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ARCHITECTURE

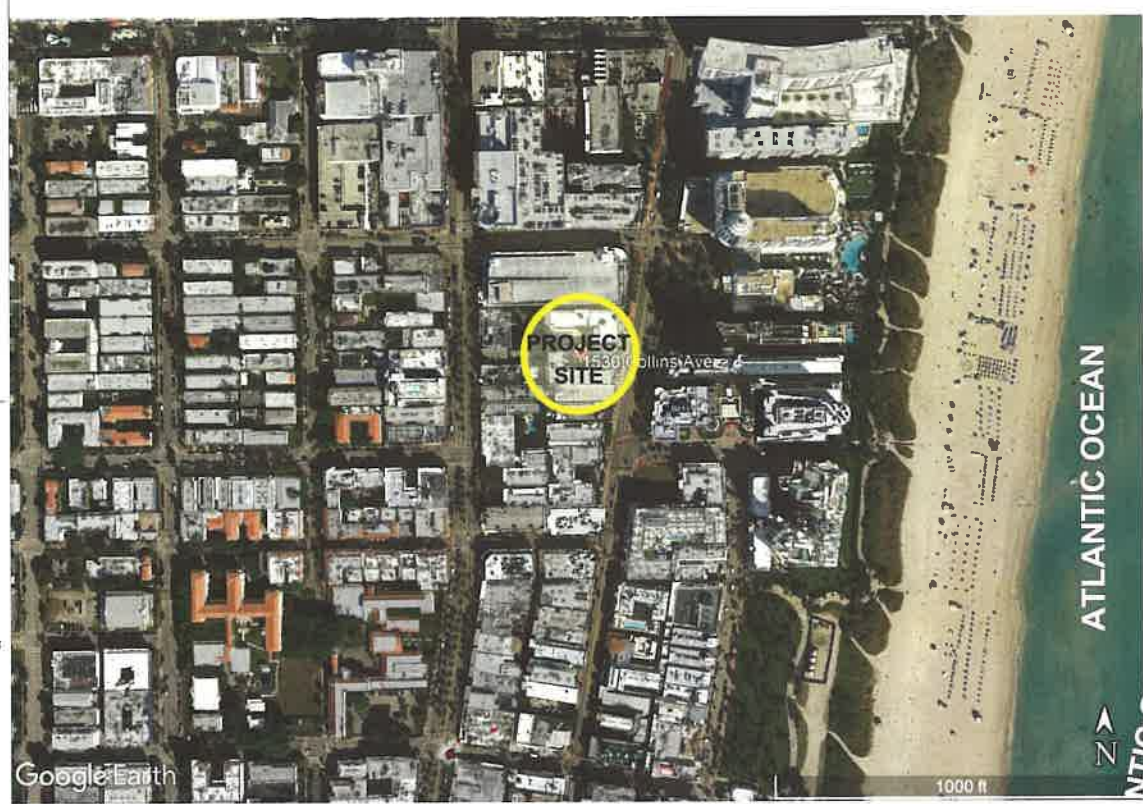
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AQUA HOTEL
MIAMI BEACH

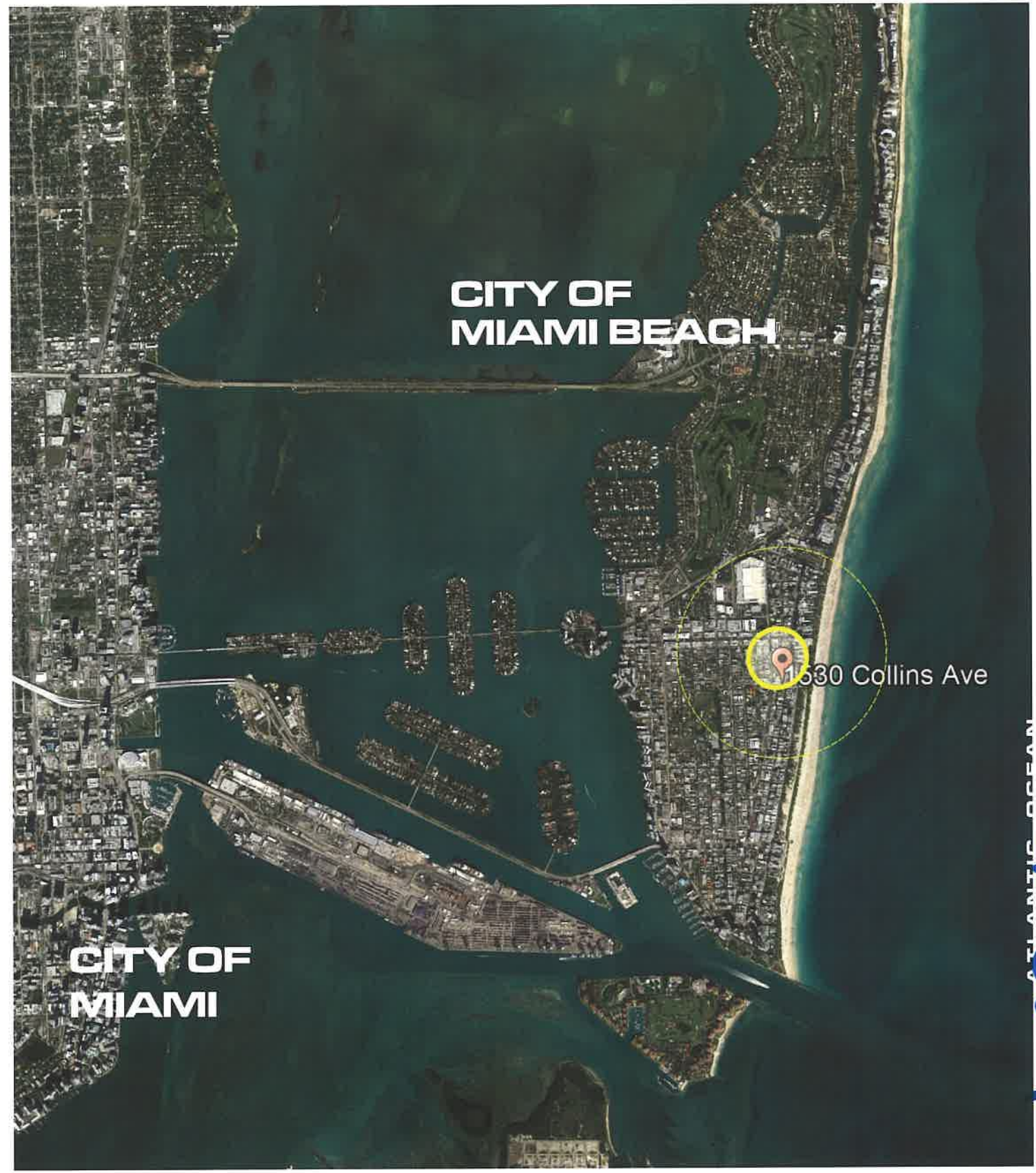
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CITY OF MIAMI BEACH



MIAMI BEACH

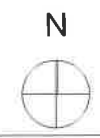


CITY OF MIAMI

CITY OF MIAMI BEACH

1530 Collins Ave

LOCATION PLANS | 1
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HPB SUBMITTAL
Date
11/12/2019
Scale
AS SHOWN
Project No.
1824
Sheet Name
LOCATION PLAN
Sheet No.

A-001

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- LEGEND
- A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CB = Catch basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chatahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Ditch
D = Diameter
DH = Drill Hole
DME = Drainage & Maintenance Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
F.P.L. = Florida Power & Light
F.I.P. = Found Iron Pipe
FD = Found
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat Book
PC = Point of Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
P.L. = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference Monument
P.R.C. = Point of Reverse Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor
RAW = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
D = Ditch
Elevations Taken

g) All roads shown herein are public unless otherwise noted.
h) Distance along boundary are recorded and measured unless otherwise noted.
i) The graphic portions of this document are intended to be displayed at the graphic scale as depicted. Said scale may be altered in reproductions and as such, should be considered when used for any other purpose.
j) Accuracy: The expected use of land is classified in the minimum technical standards (517-FAC) to "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed traverse is 1 foot in 7,500 feet.
k) Contact the appropriate authorities prior to any design work or excavation in the basin described herein for building, zoning information and utility location.

NOTE:
a) All encumbrances and encroachments shown herein are of the apparent nature, based on legal ownership as shown on the plat. This survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
b) Under no circumstances shall this survey be used for any other purpose.
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p) Under no circumstances shall this survey be used for any other purpose.
q) Under no circumstances shall this survey be used for any other purpose.
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u) Under no circumstances shall this survey be used for any other purpose.
v) Under no circumstances shall this survey be used for any other purpose.
w) Under no circumstances shall this survey be used for any other purpose.
x) Under no circumstances shall this survey be used for any other purpose.
y) Under no circumstances shall this survey be used for any other purpose.
z) Under no circumstances shall this survey be used for any other purpose.

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

This property described as:
Lots 4 and 5, Block 57,
FISHER'S FIRST SUBDIVISION OF ALTON BEACH,
according to the Plat thereof
as recorded in Plat Book 2, Page 77,
of the Public Records of Miami-Dade County, Florida.

CERTIFIED TO:
Aqua Hotel

Address:
1530 Collins Avenue, Miami Beach, FL 33139

Lot area = ± 20,571 sq.ft. (± 0.472 acres)

Elevations shown refer to N.G.V.D. 1929.
BM # D-148-R (MIAMI-DADE)
Elevation = 6.35 ft (N.G.V.D.),

Bearing, if any, shown based on Assumed meridian (reference) SELY E S09°33'59"W

REVISIONS:				
06/17/19 ELEVATIONS CHANGED TO NGVD 1929				
11/06/19 LOT AREA ADDED 14				
FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
AE	120651	0317	L	
F.I.R.M. DATE	F.I.R.M. INDEX	BASE ELEV.		
09/11/09	09/11/09	+ 8 FT N.G.V.D.		

TOPOGRAPHIC SURVEY
I HEREBY CERTIFY that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 53-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

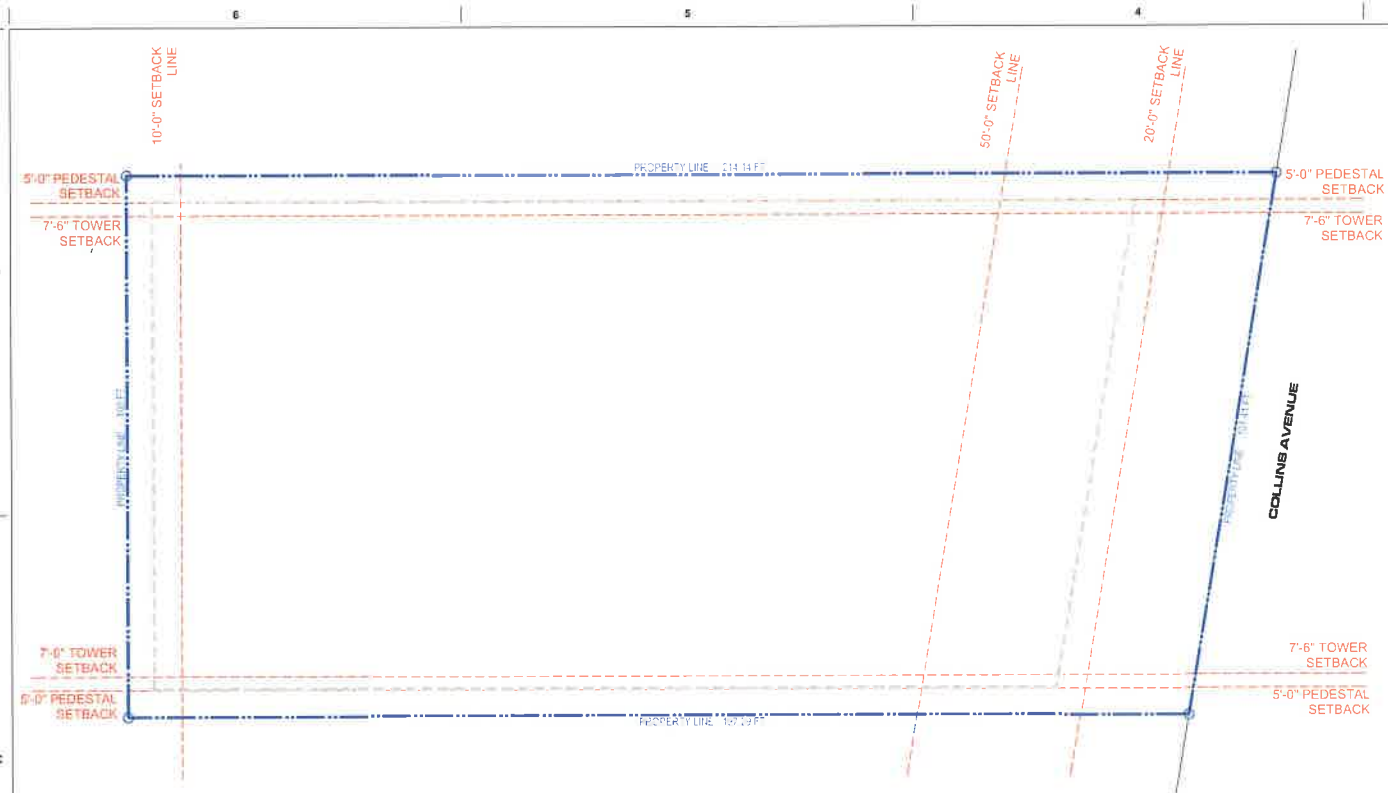
RENE AGUIEVES VIVES 04/01/19
PROFESSIONAL SURVEYOR AND MAPPER No. 4327, State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 03/27/19 Scale: 1"=20' Drawn by: P.A. Drwg. No. 19-20984

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ZONING SETBACKS PLAN | 3
SCALE 1/16"=1'-0"

ROOMS BREAKDOWN

		AREA SF	FLOORS					TOTAL PER ROOM TYPE
			L1	L2	L3	L4	L5	
PARK AV. HOTEL								
Standard Rooms								
Courtyard Room Type A		331.25	1	2				3
Courtyard Room Type B		302.75	4	4				8
Courtyard Room Type C		303.25	2	2				4
Courtyard Room Type D		330.75		5				5
Room Type E		280.75	8	8	8	8	8	40
Room Type F		277.5	1	1				2
Room Type G		278.75	1	1				2
Room Type H		265	1	1	1	1	1	5
Room Type I		276	1	1	1	1	1	5
Courtyard Room Type J		319.25		1				1
Courtyard Room Type K		302.00		1				1
Courtyard Room Type L		250.75		1				1
Courtyard Room Type M		286.75		1				1
Room Type N		276			1	1	1	3
Room Type O		277.5			1	1	1	3
Room Type P		327.25			2	2	2	6
Room Type Q		312.25			2	2		4
Room Type R		364.25			2	2		4
Room Type S		318.75					2	2
TOTAL GUESTROOMS			19	29	18	18	16	100

HISTORIC STRUCTURE
NEW STRUCTURE

UNITS BREAKDOWN | 2
N.T.S.

1530 - MIAMI BEACH

Zoning Information			
1 Address:	1530 Collins Avenue Miami Beach, FL 33139		
2 Board and File Numbers:			
3 Folio Number(s):	02-3234-019-1070		
4 Year Constructed:	1953		
5 Based Flood Elevation:	8'-0" N.G.V.D.		
6 Adjusted grade (Flood+Grade/2):			
7 Lot width:	100 SF		
8 Minimum Unit Size (Hotel)	200 SF		
9 Existing use:	Hotel		
		Zoning District:	MXE - Mixed Use Entertainment
		Grade value in NGVD:	6.9' NGVD
		Lot Area:	20,500 sf = 0.4706 acres
		Lot Depth:	205'-10" 3/4 FT (average)
		Average Unit Size (Hotel)	N/A
		Proposed use:	Hotel

Building Data		Maximum	Proposed	Deficiencies
10 Height	50'-0"		50'-0"	
11 Number of Stories	N/A		5	
12 FAR - 2.0	41,000 SF		40,992 SF	
13 Gross square footage			59,705.25 SF	
14 Square Footage by use	N/A			
15 Number of units Residential	N/A			
16 Number of units Hotel	N/A		100	
17 Number of seats	N/A		102	
18 Occupancy load	N/A			

Setbacks		Required	Proposed	Deficiencies
Subterranean:				
19 Front Setback:	N/A			
20 Side Setback:	N/A			
21 Side Setback:	N/A			
22 Side Setback facing street:	N/A			
23 Rear Setback:	N/A			
At Grade Parking:				
24 Front Setback:	20'-0"		20'-0"	
25 Side Setback (South):	5'-0"		5'-0" (Existing)	
26 Side Setback (North):	5'-0"		5'-0" (Existing)	
27 Side Setback facing street:	N/A			
28 Rear Setback:	10'-0"		10'-0"	
Pedestal:				
29 Front Setback:	20'-0"		20'-0"	
30 Side Setback (South):	5'-0"		5'-0" (Existing)	
31 Side Setback (North):	5'-0"		5'-0" (Existing)	
32 Side Setback facing street:	N/A			
33 Rear Setback:	10'-0"		10'-0"	
Tower:				
34 Front Setback:	50'-0"		50'-0"	
35 Side Setback (South):	7'-6"		7'-6"	
36 Side Setback (North):	7'-6"		7'-6"	
37 Side Setback facing street:	N/A			
38 Rear Setback:	10'-0"		10'-0"	

Parking		Required	Proposed	Deficiencies
39 Parking district	District No. 1			
Total # of parking spaces		45.6 Parking Spaces (Per Sec. 130-32 (26) = 0.5 spaces per room) Existing Grand Fathered: 9		
40	Guestrooms, 91		0	46 (Impact Fee)
	guestrooms new construction @ 0.5 spaces/Room = 45.5 parking spaces			
41 Loading zones and Trash collection areas	2 (10'-0" x 20'-0" minimum over 50 units no more than 100- 2 loading spaces; over 100 no more than 200- 3 loading spaces)		0	2
42 Restaurant (Cap. 157 seats)excluded from calculation as it is located within existing building, Grandfathered		0	0	0
43 Bicycle Racks: Minimum short-term bicycle parking spaces = 1 per 10 units. Minimum long-term bicycle parking spaces = 1/10% employees	Short-term 10 Long-term 1		Short-term 10 Long-term 5	0

ZONING DATA | 1
N.T.S.

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HPB SUBMITTAL

Date

11/12/2019

Scale

AS SHOWN

Project No.

1824

Sheet Name

ZONING DATA

Sheet No.

A-003

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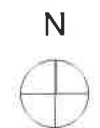


- = TALLER THAN 5 STORIES
- = BUILDINGS 4 to 5 STORIES TALL
- = BUILDINGS 2 to 3 STORIES TALL

BUILDING INDEX

BUILDING NAME	NUMBER OF STORIES
1 LOEWS MIAMI BEACH HOTEL	17 STORIES
2 LOEWS MIAMI BEACH HOTEL	10 STORIES
3 ROYAL PALM SOUTH BEACH HOTEL	13 STORIES
4 ROYAL PALM SOUTH BEACH HOTEL	15 STORIES
5 1501 COLLINS AVENUE	4 STORIES
6 1500 OCEAN DRIVE (RESIDENTIAL)	14 STORIES
7 1460 OCEAN Dr. (DRAKE CONDOMINIUM)	4 STORIES
8 CROWNE PLAZA - Z OCEAN HOTEL	4 STORIES
9 1451 OCEAN Dr. (CONDO BUILDING)	14 STORIES
10 EVA HOSTEL	4 STORIES
11 PARISIAN HOTEL	4 STORIES
12 1560 COLLINS AVE. (PARKING GARAGE)	5 STORIES
13 HYATT CENTRIC SOUTH BEACH HOTEL	10 STORIES
14 PARKING GARAGE	4 STORIES
15 LNR PROPERTY LLC	8 STORIES
16 RESIDENTIAL BUILDING	5 STORIES
17 PARKING GARAGE	5 STORIES
18 DREXEL 15 CONDOMINIUM	5 STORIES
19 COURTYARD BY MARRIOTT HOTEL	5 STORIES

SITE PLAN - CONTEXT | 1
N.T.S.

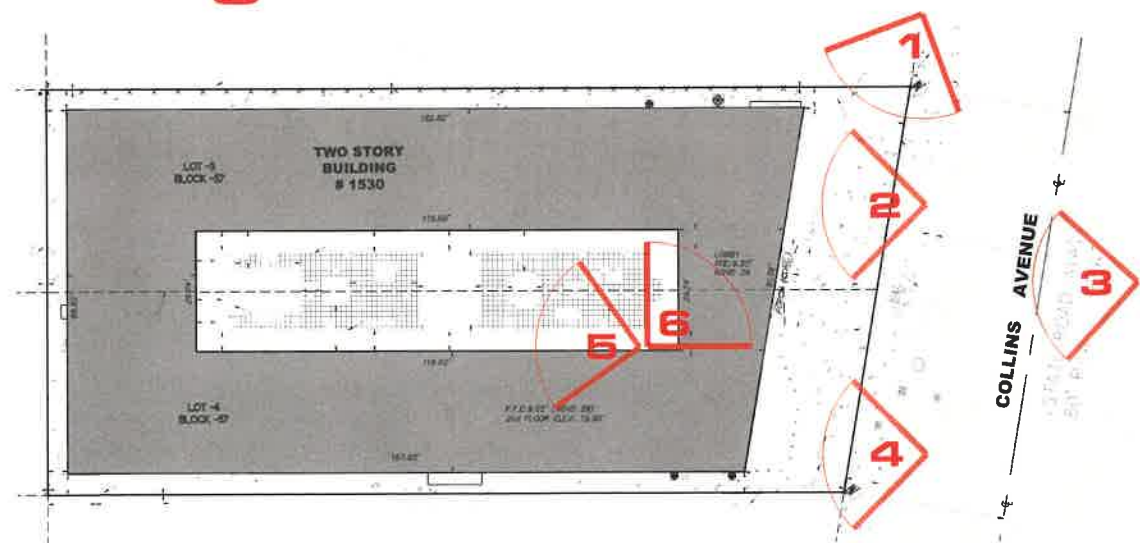


AQUA HOTEL
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PHOTOGRAPHIC STUDY - EXISTING CONDITIONS | 1



AGUA HOTEL

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Date: _____

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Sheet Name:

EXISTING BUILDING

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A-006



PHOTOGRAPHIC STUDY - EXISTING CONDITIONS | **EXISTING BUILDING** 1
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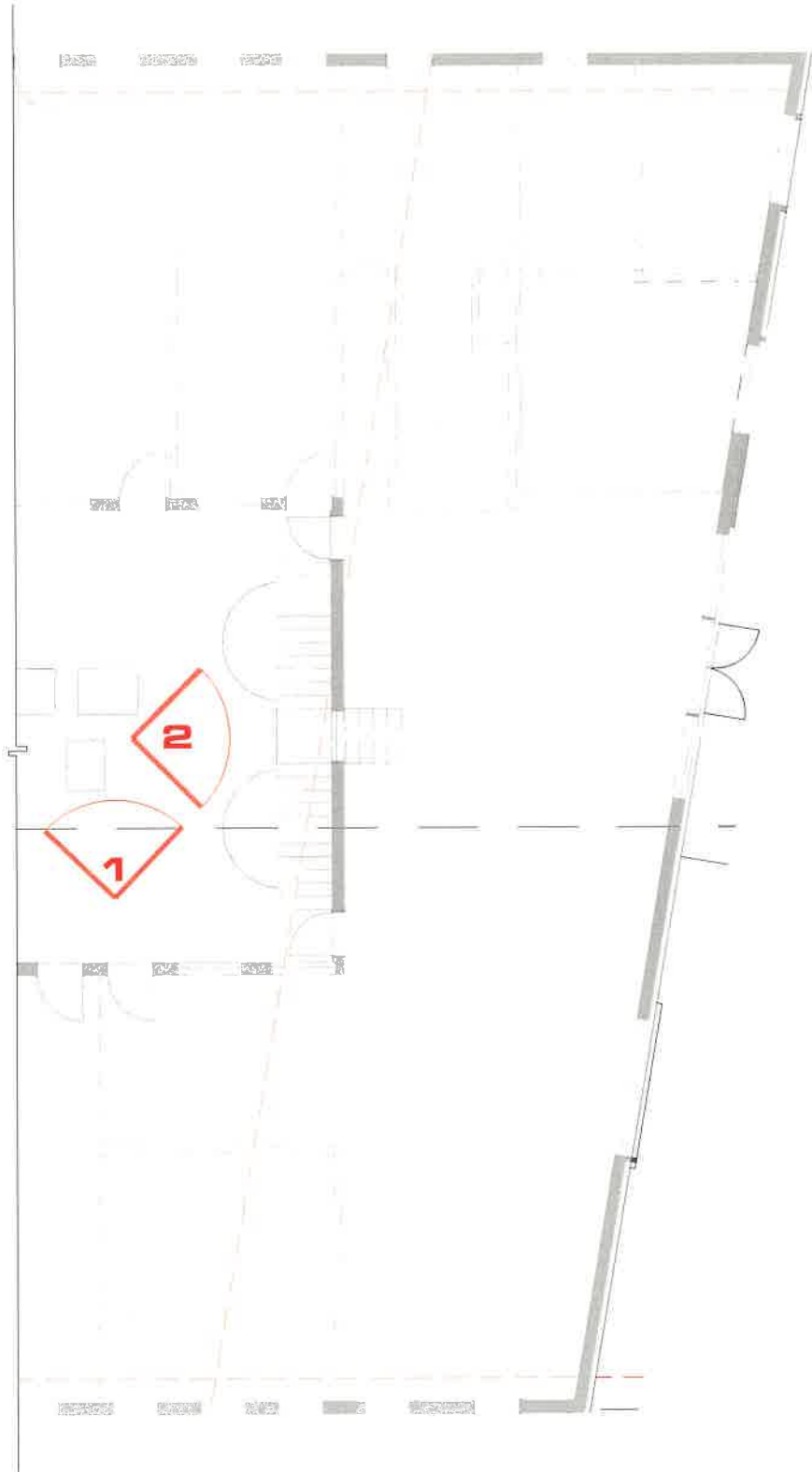
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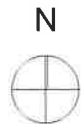
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2



EXISTING BUILDING
PHOTOGRAPHIC STUDY - EXISTING CONDITIONS | 1
N.T.S.



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Date

11/12/2019

Scale

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Project No.

1824

Sheet Name

EXISTING BUILDING

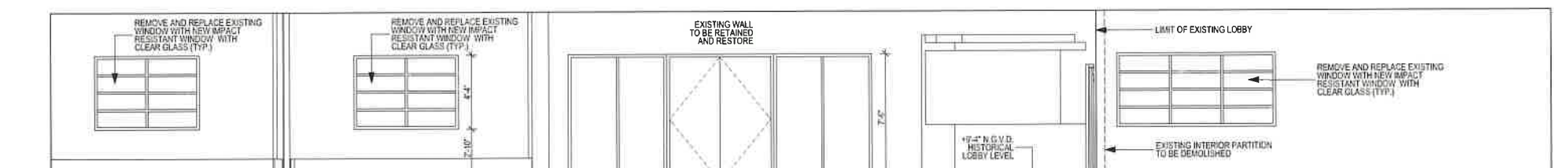
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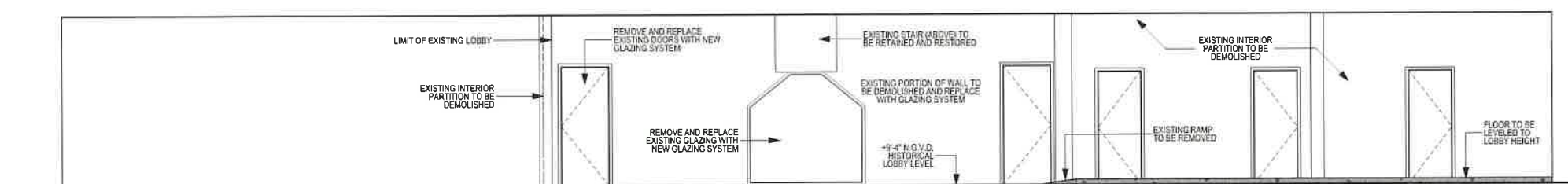
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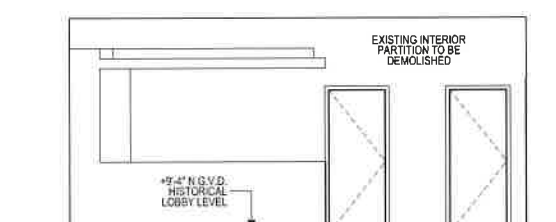
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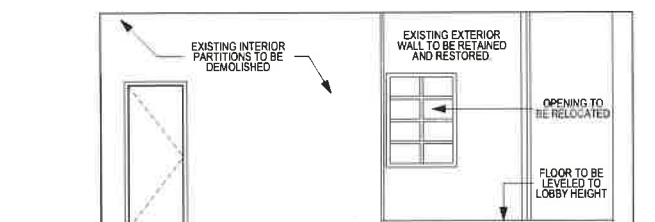
EXISTING LOBBY - INTERIOR ELEVATION 1
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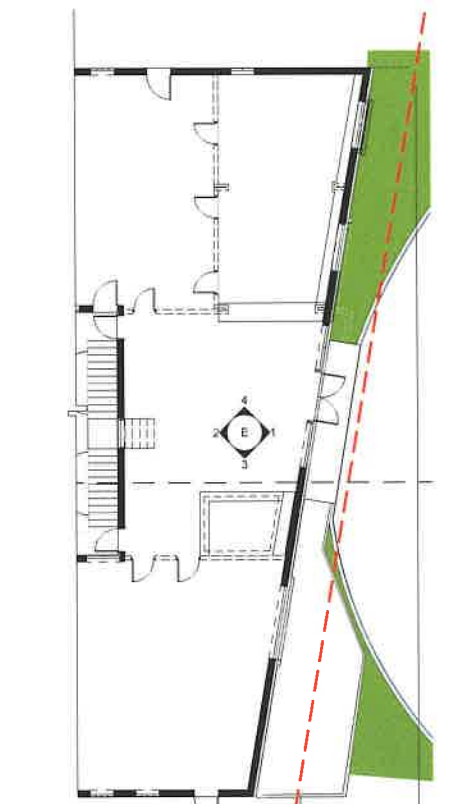
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SCALE 1/4"=1'-0"



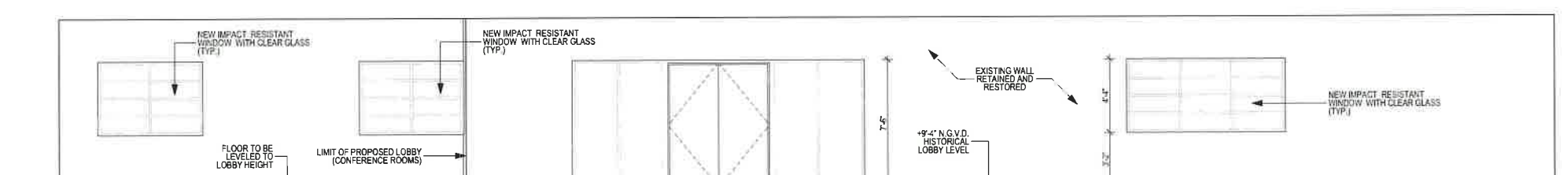
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INTERIOR ELEVATION 3
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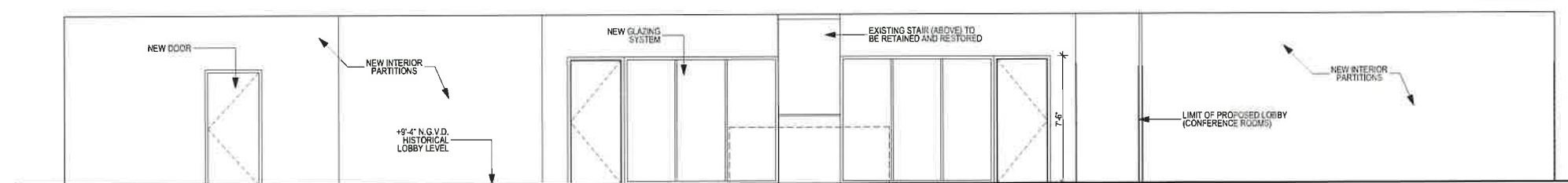
EXISTING LOBBY
INTERIOR ELEVATION 4
SCALE 1/4"=1'-0"



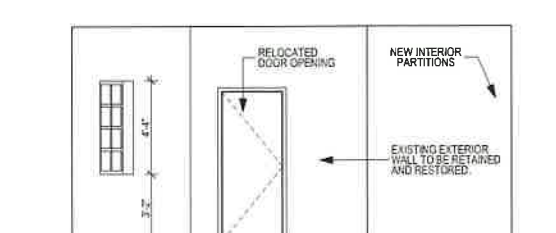
EXISTING LOBBY - FLOOR PLAN



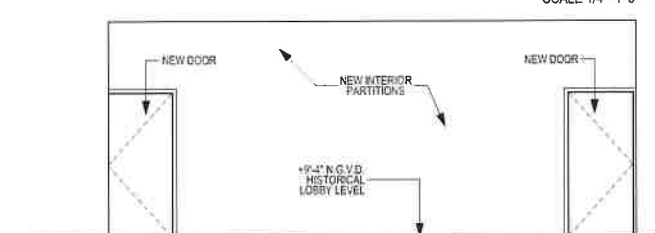
PROPOSED LOBBY - INTERIOR ELEVATION 1
SCALE 1/4"=1'-0"



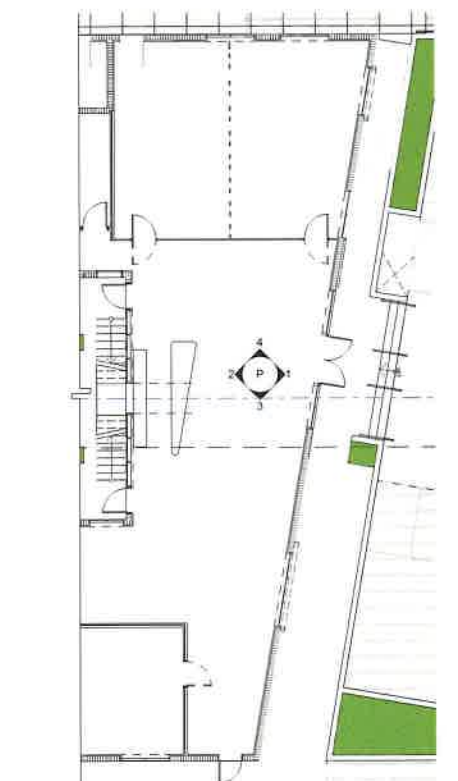
PROPOSED LOBBY - INTERIOR ELEVATION 2
SCALE 1/4"=1'-0"



PROPOSED LOBBY
INTERIOR ELEVATION 3
SCALE 1/4"=1'-0"



PROPOSED LOBBY
INTERIOR ELEVATION 4
SCALE 1/4"=1'-0"

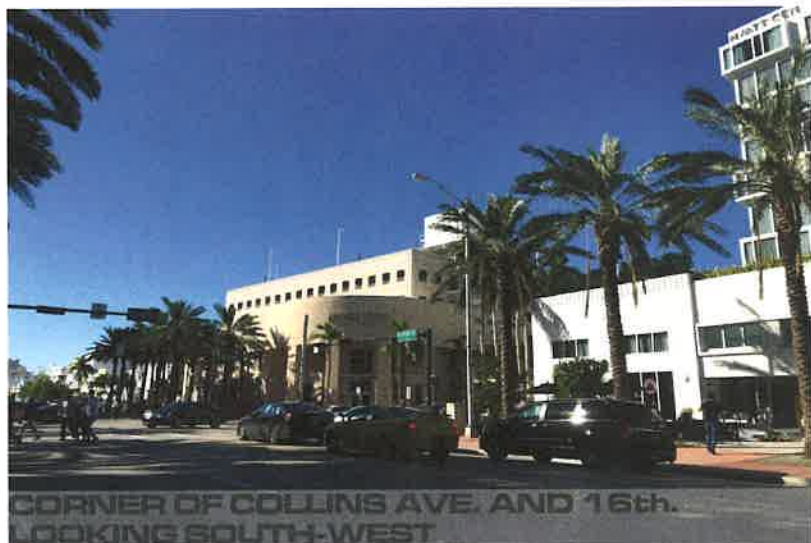


PROPOSED LOBBY - FLOOR PLAN

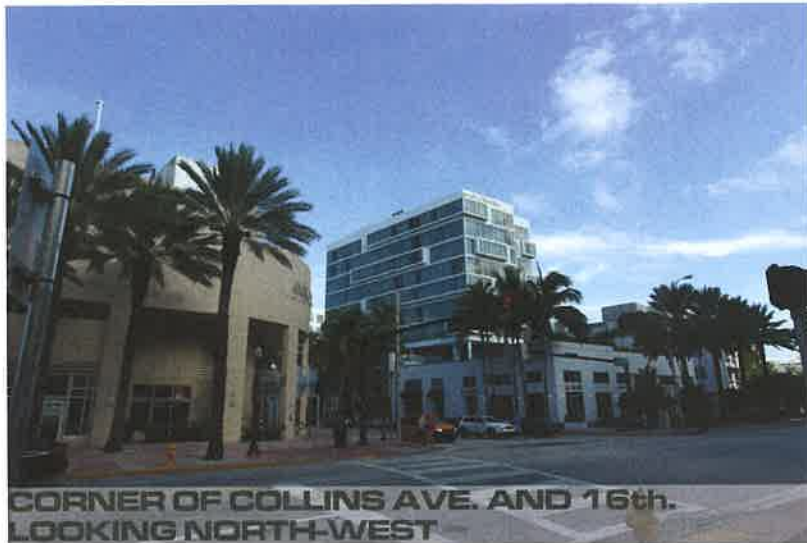
INTERIOR ELEVATIONS
EXISTING AND PROPOSED LOBBY | 1



NOT FOR CONSTRUCTION



1



2



3



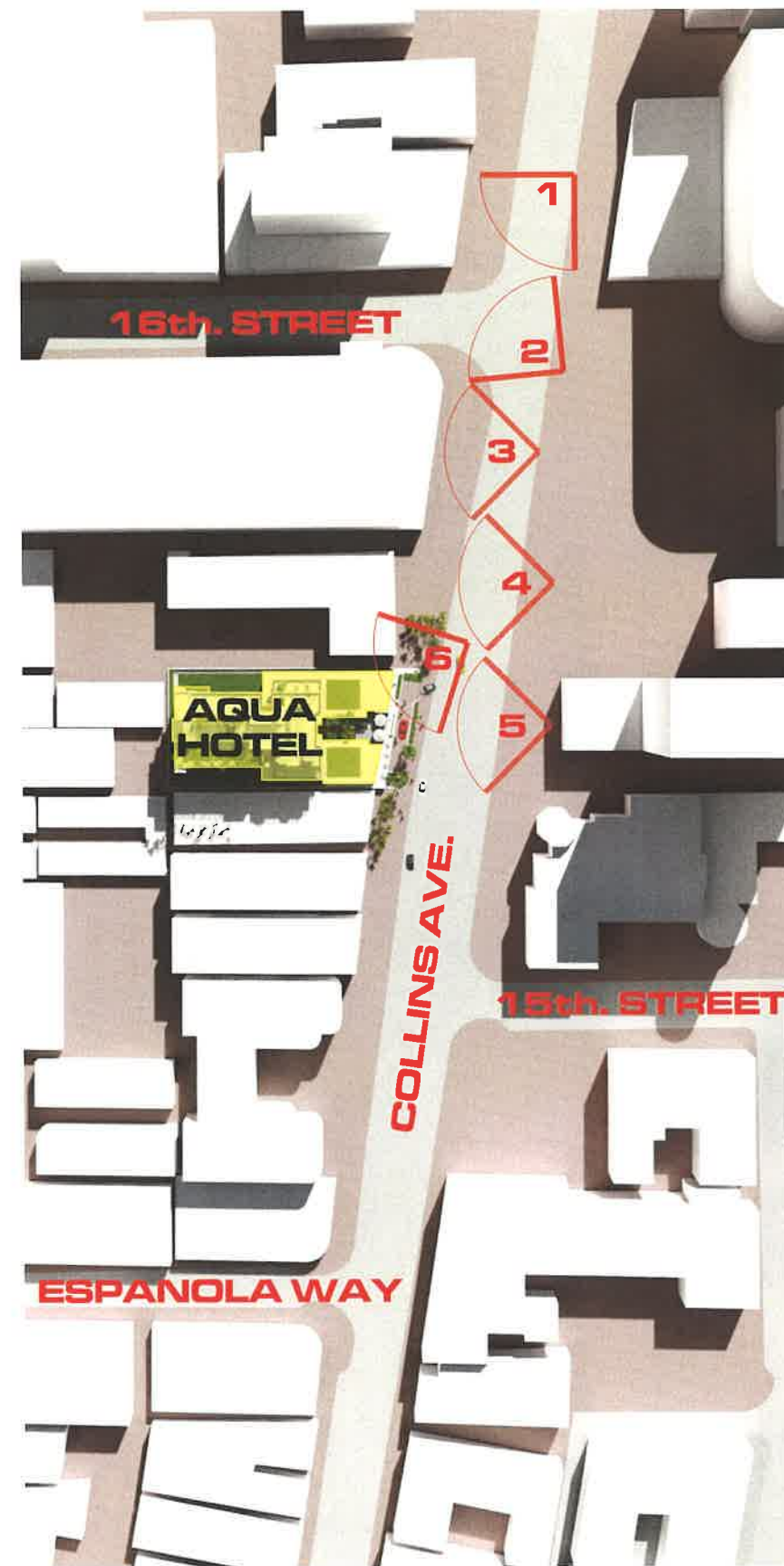
4



5



6



CONTEXT - PHOTOGRAPHIC WALKTHROUGH
COLLINS AVE. BETWEEN 16th. STREET & ESPANOLA WAY | 1
WEST SIDE N.T.S.



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San Diego, Ohio

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Project

AQUA HOTEL

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MIAMI BEACH, FLORIDA 33139

Revisions

Owner Information

1530 COLLINS AVE LLC
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BAY HARBOR ISLANDS,
FLORIDA 33154

1.888.515.3107

Consultant



Luis O. Revuelta

AR-0007972

HPB SUBMITTAL

Date

11/12/2019

Scale

AS SHOWN

Project No.

1824

Sheet Name

NEIGHBORHOOD COLLINS AVE

Sheet No.

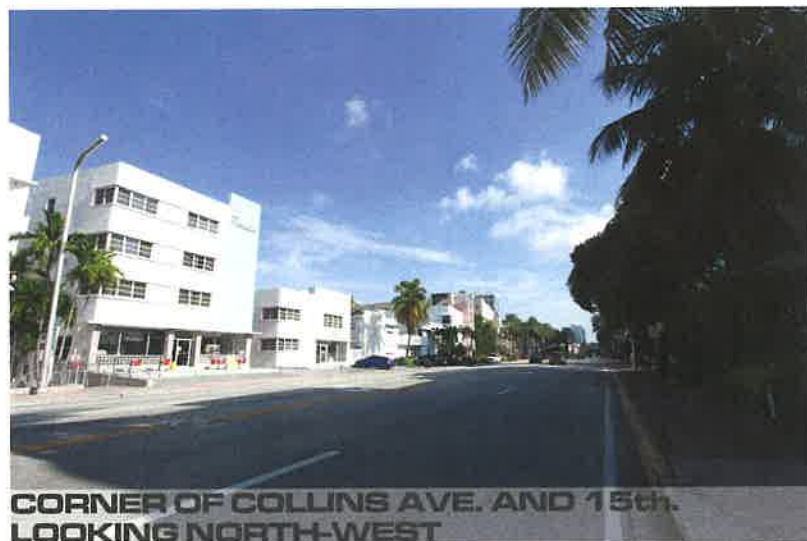
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1



2



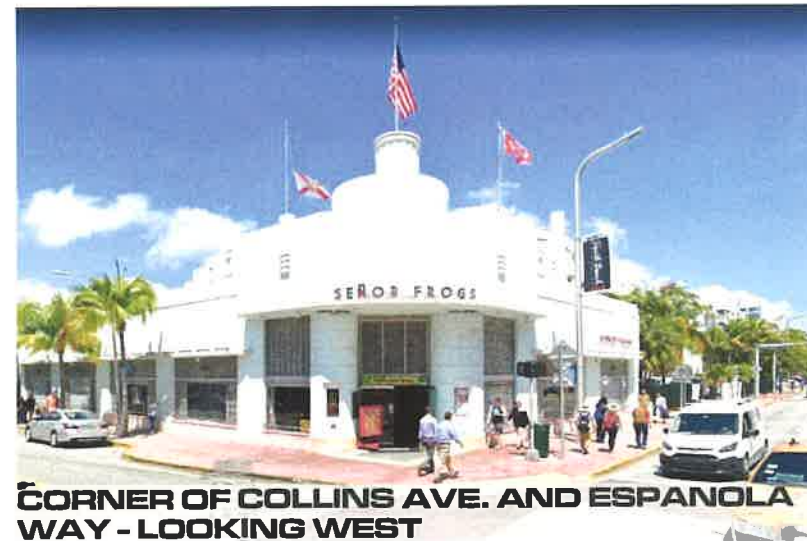
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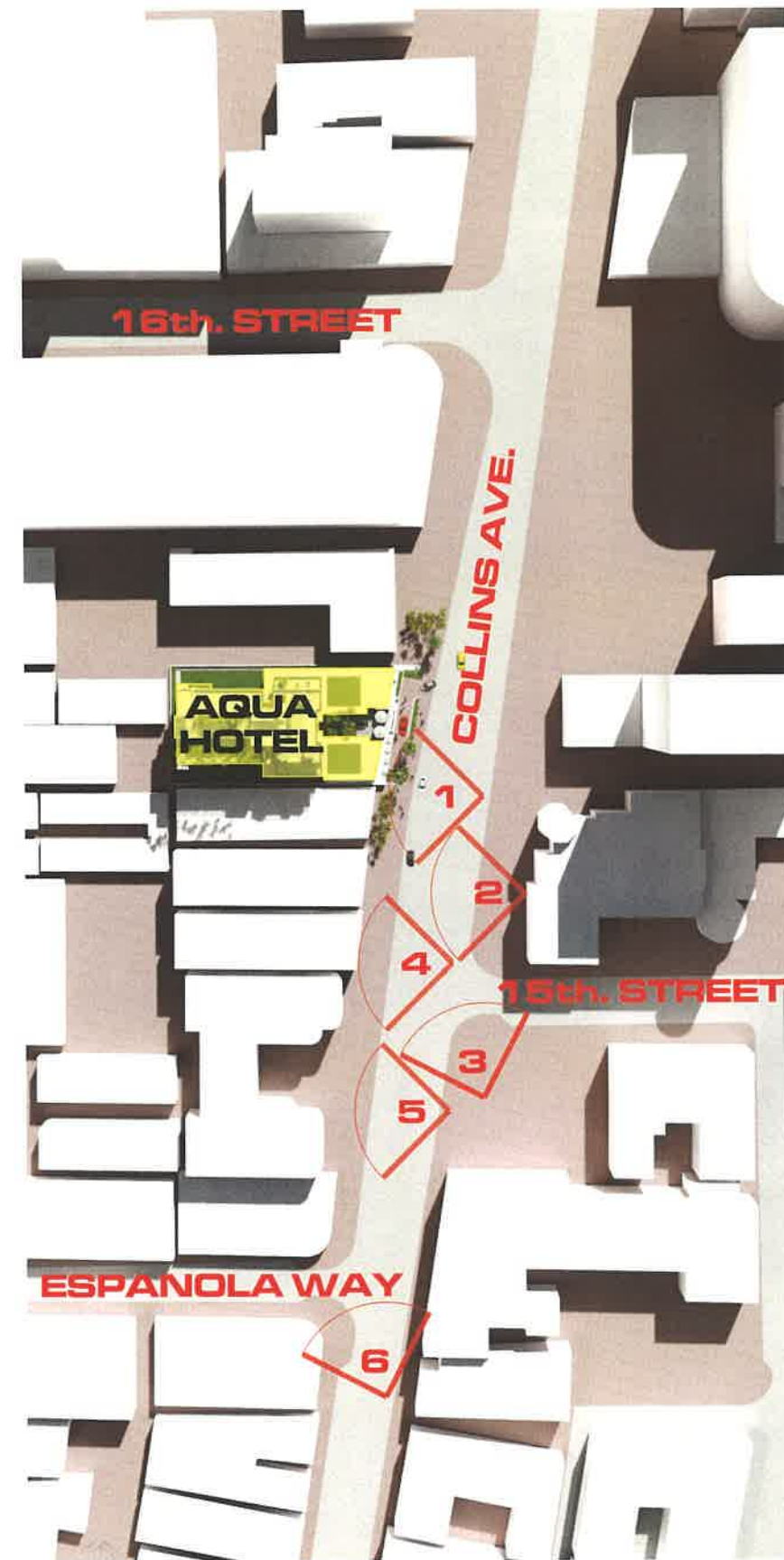
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5

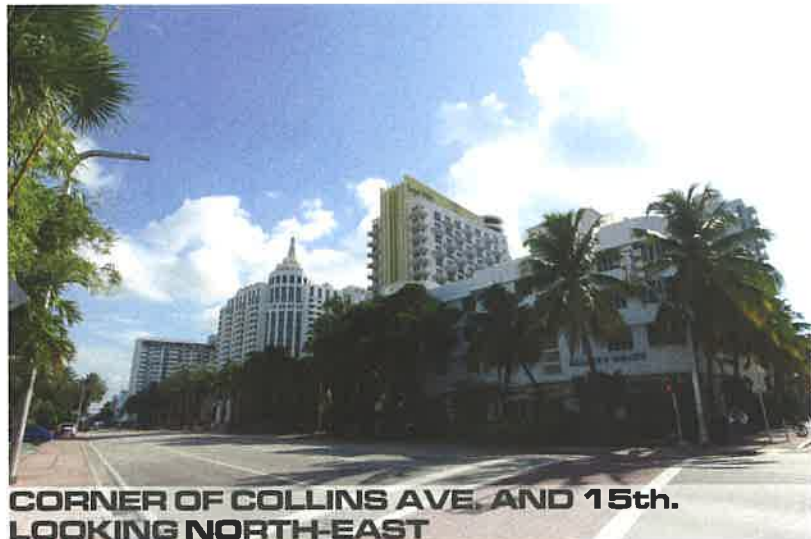


6



CONTEXT - PHOTOGRAPHIC WALKTHROUGH
COLLINS AVE. BETWEEN 16th. STREET & ESPANOLA WAY | 1
WEST SIDE N.T.S.





CORNER OF COLLINS AVE. AND 15th.
LOOKING NORTH-EAST

1



AT COLLINS AVE.
LOOKING EAST

3



AT COLLINS AVE.
LOOKING EAST - ROYAL PALMS HOTEL

5



AT COLLINS AVE.
LOOKING EAST

2



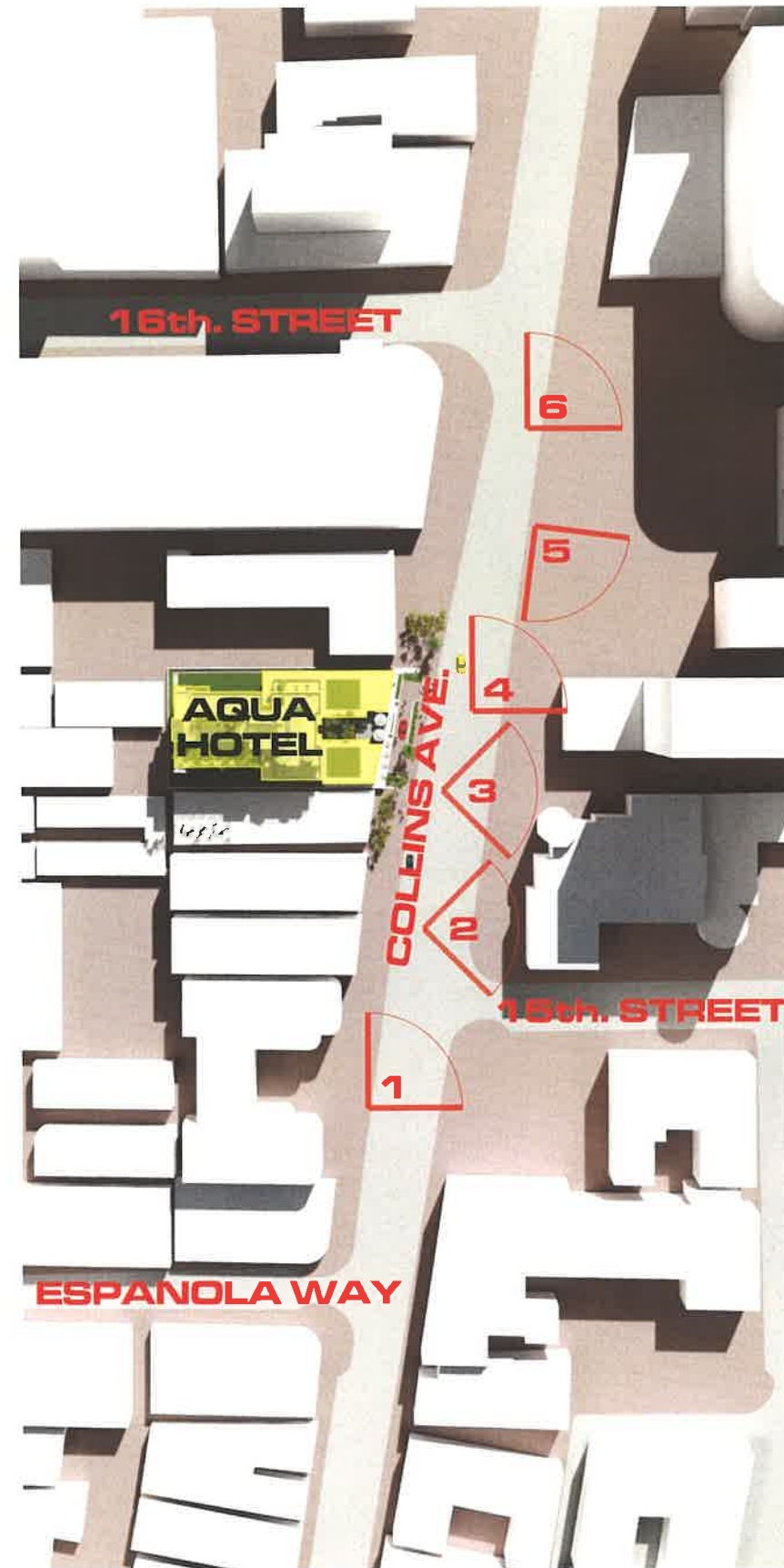
AT COLLINS AVE.
LOOKING NORTH-EAST

4



AT COLLINS AVE.
LOOKING EAST - LOEWS HOTEL

6



CONTEXT - PHOTOGRAPHIC WALKTHROUGH
COLLINS AVE. BETWEEN 16th. STREET & ESPANOLA WAY | 1
EAST SIDE
N.T.S.



AQUA HOTEL

1530 COLLINS AVENUE
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Date

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Scale

AS SHOWN

Project No.

1824

Sheet Name

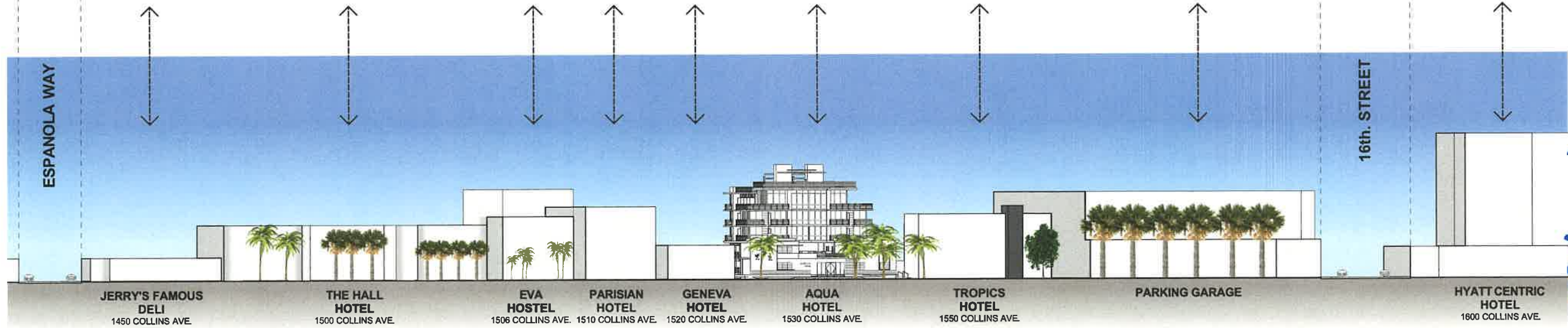
NEIGHBORHOOD COLLINS AVE

Sheet No.

A-012

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PROPOSED PROJECT

COLLINS AVE. - CONTEXTUAL ELEVATION | 1
WEST SIDE
N.T.S.

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Date

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Sheet Name

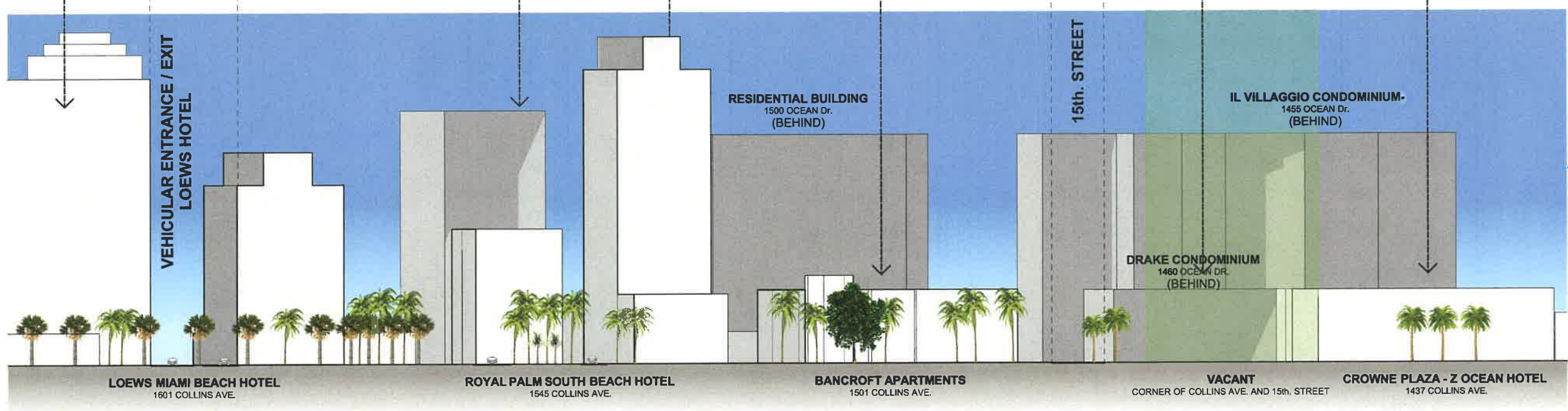
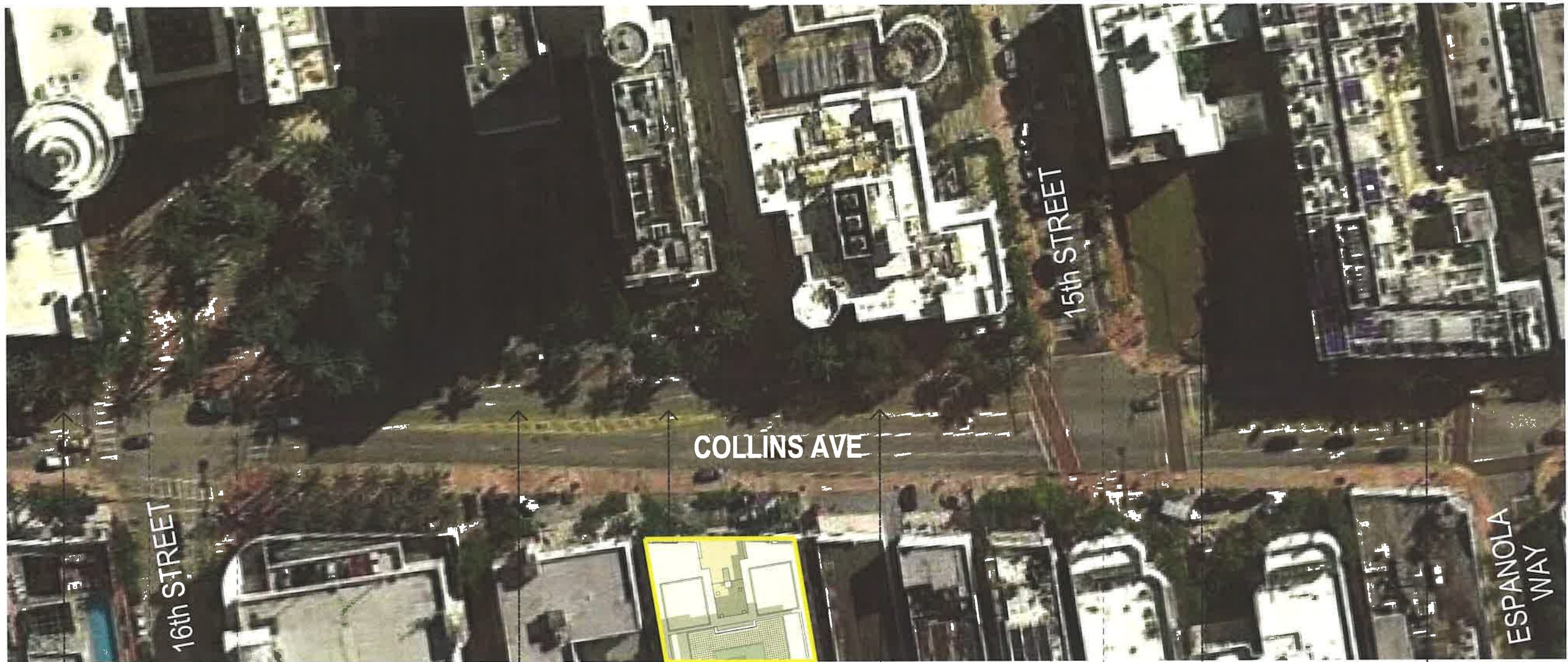
CONTEXTUAL ELEVATIONS

Sheet No.

A-013

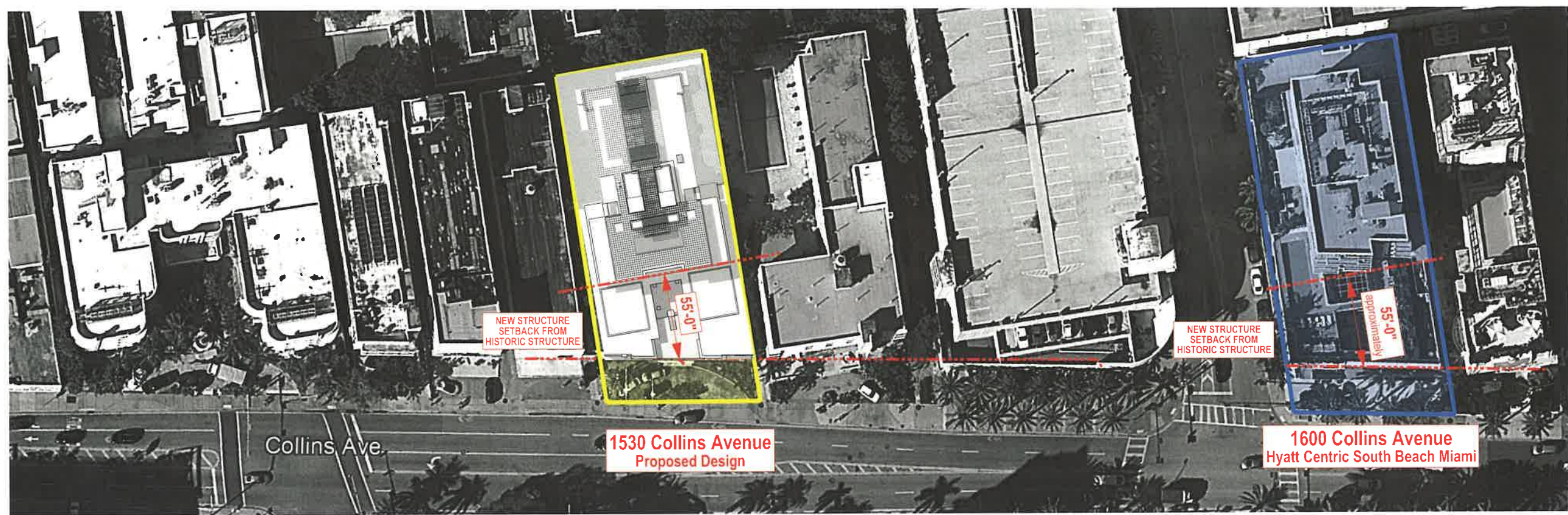
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COLLINS AVE. - CONTEXTUAL ELEVATION | 1
EAST SIDE
N.T.S.

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COMPARISON OF NEW CONSTRUCTION SETBACK FROM HISTORIC STRUCTURE 1
N.T.S.



COMPARISON OF NEW CONSTRUCTION SETBACK FROM PROPERTY LINE 2
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Revuelta

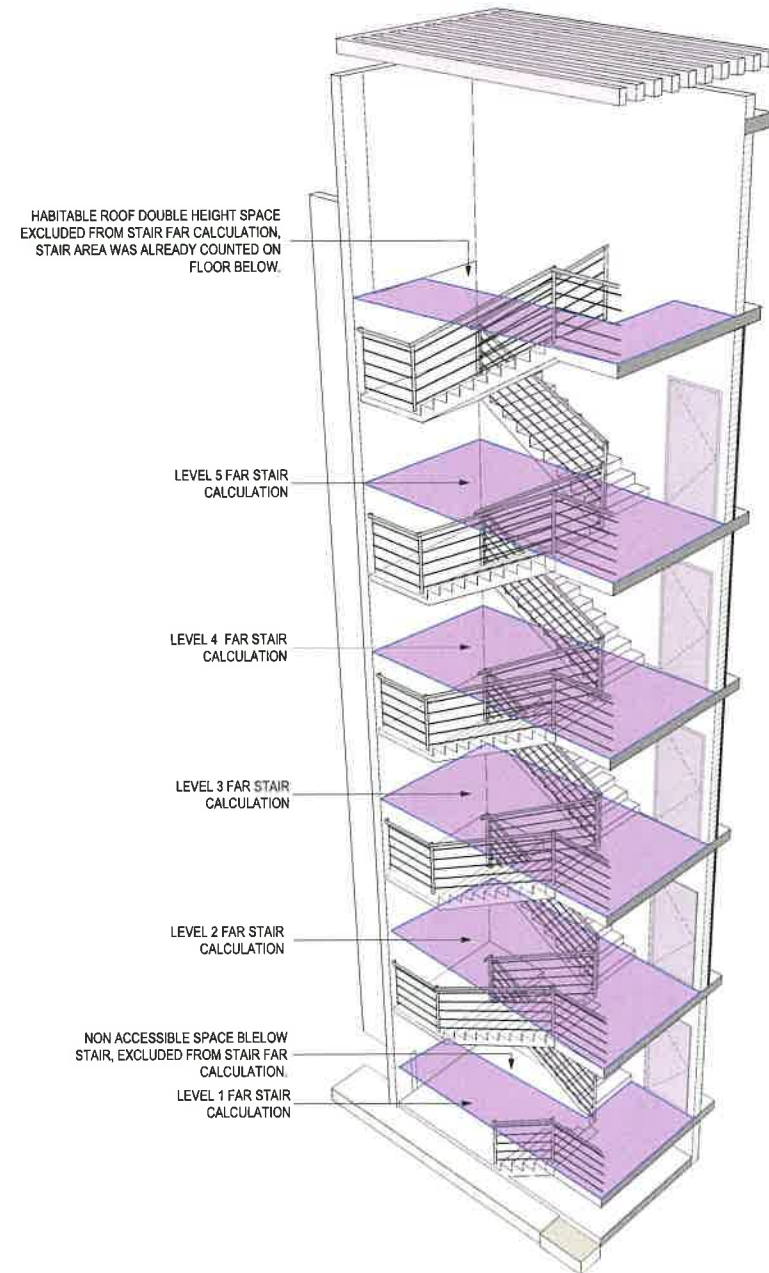
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2019
STATE OF FLORIDA
Luis O. Revuelta
ARCHITECT
REGISTERED ARCHITECT
Luis O. Revuelta
AR-007972

HPB SUBMITTAL
Date:
11/12/2019
Scale:
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Project No:
1824
Sheet Name:
CONTEXTUAL COMPARISON
Sheet No:
A-014a

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LEGEND

 CALCULATED FAR PER FLOOR, INSIDE STAIRS

STAIR FAR DIAGRAM | 2

N.T.S.

F.A.R. CALCULATION

		SF	F.A.R.
		SF	SF
LOT AREA		20,500.00	
TOTAL F.A.R. AVAILABLE	2		41,000.00
		F.A.R.	
LOBBY - COURTYARD - GUESTROOMS	L1	10,814.75	
			10,814.75
GUESTROOMS	L2	10,134.00	
			10,134.00
GUESTROOMS	L3	6,728.50	
			6,728.50
GUESTROOMS	L4	6,728.50	
			6,728.50
GUESTROOMS	L5	5,899.25	
			5,899.25
ROOF	RL	109.50	
		246.75	
		246.75	
		83.75	
			686.75
			40,992

F.A.R. CALCULATIONS | 1

N.T.S.

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10/11/2019



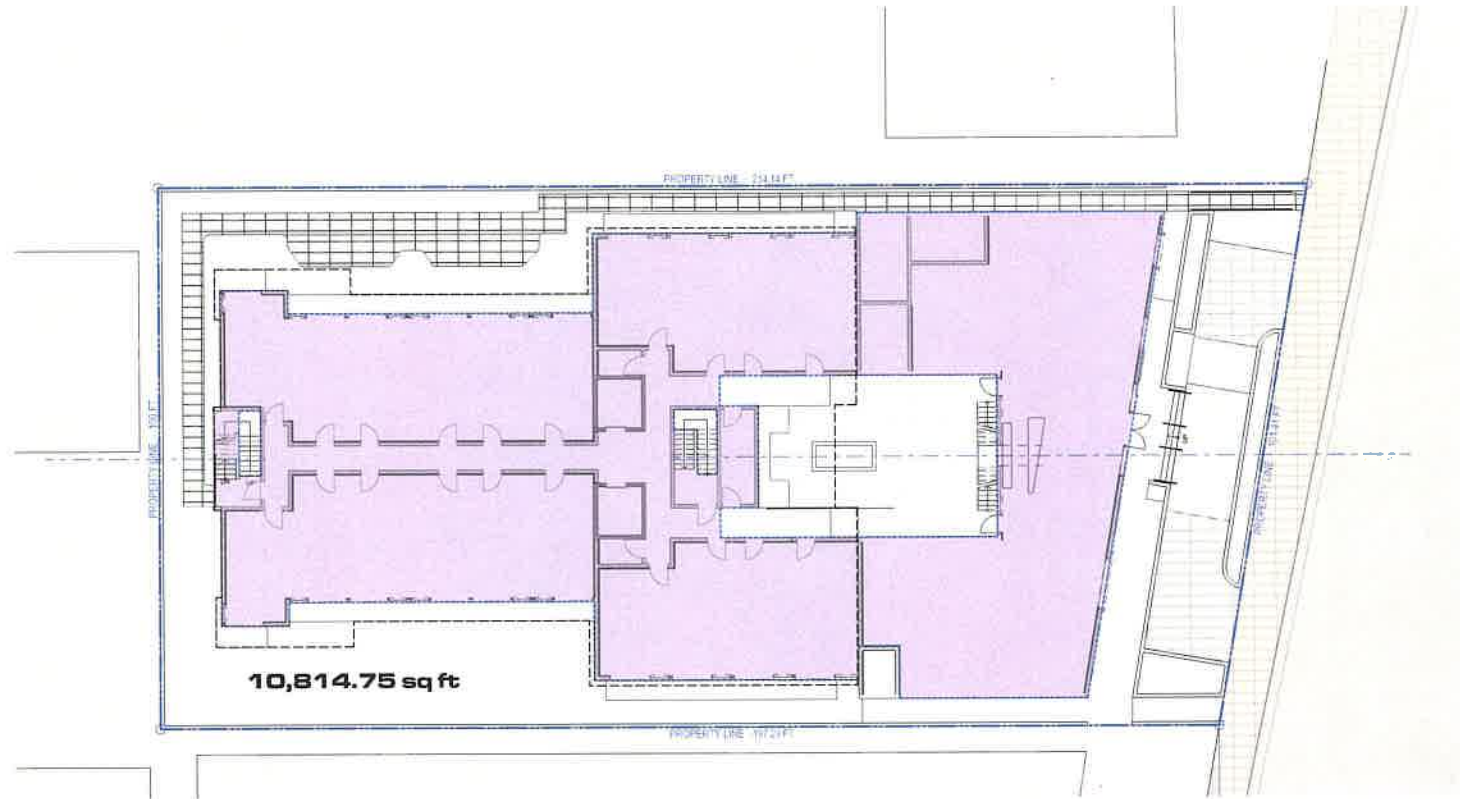
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11/12/2019
Scale
AS SHOWN
Project No.
1824
Sheet Name
F.A.R.
Sheet No.

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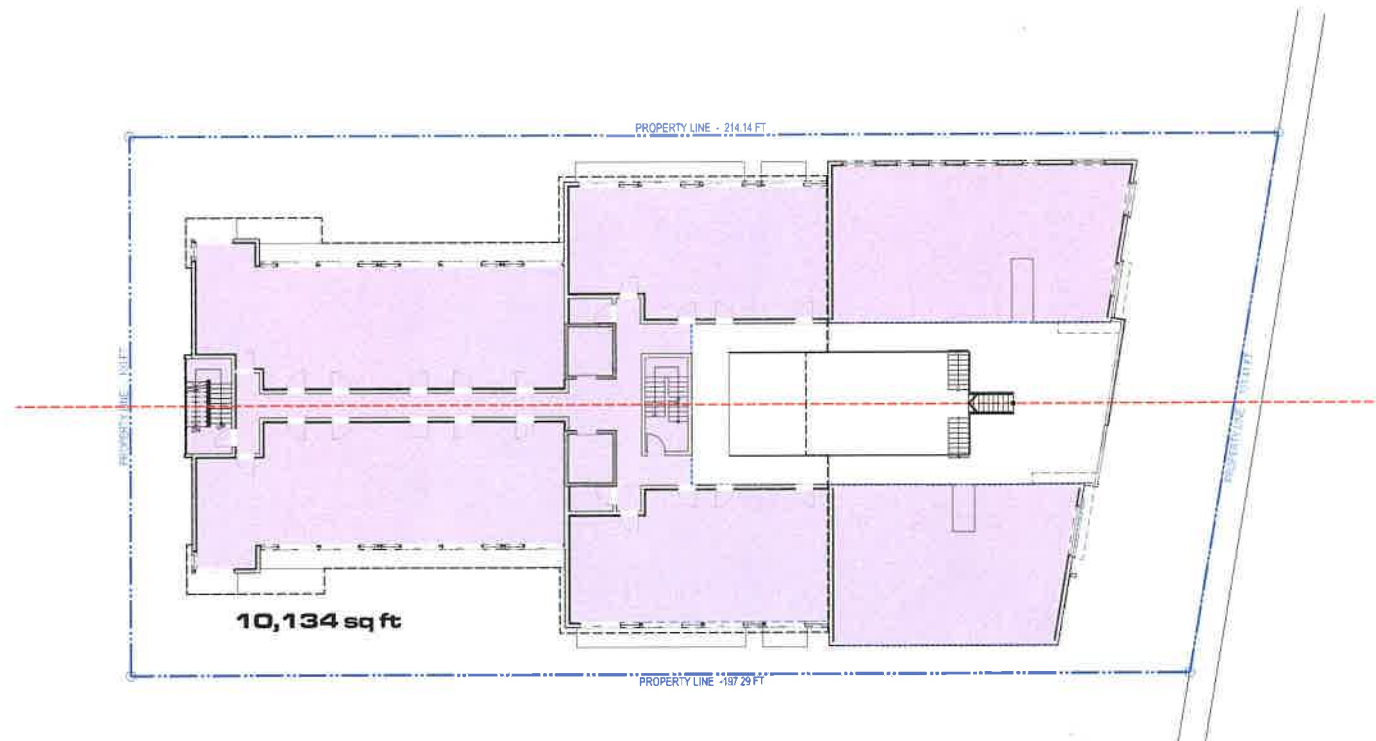
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LEVEL 1 | 1

TOTAL FAR FOR THIS LEVEL: 11,067.5 SF

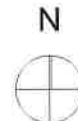
SCALE 1/16"=1'-0"



LEVEL 2 - GUESTROOMS | 2

TOTAL FAR FOR THIS LEVEL: 10,821.7 SF

SCALE 1/16"=1'-0"



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Sheet Name

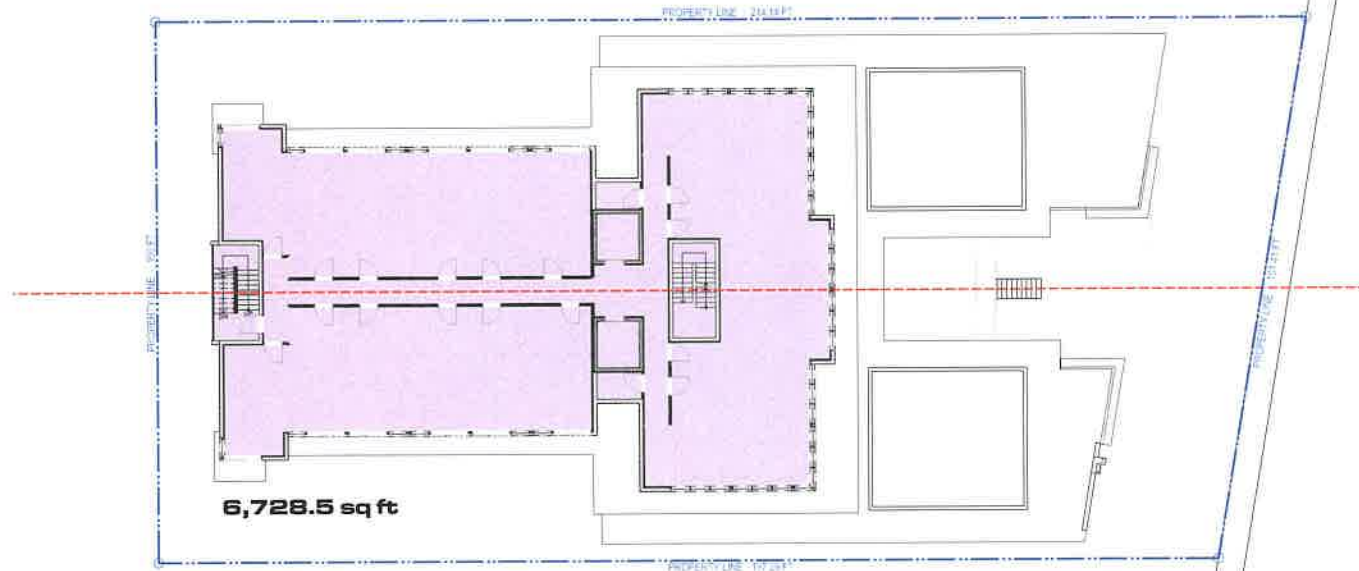
F.A.R. ENLARGED

Sheet No.

A-016

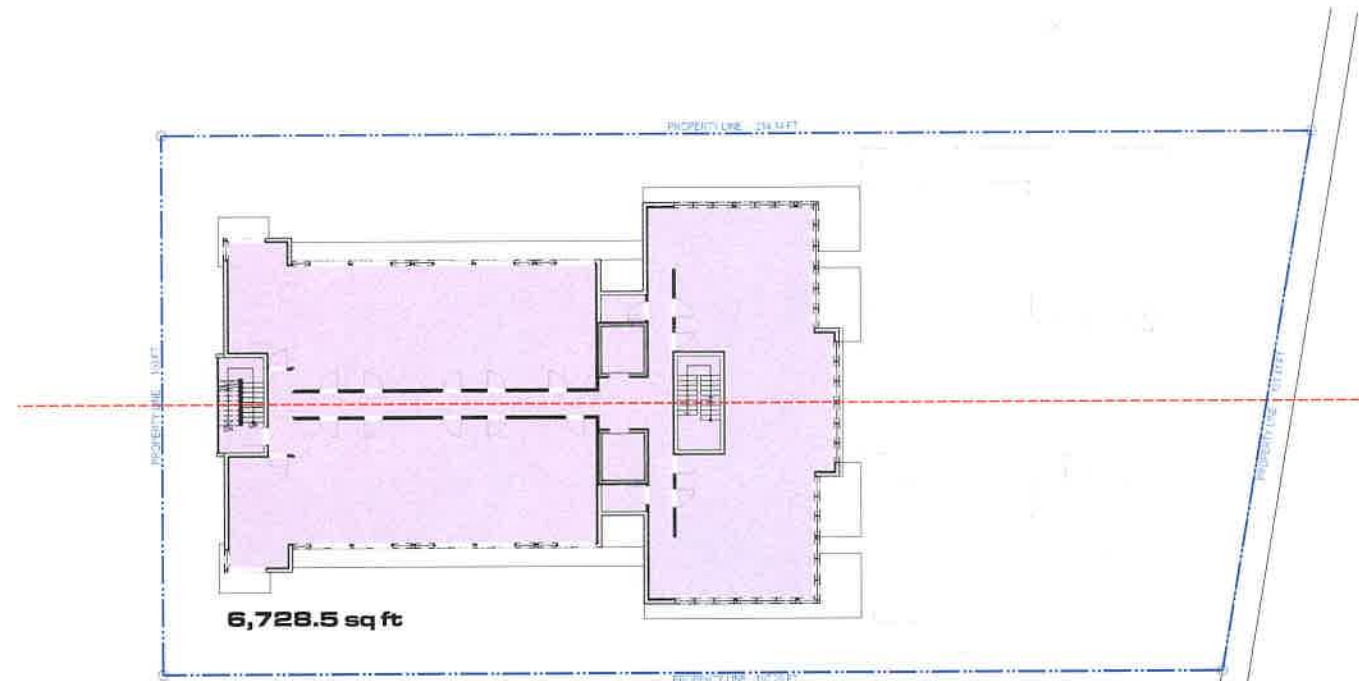
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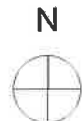
LEVEL 3 - GUESTROOMS | 1

TOTAL FAR FOR THIS LEVEL: 8,306.17 SF SCALE 1/16"=1'-0"



LEVEL 4 - GUESTROOMS | 2

TOTAL FAR FOR THIS LEVEL: 6,735 SF SCALE 1/16"=1'-0"



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Project No.

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Sheet Name

F.A.R. ENLARGED

Sheet No.

A-017

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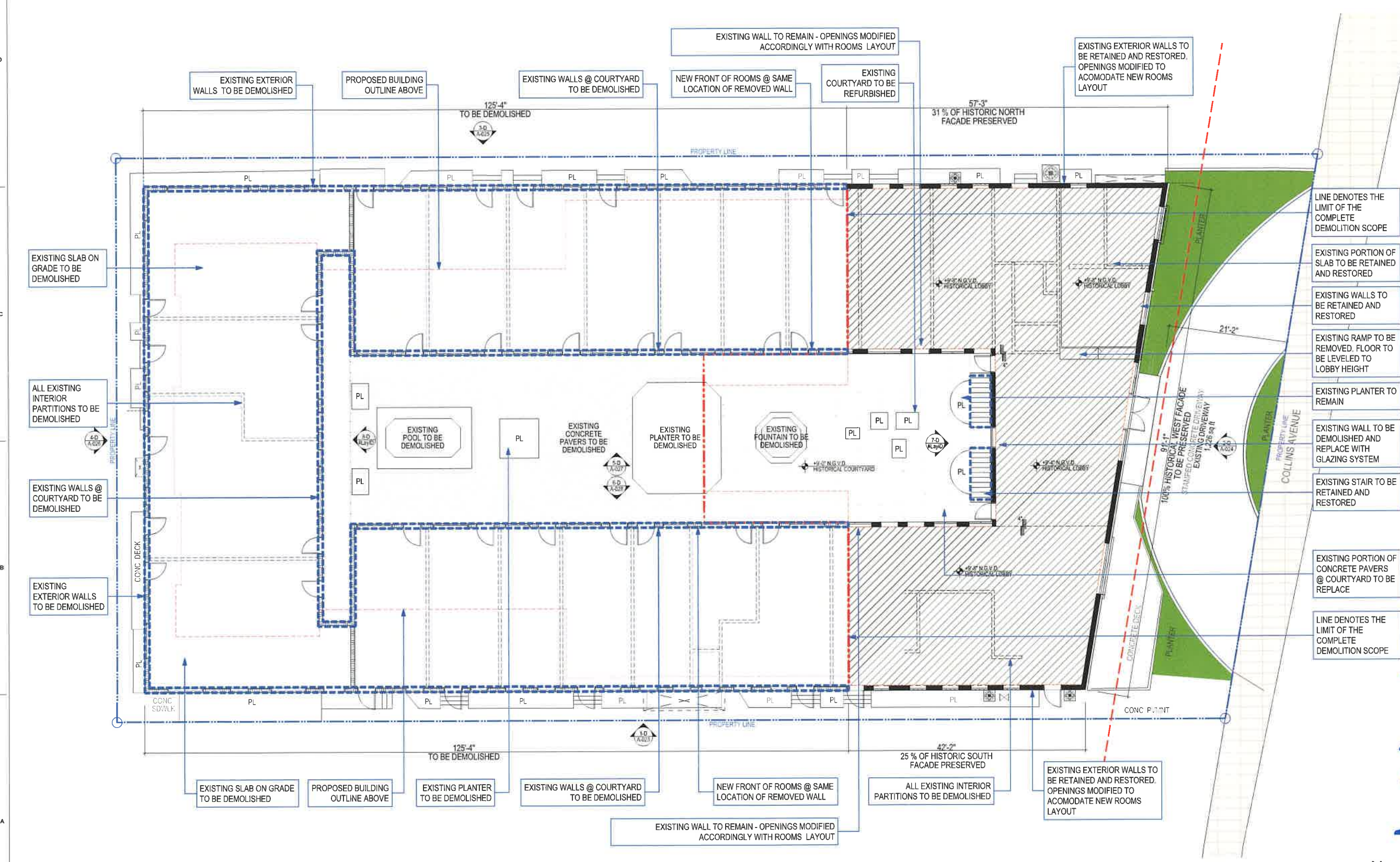
Scale
AS SHOWN

Project No.
1824

Sheet Name
DEMOLITION PLAN - GROUND LEVEL

Sheet No.

A-019



DEMOLITION PLAN - GROUND FLOOR | 1

SCALE 1/8"=1'-0"



SCALE 1/8"=1'-0"

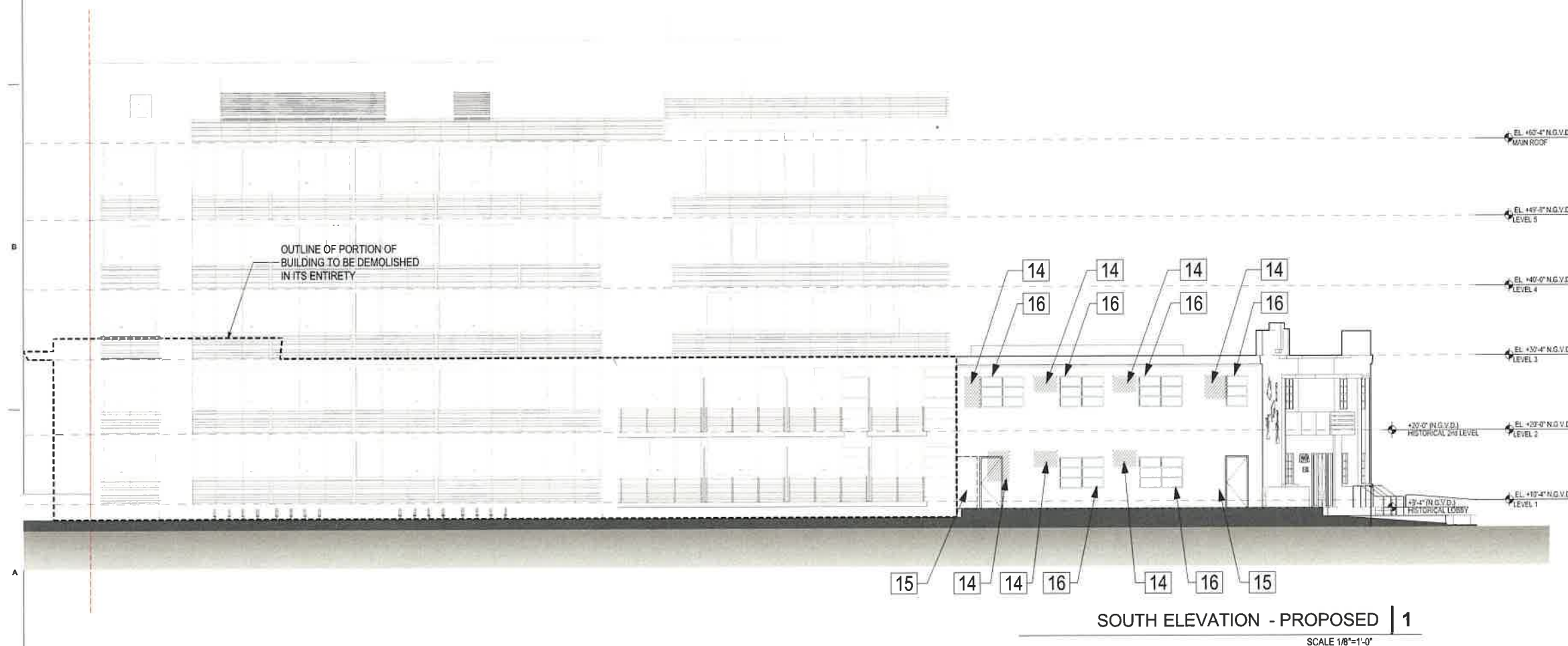
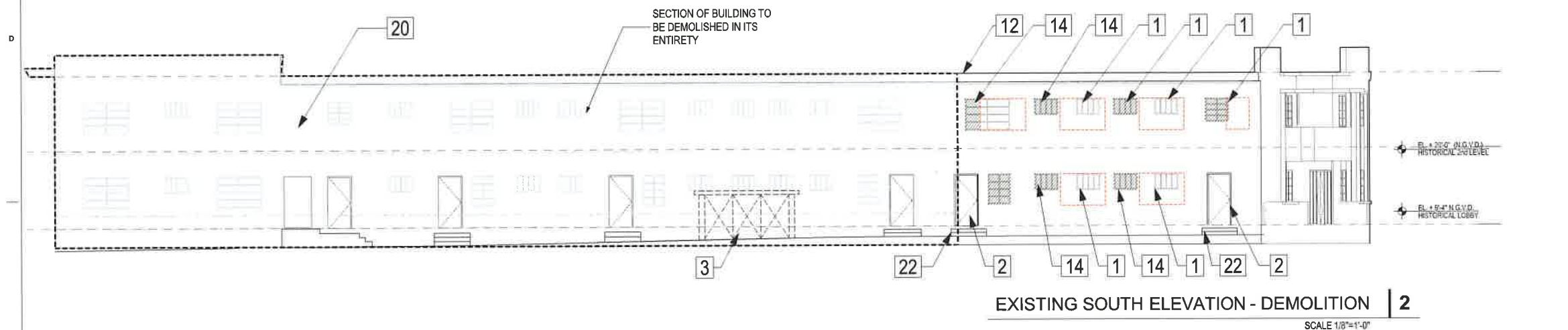


SCALE 1/8"=1'-0"



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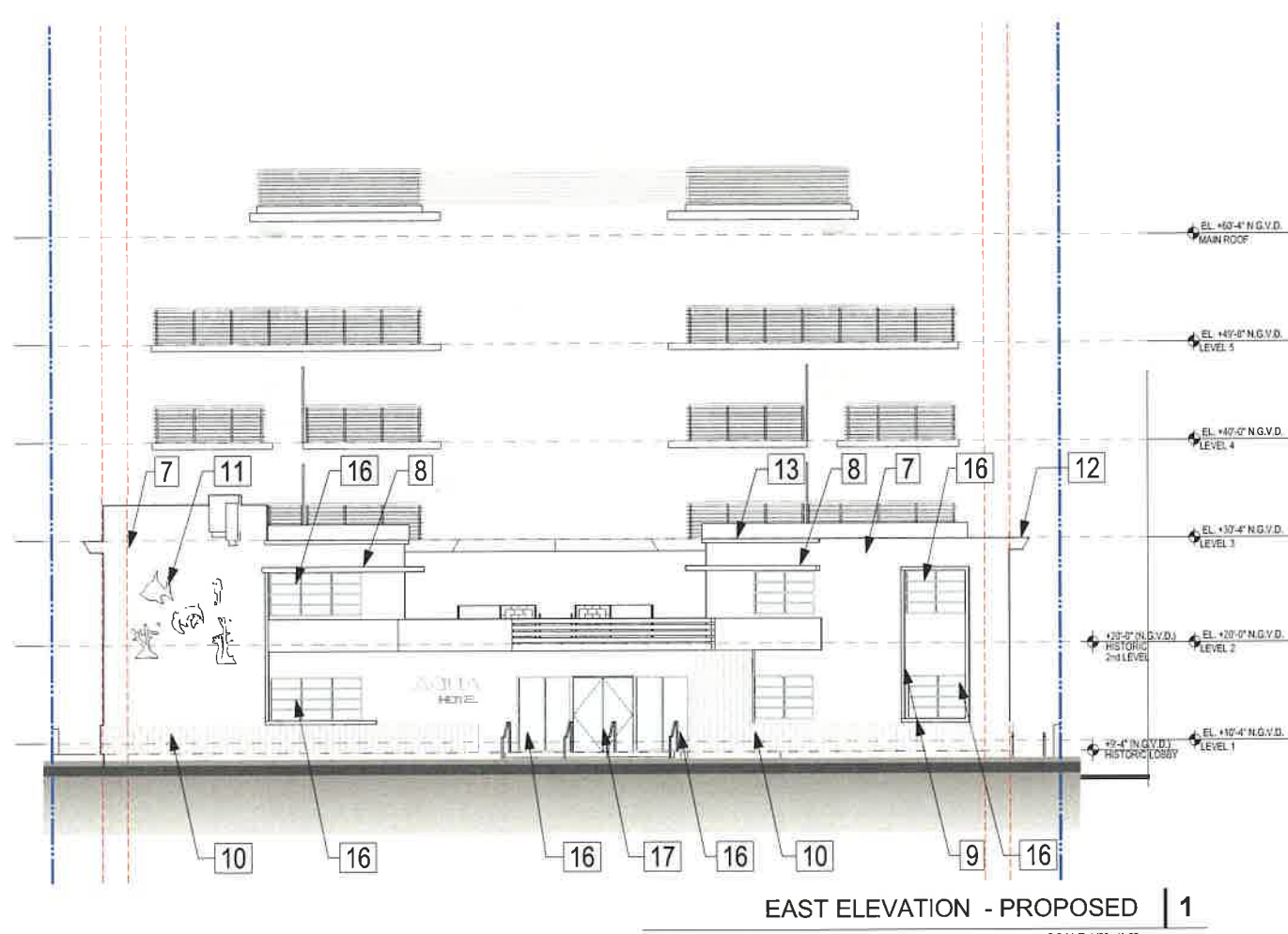
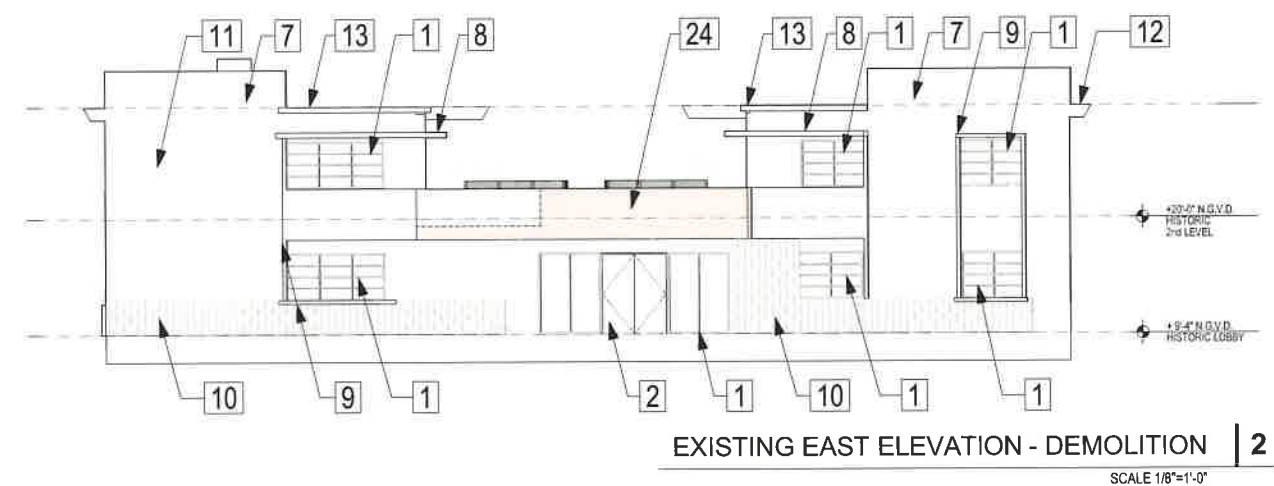
SOUTH ELEV. DEMO = 0 SF
EXIST. FACADE RETAINED = 25%

ELEVATION KEYNOTES

- EXIST. WINDOWS TO BE REMOVED AND REPLACE IN NEW SHOWN LOCATION (TYP.)
- EXISTING DOORS AND DOOR FRAMES TO BE REMOVED (TYP.)
- EXISTING ELECTRIC CLOSET TO BE REMOVED
- REMOVE EXISTING STEPS (TYP.)
- REMOVE ALL EXPOSED PIPES, DOWNSPOUTS, AND ELECTRICAL CONDUITS
- EXISTING CONC. CLOSET TO BE REMOVED
- FACADE TO BE **RETAINED, RESTORED** AND REPAINTED WITH EXISTING STUCCO FINISH
- EXISTING EYEBROWS TO BE **RETAINED AND RESTORED** (TYP.)
- EXISTING PROJECTING WINDOW FRAMES TO BE **RETAINED AND RESTORED**
- EXISTING BRICK VENEER TO BE **RETAINED AND RESTORED**
- EXISTING DECORATIVE ELEMENTS TO BE **RETAINED AND RESTORED**
- PORTION OF EXISTING WOOD FRAMED ROOF AND EAVE TO BE **RETAINED AND RESTORED**
- EXISTING TRIM TO BE **RETAINED AND RESTORED**
- FILL-IN EXISTING WINDOW OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- FILL-IN EXISTING DOOR OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- NEW IMPACT RESISTANT FIXED WINDOWS TO MATCH HISTORIC WINDOW CONFIGURATION (TYP.)
- EXISTING DOOR TO BE REMOVE AND REPLANCE BY HIGH IMPACT RESISTANT FIX WINDOW TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- NEW IMPACT RESISTANT DOOR TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- PORTION OF EXISTING WOOD FRAMED ROOF TO BE DEMOLISHED
- DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- EXISTING STAIR TO BE RETAINED AND RESTORED
- EXISTINTING STAIR TO BE REFURBISHED
- EXISTING LANDSCAPE AREA TO BE **RETAINED AND RESTORED** (TYP.)
- EXISTING RAILING TO BE DEMOLISHED AND REBUILD AS AN REINTERPRETATION OF ORIGINAL TERRACE RAILING

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SOUTH ELEV. DEMO = 0 SF
EXIST. FACADE RETAINED = 100%

ELEVATION KEYNOTES

- EXIST. WINDOWS TO BE REMOVED AND REPLACE IN NEW SHOWN LOCATION (TYP.)
- EXISTING DOORS AND DOOR FRAMES TO BE REMOVED (TYP.)
- EXISTING ELECTRIC CLOSET TO BE REMOVED
- REMOVE EXISTING STEPS (TYP.)
- REMOVE ALL EXPOSED PIPES, DOWNSPOUTS, AND ELECTRICAL CONDUITS
- EXISTING CONC. CLOSET TO BE REMOVED
- FACADE TO BE **RETAINED, RESTORED** AND REPAINTED WITH EXISTING STUCCO FINISH
- EXISTING EYEBROWS TO BE **RETAINED AND RESTORED** (TYP.)
- EXISTING PROJECTING WINDOW FRAMES TO BE **RETAINED AND RESTORED**
- EXISTING BRICK VENEER TO BE **RETAINED AND RESTORED**
- EXISTING DECORATIVE ELEMENTS TO BE **RETAINED AND RESTORED**
- PORTION OF EXISTING WOOD FRAMED ROOF AND EAVE TO BE **RETAINED AND RESTORED**
- EXISTING TRIM TO BE **RETAINED AND RESTORED**
- FILL-IN EXISTING WINDOW OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- FILL-IN EXISTING DOOR OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- NEW IMPACT RESISTANT FIXED WINDOWS TO MATCH HISTORIC WINDOW CONFIGURATION (TYP.)
- EXISTING DOOR TO BE REMOVE AND REPLANCE BY HIGH IMPACT RESISTANT FIX WINDOW TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- NEW IMPACT RESISTANT DOOR TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- PORTION OF EXISTING WOOD FRAMED ROOF TO BE DEMOLISHED
- DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- EXISTING STAIR TO BE RETAINED AND RESTORED
- EXISTINTING STAIR TO BE REFURBISHED
- EXISTING LANDSCAPE AREA TO BE **RETAINED AND RESTORED** (TYP.)
- EXISTING RAILING TO BE DEMOLISHED AND REBUILD AS AN REINTERPRETATION OF ORIGINAL TERRACE RAILING

24 EXISTING RAILING TO BE
DEMOLISHED AND REBUILD AS AN
REINTERPRETATION OF ORIGINAL
TERRACE RAILING

SCALE 1/8"=1'-0"

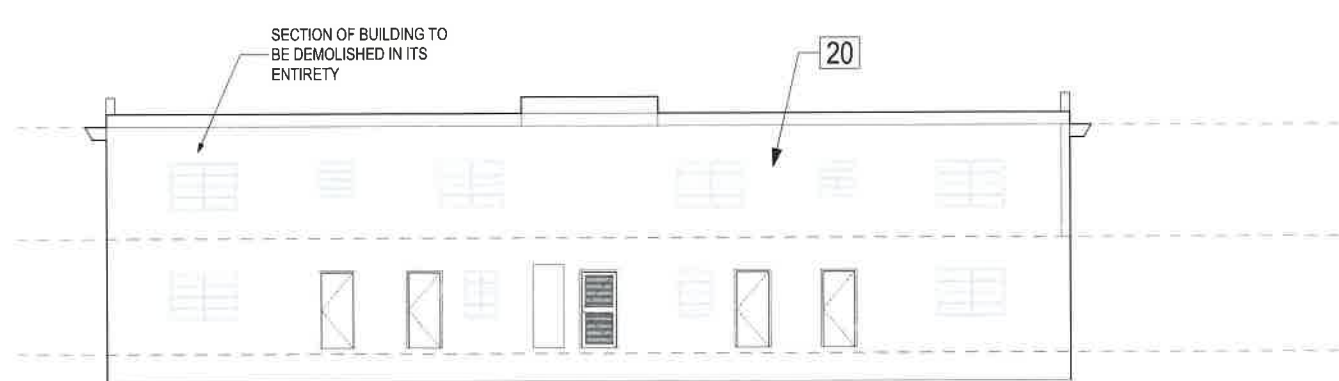
SCALE 1/8"=1'-0"

NORTH ELEV. DEMO = 0 SF
EXIST. FACADE RETAINED = 31%

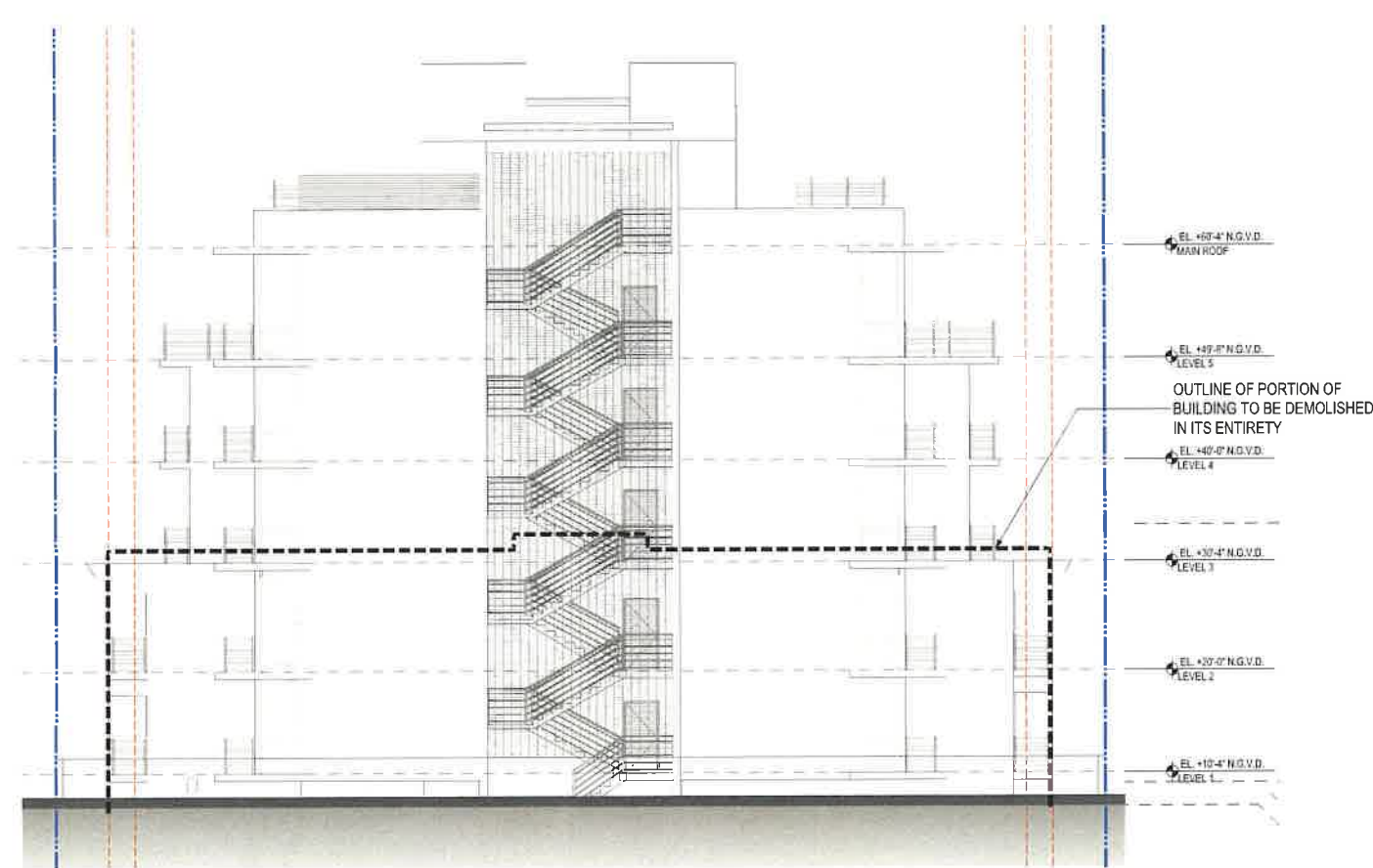
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EXISTING WEST ELEVATION - DEMOLITION | 2
SCALE 1/8"=1'-0"



WEST ELEVATION - PROPOSED | 1
SCALE 1/8"=1'-0"

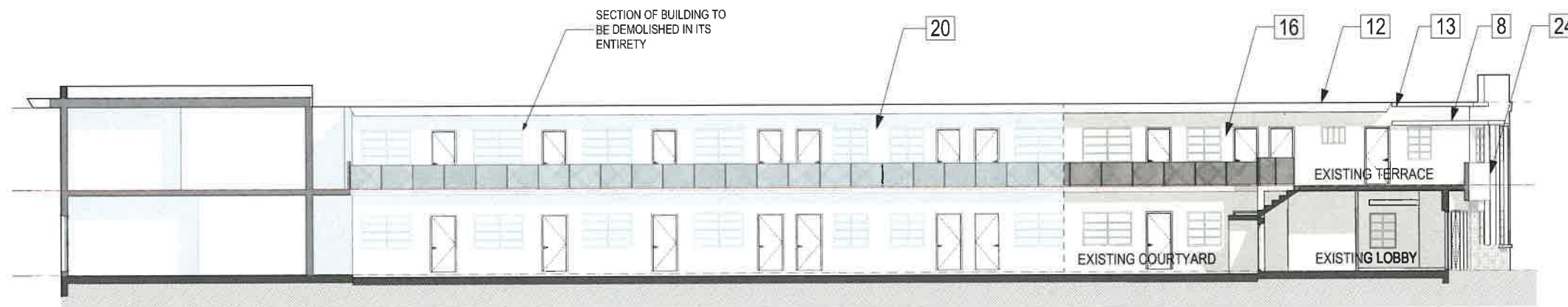
WEST ELEV. DEMO = 0 SF
EXIST. FACADE RETAINED = 0%

ELEVATION KEYNOTES

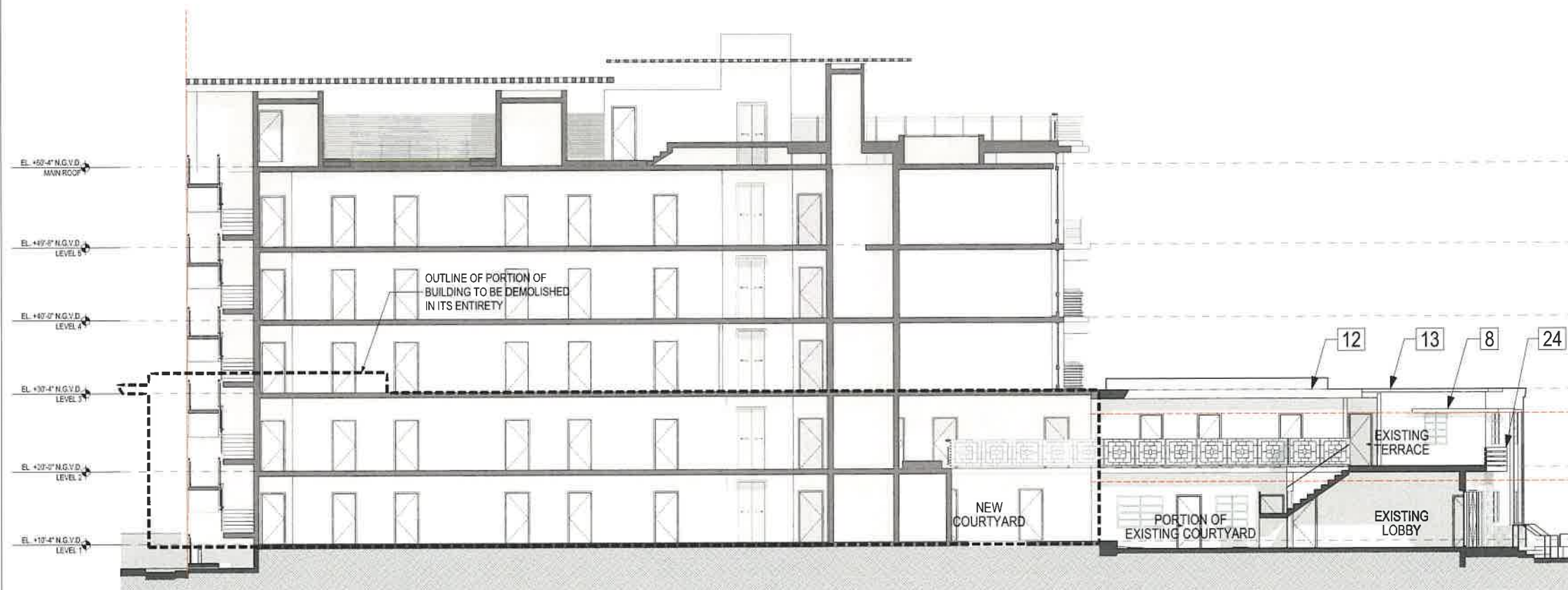
- 1 EXIST. WINDOWS TO BE REMOVED AND REPLACE IN NEW SHOWN LOCATION (TYP.)
- 2 EXISTING DOORS AND DOOR FRAMES TO BE REMOVED (TYP.)
- 3 EXISTING ELECTRIC CLOSET TO BE REMOVED
- 4 REMOVE EXISTING STEPS (TYP.)
- 5 REMOVE ALL EXPOSED PIPES, DOWNSPOUTS, AND ELECTRICAL CONDUITS
- 6 EXISTING CONC. CLOSET TO BE REMOVED
- 7 FACADE TO BE **RETAINED, RESTORED** AND REPAINTED WITH EXISTING STUCCO FINISH
- 8 EXISTING EYEBROWS TO BE **RETAINED AND RESTORED** (TYP.)
- 9 EXISTING PROJECTING WINDOW FRAMES TO BE **RETAINED AND RESTORED**
- 10 EXISTING BRICK VENEER TO BE **RETAINED AND RESTORED**
- 11 EXISTING DECORATIVE ELEMENTS TO BE **RETAINED AND RESTORED**
- 12 PORTION OF EXISTING WOOD FRAMED ROOF AND EAVE TO BE **RETAINED AND RESTORED**
- 13 EXISTING TRIM TO BE **RETAINED AND RESTORED**
- 14 FILL-IN EXISTING WINDOW OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- 15 FILL-IN EXISTING DOOR OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT.
- 16 NEW IMPACT RESISTANT FIXED WINDOWS TO MATCH HISTORIC WINDOW CONFIGURATION (TYP.)
- 17 EXISTING DOOR TO BE REMOVE AND REPLANCE BY HIGH IMPACT RESISTANT FIX WINDOW TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- 18 NEW IMPACT RESISTANT DOOR TO MATCH HISTORIC DOOR CONFIGURATION (TYP.)
- 19 PORTION OF EXISTING WOOD FRAMED ROOF TO BE DEMOLISHED
- 20 DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- 21 EXISTING STAIR TO BE RETAINED AND RESTORED
- 22 EXISTINTING STAIR TO BE REFURBISHED
- 23 EXISTING LANDSCAPE AREA TO BE **RETAINED AND RESTORED** (TYP.)
- 24 EXISTING RAILING TO BE DEMOLISHED AND REBUILD AS AN REINTERPRETATION OF ORIGINAL TERRACE RAILING

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EXISTING NORTH COURTYARD ELEVATION - DEMOLITION | 2
SCALE 1/8"=1'-0"



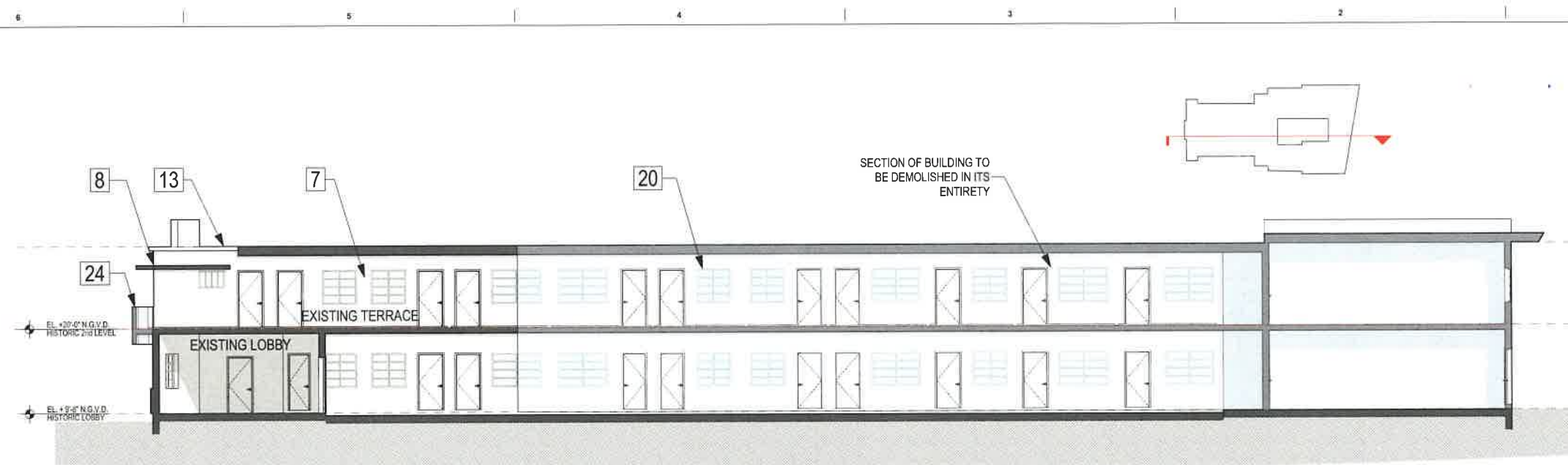
NORTH COURTYARD ELEVATION - PROPOSED | 1
SCALE 1/8"=1'-0"

ELEVATION KEYNOTES

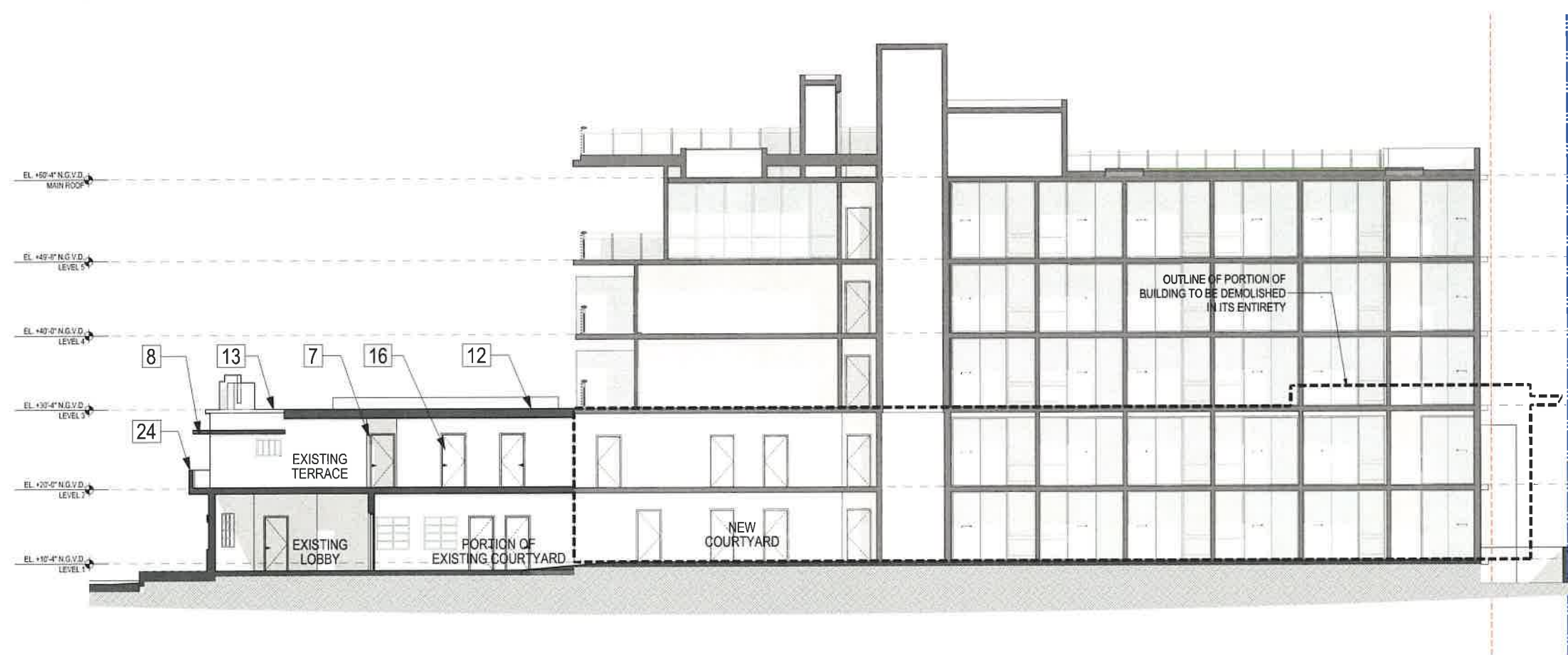
- 1 EXIST. WINDOWS TO BE REMOVED AND REPLACE IN NEW SHOWN LOCATION (TYP.)
- 2 EXISTING DOORS AND DOOR FRAMES TO BE REMOVED (TYP.)
- 3 EXISTING ELECTRIC CLOSET TO BE REMOVED
- 4 REMOVE EXISTING STEPS (TYP.)
- 5 REMOVE ALL EXPOSED PIPES, DOWNSPOUTS, AND ELECTRICAL CONDUITS
- 6 EXISTING CONC. CLOSET TO BE REMOVED
- 7 FACADE TO BE **RETAINED, RESTORED** AND REPAINTED WITH EXISTING STUCCO FINISH
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EXISTING SOUTH COURTYARD ELEVATION - DEMOLITION | 2
SCALE 1/8"=1'-0"



SOUTH COURTYARD ELEVATION - PROPOSED | 1
SCALE 1/8"=1'-0"

ELEVATION KEYNOTES

- 1 EXIST. WINDOWS TO BE REMOVED AND REPLACE IN NEW SHOWN LOCATION (TYP.)
- 2 EXISTING DOORS AND DOOR FRAMES TO BE REMOVED (TYP.)
- 3 EXISTING ELECTRIC CLOSET TO BE REMOVED
- 4 REMOVE EXISTING STEPS (TYP.)
- 5 REMOVE ALL EXPOSED PIPES, DOWNSPOUTS, AND ELECTRICAL CONDUITS
- 6 EXISTING CONC. CLOSET TO BE REMOVED
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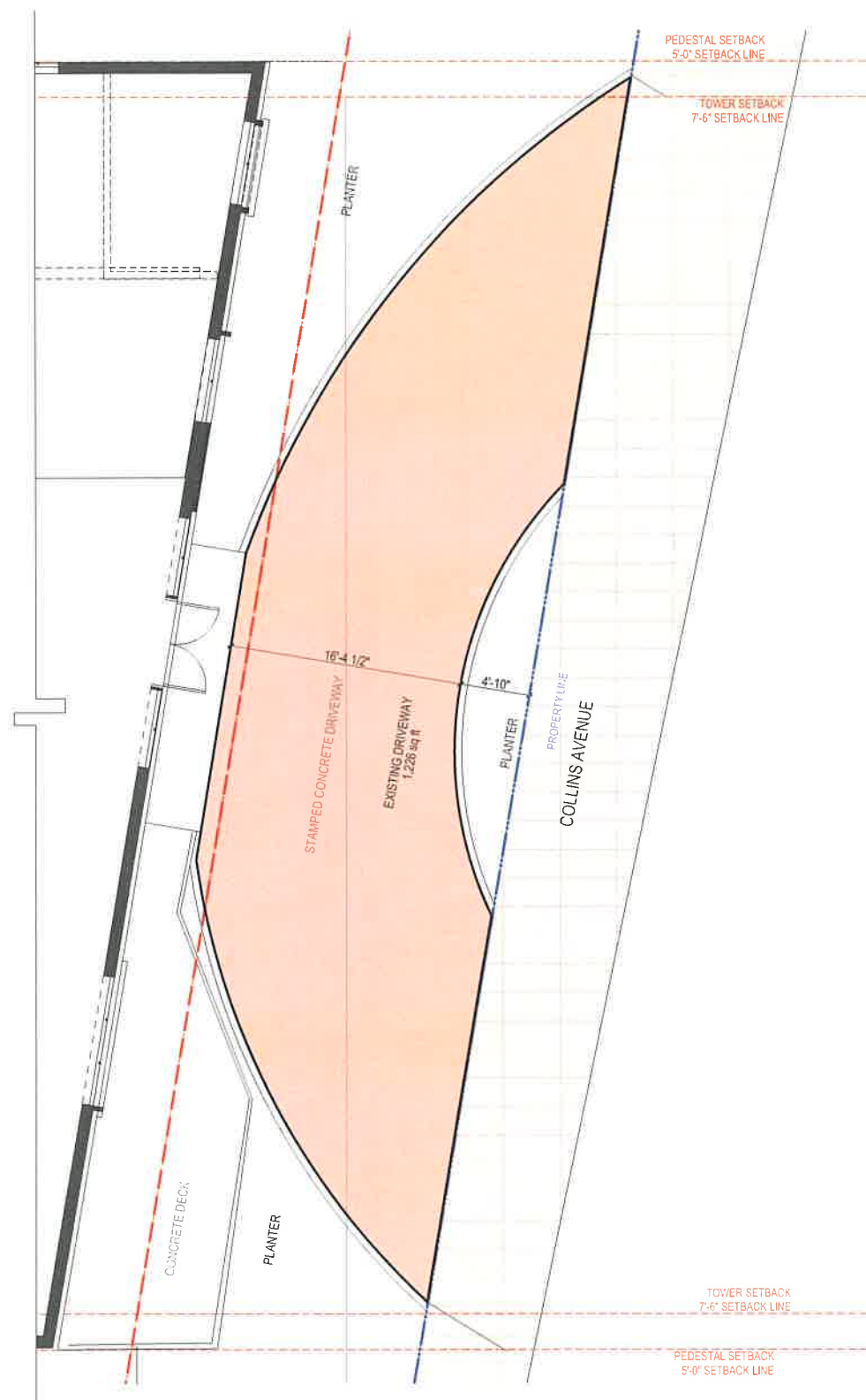
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Consultant

NOV 17 2019
STATE OF FLORIDA
LUIS O. REVUELTA
REGISTERED ARCHITECT
AR-0007972
Luis O. Revuelta
AR-0007972

HPB SUBMITTAL
Date
11/12/2019
Scale
AS SHOWN
Project No.
1824
Sheet Name
SOUTH COURTYARD
ELEVATION - DEMO
Sheet No.
A-028

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EXISTING DRIVEWAY AREA: 1,226.0 SF

EXISTING DRIVEWAY | 1

SCALE 3/16" = 1'-0"



PROPOSED DRIVEWAY AREA: 1,041.5 SF

PROPOSED DRIVEWAY | 2

SCALE 3/16" = 1'-0"



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Luis O. Revuelta

AR-0007972

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Date

11/12/2019

Scale

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Project No.

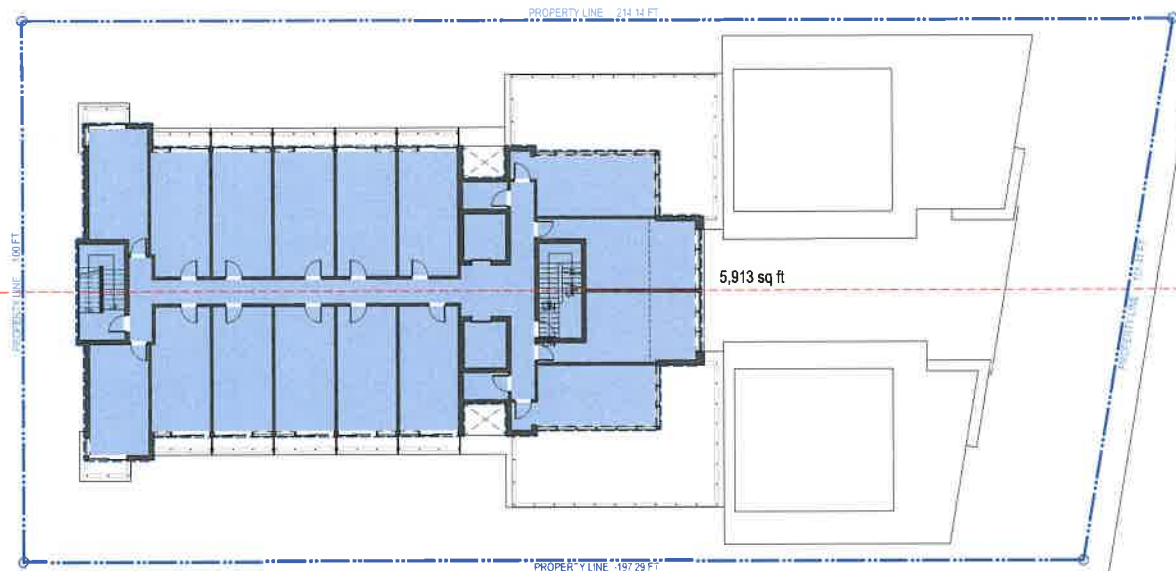
1824

Sheet Name
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DRIVEWAY

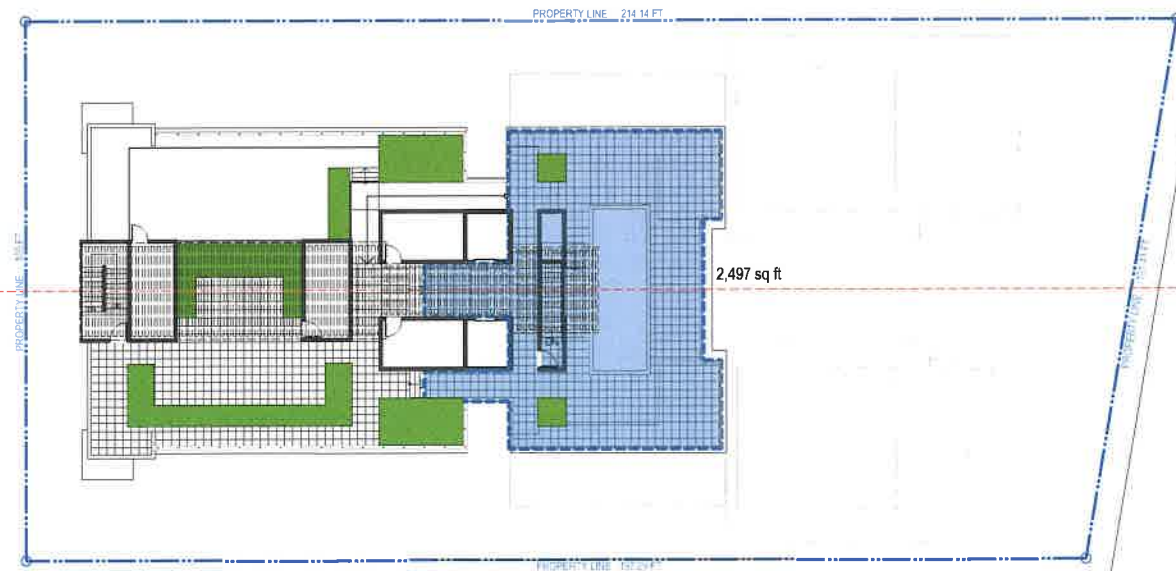
Sheet No.

A-029

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FLOOR AREA LEVEL 5 | 1
SCALE 1/16" = 1'-0"



FLOOR AREA ELEVATED ROOF DECK | 2
SCALE 1/16" = 1'-0"

CALCULATION OF ELEVATED ROOF DECK AREA

FLOOR AREA LEVEL 5 = 5,913.0 SF
MAXIMUM ALLOWED FLOOR AREA ELEVATED ROOF DECK = 2,956.5 SF
PROVIDED FLOOR AREA ELEVATED ROOF DECK = 2,497.0 SF

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Date _____

11/12/2019

Scale
1 to 5

AS SHOWN

1824

Sheet Name

MATERIALS

Sheet No.

A-031

ALUMINUM FRAMES-
ARCADIA SILVER OR SIMILAR

LAMINATED GLASS-
VIRACON OR SIMILAR- GREEN

CONCRETE PAVERS - MIAMI BEACH STANDARD
RED CONCRETE ON SIDE WALK

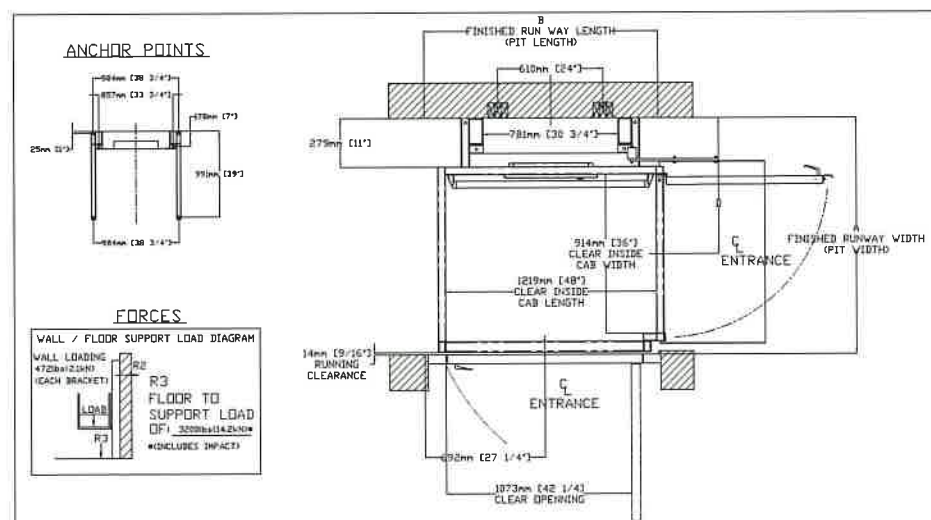
MATERIALS | 1

NTS

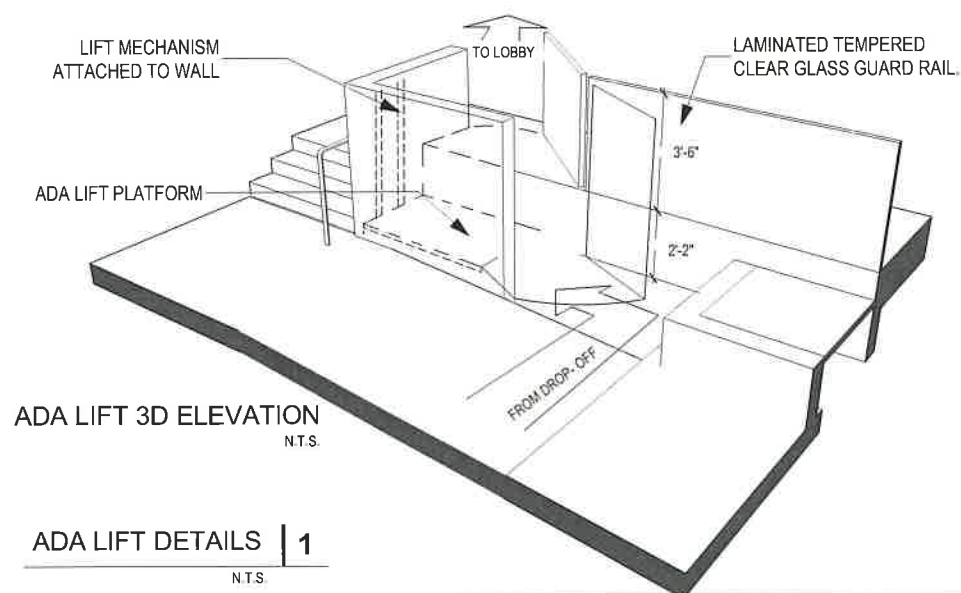
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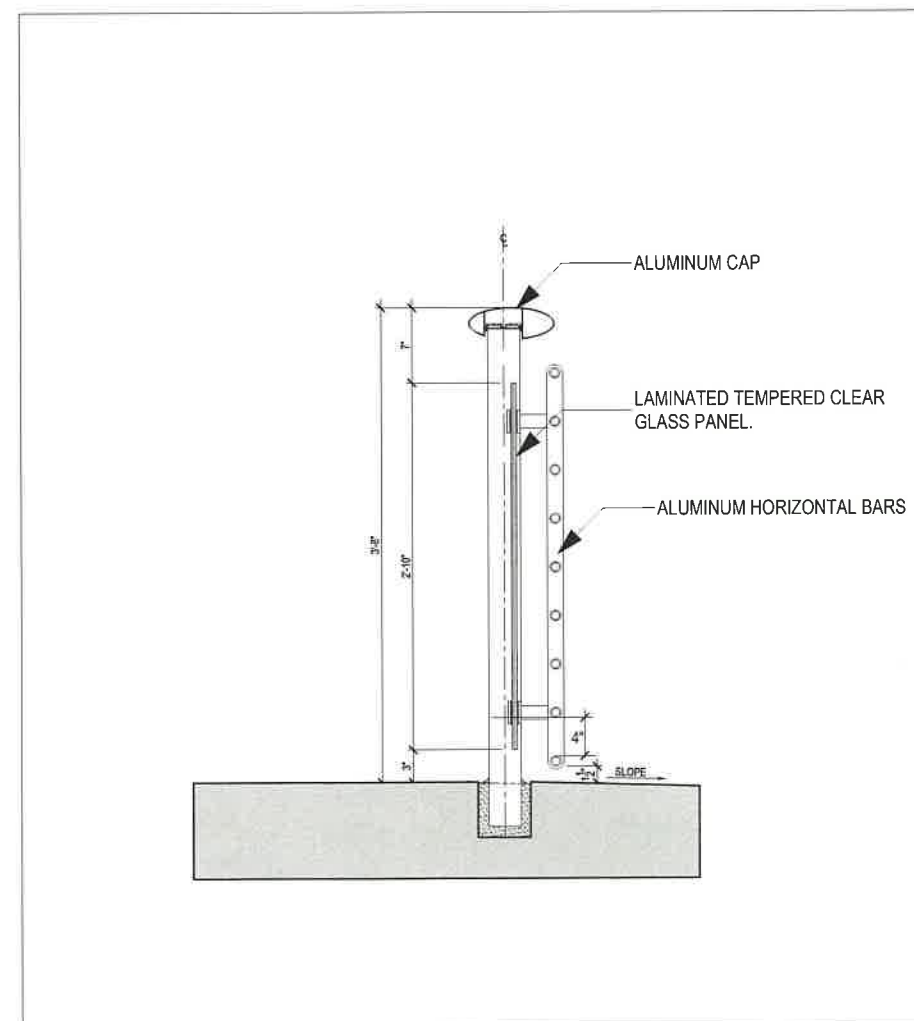
ADA REFERENCE IMAGE



ADA LIFT DETAILS DETAILS ARE FOR DESIGN INTENT ONLY.

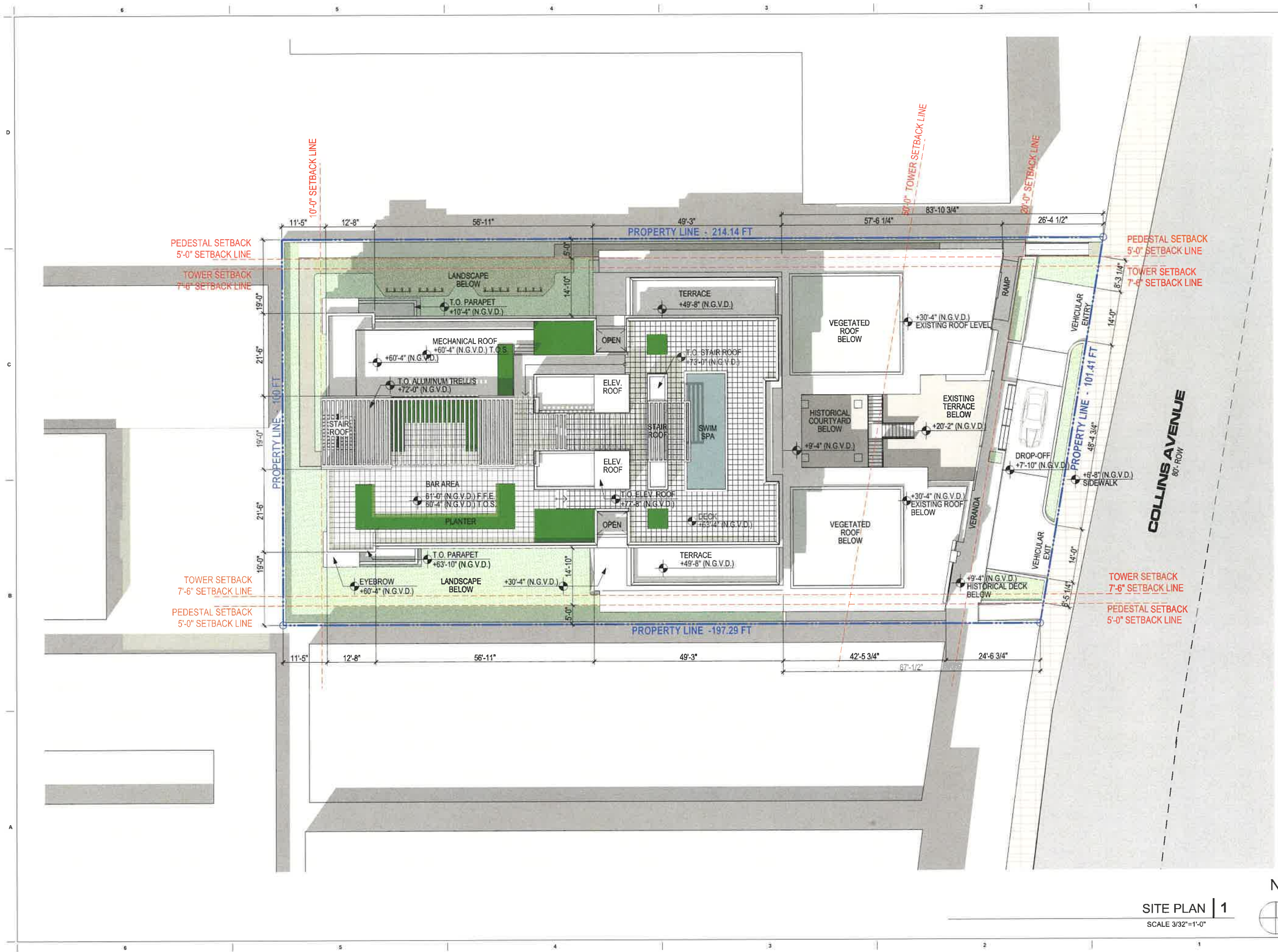


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SITE PLAN | 1
SCALE 3/32"=1'-0"



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Project No.

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Sheet Name

SITE PLAN

Sheet No.

A-100

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Project No.

1824

Sheet Name

BUILDING FLOOR PLAN -
GROUND LEVEL

Sheet No.

A-101



BUILDING FLOOR PLAN - GROUND LEVEL | 1

SCALE 1/8" = 1'-0"

N

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Rev. 01/12/2019. 1. Building Plans For 1530 COLLINS AVE. AQUA HOTEL. By Rev. Luis O. Revuelta. Date: 11/12/2019

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Date

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Scale

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Project No.

1824

Sheet Name

BUILDING FLOOR PLAN - LEVEL 2

Sheet No.

A-102



BUILDING FLOOR PLAN - LEVEL 2 | 1
SCALE 1/8"=1'-0"

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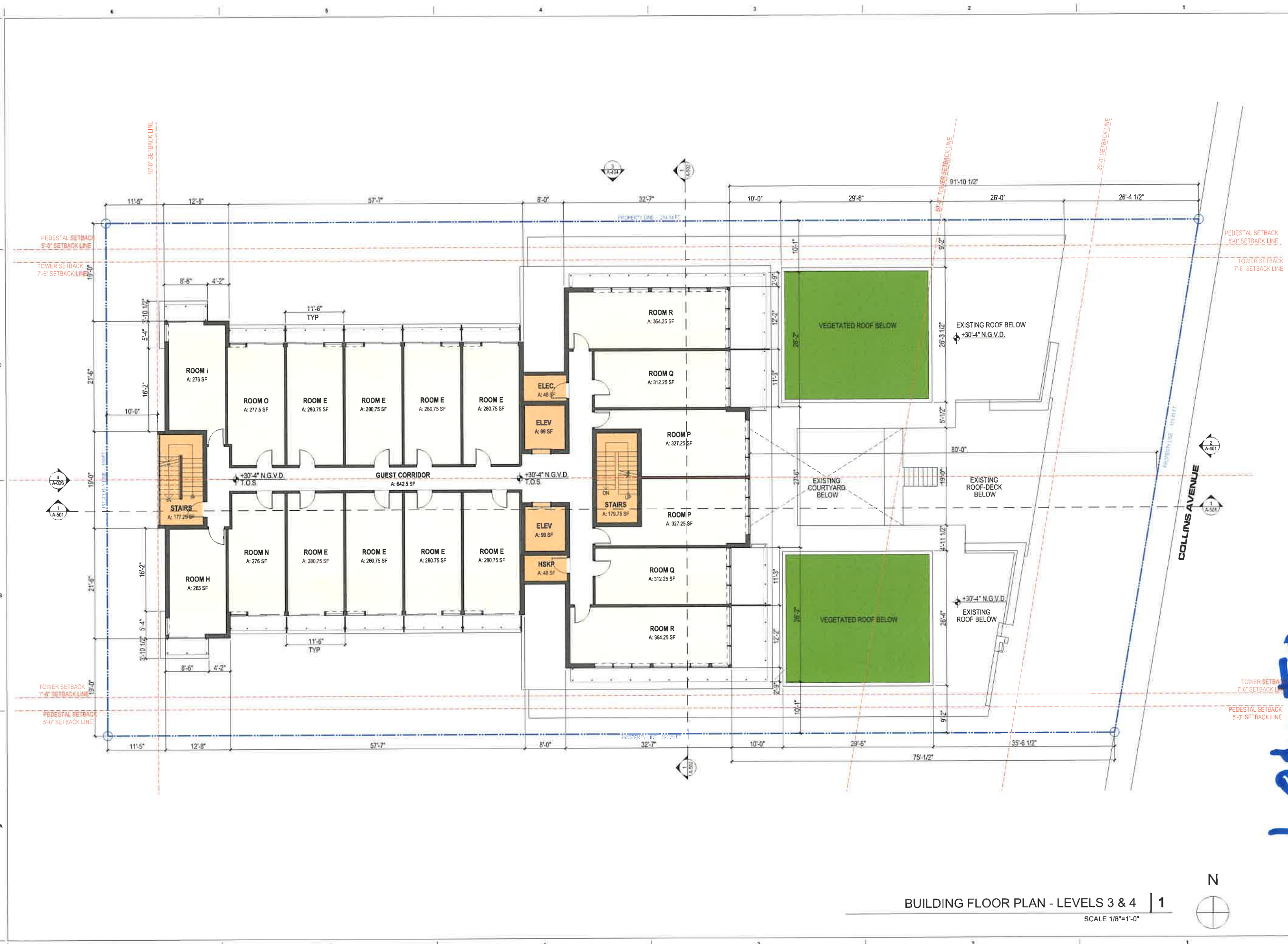
Date
11/12/2019

Scale
AS SHOWN

Project No.
1824

Sheet Name
BUILDING FLOOR PLAN -
LEVEL 3 & 4

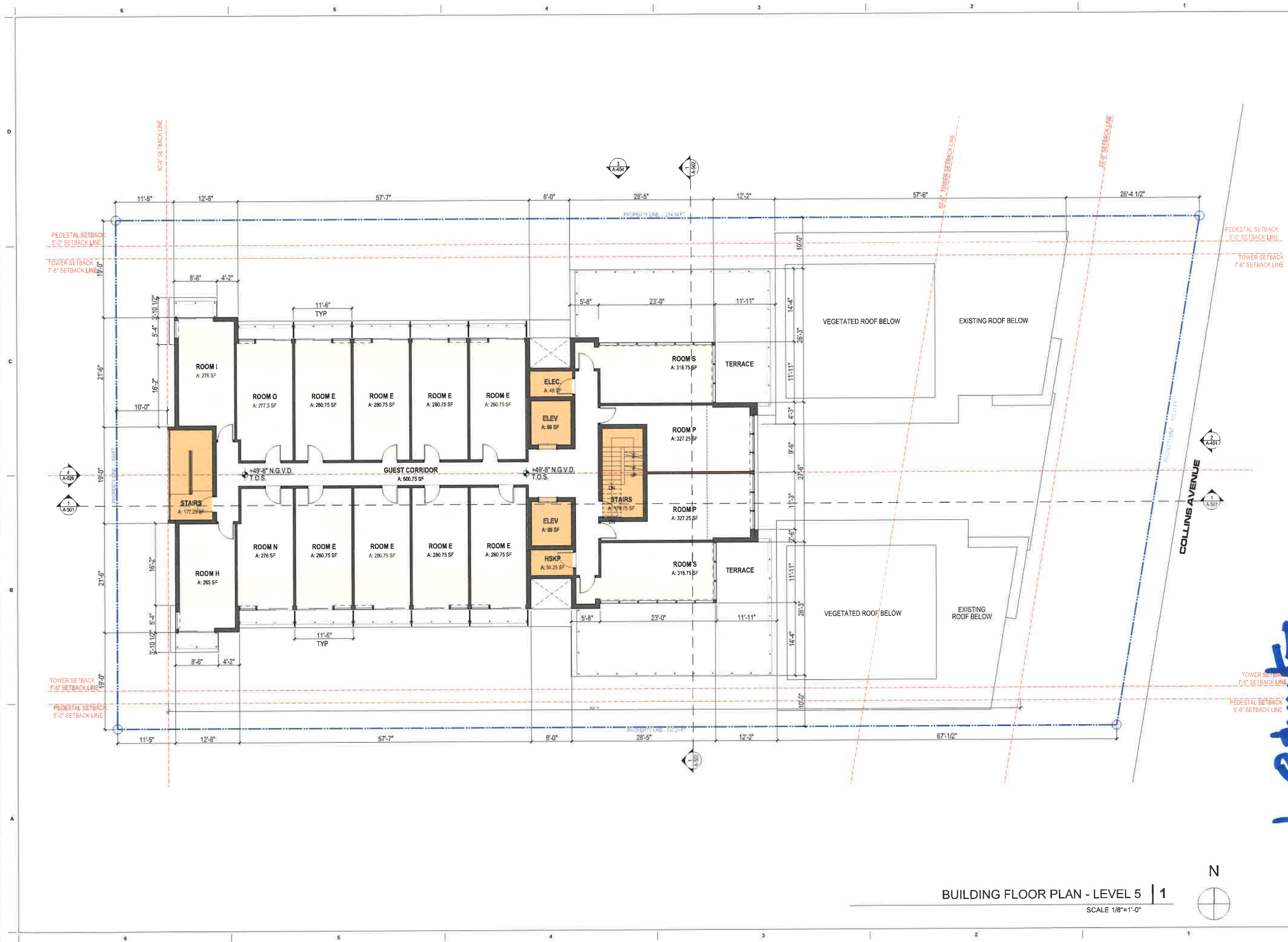
Sheet No.



BUILDING FLOOR PLAN - LEVELS 3 & 4 | 1
SCALE 1/8"=1'-0"

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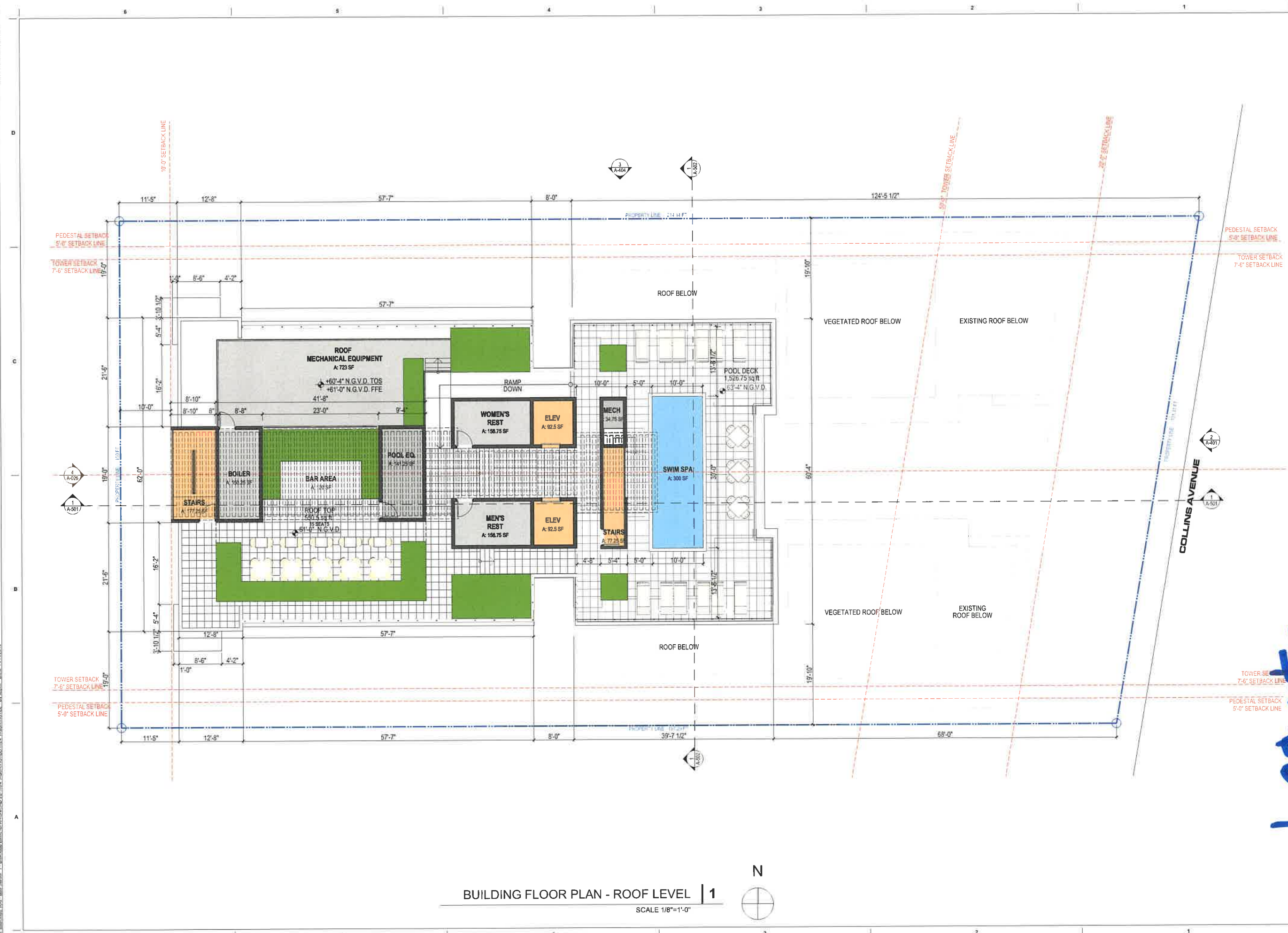
BUILDING FLOOR PLAN - LEVEL 5 | 1

SCALE 1/8"=1'-0"



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BUILDING FLOOR PLAN - ROOF LEVEL | 1

SCALE 1/8"=1'-0"



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Project No.

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Sheet Name

ENLARGED FLOOR PLAN -

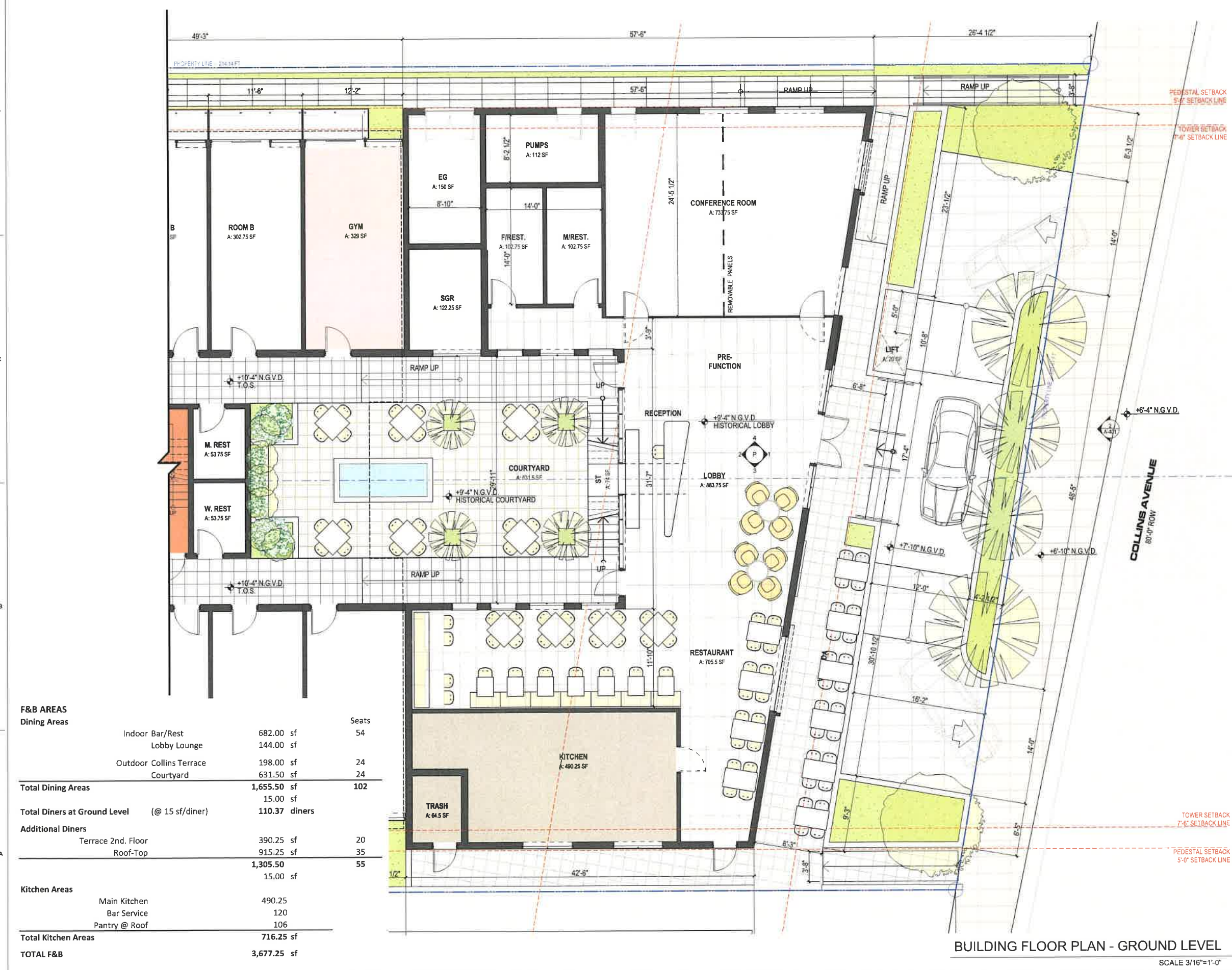
GROUND LEVEL

Sheet No.

A-201

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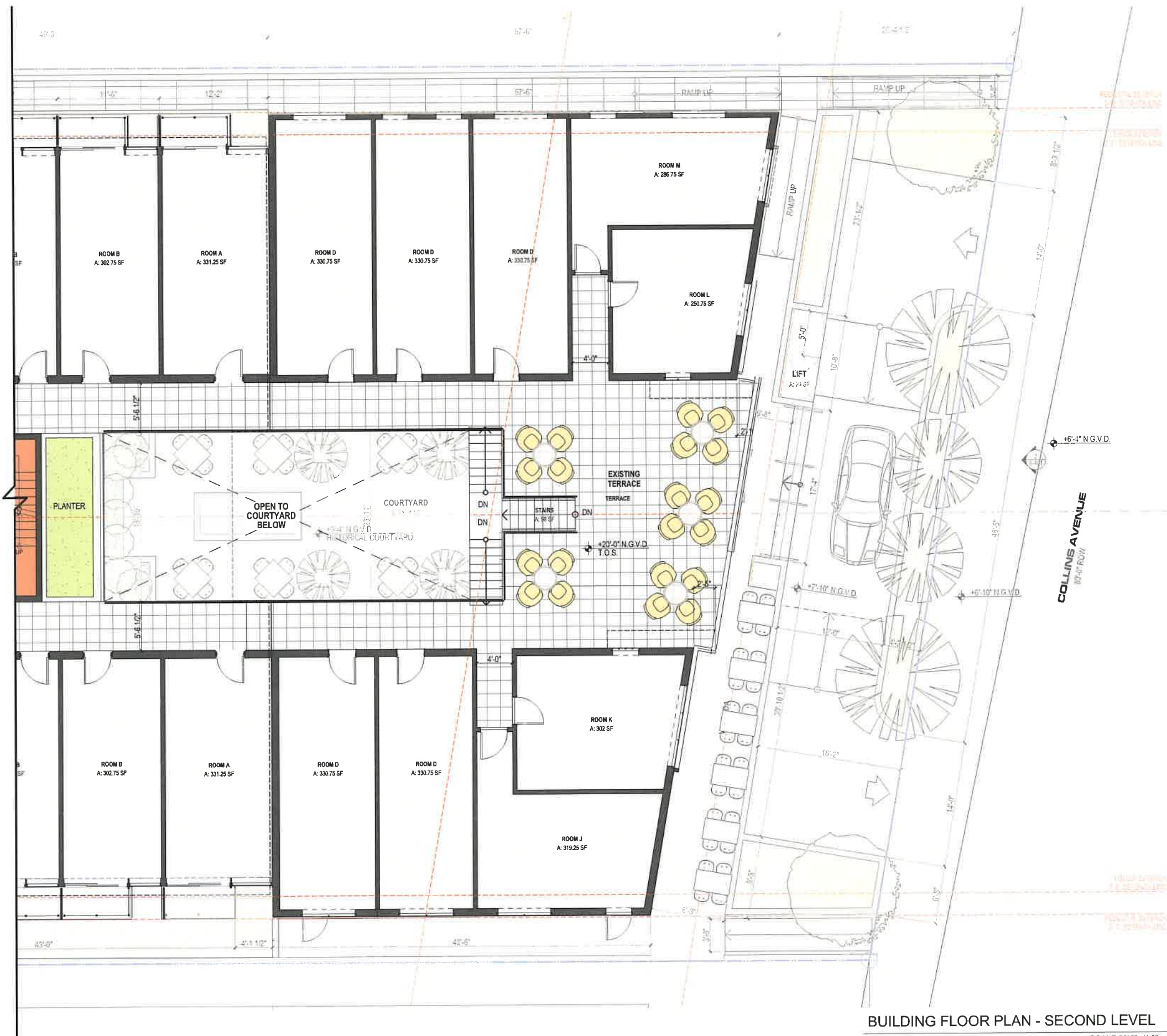
F&B AREAS			
Dining Areas			
Indoor Bar/Rest	682.00 sf	Seats	54
Lobby Lounge	144.00 sf		
Outdoor Collins Terrace	198.00 sf		24
Courtyard	631.50 sf		24
Total Dining Areas	1,655.50 sf		102
	15.00 sf		
Total Diners at Ground Level	(@ 15 sf/diner) 110.37	diners	
Additional Diners			
Terrace 2nd. Floor	390.25 sf		20
Roof-Top	915.25 sf		35
	1,305.50		55
	15.00 sf		
Kitchen Areas			
Main Kitchen	490.25		
Bar Service	120		
Pantry @ Roof	106		
Total Kitchen Areas	716.25 sf		
TOTAL F&B	3,677.25 sf		

BUILDING FLOOR PLAN - GROUND LEVEL | 1
SCALE 3/16"=1'-0"



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BUILDING FLOOR PLAN - SECOND LEVEL | 1
SCALE 3/16"=1'-0"

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Project No.

1824

Sheet Name

ENLARGED FLOOR PLAN -

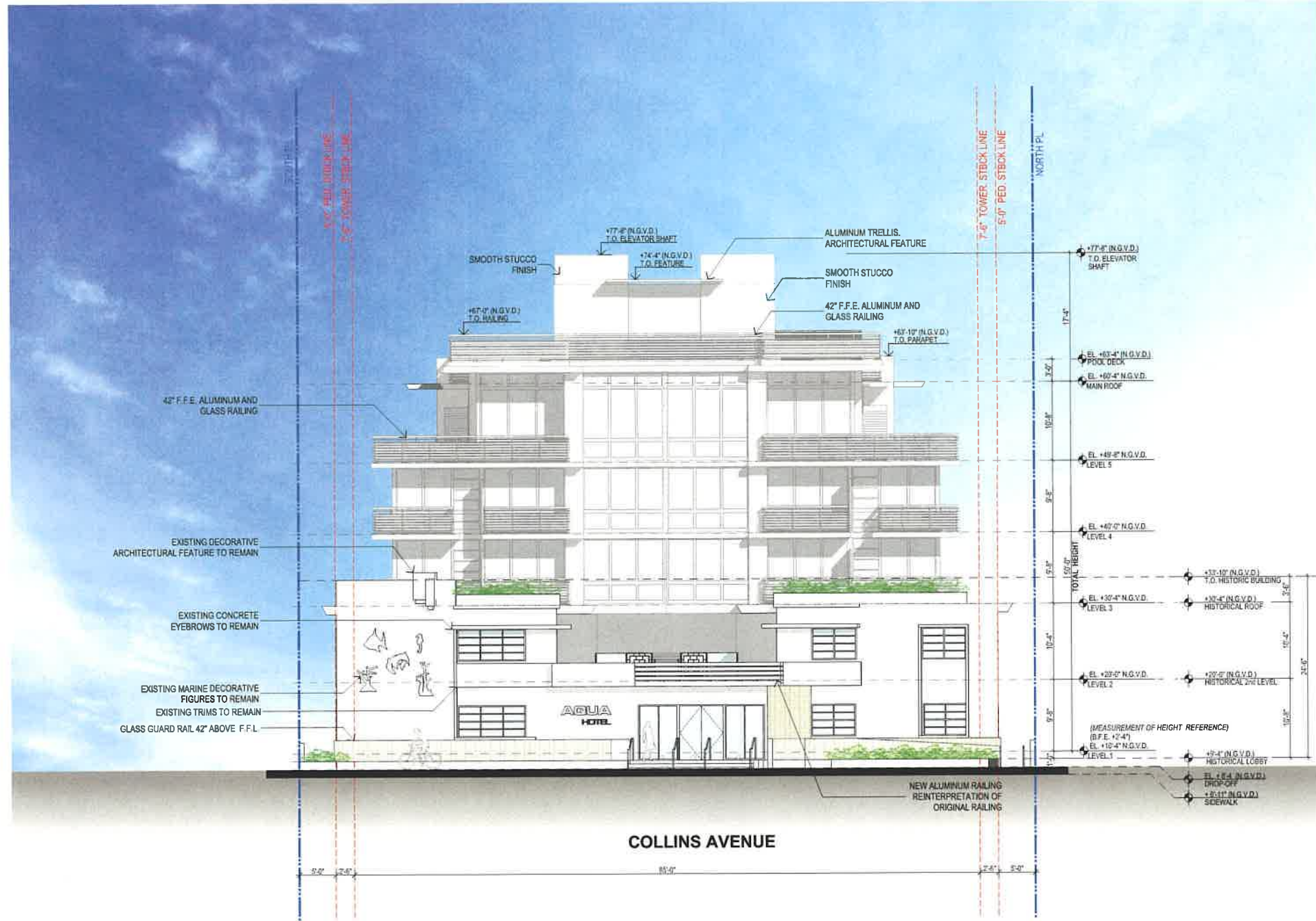
LEVEL 2

Sheet No.

A-202

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BUILDING ELEVATION - EAST | 1
SCALE 1/8"=1'-0"

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Project No.

1824

Sheet Name

EAST ELEVATION

Sheet No.

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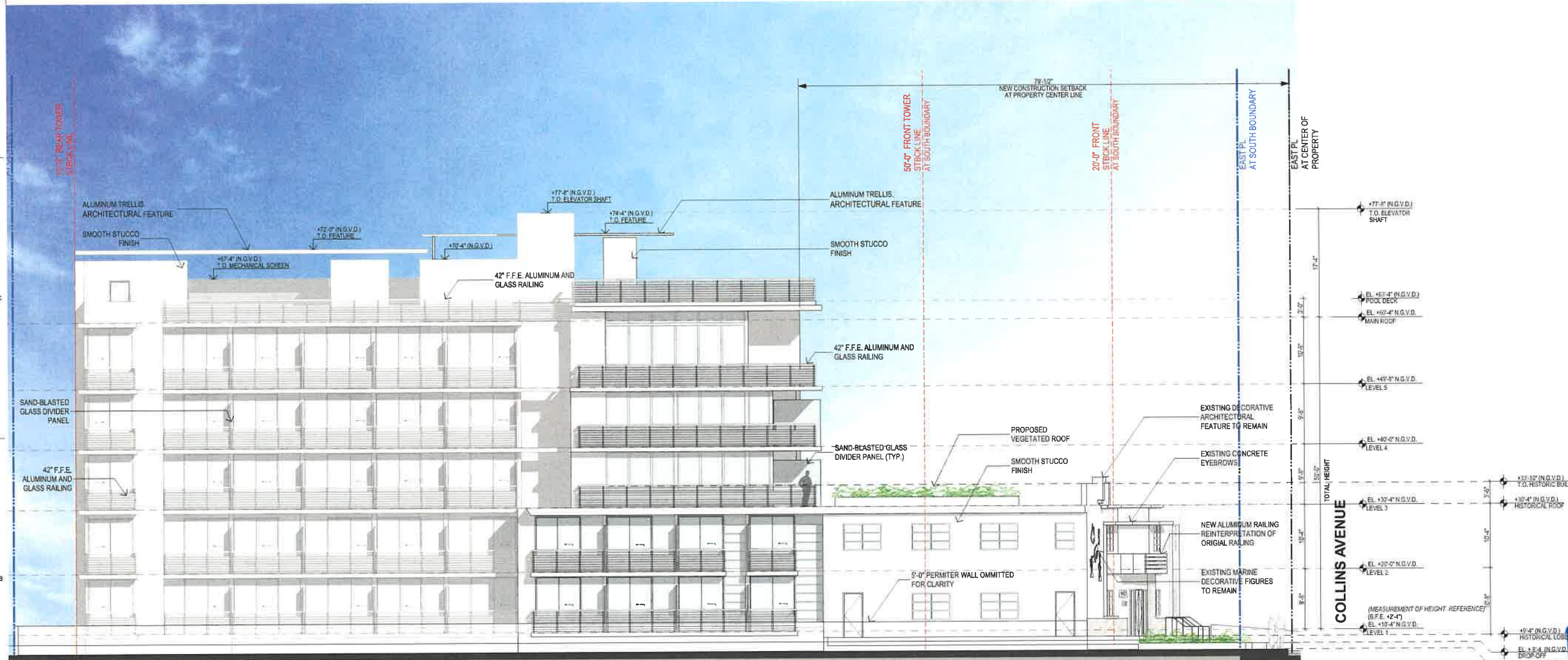
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Sheet Name

SOUTH ELEVATION

Sheet No.

A-402

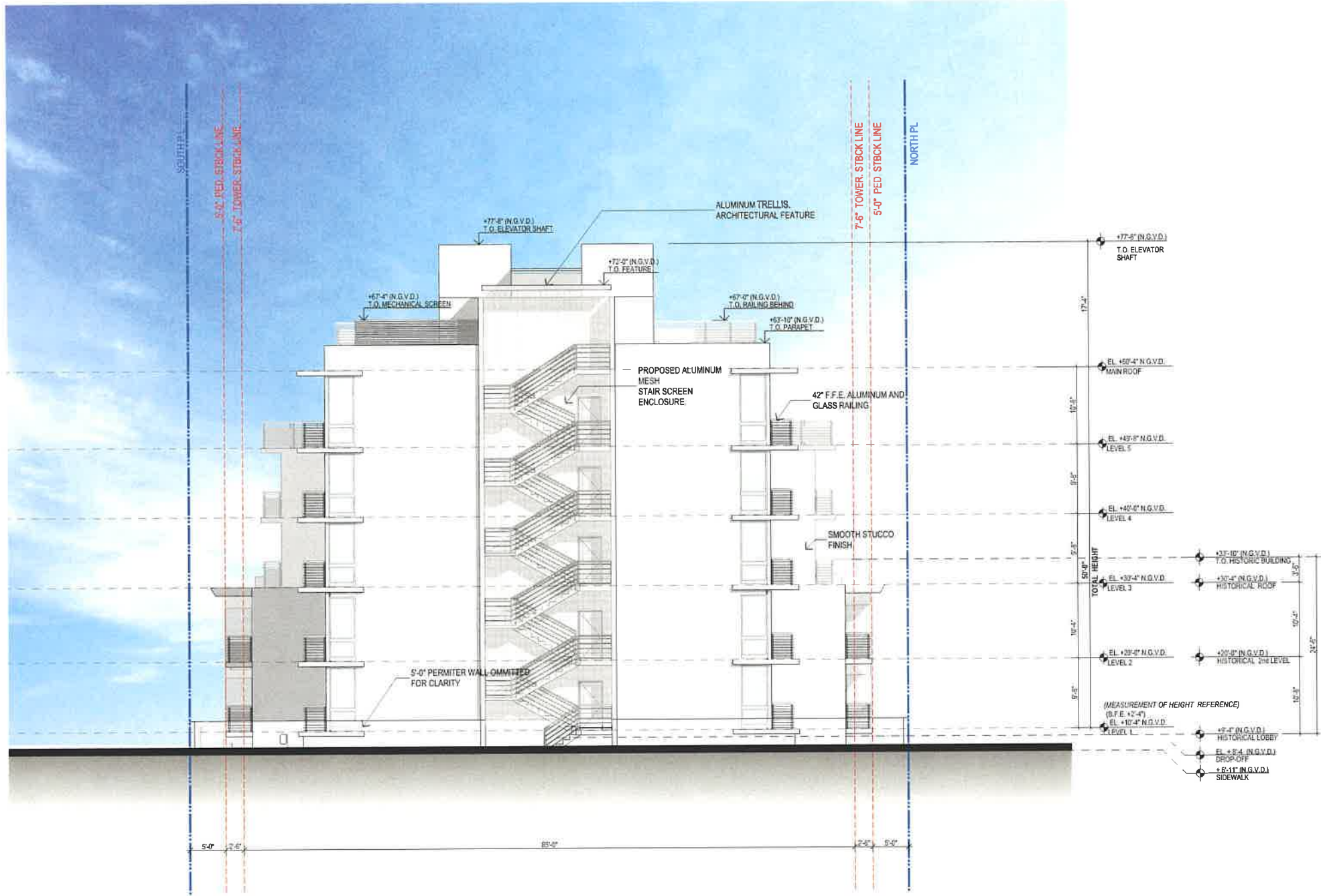


BUILDING ELEVATION - SOUTH | 1

SCALE 1/8"=1'-0"

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BUILDING ELEVATION - WEST | 1
SCALE 1/8"=1'-0"

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Sheet Name

WEST ELEVATION

Sheet No.

A-403

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Luis O. Revuelta
AR-0007972

HPB SUBMITTAL

Date

11/12/2019

Scale

AS SHOWN

Project No.

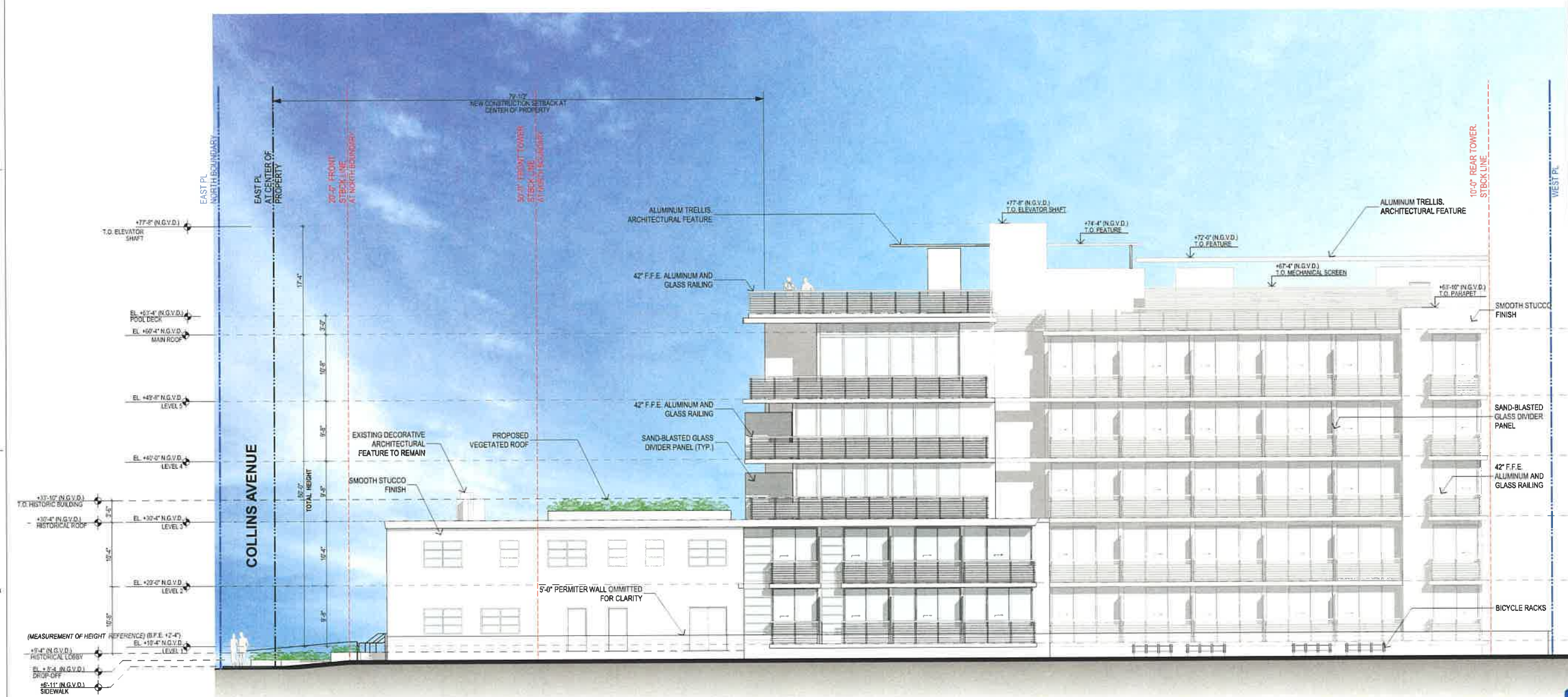
1824

Sheet Name

NORTH ELEVATION

Sheet No.

A-404



BUILDING ELEVATION - NORTH | 1
SCALE 1/8"=1'-0"

1530 COLLINS AVENUE
MIAMI BEACH, FLORIDA #Site Postcode

1530 COLLINS AVENUE
MIAMI BEACH, FLORIDA #Site Postcode

Revisions

Owner Information

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FLORIDA 33154

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Consultant



Luis O. Revuelta

AR-0007972

HPB SUBMITTAL

Date _____

11/12/2019

Scale

AS SHOWN

Project No
1824

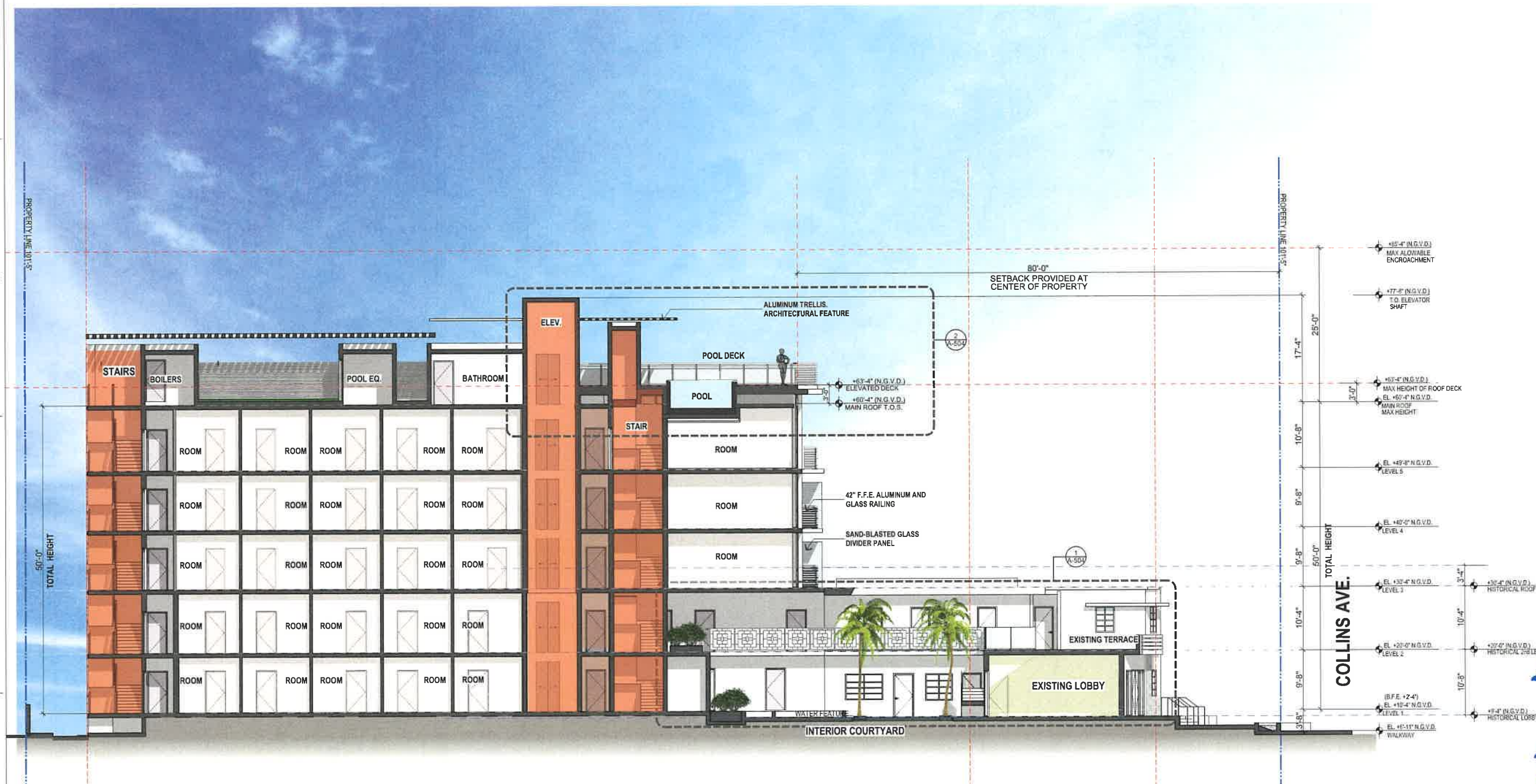
Sheet Name

SECTION A

Sheet No.

A-501

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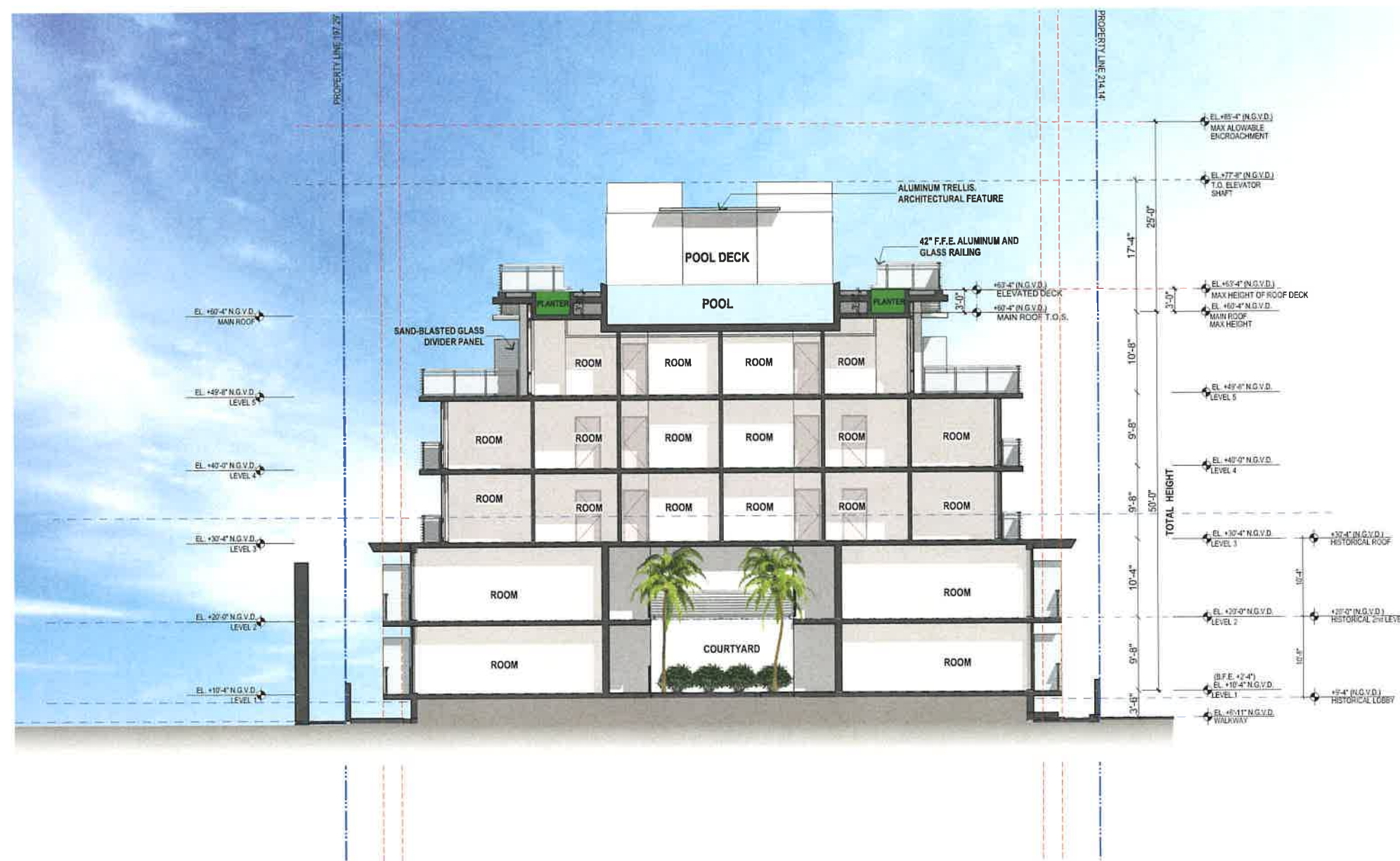
BUILDING SECTION A-A' | 1

SCALE 1/8"=1'-0"

Date	11/12/2015
Scale	AS SHOWN
Project No.	102
Sheet Name	SECTION A
Sheet No.	

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BUILDING SECTION B-B' | 1
SCALE 1/8"=1'-0"

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Project

AQUA HOTEL
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Revisions

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Date

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Scale

AS SHOWN

Project No.

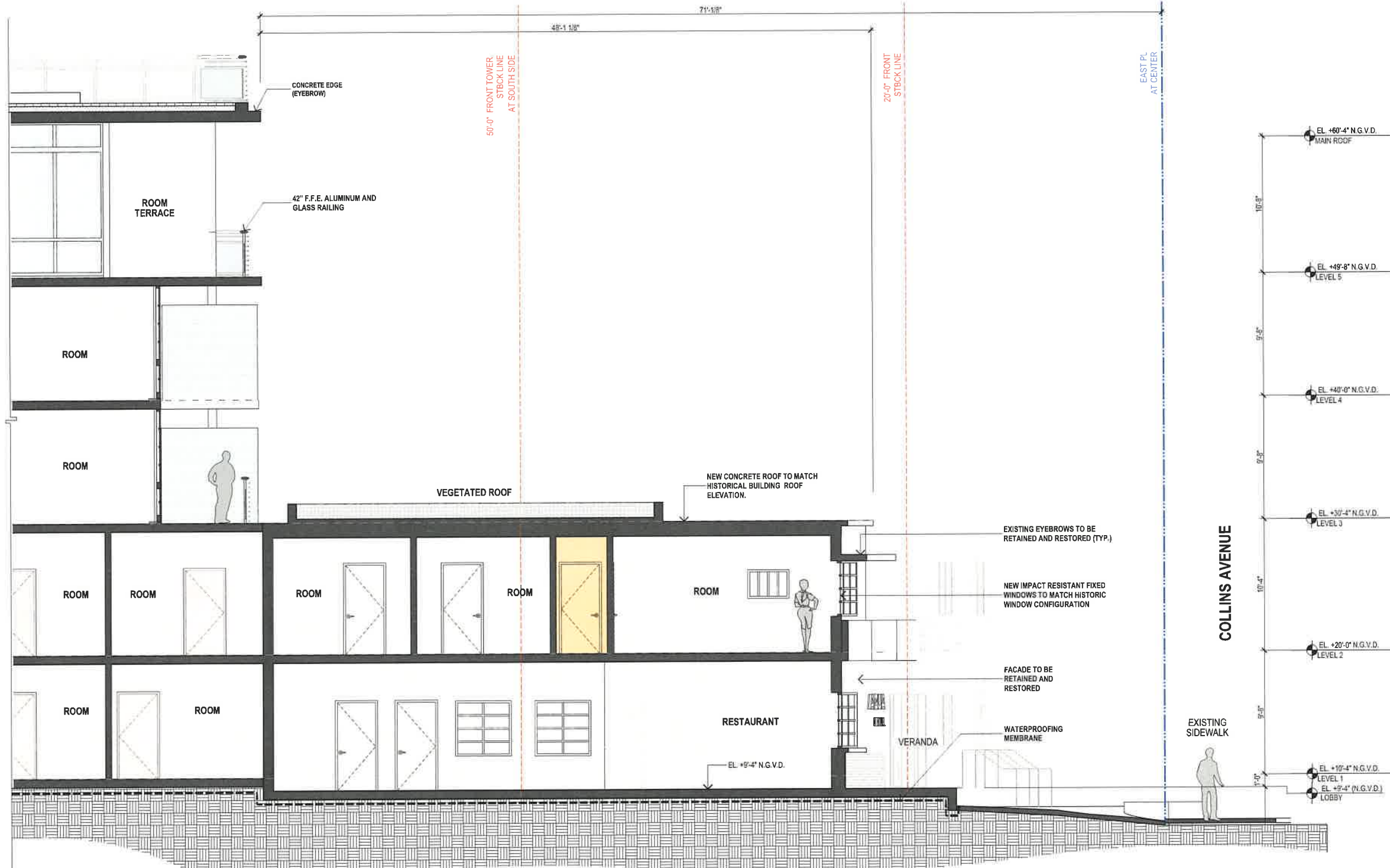
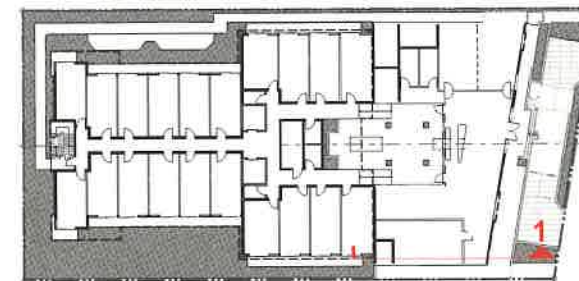
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Sheet Name

PARTIAL SECTIONS - SOUTH

Sheet No.

A-503



RELATIONSHIP OF NEW CONSTRUCTION
AND EXTERIOR RETAINED - EAST (SOUTH) | 1
SCALE 1/4"=1'-0"

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Date

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Project No.

1824

Sheet Name

NORTH EAST VIEW

Sheet No.

A-601



NORTH EAST VIEW | 1
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Date
11/12/2019
Scale
AS SHOWN
Project No.
1824
Sheet Name
SOUTH EAST VIEW
Sheet No.

A-602



SOUTH EAST VIEW | 1
NTS.

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INTERIOR COURTYARD | 1

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Project

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Date

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Scale

AS SHOWN

Project No.

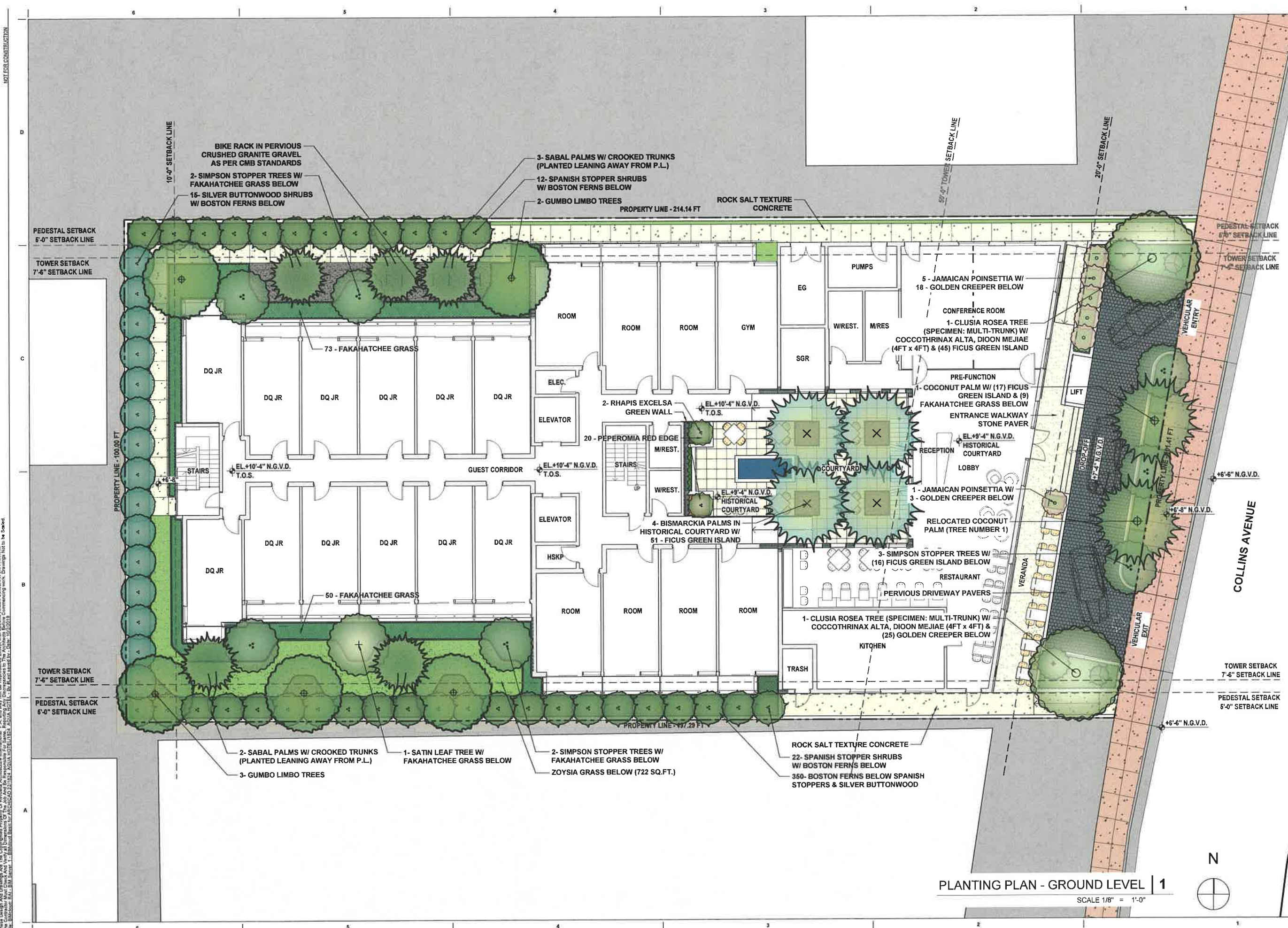
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Sheet Name

INTERIOR COURTYARD VIEW

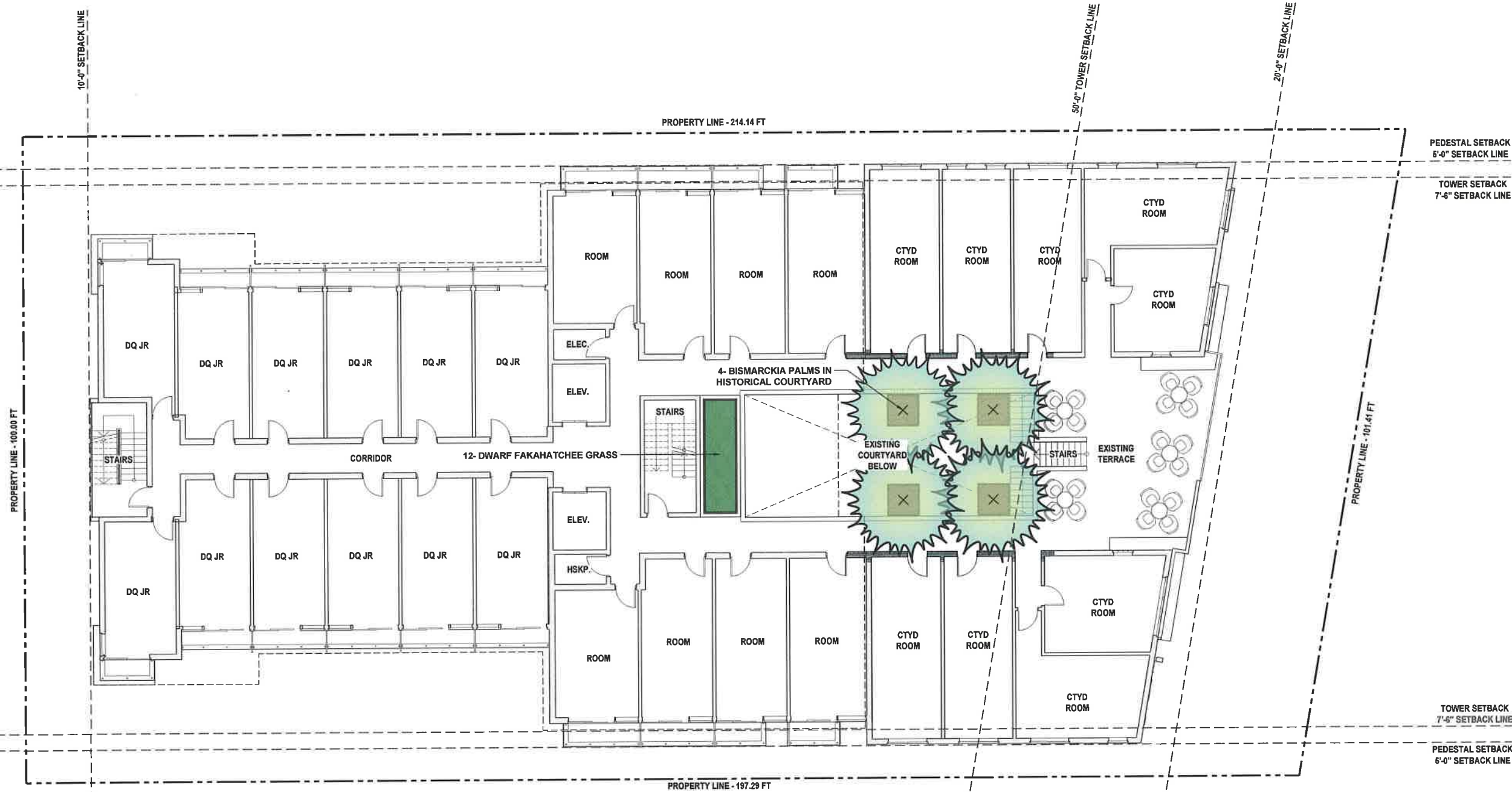
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PLANTING PLAN - LEVEL 2 | 1
SCALE 1/8" = 1'-0"



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David J. Ollishoo
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HPB SUBMITTAL

Date

11/12/2019

Scale

AS SHOWN

Project No.

19018

Sheet Name

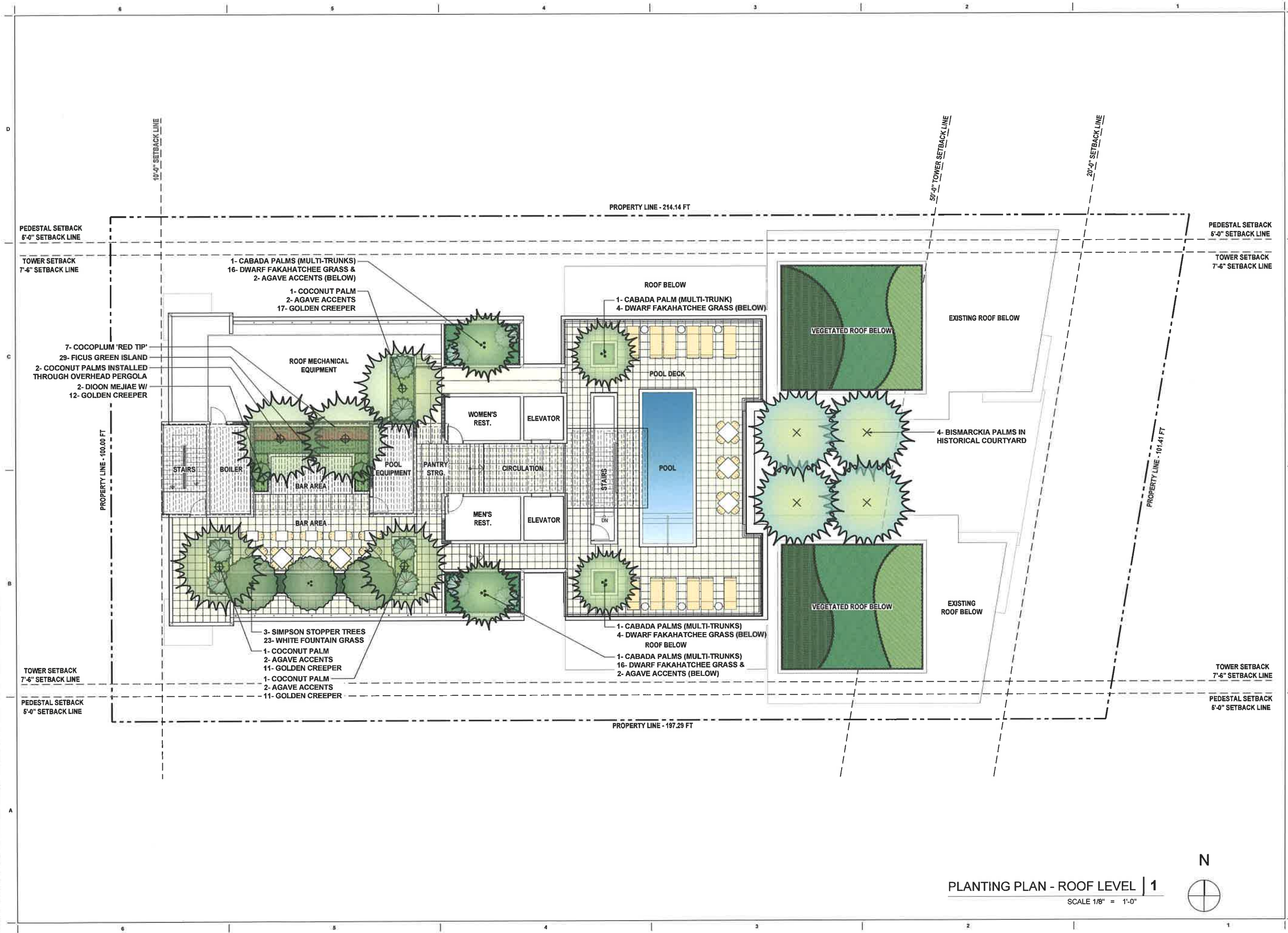
PLANTING PLAN - 2ND LEVEL

Sheet No.

LP-2

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PLANTING PLAN - ROOF LEVEL | 1
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TREES & PALMS



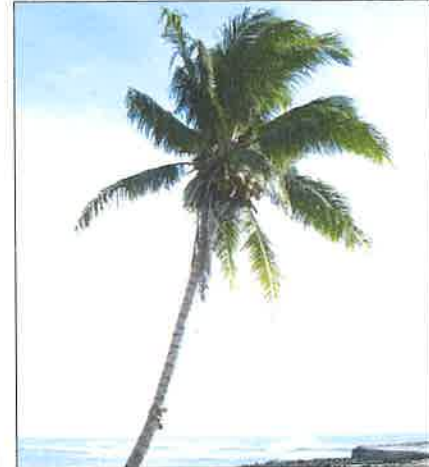
GUMBO LIMBO / BURSERA SIMARUBA



SATINLEAF TREE / CHRYSOPHYLLUM OLIVIFORME



AUTOGRAPH TREE / CLUSEA ROSEA



COCONUT PALM / COCOS NUCIFERA



CROOKED SABAL PALM / SABAL PALMETTO



SIMPSON STOPPER / MYRCIANTHES FRAGRANS



BISMARCKIA PALM / BISMARCKIA NOBILIS



CABADA PALM / DYPSIS CABADAE

SHRUBS & GROUND COVER



RED TIP COCOPLUM / CHRYSOBALANUS ICACO



SILVER PALM / COCCOTHRINAX ALTA



SILVER BUTTONWOOD / CONOCARPUS ERECTUS



DIOON MEJIAE / DIOON MEJIAE



SPANISH STOPPER / EUGENIA FOETIDA



JAMAICAN POINSETTIA / EUPHORBIA PUNICEA



GOLDEN CREEPER / ERNODEA LITTORALIS



FICUS GREEN ISLAND / FICUS MICROCARPA



BOSTON FERN / NEPHROLEPIS EXALTATA



WHITE FOUNTAIN GRASS / PENNISETUM SETACEUM



PEPEROMIA TRICOLOR / PEPEROMIA OBTUSIFOLIA



DWARF FAKAHATCHEE GRASS / TRIPSACUM FLORIDANUM



LADY PALM / RAPHS EXCELSA



GREEN WALL

HARDSCAPE MATERIALS



GRAY GRANITE GRAVEL



BIKE RACK



ROCK SALT TEXTURE CONCRETE



PERMEABLE DRIVEWAY PAVERS



ENTRANCE WALKWAY STONE PAVER

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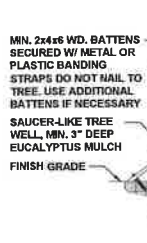
Nw J. OL
David J. Odishoo
RLA #6686969
11/12/19

HPB SUBMITTAL
Date
11/12/2019
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Project No.
19018
Sheet Name
PLANT & MATERIAL SCHEDULE
Sheet No.

LP-5

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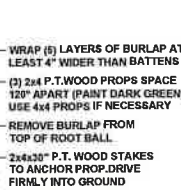
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SPECIMEN TREE AND TALL PALMS SUPPORT DETAIL



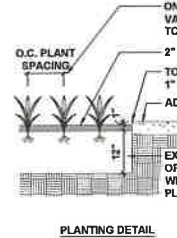
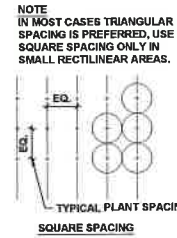
TREE PLANTING AND GUYING DETAIL



TYPICAL SHRUB PLANTING DETAIL



SMALL TREE SUPPORT DETAIL



PLANTING DETAIL

GENERAL LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II 1973, 1975 RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 2" MIN. "GRADE A" CYPRESS OR EUCALYPTUS MULCH, UNLESS OTHERWISE NOTED.
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO PLANTING DETAILS.)
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL TREE HOLDS TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH PLANTING SOIL. ALL SHRUB BEDS TO BE INSTALLED WITH PLANTING SOIL. (SEE SPECS)
6. SOD SHALL BE "FLORATAM" ST. AUGUSTINE (UNLESS OTHERWISE NOTED) SOLID SOD LAID WITH ALTERNATIVE AND ABUTTING JOINTS, WITH 2" TOP SOIL MINIMUM IF REQUIRED. (SEE SPECS)
7. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR TWELVE MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL PALMS ARE TO BE GUARANTEED FOR ONE YEAR.
8. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
9. ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURES RECOMMENDATIONS. (SUBMIT SAMPLE FOR APPROVAL.) (SEE SPEC)
10. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES. (NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION.)
11. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
12. NO CHANGE SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
13. ALL MATERIAL IS SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
14. ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM. (REFER TO IRRIGATION PLAN.)
15. ALL PLANTING BEDS TO RECEIVE NEW PLANTING SOIL (1/3 EVERGLADES PEAT, 1/3 SAND, 1/3 CYPRESS SAWDUST & CHOPS) MINIMUM 6" DEEP. (REFER TO PLANTING DETAILS.)
16. CONTRACTOR WILL VISIT SITE TO FAMILIARIZED HIMSELF WITH THE SCOPE OF WORK PRIOR TO SUBMITTING A BID.
17. LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
18. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED. (REFER TO DEMOLITION PLAN.)
19. ALL TREES TO BE RELOCATED WILL GET ROOT PRUNED 30 DAYS MIN. (OR MORE IF REQUIRED BY THE SPECIES). UPON RELOCATION, THIN OUT (UNDER LANDSCAPE ARCHITECT'S DIRECTION) 30% OF THE TREE CANOPY TO BE RELOCATED.
20. AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH PLANTING SOIL AND SOD DISTURBED AREA, AS REQUIRED.
21. ALL TREES ON SOD AREAS SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
22. ALL TREES SHALL HAVE A 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
23. ALL 1 GALLON MATERIAL TO HAVE A 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE A 20-24" SPREAD MINIMUM.

TREE BRACING NOTES:

1. 2" AND LARGER CALIPER TREES BRACED BY GUYING -
1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO THE GROUND. STAKES SHOULD BE DRIVING AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
4. PLACE THE HOSE AROUND THE TREE TRUCK JUST ABOVE THE LOWEST BRANCH.
5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
9. FLAG THE GUY WIRES WITH SURVEYOR'S FLAGGING OR APPROVED EQUAL FOR SAFETY.
10. GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

PLANT LIST			
TREES & PALMS			
Native	Qty	Botanical/Common Name	Specifications
Y	5	<i>Bursera simaruba</i> Gumbo Limbo	16'-0" Ht. x 12'-0" Sp.
Y	1	<i>Chrysophyllum oliviforme</i> Satinleaf	14'-0" Ht. x 10'-0" Sp.
Y	2	<i>Clusia rosea</i> Autograph Tree	14'-0" Ht. x 10'-0" Sp. (Specimen-Multi Trunk)
N	6	<i>Cocos nucifera</i> Coconut Palm	20'-0" Clear Wood Ht. x 12'-0" Sp.
N	4	<i>Dypsis cabedae</i> Cabedae Palm	14'-0" Ht. (Multi-Trunk) x 10'-0" Sp.
N	7	<i>Myrcianthes fragrans</i> Simpson Stopper	14'-0" Ht. x 8'-0" Sp.
Y	5	<i>Sabal palmetto</i> Leaning Sabal Palms	14'-0" Clear Wood Ht. x 6'-0" Sp.
N	4	<i>Bismarckia nobilis</i> Bismarckia Palms	16'-0" Clear Wood Ht. x 12'-0" Sp.
SHRUBS & GROUNDCOVERS			
N	11	<i>Agee Accent T.B.D.</i> Agave	25 Gal.
Y	7	<i>Chrysobalanus icaco</i> 'Red Tip' Red Tip Coccoloba	3 Gal. 36" On-Center (O.C.)
N	2	<i>Coccothrinax alta</i> Silver Palm	65 Gal.
Y	15	<i>Conocarpus erectus</i> 'Sericeus' Silver Buttonwood	8'-0" Ht., 25 Gal., 6'-0" On-Center (O.C.)
N	6	<i>Dioon majae</i> Dioon Majae	65 Gal. 4'-0" x 4'-0" Diameter Minimum
Y	34	<i>Eugenia foetida</i> Spanish Stopper	8'-0" Ht., 25 Gal., 6'-0" On-Center (O.C.)
N	5	<i>Euphorbia pulchra</i> Jamaican Poinsettia	3 Gal. 48" On-Center (O.C.)
Y	194	<i>Ernestia littoralis</i> Golden Creeper	3 Gal. 24" On-Center (O.C.)
N	158	<i>Ficus microcarpa</i> 'Green Island' Ficus Green Island	3 Gal. 18" On-Center (O.C.)
Y	350	<i>Nephrolepis exaltata</i> Boston Fern	3 Gal. 24" On-Center (O.C.)
N	108	<i>Pennisetum setaceum</i> 'Alba' White Fountain Grass	3 Gal. 30" On-Center (O.C.)
Y	20	<i>Peperomia obtusifolia</i> 'Red Edge' Peperomia tricolor	3 Gal. 18" On-Center (O.C.)
Y	252	<i>Tripsacum dandaneum</i> Dwarf Fakahatchee grass	3 Gal. 36" On-Center (O.C.)
N	2	<i>Rhapis excelsa</i> Lady Palm	65 Gal.
MISCELLANEOUS			
	722 sq.ft.	Zoysia Lawn	

TREE MITIGATION: REMOVED CANOPY							
TREE No	COMMON NAME	SCIENTIFIC NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)	TRUNK	CANOPY
2	Fiddle Leaf Fig	<i>Ficus lyrata</i>	5	10	12		113
3	Dwarf Roebellini	<i>Phoenix roebellini</i>	96	8 O.A.	6		30
4	Dwarf Roebellini	<i>Phoenix roebellini</i>	24	8 O.A.	6		30
5	Fiddle Leaf Fig	<i>Ficus lyrata</i>	5	10	10		80
6	Christmas Palm	<i>Adonidia merillii</i>	6	14 WD.	10	Multi-Trunk	80
7	Christmas Palm	<i>Adonidia merillii</i>	6	14 WD.	10	Multi-Trunk	80
8	Christmas Palm	<i>Adonidia merillii</i>	6	14 WD.	10	Multi-Trunk	80
9	Christmas Palm	<i>Adonidia merillii</i>	6	14 WD.	10	Multi-Trunk	80
10	Christmas Palm	<i>Adonidia merillii</i>	6	18 WD.	10	Multi-Trunk	80
11	Christmas Palm	<i>Adonidia merillii</i>	6	18 WD.	10	Multi-Trunk	80
12	Queen Palm	<i>Syagrus romanzoffiana</i>	9	25 WD.	8		51
13	Queen Palm	<i>Syagrus romanzoffiana</i>	9	25 WD.	8		51
14	Queen Palm	<i>Syagrus romanzoffiana</i>	8	20 WD.	8		51
15	Areca Palm	<i>Dypsis lutescens</i>	3	10	12	Multi-Trunk	113
16	Christmas Palm	<i>Adonidia merillii</i>	7	12 WD.	10		80
19	Christmas Palm	<i>Adonidia merillii</i>	6	15-18 WD.	10	Multi-Trunk	80
20	Christmas Palm	<i>Adonidia merillii</i>	6	15-18 WD.	10	Multi-Trunk	80
21	Christmas Palm	<i>Adonidia merillii</i>	6	15-18 WD.	10		80
22	Alexander Palm	<i>Ptychosperma elegans</i>	5	25 WD.	12	Multi-Trunk	113
CANOPY TO BE REMOVED (S.F.)							1432

MITIGATION LIST - PROPOSED CANOPY					
PROPOSED TREES & PALMS					
Native	Qty	Botanical/Common Name	Specifications	Category	Canopy Credit
Y	5	<i>Bursera simaruba</i> Gumbo Limbo	14'-0" to 16'-0" Ht. x 12'-0" Sp.	Category 1 Tree	1500
Y	1	<i>Chrysophyllum oliviforme</i> Satinleaf	12'-0" to 14'-0" Ht. x 10'-0" Sp.	Category 1 Tree	300
Y	2	<i>Clusia rosea</i> Autograph Tree	12'-0" to 14'-0" Ht. x 12'-0" Sp.	Category 1 Tree	600
N	7	<i>Myrcianthes fragrans</i> Simpson Stopper	12'-0" to 14'-0" Ht. x 10'-0" Sp.	Category 1 Tree	2100
TOTAL S.F. PROPOSED					4800

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District: MXE Lot Area: 20,500 sq.ft. Acres: 0.47 acres

OPEN SPACE		REQUIRED/ ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan:			
Lot Area = 20,500 s.f. x 20% = 4,100 s.f.		4,100 s.f.	6,550 s.f.
B. Square feet of parking lot open space required as indicated on site plan:			
Number of parking spaces: N/A x 10 s.f. parking space =		N/A	N/A
C. Total square feet of landscaped open space required: A+B=		4,100 s.f.	6,550 s.f.

LAWN AREA CALCULATION

A. Square feet of landscaped open space required	4,100 s.f.	6,550 s.f.
B. Maximum lawn area (sod) permitted: 20% x 4,100 s.f.	820 s.f.	816 s.f.

TREES

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=	22	15
B. % Natives required: Number of trees provided x 30% =	5	8
C. % Low maintenance / drought and salt tolerant required:	8	15
D. Street Trees (maximum average spacing of 20' o.c.)	101.41	7 (65 TREES / 32 PALMS)
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.):	N/A	N/A

SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12=	192	399
B. % Native shrubs required: Number of shrubs provided x 50%=	96	399

LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	20	49
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	25	49

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Project

AQUA HOTEL
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MIAMI BEACH, FLORIDA 33139

Revisions

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landscape
architecture

Nwi.OL
11/12/19
David J. Odishoo
RLA#0665989

HPB SUBMITTAL

Date

11/12/2019

Scale

AS SHOWN

Project No.

19018

Sheet Name

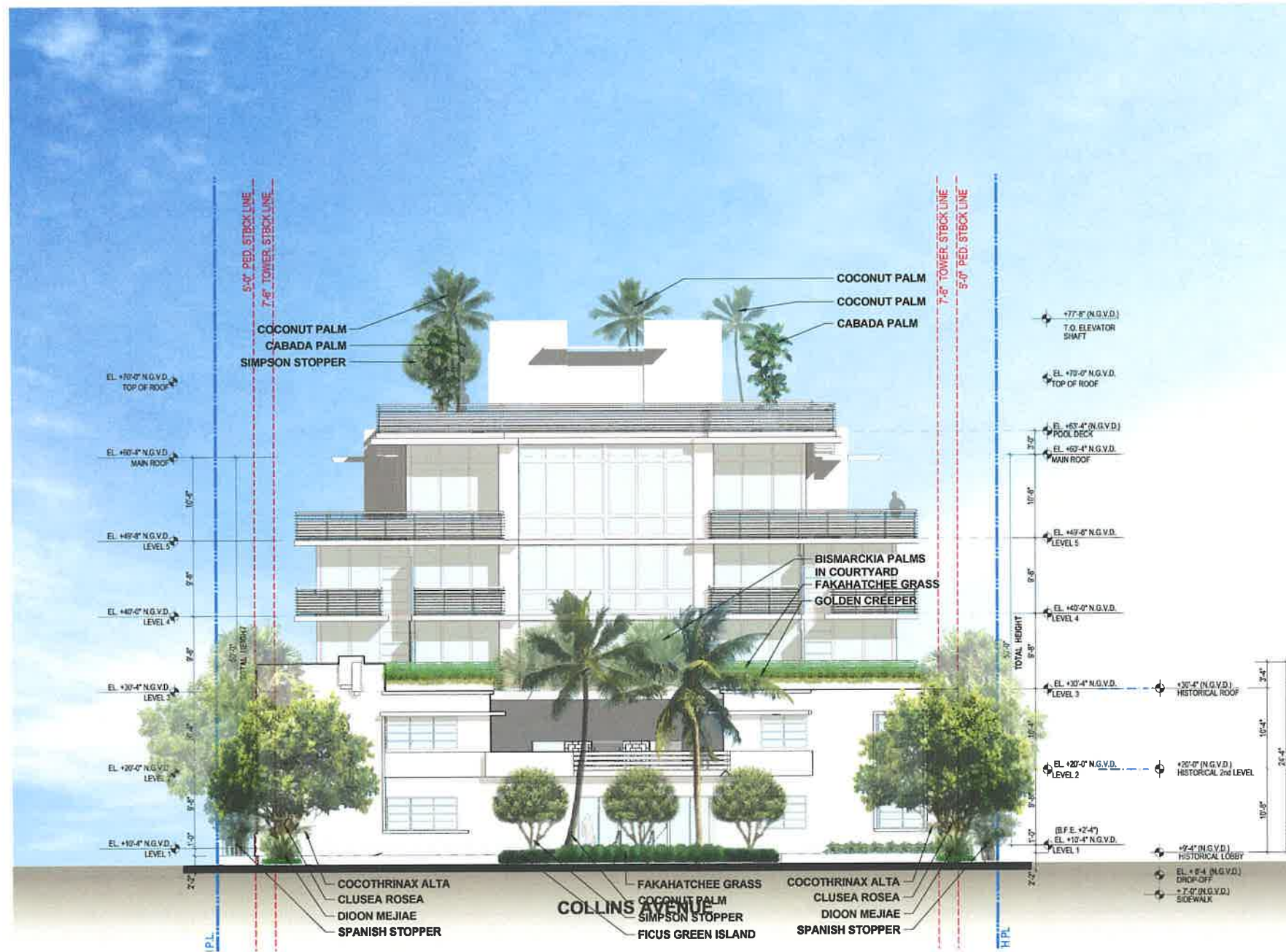
PLANTING SCHEDULE

Sheet No.

LP-6

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EAST ELEVATION
SCALE 1/8" = 1'-0"

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RLA #000989
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AS SHOWN

Project No.

18018

Sheet Name

ELEVATION: EAST

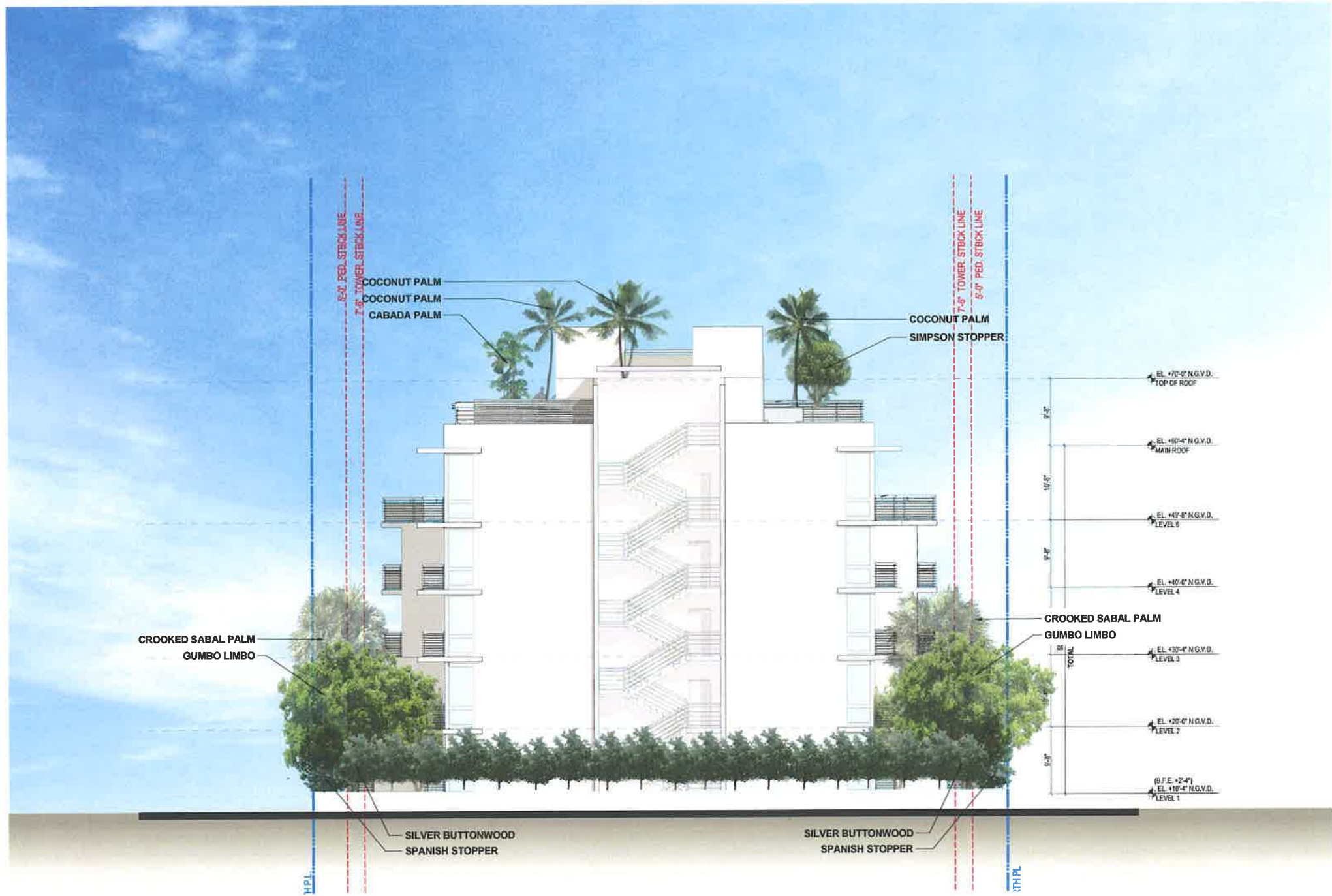
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A8 SHOWN

Project No.

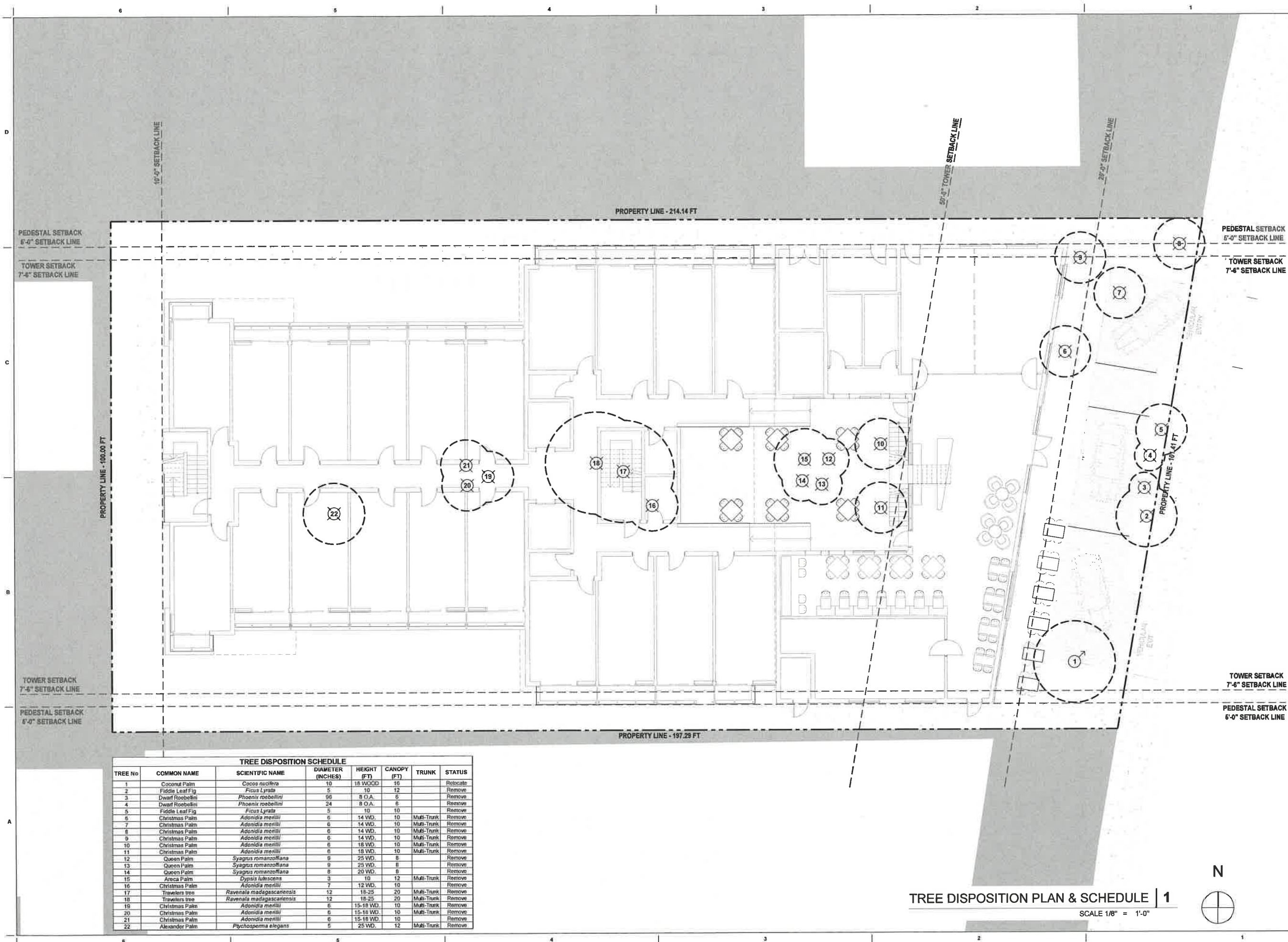
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Sheet Name

ELEVATION: WEST

Sheet No.

LP-9



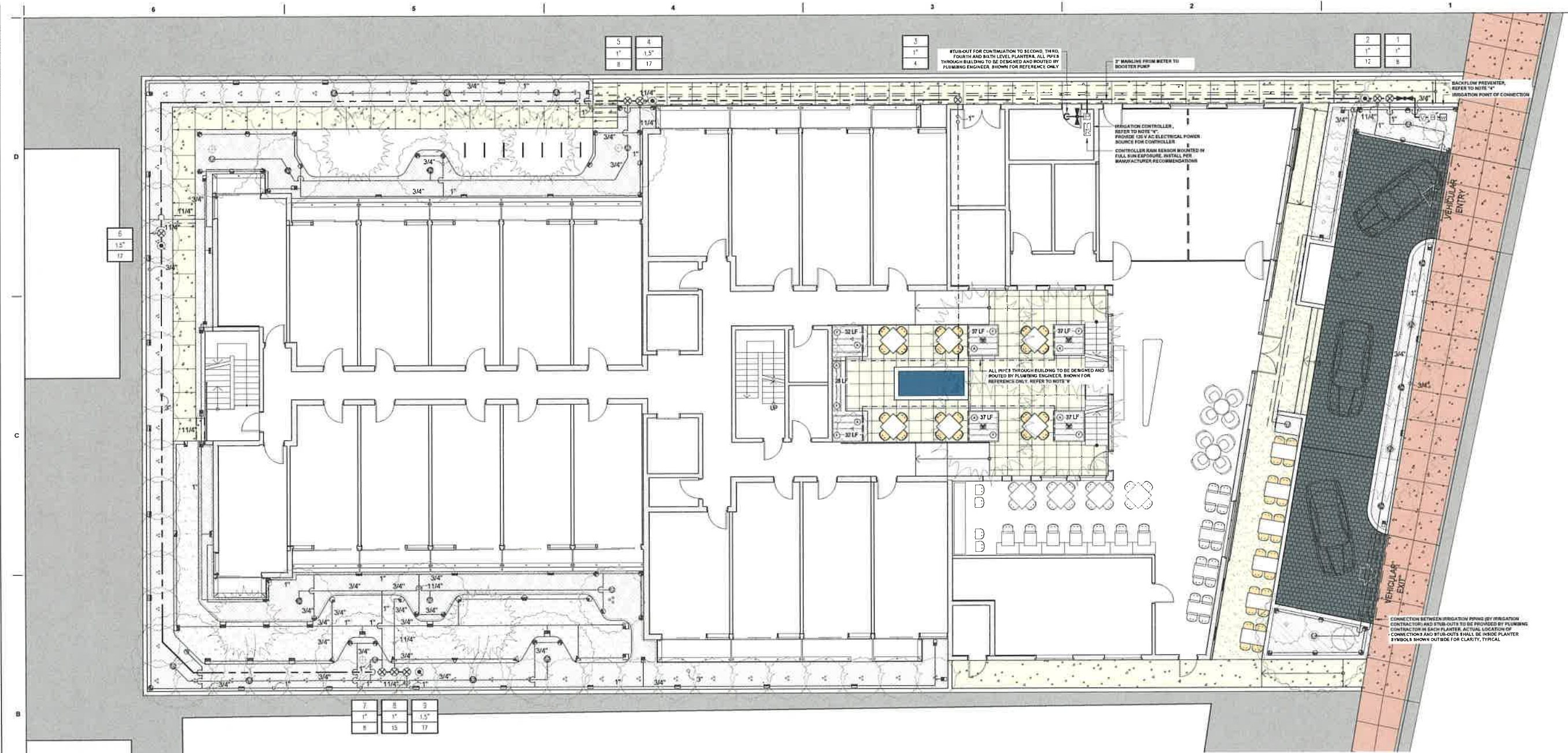
TREE DISPOSITION PLAN & SCHEDULE | 1

SCALE 1/8" = 1'-0"



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IRRIGATION LEGEND

RAINBIRD 1806 6" POP-UP TURF SPRAY	Q H
8 FT RADIUS	☐ ☐
10 FT RADIUS	△ ▽
12 FT RADIUS	○ ●
LCS/RCS/SS530 NOZZLES	≡ ≡
RAINBIRD 1812 12" POP-UP SHRUB SPRAY	☉ ☉
8 FT RADIUS	☉ ☉
10 FT RADIUS	☉ ☉
12 FT RADIUS	☉ ☉
LCS/RCS/SS530 NOZZLES	≡ ≡
RAINBIRD 6" POP-UP FLOOD BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)	☉

DRIP TUBING W/ 0.9 GPH EMITTERS INSTALLED AT 12" O.C.	≡ ≡ ≡
RAINBIRD XERI-BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)	☉
DRIP FLUSH NOZZLE	○
DRIP AIR RELIEF VALVE	○
2" IRRIGATION SUB METER	☐
2" PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTOR	☐
1" MASTER CONTROL VALVE	☐
LASCO SLO-CLOSE FULL BLOCK TRU-UNION BALL VALVE	☐
RAINBIRD 44LRC 1" QUICK COUPLER VALVE	☉
RAINBIRD PEB SERIES ELECTRIC VALVES OR APPROVED EQUAL, IN VALVE BOX	☉

RAINBIRD ESP-LX MODULAR TIMER	☐
RSD-BEX SERIES RAIN SENSOR WITH METAL BRACKET	☐
HDPE PIPING OR COPPER PIPING ROUTED BETWEEN PLANTERS, AND THROUGH BUILDING	---
PVC PIPE SCH. 40 AS LATERAL LINES 12" BELOW GRADE	---
PVC PIPE SCH. 40 SOLVENT WELD AS MAINLINES 18" BELOW GRADE	---
PVC PIPE SCH. 40 AS SLEEVING	---

VALVE CALLOUT LEGEND

---	ZONE STATION NUMBER
---	VALVE SIZE IN INCHES
---	FLOW RATE IN G.P.M.

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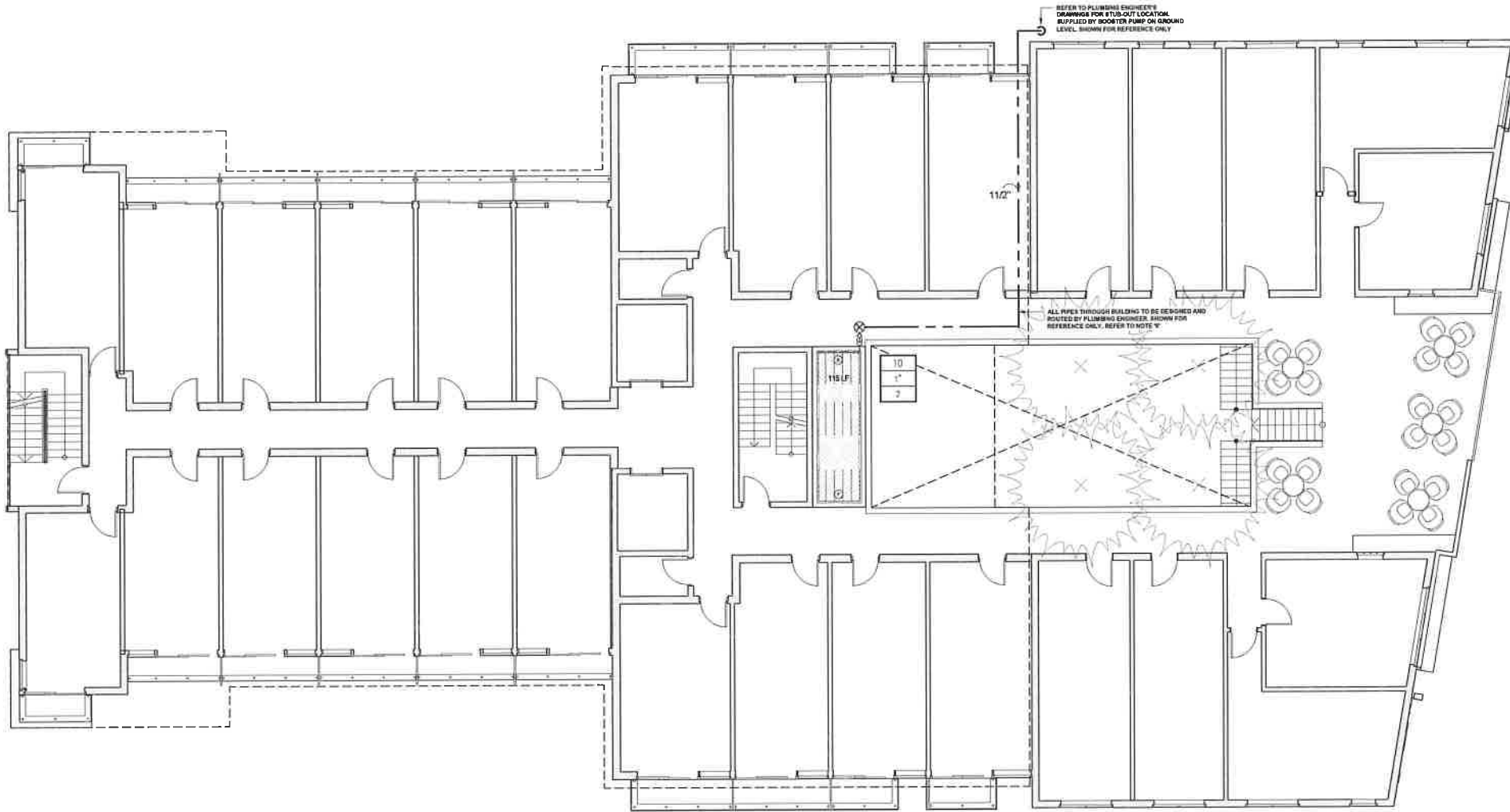
IRRIGATION PLAN - GROUND LEVEL | 1

SCALE 1/8" = 1'-0"



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IRRIGATION LEGEND

RAINBIRD 1806 6" POP-UP TURF SPRAY

Q H

8 FT RADIUS

Q H

10 FT RADIUS

Q H

12 FT RADIUS

Q H

LCS/RCS/SS530 NOZZLES

Q H

RAINBIRD 1812 12" POP-UP SHRUB SPRAY

8 FT RADIUS

Q H

10 FT RADIUS

Q H

12 FT RADIUS

Q H

LCS/RCS/SS530 NOZZLES

Q H

RAINBIRD 6" POP-UP FLOOD BUBBLER
(EACH SYMBOL DENOTES 2 BUBBLER
PER TREE)

Q H

DRIP TUBING W/ 0.9 GPH EMITTERS
INSTALLED AT 12" O.C.

Q H

RAINBIRD XERI-BUBBLER
(EACH SYMBOL DENOTES 2 BUBBLER
PER TREE)

Q H

DRIP FLUSH NOZZLE

Q H

DRIP AIR RELIEF VALVE

Q H

2" IRRIGATION SUB METER

Q H

2" PRESSURE VACUUM BREAKER (PVB)
BACKFLOW PREVENTOR

Q H

1" MASTER CONTROL VALVE

Q H

LASCO SLO-CLOSE FULL BLOCK
TRU-UNION BALL VALVE

Q H

RAINBIRD 44LRC 1" QUICK COUPLER
VALVE

Q H

RAINBIRD PEB SERIES ELECTRIC VALVES
OR APPROVED EQUAL, IN VALVE BOX

Q H

RAINBIRD ESP-LX MODULAR TIMER

Q H

RSD-BEX SERIES RAIN SENSOR WITH
METAL BRACKET

Q H

HDPE PIPING OR COPPER PIPING
ROUTED BETWEEN PLANTERS, AND
THROUGH BUILDING

Q H

PVC PIPE SCH. 40 AS LATERAL LINES
12" BELOW GRADE

Q H

PVC PIPE SCH. 40 SOLVENT WELD AS
MAINLINES 18" BELOW GRADE

Q H

PVC PIPE SCH. 40 AS SLEEVING

Q H

VALVE CALLOUT LEGEND

A --- ZONE STATION NUMBER
1" --- VALVE SIZE IN INCHES
18 --- FLOW RATE IN G.P.M.

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IRRIGATION PLAN - LEVEL 2 | 1

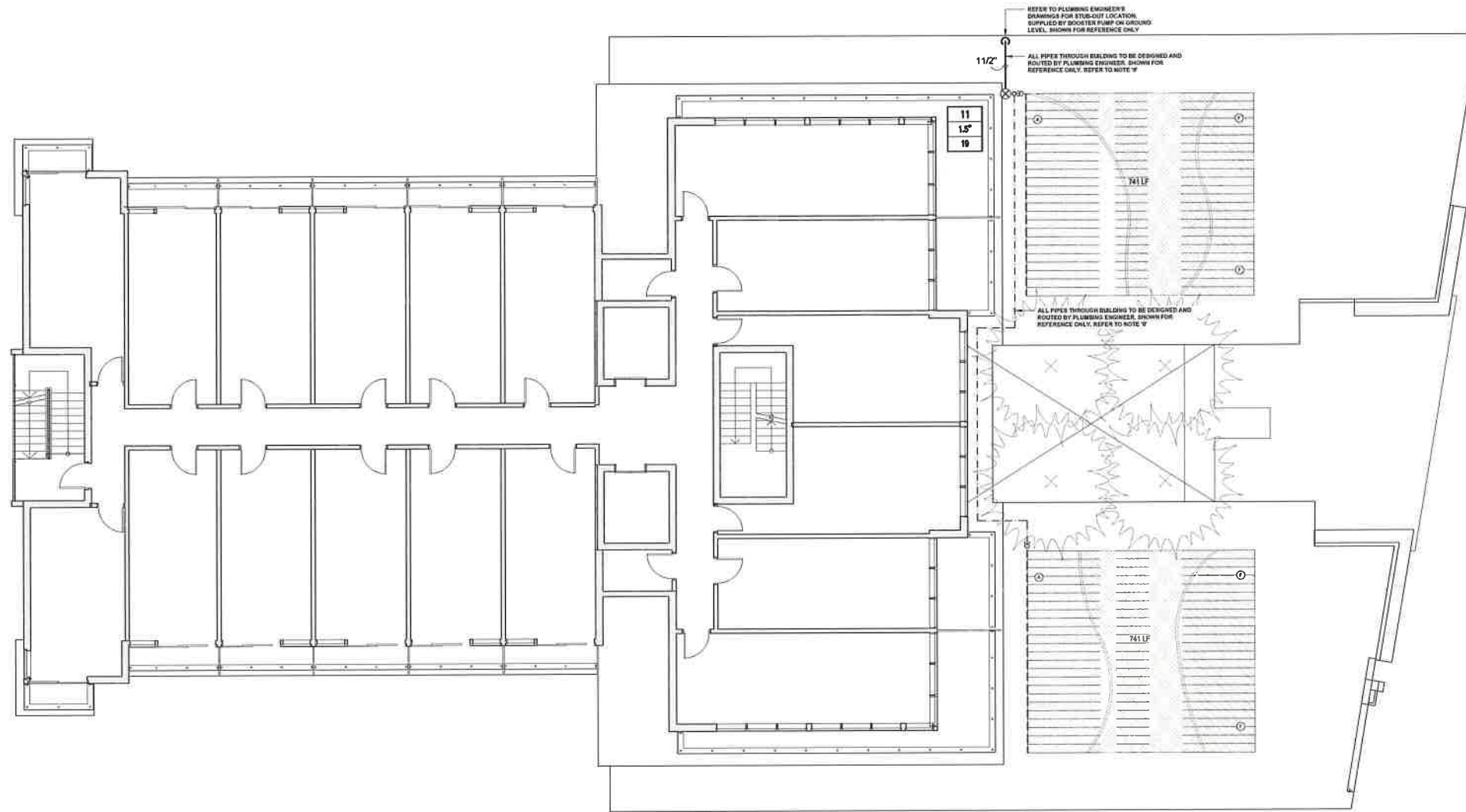
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IRRIGATION LEGEND

RAINBIRD 1808 6" POP-UP TURF SPRAY	Q H	DRIP TUBING W/ 0.9 GPH EMITTERS INSTALLED AT 12" O.C.		RAINBIRD ESP-LX MODULAR TIMER	
8 FT RADIUS		RAINBIRD XERI-BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)		RSD-BEX SERIES RAIN SENSOR WITH METAL BRACKET	
10 FT RADIUS		DRIP FLUSH NOZZLE		HDPE PIPING OR COPPER PIPING ROUTED BETWEEN PLANTERS, AND THROUGH BUILDING	
12 FT RADIUS		DRIP AIR RELIEF VALVE		PVC PIPE SCH. 40 AS LATERAL LINES 12" BELOW GRADE	
LCS/RCS/SS530 NOZZLES		2" IRRIGATION SUB METER		PVC PIPE SCH. 40 SOLVENT WELD AS MAINLINES 18" BELOW GRADE	
RAINBIRD 1812 12" POP-UP SHRUB SPRAY		2" PRESSURE VACCUUM BREAKER (PVB) BACKFLOW PREVENTOR		PVC PIPE SCH. 40 AS SLEEVING	
8 FT RADIUS		1" MASTER CONTROL VALVE			
10 FT RADIUS		LASCO SLO-CLOSE FULL BLOCK TRU-UNION BALL VALVE			
12 FT RADIUS		RAINBIRD 44LRC 1" QUICK COUPLER VALVE			
LCS/RCS/SS530 NOZZLES		RAINBIRD PEB SERIES ELECTRIC VALVES OR APPROVED EQUAL, IN VALVE BOX			
RAINBIRD 6" POP-UP FLOOD BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)					

VALVE CALLOUT LEGEND

A	— ZONE STATION NUMBER
1"	— VALVE SIZE IN INCHES
18	— FLOW RATE IN G.P.M.

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IRRIGATION PLAN - LEVELS 3 & 4 | 1

SCALE 1/8" = 1'-0"



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Revisions

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11/12/19

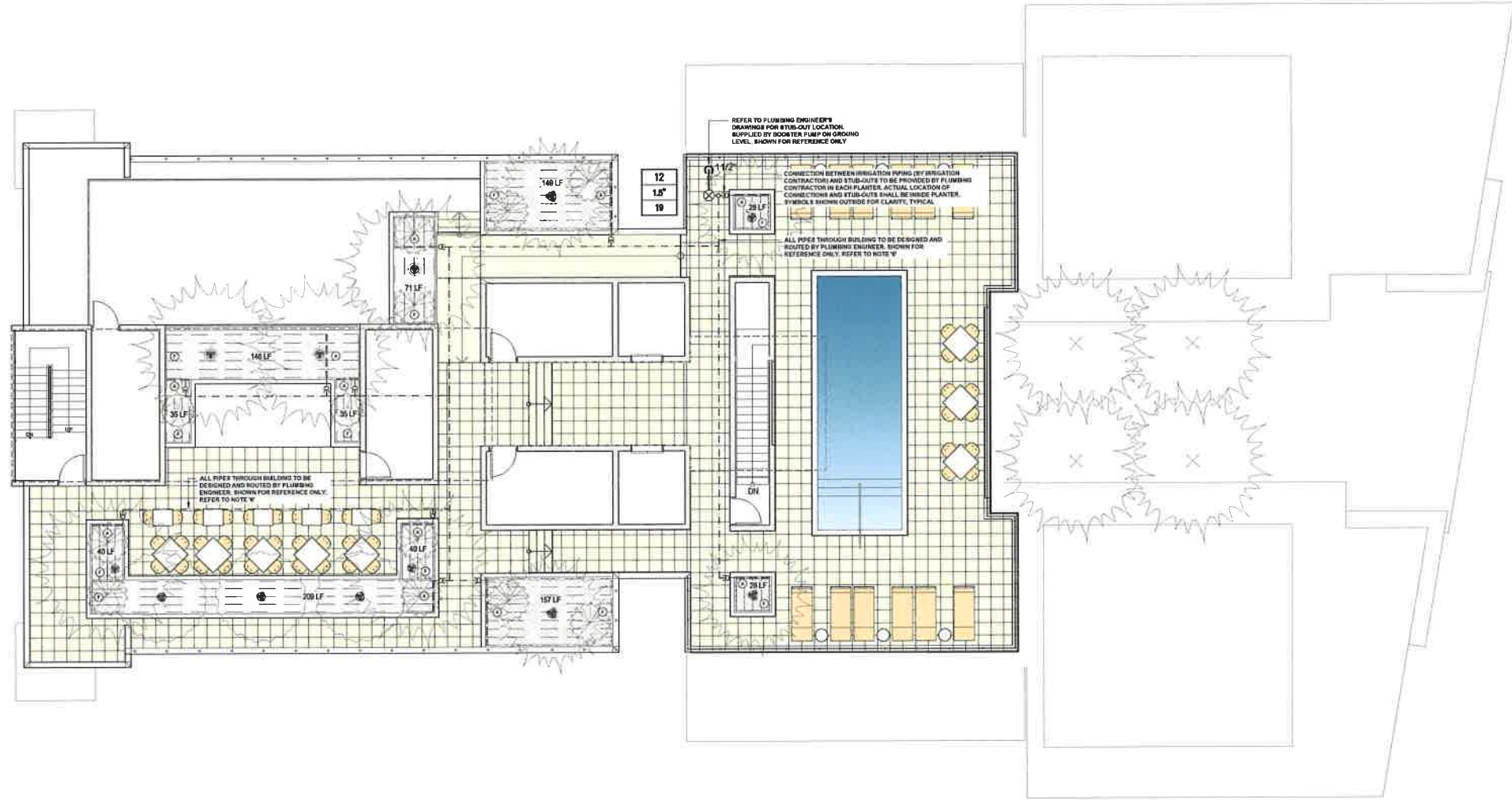
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IRRIGATION PLAN - 3 & 4 LEVEL
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IR-3

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IRRIGATION LEGEND

RAINBIRD 1806 6" POP-UP TURF SPRAY	Q H	DRIP TUBING W/ 0.9 GPH EMITTERS INSTALLED AT 12" O.C.	
8 FT RADIUS		RAINBIRD XERI- BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)	
10 FT RADIUS		DRIP FLUSH NOZZLE	
12 FT RADIUS		DRIP AIR RELIEF VALVE	
LCS/RCS/SS530 NOZZLES		2" IRRIGATION SUB METER	
RAINBIRD 1812 12" POP-UP SHRUB SPRAY		2" PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTOR	
8 FT RADIUS		1" MASTER CONTROL VALVE	
10 FT RADIUS		LASCO SLO-CLOSE FULL BLOCK TRU-UNION BALL VALVE	
12 FT RADIUS		RAINBIRD 44LRC 1" QUICK COUPLER VALVE	
LCS/RCS/SS530 NOZZLES		RAINBIRD PEB SERIES ELECTRIC VALVES OR APPROVED EQUAL, IN VALVE BOX	
RAINBIRD 6" POP-UP FLOOD BUBBLER (EACH SYMBOL DENOTES 2 BUBBLER PER TREE)			

RAINBIRD ESP-LX MODULAR TIMER	
RSD-BEX SERIES RAIN SENSOR WITH METAL BRACKET	
HDPE PIPING OR COPPER PIPING ROUTED BETWEEN PLANTERS, AND THROUGH BUILDING	
PVC PIPE SCH. 40 AS LATERAL LINES 12" BELOW GRADE	
PVC PIPE SCH. 40 SOLVENT WELD AS MAINLINES 18" BELOW GRADE	
PVC PIPE SCH. 40 AS SLEEVING	

VALVE CALLOUT LEGEND

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1"	— VALVE SIZE IN INCHES
10	— FLOW RATE IN G.P.M.

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IRRIGATION PLAN - ROOF LEVEL | 1

SCALE 1/8" = 1'-0"

N

