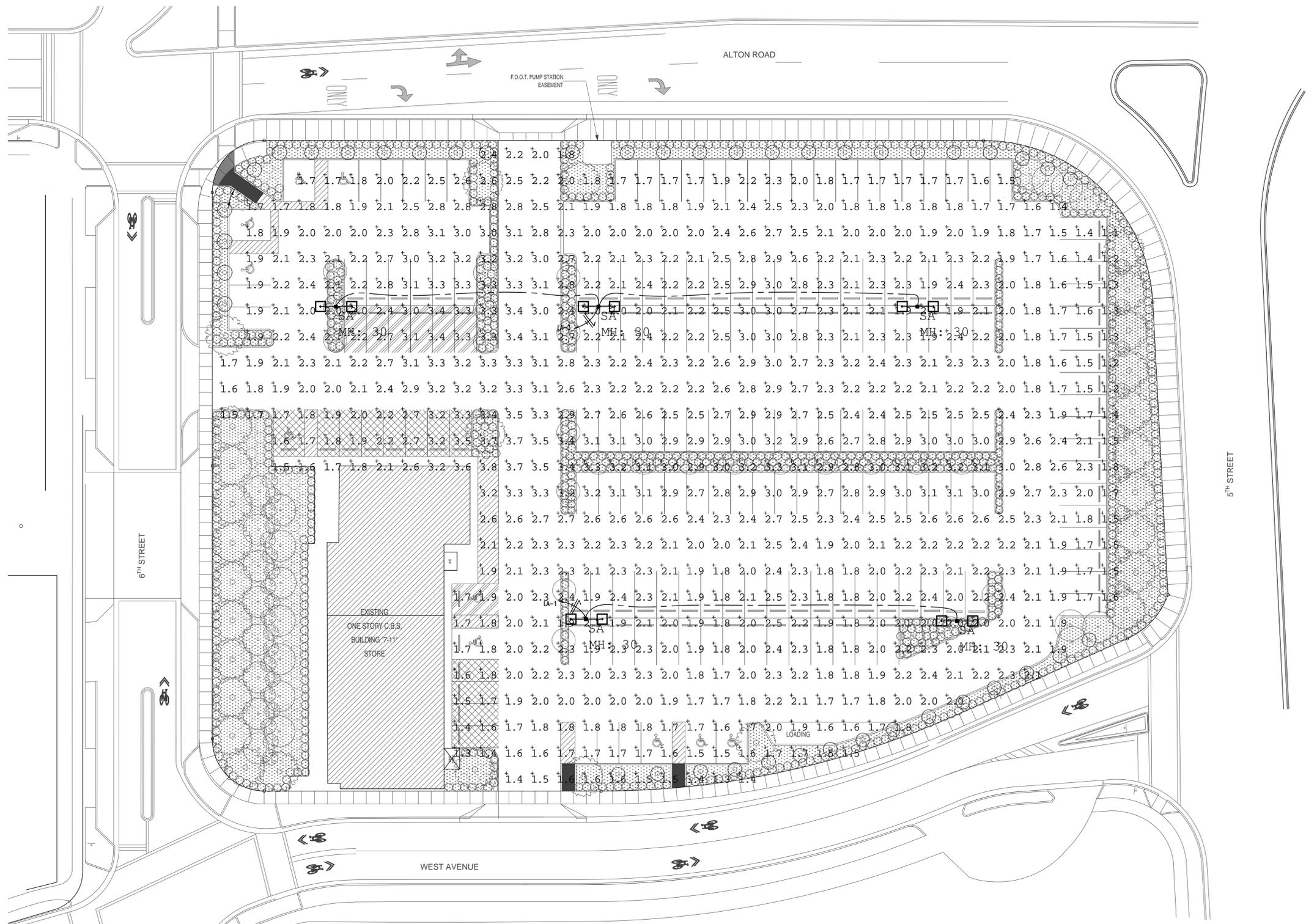
500 ALTON LANDSCAPE LIGHTING
 SCALE: 1" = 20'



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The architectural design and detail drawings for this building and/or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.



Luminaire Schedule								
Project: Project_1								
Symbol	Qty	Label	Description	Lumens/Lamp	LLD	LDD	LLF	Total Watts
	5	SA	GARDCO: ECF-2-5-21SLA-641A-NW @ POLE 30FT AFG	N.A.	1000	1000	1000	2103

Calculation Summary					
Project: Project_1					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	2.26	3.8	1.1	2.05	3.45

APPROVED

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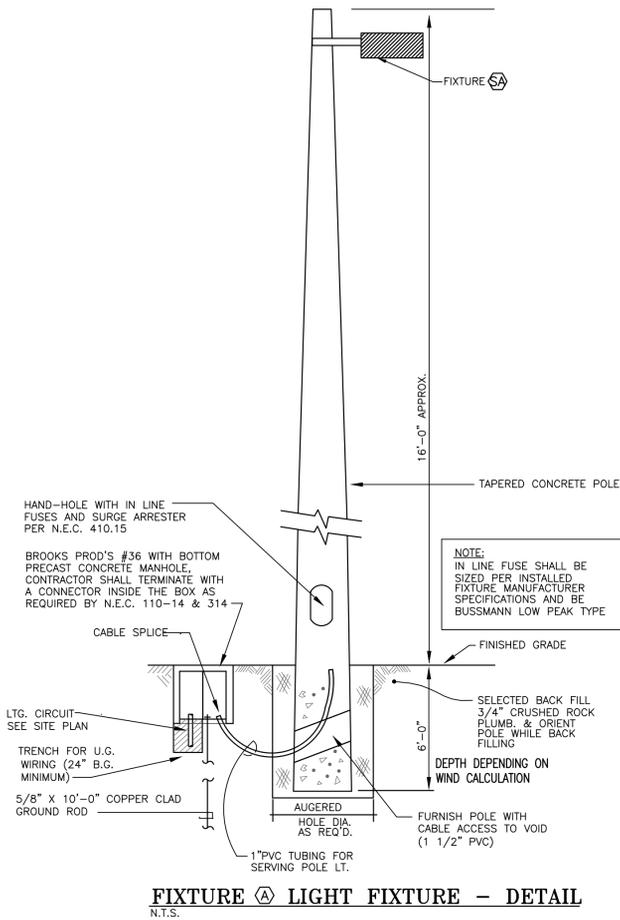
PARKING LOT

E-200

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

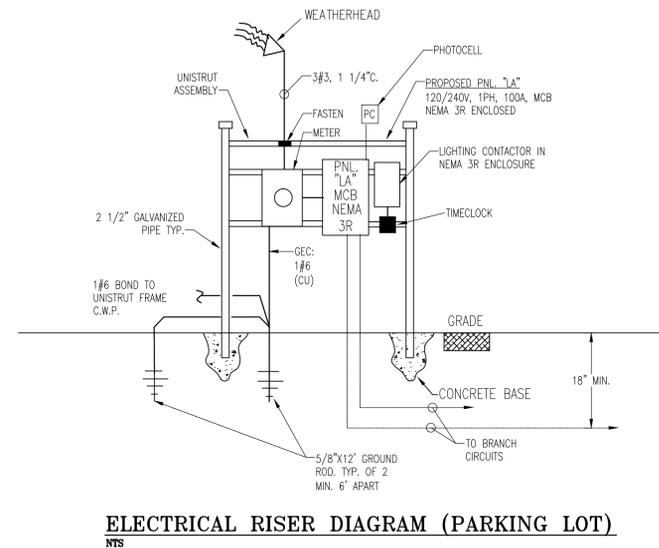
PANEL- LA		240 VOLTS, 1 Ø 3 WIRE		NEUTRAL		MAIN BKR.					
LOCATION: <input type="checkbox"/> FLUSH <input type="checkbox"/> TOP FEED <input checked="" type="checkbox"/> SURFACE <input checked="" type="checkbox"/> BOTTOM FEED		100 AMP BUS		<input type="checkbox"/> LUGS ONLY NEMA 3R		FRAME 100 A. TRIP 100 A. <input type="checkbox"/> SHUNT TRIP					
<input checked="" type="checkbox"/> GROUND BUS		10K AIC @ 240 VOLTS		<input checked="" type="checkbox"/> FULL <input type="checkbox"/> 50% <input type="checkbox"/> 200%							
LOAD DESCRIPTION	WIRE & CONDUIT	POLE	AMP TRIP	CKT. No.	LOAD (KVA)	CKT. No.	AMP TRIP	POLE	WIRE & CONDUIT	LOAD DESCRIPTION	
◀ PARKING LTG.	#10,3/4"	1	20	.8	1.5	2	.7	20	#10,3/4"	LANDSCAPE LTG.	
▶ PARKING LTG.	#10,3/4"			.8	3	4	.7	20	#10,3/4"	LANDSCAPE LTG.	
SPARE				.5	5	6	.6	20	#10,3/4"	LANDSCAPE LTG.	
SPACE					7	8	.8	20	#10,3/4"	LANDSCAPE LTG.	
					9	10				SPACE	
					11	12					
					13	14					
					15	16					
					17	18					
					19	20					
FED FROM: METER				3.1 2.8						NOTES:	
				TOTAL CONNECTED LOAD: 5.9 KVA; 26 AMPS.							
				TOTAL DEMAND LOAD: - KVA; - AMPS.							

▶ VIA 12 POLE, 20 AMP LIGHTING CONTACTOR CONTROLLED BY ASTRONOMICAL TIMELOCK/PHOTOCELL.



POLE HEIGHT	MINIMUM EMBEDMENT "A"	
10'-0"	4'-6"	BASED ON WIND LOAD CALCULATION
20'-0"	5'-6"	
30'-0"	8'-6"	
40'-0"	11'-0"	

NOTE: POLE AND BASE TO COMPLY WITH FLORIDA BUILDING CODE WIND LOADS. PROVIDE SIGNED AND SEALED DRAWINGS BY A FLORIDA REGISTERED STRUCTURAL ENGINEER.



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REVISIONS

NO.	DATE	DESCRIPTION

1410 PROJECT NO.

03/09/2015 DATE

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DETAILS & SCHEDULES

E-300

APPROVED



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