

NEW TOWNHOMES ADDITION & HISTORIC RENOVATION OF EXISTING BUILDING FOR:

EUCLID 1610 Inc.

1610 EUCLID AVENUE
MIAMI BEACH FL 33139

CLIENT CONTACT: MAURIZIO CAVALIERI (786)-201-1110

HPB FILE#:

PRELIMINARY SUBMITTAL

PROJECT TEAM

ARCHITECT OF RECORD:

SKLARchitecture

2300 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
www.sklararchitecture.com
TEL - (954) 925-9292
FAX - (954) 925-6292

AA 0002849
IB 0000894
NCARB CERTIFIED

OWNER:

Three60 Inc.

PRESIDENT: Maurizio Cavaliere

LANDSCAPE ARCHITECT:

CIVIL ENGINEER:

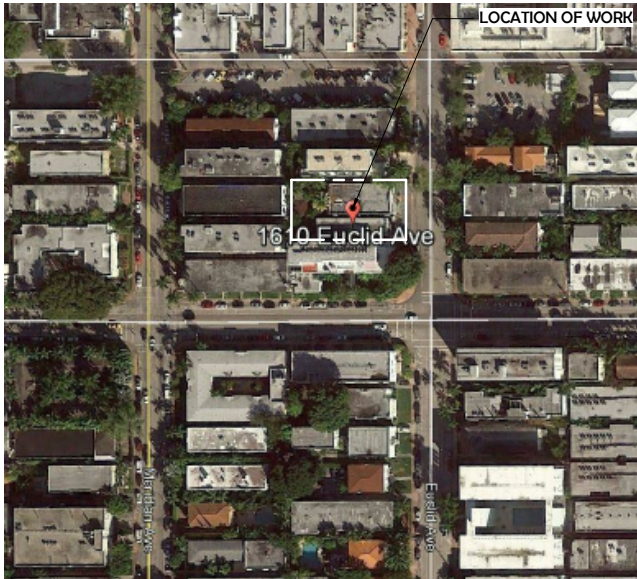
STRUCTURAL ENGINEER:

MEP ENGINEER:

PROJECT RENDERING



LOCATION MAP



SCOPE OF WORK

- 1 - Complete interior demolition of original 2 Stories Building A in order to accommodate 12 two stories townhomes. (about 6,534 sq. ft. total)
- 2 - Demolition of the west portion of existing building C (today connect with Building B)
- 3 - Brand new construction of 4 townhomes on the west part of the lot (about 2,800 sq. ft. total)
- 4 - Reconfiguration for remodeling of Building B (about 4,305 sq. ft. total)

LEGAL DESCRIPTION

THIS PROPERTY IS DESCRIBED AS:

LINCOLN SUP PB 9-69
LOT 3 & N1/2 LOT 2 BLK 50 A
LOT SIZE 75,000 X 150
OR 15912-4721 0593 1

FOLIO: 02-3234-002-0410

DRAWING INDEX

ARCHITECTURAL

- A0.0 COVER
- A0.3 ZONING LEGEND TABLE
- A0.4 FLOOR AREA CALCULATIONS
- A0.5 UNIT AREA CALCULATIONS
- A0.6 SITE ANALYSIS
- A0.7 EXISTING BUILDING FRONT IMAGES
- A0.8 EXISTING BUILDING A IMAGES
- A0.9 EXISTING BUILDING B IMAGES
- A0.10 EXISTING BUILDING C IMAGES
- A0.11 EXISTING BUILDING C IMAGES
- A0.12 EXISTING BUILDING C IMAGES
- A0.13 PROPOSED RENDERINGS
- A0.14 PROPOSED RENDERINGS
- A1.0 EXISTING/DEMO SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED SITE EAST ELEVATION
- A2.0 BUILDING A EXISTING/PROPOSED FIRST FLOOR PLAN
- A2.1 BUILDING A EXISTING/PROPOSED SECOND FLOOR PLAN
- A2.2 BUILDING A EXISTING/PROPOSED ROOF PLAN
- A2.3 BUILDING A EXISTING/PROPOSED ELEVATIONS
- A2.4 BUILDING A EXISTING/PROPOSED ELEVATIONS
- A2.5 BUILDING A EXISTING/PROPOSED ELEVATIONS
- A3.0 BUILDING B EXISTING/PROPOSED FIRST FLOOR PLAN
- A3.1 BUILDING B EXISTING/PROPOSED SECOND FLOOR PLAN
- A3.2 BUILDING B EXISTING/PROPOSED ROOF PLAN
- A3.3 BUILDING B EXISTING/PROPOSED ELEVATIONS
- A3.4 BUILDING B EXISTING/PROPOSED ELEVATIONS
- A3.5 BUILDING B EXISTING/PROPOSED ELEVATIONS
- A4.0 BUILDING C EXISTING/PROPOSED FIRST FLOOR PLAN
- A4.1 BUILDING C PROPOSED UPPER/ROOF PLANS
- A4.2 BUILDING C EXISTING ELEVATIONS
- A4.3 BUILDING C PROPOSED ELEVATIONS
- A4.0 EAST ELEVATION
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE PLAN
- SH1.0 GROUND FLOOR SHORING
- SH2.0 GROUND FLOOR SHORING
- SH3.0 SECTIONS

CODE ANALYSIS / PROJECT DATA

CONSTRUCTION TYPE

PLANS SHALL COMPLY WITH THE FOLLOWING:

FLORIDA BUILDING CODE (2014)
FLORIDA BUILDING CODE - RESIDENTIAL (2014)
FFPC NFPA 101 2012 ED
NFPA 72 2012 ED
NFPA 13 2012 ED

RENOVATION OF (2) 2-STORY EXISTING BUILDINGS AND (1) NEW 3-STORY TOWNHOUSE

R-2 OCCUPANCY
EXISTING BLDG A MIXED CONCRETE WOOD
EXISTING BLDG B ALL CONCRETE
NEW CONSTRUCTION ALL CONCRETE
TYPE III-B CONSTRUCTION

ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503)

GROUP	TYPE	ALLOWED	PROVIDED
R-2	III-B	HGT 3 STORIES (35')	HGT 3 STORIES 3900 SQ. FT.

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENT (TABLE 601)

TYPE II-B
STRUCTURAL FRAME
BEARING WALLS (EXT. & INT.)
NONBEARING WALLS & PARTITIONS
FLOOR CONSTRUCTION
ROOF CONSTRUCTION

MAX. AREA OF EXTERIOR WALL OPENINGS (TABLE 704.8)

ZONING LEGEND

ZONING	REQUIREMENTS	EXISTING	PROPOSED
RM-1	RM-1	RM-1	RM-1
HISTORICAL DISTRICT:	FLAMINGO PARK LOCAL DISTRICT		
ADDRESS:	1610 EUCLID AVE MIAMI BEACH, FL 33139		
FOLIO NUMBER:	02-3234-002-0410		
YEAR CONSTRUCTED:	BLDG A 2 STORY CONSTRUCTED IN 1926 (TO BE RENOVATED) BLDG B 2 STORY CONSTRUCTED IN 1987 NOT DESIGNATED WITH HISTORIC VALUE (TO BE RENOVATED) BLDG C 1 STORY CONSTRUCTED IN 1955 NOT DESIGNATED WITH HISTORIC VALUE (TO BE DEMOLISHED)		
BASE FLOOD ELEVATION:	IF NVD EXISTING BLDG A 6.15' NVD EXISTING BLDG B 6.21' NVD EXISTING BLDG C 6.21' NVD	EXISTING BLDG A 6.15' NVD EXISTING BLDG B 6.21' NVD EXISTING BLDG C 6.21' NVD	RENOVATED BLDG A 6.15' (NO CHANGE) RENOVATED BLDG B 6.21' (NO CHANGE) NEW BLDG C 6.21' NVD
ADJUSTED GRADE (FLOOD + GRADE):	NA		
GRADE VALUE IN NVD (CENTER OF SIDEWALK OR PROVIDED BY PW):	NA		
LOT WIDTH: LOT DEPTH: LOT AREA:	75 FT 150 FT 11,250 SQ. FT.		
MINIMUM UNIT SIZE:	500 SF (NEW) 400 SF (REHABILITATED)	EXISTING BLDG A: 208 SQ. FT. EXISTING BLDG B: 311 SQ. FT. EXISTING BLDG C: (RESIDENCE) 1150 SQ. FT.	RENOVATED BLDG A: 487 SQ. FT. RENOVATED BLDG B: 348 SQ. FT. NEW BLDG C: 1,014 SQ. FT.
AVERAGE UNIT SIZE:	800 SF (NEW) 500 SF (REHABILITATED)	EXISTING BLDG A: 323 SQ. FT. EXISTING BLDG B: 489 SQ. FT. EXISTING BLDG C: (RESIDENCE) 1150 SQ. FT.	RENOVATED BLDG A: 616 SQ. FT. RENOVATED BLDG B: 629 SQ. FT. NEW BLDG C: 1,014 SQ. FT.
FAR:	1.25 MAX 1.25 X 11,250 SF = 14,063 SF MAX	EXISTING BLDG A: 6,533 SQ. FT. EXISTING BLDG B: 3,182 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT. TOTAL: 10,865 SQ. FT.	RENOVATED BLDG A: 6,533 SQ. FT. RENOVATED BLDG B: 3,182 SQ. FT. NEW BLDG C: 4,268 SQ. FT. TOTAL: 14,000 SQ. FT.
HEIGHT: TIO FLAT ROOF MID POINT TIO SLOPED ROOF TAKEN FROM FLOOD ELEVATION	IF EXISTING STRUCTURE IS TWO STORIES OR HIGHER, THE PROPOSED ADDITION SHALL NOT EXCEED 3 STORIES AND 35 FT.	EXISTING BLDG A: 27'-6" FT. EXISTING BLDG B: 27'-6" FT. EXISTING BLDG C: 13'-0" FT.	RENOVATED BLDG A: 27'-6" FT. RENOVATED BLDG B: 28'-4" FT. NEW BLDG C: 34'-0" FT.
NUMBER OF STORIES:	MAX 3 STORIES (35 FT)	(2) STORY EXISTING BLDG A (2) STORY EXISTING BLDG B (1) STORY EXISTING BLDG C	(2) STORY RENOVATED BLDG A (2) STORY RENOVATED BLDG B (3) STORY NEW BLDG C
GROSS SQ FOOTAGE (FOOTPRINT):		EXISTING BLDG A: 3,267 SQ. FT. EXISTING BLDG B: 1,180 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT.	RENOVATED BLDG A: 3,267 SQ. FT. RENOVATED BLDG B: 1,180 SQ. FT. NEW BLDG C: 1,438 SQ. FT.
NUMBER OF RESIDENTIAL UNITS:		EXISTING BLDG A: 18 UNITS EXISTING BLDG B: 6 UNITS EXISTING BLDG C: 1 UNIT TOTAL: 25 UNITS	RENOVATED BLDG A: 12 UNITS RENOVATED BLDG B: 6 UNITS NEW BLDG C: 4 UNITS TOTAL: 22 UNITS
OCCUPANCY LOAD:	FOR R-2 200 PER SQ. FT.	BLDG A: 6,533 SQ. FT. / 200 = 32.7 OCCUPANTS BLDG B: 3,182 SQ. FT. / 200 = 15.91 OCCUPANTS BLDG C: 4,268 SQ. FT. / 200 = 21.34 OCCUPANTS TOTAL: 70 OCCUPANTS	
PEDESTAL:			
FRONT SETBACK (EAST):	20'-0"	EXISTING BLDG A: 14.81' EXISTING BLDG B: 18.91'	EXISTING BLDG A: 14.81' (NO CHANGE) EXISTING BLDG B: 18.91' (NO CHANGE)
SIDE SETBACK (NORTH):	7'-6"	EXISTING BLDG A: 3.14' EXISTING BLDG C: 2.89'	EXISTING BLDG A: 3.14' (NO CHANGE) NEW BLDG C: 7'-6"
SIDE SETBACK (SOUTH):	7'-6"	EXISTING BLDG B: 4.91' EXISTING BLDG C: 4.91'	EXISTING BLDG B: 4.91' NEW BLDG C: 7'-6"
REAR SETBACK (WEST):	10% X 150' = 15'-0" 10% of lot depth	EXISTING BLDG C: 4.95' (AVERAGE) 4.95' (NORTH END) 5.05' (SOUTH END)	NEW BLDG C: 6'-0" ****
PARKING:			
PARKING DISTRICT:	1.5 per unit 1.5 X 12 units (EXISTING BLDG A) = 18 1.5 X 6 units (EXISTING BLDG B) = 9 1.5 X 4 units (NEW BLDG C) = 6 TOTAL: 33 NEW REQUIRED: 6	8 PARKING SPACES (TO BE REMOVED)	NO PARKING PROVIDED IMPACT FEE WILL BE PAID AT TIME OF PERMIT
LOADING ZONES AND TRASH COLLECTION AREAS:	NA		

* BUILDING B MINIMUM UNIT SIZE VARIANCE REQUEST: 52 SF VARIANCE REQUEST (348 SF MIN. UNIT SIZE)
** BUILDING A AVERAGE UNIT SIZE VARIANCE REQUEST: 32 SF VARIANCE REQUEST (516 SF AVERG. UNIT SIZE)
*** BUILDING B AVERAGE UNIT SIZE VARIANCE REQUEST: 21 SF VARIANCE REQUEST (529 SF AVERG. UNIT SIZE)
**** NEW BLDG C REAR SETBACK VARIANCE REQUEST: 10 FT VARIANCE REQUEST (5 FT FROM PROPERTY LINE)

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REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
1610 Euclid Avenue
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- ☐ REVIEW SET
- ☐ PRELIMINARY
- ☐ NOT FOR CONSTRUCTION
- ☐ DRY RUN PERMIT SET
- ☐ PERMIT SET
- ☐ BID SET
- ☐ FINAL SUBMITTAL

SUBMITTAL DATE: 06-09-16

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

COVER

Ao.o
REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16

ZONING LEGEND			
	REQUIREMENTS	EXISTING	PROPOSED
ZONING:	RM-1	RM-1	RM-1
HISTORICAL DISTRICT:	FLAMINGO PARK LOCAL DISTRICT		
ADDRESS:	1610 EUCLID AVE MIAMI BEACH, FL 33139		
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BASE FLOOD ELEVATION:	8' NGVD	EXISTING BLDG A 6.19' NGVD EXISTING EXISTING BLDG B 6.21' NGVD EXISTING EXISTING BLDG C 6.21' NGVD EXISTING	RENOVATED BLDG A 6.19' (NO CHANGE) RENOVATED BLDG B 6.21' (NO CHANGE) NEW BLDG C 8.00' NGVD
ADJUSTED GRADE (FLOOD +GRADE/2):	N/A		
GRADE VALUE IN NGVD (CENTER OF SIDEWALK OR PROVIDED BY PW:	N/A		
LOT WIDTH: LOT DEPTH: LOT AREA:	75 FT 150 FT 11,250 SQ. FT.		
MINIMUM UNIT SIZE:	550 SF (NEW) 400 SF (REHABILITATED)	EXISTING BLDG A: 206 SQFT EXISTING BLDG B: 311 SQFT EXISTING BLDG C (RESIDENCE): 1150 SQFT	RENOVATED BLDG A: 497 SQFT RENOVATED BLDG B: 348 SQFT * NEW BLDG C: 1,014 SQSF
AVERAGE UNIT SIZE:	800 SF (NEW) 550 SF (REHABILITATED)	EXISTING BLDG A: 323 SQFT EXISTING BLDG B: 469 SQFT EXISTING BLDG C (RESIDENCE): 1150 SQFT	RENOVATED BLDG A: 516 SQFT ** RENOVATED BLDG B: 529 SQFT *** NEW BLDG C: 1,076 SQFT
FAR:	1.25 MAX 1.25 X 11,250 SF = 14,063 SF MAX	EXISTING BLDG A: 6,533 SQ. FT. EXISTING BLDG B: 3,182 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT. TOTAL: 10,865 SQ. FT.	RENOVATED BLDG A: 6,533 SQ. FT. RENOVATED BLDG B: 3,182 SQ. FT. NEW BLDG C: 4,305 SQ. FTG. TOTAL: 14,020 SQ. FT.
HEIGHT: T/O FLAT ROOF MID POINT T/O SLOPED ROOF TAKEN FROM FLOOD ELEVATION	IF EXISTING STRUCTURE IS TWO STORIES OR HIGHER, THE PROPOSED ADDITION SHALL NOT EXCEED 3 STORIES AND 35FT.	EXISTING BLDG A: 27'-6"FT EXISTING BLDG B: 22'-8"FT EXISTING BLDG C: 13'-0"FT	RENOVATED BLDG A: 27'-6"FT RENOVATED BLDG B: 28'-8"FT NEW BLDG C: 34'-0"FT
NUMBER OF STORIES:	MAX 3 STORIES (35FT)	(2) STORY EXISITING BLDG A (2) STORY EXISITING BLDG B (1) STORY EXISITING BLDG C	(2) STORY RENOVATED BLDG A (2) STORY RENOVATED BLDG B (3) STORY NEW BLDG C
GROSS SQ FOOTAGE (FOOTPRINT):		EXISTING BLDG A: 3,267 SQ. FT. EXISTING BLDG B: 1,591 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT.	RENOVATED BLDG A: 3,267 SQ. FT. RENOVATED BLDG B: 1,591 SQ. FT. NEW BLDG C: 1435 SQ. FT.
NUMBER OF RESIDENTIAL UNITS:		EXISTING BLDG A: 16 UNITS EXISTING BLDG B: 6 UNITS EXISTING BLDG C: 1 UNIT TOTAL : 23 UNITS	RENOVATED BLDG A: 12 UNITS RENOVATED BLDG B: 6 UNITS NEW BLDG C: 4 UNITS TOTAL: 22 UNITS
OCCUPANCY LOAD:	FOR R-2 200 PER SQ.FT.	BLDG A: 6,553 SQ. FT. / 200= 32.7 OCCUPANTS BLDG B: 3,184 SQ. FT./200= 15.92 OCCUPANTS BLDG C: 4,305 SQ. FT./200= 21.52 OCCUPANTS TOTAL: 70 OCCUPANTS.	
PEDESTAL:			
FRONT SETBACK (EAST):	20'-0"	EXISTING BLDG A: 14.81' EXISTING BLDG B: 19.91'	EXISTING BLDG A: 14.81' (NO CHANGE) EXISTING BLDG B: 19.91' (NO CHANGE)
SIDE SETBACK (NORTH):	7'-6"	EXISTING BLDG A: 3.14' EXISTING BLDG C: 2.65'	EXISTING BLDG A: 3.14' (NO CHANGE) NEW BLDG C: 7'-6"
SIDE SETBACK (SOUTH):	7'-6"	EXISTING BLDG B: 4.91' EXISTING BLDG C: 4.91'	EXISTING BLDG B: 4.91' NEW BLDG C: 7'-6"
REAR SETBACK (WEST):	10% X 150'= 15'-0" 10% of lot depth	EXISTING BLDG C: 4.95' (AVERAGE) 4.85' (NORTH END) 5.05' (SOUTH END)	NEW BLDG C: 5'- 0" ****
PARKING:			
PARKING DISTRICT:	1.5 per unit 1.5 x 12 units (EXISTING bldg A) = 18 1.5 X 6 units (EXISTING bldg B) = 9 1.5 X 4 units (NEW bldg C) = 6 TOTAL: 33 NEW REQUIRED: 6	8 PARKING SPACES (TO BE REMOVED)	NO PARKING PROVIDED. IMPACT FEE WILL BE PAID AT TIME OF PERMIT
LOADING ZONES AND TRASH COLLECTION AREAS:	N/A		
* BUILDING B MINIMUM UNIT SIZE VARIANCE REQUEST: 52 SF VARIANCE REQUEST (348 SF MIN. UNIT SIZE) ** BUILDING A AVERAGE UNIT SIZE VARIANCE REQUEST: 32 SF VARIANCE REQUEST (516 SF AVERG. UNIT SIZE) *** BUILDING B AVERAGE UNIT SIZE VARIANCE REQUEST: 21 SF VARIANCE REQUEST (529 SF AVERG. UNIT SIZE) **** NEW BLDG C REAR SETBACK VARIANCE REQUEST: 10 FT VARIANCE REQUEST (5 FT FROM PROPERTY LINE)			

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- SUBMITTAL DATE: 06-09-16

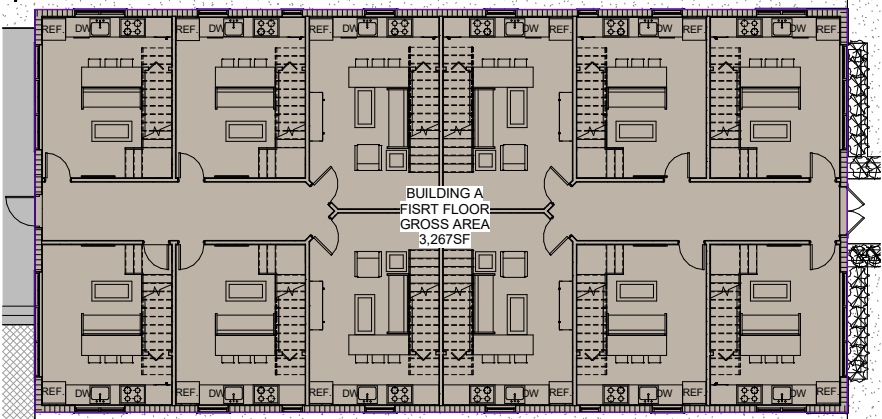
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Author
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ZONING LEGEND TABLE

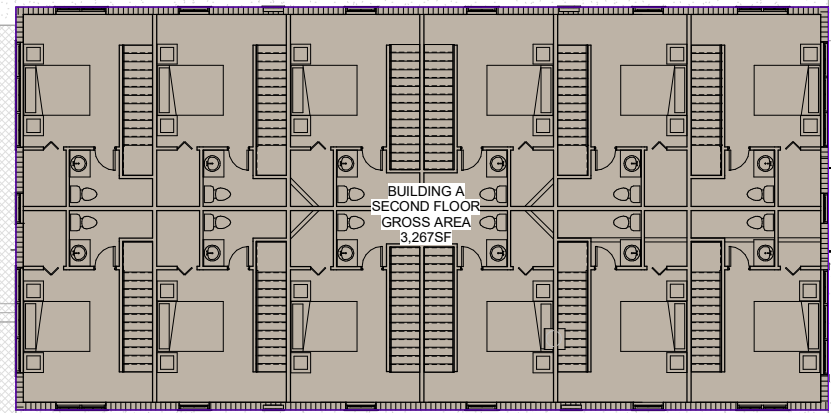
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PROJECT #: 16-006

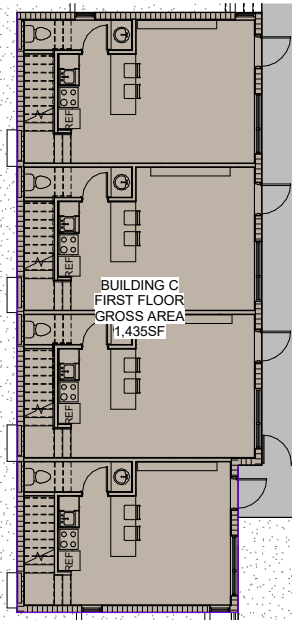
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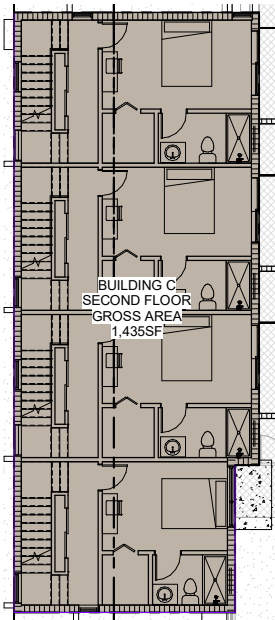
2 BLDG A GROSS AREA FIRST FLOOR
1/8" = 1'-0"



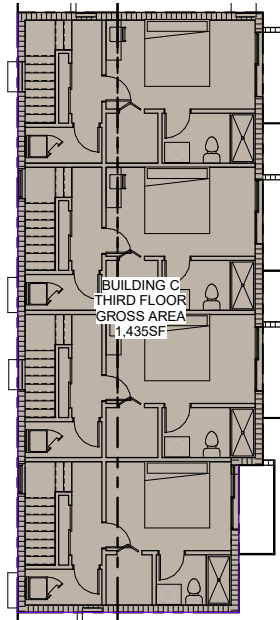
3 BLDG A GROSS AREA SECOND FLOOR
1/8" = 1'-0"



6 BLDG C GROSS AREA FIRST FLOOR
1/8" = 1'-0"



7 BLDG C GROSS AREA SECOND FLOOR
1/8" = 1'-0"



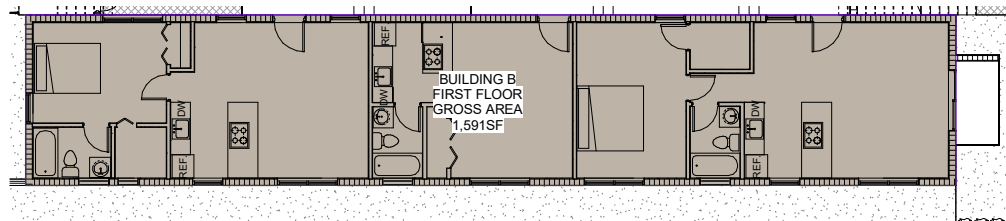
8 BLDG C GROSS AREA THRID FLOOR
1/8" = 1'-0"

GROSS AREA CALCULATIONS BUILDING A	
NAME	AREA
FIRST FLOOR	3,267 SF
SECOND FLOOR	3,267 SF
TOTAL	6,534 SF

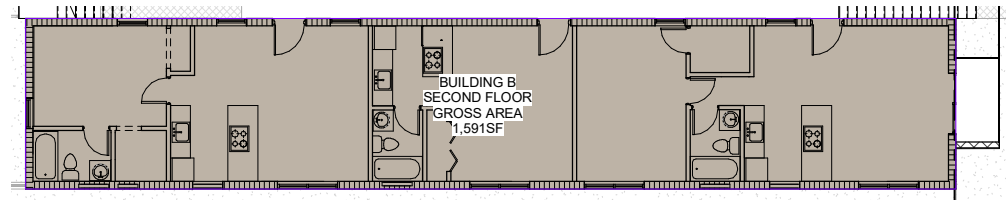
GROSS AREA CALCULATIONS BUILDING B	
NAME	AREA
FIRST FLOOR	1,591 SF
SECOND FLOOR	1,591 SF
TOTAL	3,182 SF

GROSS AREA CALCULATIONS BUILDING C	
NAME	AREA
FIRST FLOOR	1,435 SF
SECOND FLOOR	1,435 SF
THIRD FLOOR	1,435 SF
TOTAL	4,305 SF

TOTAL GROSS AREA	
NAME	AREA
BUILDING A	6,534 SF
BUILDING B	3,182 SF
BUILDING C	4,305 SF
TOTAL	14,021SF



4 BLDG B GROSS AREA FIRST FLOOR
1/8" = 1'-0"



5 BLDG B GROSS AREA SECOND FLOOR
1/8" = 1'-0"

ZONING LEGEND			
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BASE FLOOD ELEVATION:	8' NGVD	EXISTING BLDG A 6' 19" NGVD EXISTING EXISTING BLDG B 6' 21" NGVD EXISTING EXISTING BLDG C 6' 21" NGVD EXISTING	RENOVATED BLDG A 6' 19" (NO CHANGE) RENOVATED BLDG B 6' 21" (NO CHANGE) NEW BLDG C 6' 19" NGVD
ADJUSTED GRADE (FLOOD + GRADE/2):	N/A		
GRADE VALUE IN NGVD CENTER OF SIDEWALK OR PROVIDED BY PW:	N/A		
LOT WIDTH LOT DEPTH LOT AREA:	75 FT 150 FT 11,250 SQ. FT.		
MINIMUM UNIT SIZE:	500 SF (NEW) 400 SF (REHABILITATED)	EXISTING BLDG A: 338 SQ FT EXISTING BLDG B: 311 SQ FT EXISTING BLDG C (RESIDENCE): 1150 SQ FT	RENOVATED BLDG A: 497 SQ FT RENOVATED BLDG B: 348 SQ FT NEW BLDG C: 1,014 SQ FT
AVERAGE UNIT SIZE:	500 SF (NEW) 500 SF (REHABILITATED)	RENOVATED BLDG A: 323 SQ FT EXISTING BLDG B: 469 SQ FT EXISTING BLDG C (RESIDENCE): 1150 SQ FT	RENOVATED BLDG A: 497 SQ FT RENOVATED BLDG B: 348 SQ FT NEW BLDG C: 1,014 SQ FT
FAR:	1.25 MAX 1.25 X 11,250 SF = 14,063 SF MAX	EXISTING BLDG A: 6,533 SQ. FT. EXISTING BLDG B: 3,182 SQ. FT. EXISTING BLDG C: 1,195 SQ. FT. TOTAL: 10,910 SQ. FT.	RENOVATED BLDG A: 6,533 SQ. FT. RENOVATED BLDG B: 3,182 SQ. FT. NEW BLDG C: 4,305 SQ. FT. TOTAL: 14,021 SQ. FT.
HEIGHT: TO FLAT ROOF MD POINT TO SLOPED ROOF TAKEN FROM FLOOD ELEVATION	IF EXISTING STRUCTURE IS TWO STORIES OR HIGHER, THE PROPOSED ADDITION SHALL NOT EXCEED 3 STORIES AND 35 FT.	EXISTING BLDG A: 27'-6" FT EXISTING BLDG B: 22'-8" FT EXISTING BLDG C: 13'-0" FT	RENOVATED BLDG A: 27'-6" FT RENOVATED BLDG B: 22'-8" FT NEW BLDG C: 34'-0" FT
NUMBER OF STORIES:	MAX 3 STORIES (35 FT)	(2) STORY EXISTING BLDG A (2) STORY EXISTING BLDG B (1) STORY EXISTING BLDG C	(2) STORY RENOVATED BLDG A (2) STORY RENOVATED BLDG B (2) STORY NEW BLDG C
GROSS SQ FOOTAGE (F FOOTPRINT):		EXISTING BLDG A: 3,267 SQ. FT. EXISTING BLDG B: 1,591 SQ. FT. EXISTING BLDG C: 1,195 SQ. FT.	RENOVATED BLDG A: 3,267 SQ. FT. RENOVATED BLDG B: 1,591 SQ. FT. NEW BLDG C: 4,305 SQ. FT.
NUMBER OF RESIDENTIAL UNITS:		EXISTING BLDG A: 16 UNITS EXISTING BLDG B: 6 UNITS EXISTING BLDG C: 1 UNIT TOTAL: 23 UNITS	RENOVATED BLDG A: 12 UNITS RENOVATED BLDG B: 5 UNITS NEW BLDG C: 4 UNITS TOTAL: 21 UNITS
OCCUPANCY LOAD:	FOR R-2 200 PER SQ. FT.	BLDG A: 6,533 SQ. FT. / 200 = 32.7 OCCUPANTS BLDG B: 3,182 SQ. FT. / 200 = 15.91 OCCUPANTS BLDG C: 1,195 SQ. FT. / 200 = 5.98 OCCUPANTS TOTAL: 54.59 OCCUPANTS	BLDG A: 6,533 SQ. FT. / 200 = 32.7 OCCUPANTS BLDG B: 3,182 SQ. FT. / 200 = 15.91 OCCUPANTS BLDG C: 4,305 SQ. FT. / 200 = 21.52 OCCUPANTS TOTAL: 69.13 OCCUPANTS
PEDESTAL:			
FRONT SETBACK (EAST):	20'-0"	EXISTING BLDG A: 14.91' EXISTING BLDG B: 19.91'	EXISTING BLDG A: 14.91' (NO CHANGE) EXISTING BLDG B: 19.91' (NO CHANGE)
SIDE SETBACK (NORTH):	7'-0"	EXISTING BLDG A: 3.14' EXISTING BLDG C: 2.45'	EXISTING BLDG A: 3.14' (NO CHANGE) NEW BLDG C: 7'-0"
SIDE SETBACK (SOUTH):	7'-0"	EXISTING BLDG B: 4.91' EXISTING BLDG C: 4.91'	EXISTING BLDG B: 4.91' (NO CHANGE) NEW BLDG C: 7'-0"
REAR SETBACK (WEST):	10% X 150' = 15'-0" 10% of lot depth	EXISTING BLDG C: 4.95' (AVERAGE) 4.95' (NORTH END) 5.05' (SOUTH END)	NEW BLDG C: 5'-0" ***
PARKING:			
PARKING DISTRICT:	1.5 per unit 1.5 x 12 units EXISTING BLDG A = 18 1.5 x 6 units EXISTING BLDG B = 9 TOTAL: 27 NEW REQUIRED: 6	8 PARKING SPACES (TO BE REMOVED)	NO PARKING PROVIDED. IMPACT FEE WILL BE PAID AT TIME OF PERMIT
LOADING ZONES AND TRASH COLLECTION AREAS:	N/A		

* BUILDING B MINIMUM UNIT SIZE VARIANCE REQUEST: 52 SF VARIANCE REQUEST (348 SF MIN. UNIT SIZE)
** BUILDING A AVERAGE UNIT SIZE VARIANCE REQUEST: 32 SF VARIANCE REQUEST (516 SF AVERG. UNIT SIZE)
*** BUILDING B AVERAGE UNIT SIZE VARIANCE REQUEST: 21 SF VARIANCE REQUEST (529 SF AVERG. UNIT SIZE)
**** NEW BLDG C REAR SETBACK VARIANCE REQUEST: 10 FT VARIANCE REQUEST (5 FT FROM PROPERTY LINE)

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REVISIONS

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SUBMITTAL DATE: 06-09-16

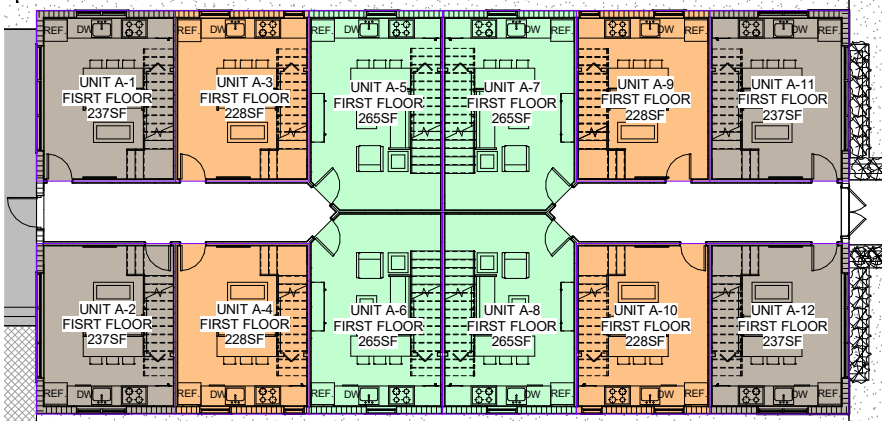
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FLOOR AREA
CALCULATIONS

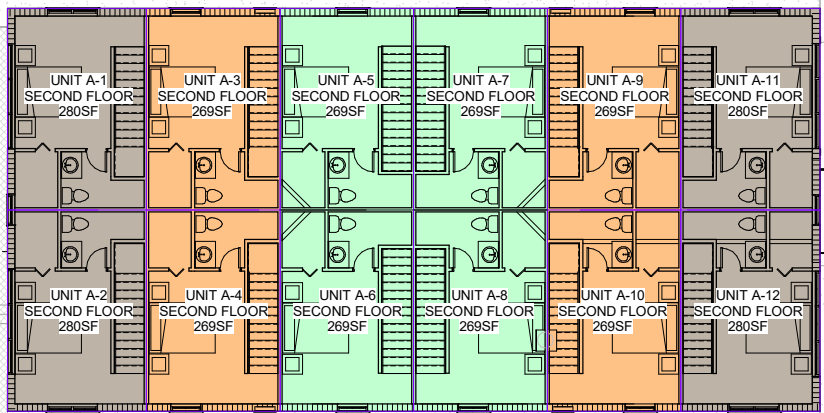
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PROJECT #: 16-006

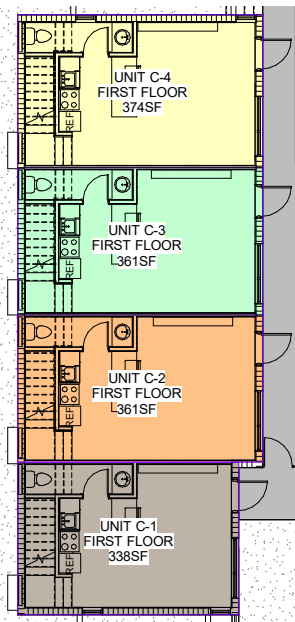
DATE: 03-29-16



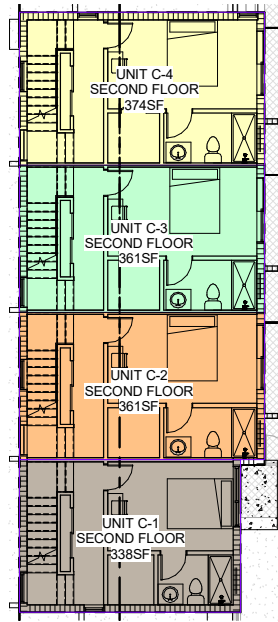
1 BLDG A UNIT AREA FIRST FLOOR
1/8" = 1'-0"



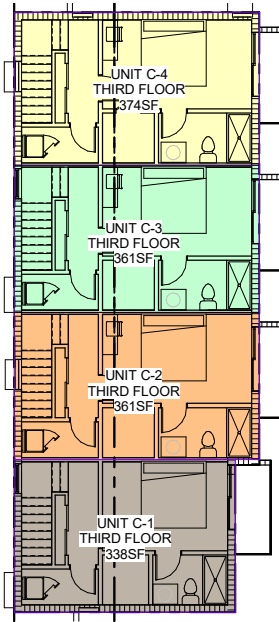
3 BLDG A UNIT AREA SECOND FLOOR
1/8" = 1'-0"



6 BLDG C UNIT AREA FIRST FLOOR
1/8" = 1'-0"



7 BLDG C UNIT AREA SECOND FLOOR
1/8" = 1'-0"



8 BLDG C UNIT AREA THRID FLOOR
1/8" = 1'-0"

UNIT AREA CALCULATIONS BUILDING A	
NAME	AREA
UNIT A-1	517 SF
UNIT A-2	517 SF
UNIT A-3	497 SF
UNIT A-4	497 SF
UNIT A-5	534 SF
UNIT A-6	534 SF
UNIT A-7	534 SF
UNIT A-8	534 SF
UNIT A-9	497 SF
UNIT A-10	497 SF
UNIT A-11	517 SF
UNIT A-12	517 SF
TOTAL	6,192 SF
AVERAGE AREA	6,192/12 = 516 SF

UNIT AREA CALCULATIONS BUILDING B	
NAME	AREA
UNIT B-1	651 SF
UNIT B-2	348 SF
UNIT B-3	588 SF
UNIT B-4	651 SF
UNIT B-5	348 SF
UNIT B-6	588 SF
TOTAL	3,174 SF
AVERAGE AREA	3,174/6 = 529 SF

UNIT AREA CALCULATIONS BUILDING C	
NAME	AREA
UNIT C-1	1,014 SF
UNIT C-2	1,083 SF
UNIT C-3	1,083 SF
UNIT C-4	1,122 SF
TOTAL	4,302 SF
AVERAGE AREA	4,302/4 = 1,076 SF

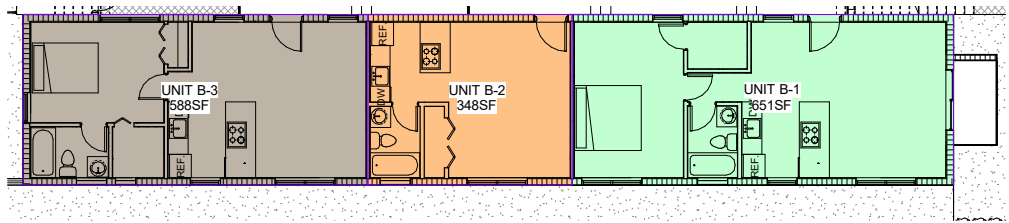
UNIT AREA CALCULATIONS TOTAL SITE	
NAME	AREA
MINIMUM UNIT SIZE	348 SF
AVERAGE UNIT SIZE	621 SF

UNIT AREA CALCULATIONS TOTAL REHAB	
NAME	AREA
BUILDING A TOTAL	6,192 SF
BUILDING B TOTAL	3,174 SF
TOTAL	9,366 SF
MINIMUM A & B	348 SF
AVERAGE A & B	9,366/18 = 520 SF

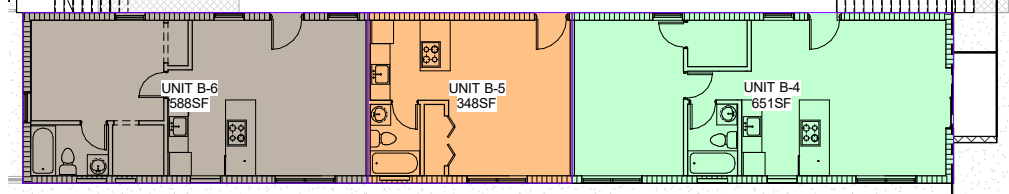
UNIT AREA CALCULATIONS TOTAL NEW	
NAME	AREA
BUILDING C MIN.	1,014 SF
BUILDING C AVERAGE	1,076 SF

ZONING LEGEND			
	REQUIREMENTS	EXISTING	PROPOSED
ZONING:	RM-1	RM-1	RM-1
HISTORICAL DISTRICT:	FLAMINGO PARK LOCAL DISTRICT		
ADDRESS:	1610 EUCLID AVE MIAMI BEACH, FL 33139		
FOLIO NUMBER:	02-3234-003-0410		
YEAR CONSTRUCTED:	BLDG A 2 STORY CONSTRUCTED IN 1926 (TO BE RENOVATED) BLDG B 2 STORY CONSTRUCTED IN 1967 NOT DESIGNATED WITH HISTORIC VALUE (TO BE RENOVATED) BLDG C 1 STORY CONSTRUCTED IN 1965 NOT DESIGNATED WITH HISTORIC VALUE (TO BE DEMOLISHED)		
BASE FLOOD ELEVATION:	# NVD0	EXISTING BLDG A 6.10' NVD0 EXISTING EXISTING BLDG B 6.21' NVD0 EXISTING EXISTING BLDG C 6.21' NVD0 EXISTING	RENOVATED BLDG A 6.10' (NO CHANGE) RENOVATED BLDG B 6.21' (NO CHANGE) NEW BLDG C 6.00' NVD0
ADJUSTED GRADE (FLOOD + GRADE(S)):	N/A		
GRADE VALUE IN NVD0 (CENTER OF SIDEWALK OR PROVIDED BY PW):	N/A		
LOT WIDTH: LOT DEPTH: LOT AREA:	75 FT 150 FT 11,250 SQ. FT.		
MINIMUM UNIT SIZE:	550 SF (NEW) 400 SF (REHABILITATED)	EXISTING BLDG A: 200 SQFT EXISTING BLDG B: 311 SQFT EXISTING BLDG C: (RESIDENCE) 1150 SQFT	RENOVATED BLDG A: 487 SQFT RENOVATED BLDG B: 348 SQFT NEW BLDG C: 1,014 SQFT
AVERAGE UNIT SIZE:	800 SF (NEW) 550 SF (REHABILITATED)	EXISTING BLDG A: 323 SQFT EXISTING BLDG B: 400 SQFT EXISTING BLDG C: (RESIDENCE) 1150 SQFT	RENOVATED BLDG A: 516 SQFT RENOVATED BLDG B: 529 SQFT NEW BLDG C: 1,076 SQFT
FIR:	1.25 MAX 1.25 X 11,250 SF = 14,063 SF MAX	EXISTING BLDG A: 6,533 SQ. FT. EXISTING BLDG B: 3,184 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT. TOTAL: 10,867 SQ. FT.	RENOVATED BLDG A: 6,533 SQ. FT. RENOVATED BLDG B: 3,184 SQ. FT. NEW BLDG C: 4,302 SQ. FT. TOTAL: 14,020 SQ. FT.
HEIGHT:	TO FLAT ROOF MID POINT TO SLOPED ROOF TAKEN FROM FLOOD ELEVATION	IF EXISTING STRUCTURE IS TWO STORIES OR HIGHER, THE PROPOSED ADDITION SHALL NOT EXCEED 3 STORIES AND 35FT. EXISTING BLDG A: 27'-6" FT EXISTING BLDG B: 22'-8" FT EXISTING BLDG C: 17'-8" FT	RENOVATED BLDG A: 27'-6" FT RENOVATED BLDG B: 27'-8" FT NEW BLDG C: 34'-4" FT
NUMBER OF STORIES:	MAX 3 STORIES (SIFT)	(2) STORY EXISTING BLDG A (2) STORY EXISTING BLDG B (1) STORY EXISTING BLDG C	(2) STORY RENOVATED BLDG A (2) STORY RENOVATED BLDG B (1) STORY NEW BLDG C
GROSS SQ FOOTAGE (FOOTPRINT):		EXISTING BLDG A: 3,367 SQ. FT. EXISTING BLDG B: 1,981 SQ. FT. EXISTING BLDG C: 1,150 SQ. FT.	RENOVATED BLDG A: 3,367 SQ. FT. RENOVATED BLDG B: 1,981 SQ. FT. NEW BLDG C: 1,014 SQ. FT.
NUMBER OF RESIDENTIAL UNITS:		EXISTING BLDG A: 18 UNITS EXISTING BLDG B: 6 UNITS EXISTING BLDG C: 1 UNIT TOTAL: 25 UNITS	RENOVATED BLDG A: 15 UNITS RENOVATED BLDG B: 6 UNITS NEW BLDG C: 2 UNITS TOTAL: 23 UNITS
OCCUPANCY LOAD:	FOR R-2 200 PER SQ.FT.	BLDG A: 6,533 SQ. FT. / 200= 32.7 OCCUPANTS BLDG B: 3,184 SQ. FT./200= 15.92 OCCUPANTS BLDG C: 4,302 SQ. FT./200= 21.51 OCCUPANTS TOTAL: 70 OCCUPANTS.	
PEDESTAL:			
FRONT SETBACK (EAST):	20'-0"	EXISTING BLDG A: 14'-8" EXISTING BLDG B: 15'-9"	EXISTING BLDG A: 14'-8" (NO CHANGE) EXISTING BLDG B: 15'-9" (NO CHANGE)
SIDE SETBACK (NORTH):	7'-6"	EXISTING BLDG A: 3'-14" EXISTING BLDG C: 2'-8"	EXISTING BLDG A: 3'-14" (NO CHANGE) NEW BLDG C: 7'-6"
SIDE SETBACK (SOUTH):	7'-6"	EXISTING BLDG B: 4'-9" EXISTING BLDG C: 4'-9"	EXISTING BLDG B: 4'-9" NEW BLDG C: 7'-6"
REAR SETBACK (WEST):	10% X 150' = 15'-0" 10% of lot depth	EXISTING BLDG C: 4'-9" (AVERAGE) 4'-9" (NORTH END) 5'-0" (SOUTH END)	NEW BLDG C: 8'-0" ****
PARKING:			
PARKING DISTRICT:	1.5 per unit 1.5 x 12 units (EXISTING BLDG A) = 18 1.5 x 6 units (EXISTING BLDG B) = 9 1.5 x 4 units (NEW BLDG C) = 6 TOTAL: 33 NEW REQUIRED: 6	8 PARKING SPACES (TO BE REMOVED)	NO PARKING PROVIDED. IMPACT FEE WILL BE PAID AT TIME OF PERMIT
LOADING ZONES AND TRASH COLLECTION AREAS:	N/A		

* BUILDING B MINIMUM UNIT SIZE VARIANCE REQUEST: 52 SF VARIANCE REQUEST (348 SF MIN. UNIT SIZE)
** BUILDING A AVERAGE UNIT SIZE VARIANCE REQUEST: 32 SF VARIANCE REQUEST (516 SF AVERG. UNIT SIZE)
*** BUILDING B AVERAGE UNIT SIZE VARIANCE REQUEST: 21 SF VARIANCE REQUEST (529 SF AVERG. UNIT SIZE)
**** NEW BLDG C REAR SETBACK VARIANCE REQUEST: 10 FT VARIANCE REQUEST (5 FT FROM PROPERTY LINE)



4 BLDG B UNIT AREA FIRST FLOOR
1/8" = 1'-0"



5 BLDG B UNIT AREA SECOND FLOOR
1/8" = 1'-0"

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REVISIONS

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UNIT AREA CALCULATIONS

A0.5

PROJECT #: 16-006

DATE: 03-29-16



Neighbor 1- 1614 EUCLID AVE



Neighbor 5- 1605 EUCLID AVE



Neighbor 2- 1600 EUCLID AVE



Neighbor 3- 1615 EUCLID AVE



Neighbor 4- 1611 EUCLID AVE



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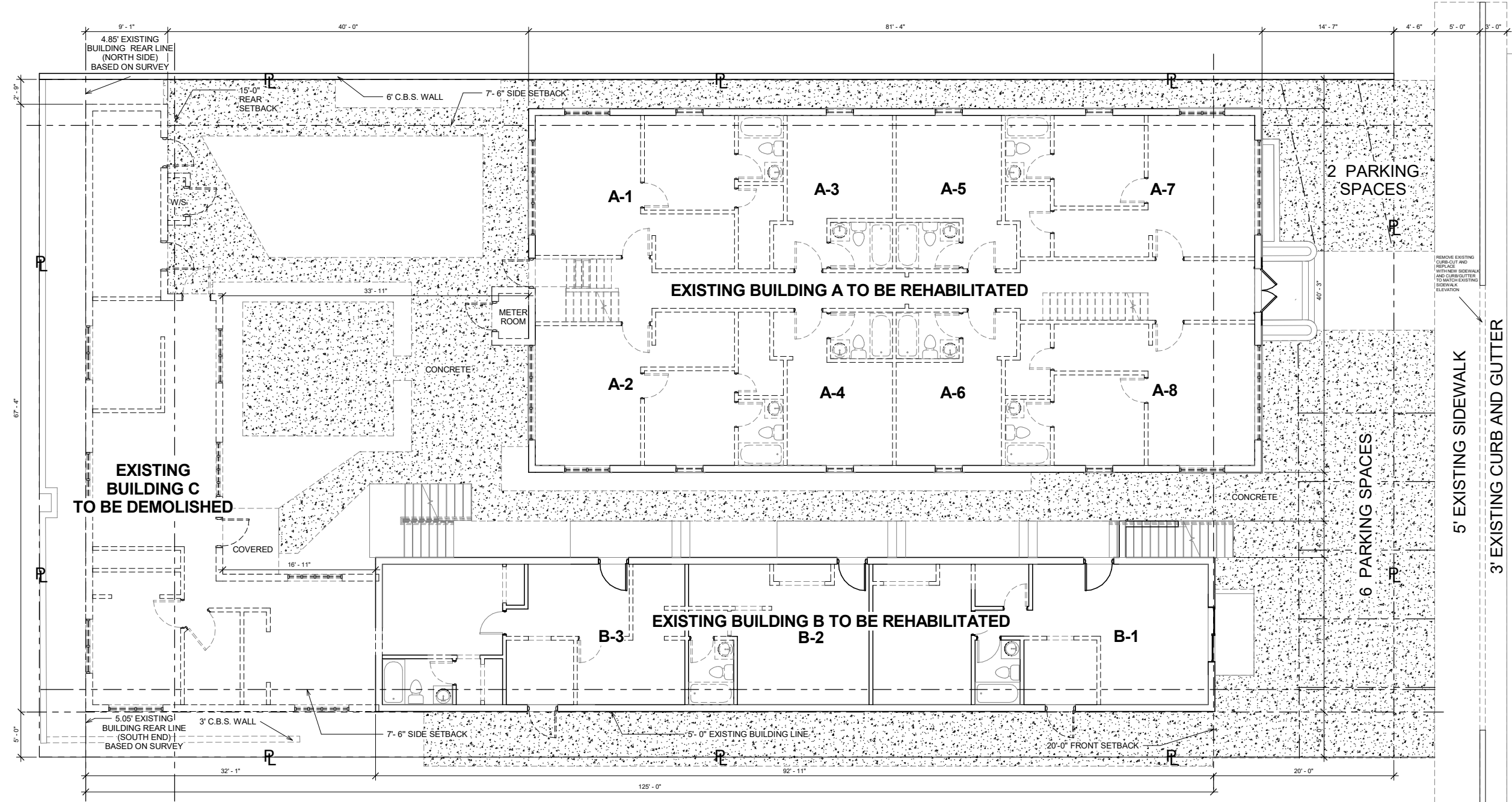
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SITE ANALYSIS

A0.6
REV. 08-15-16

PROJECT #: 16-006

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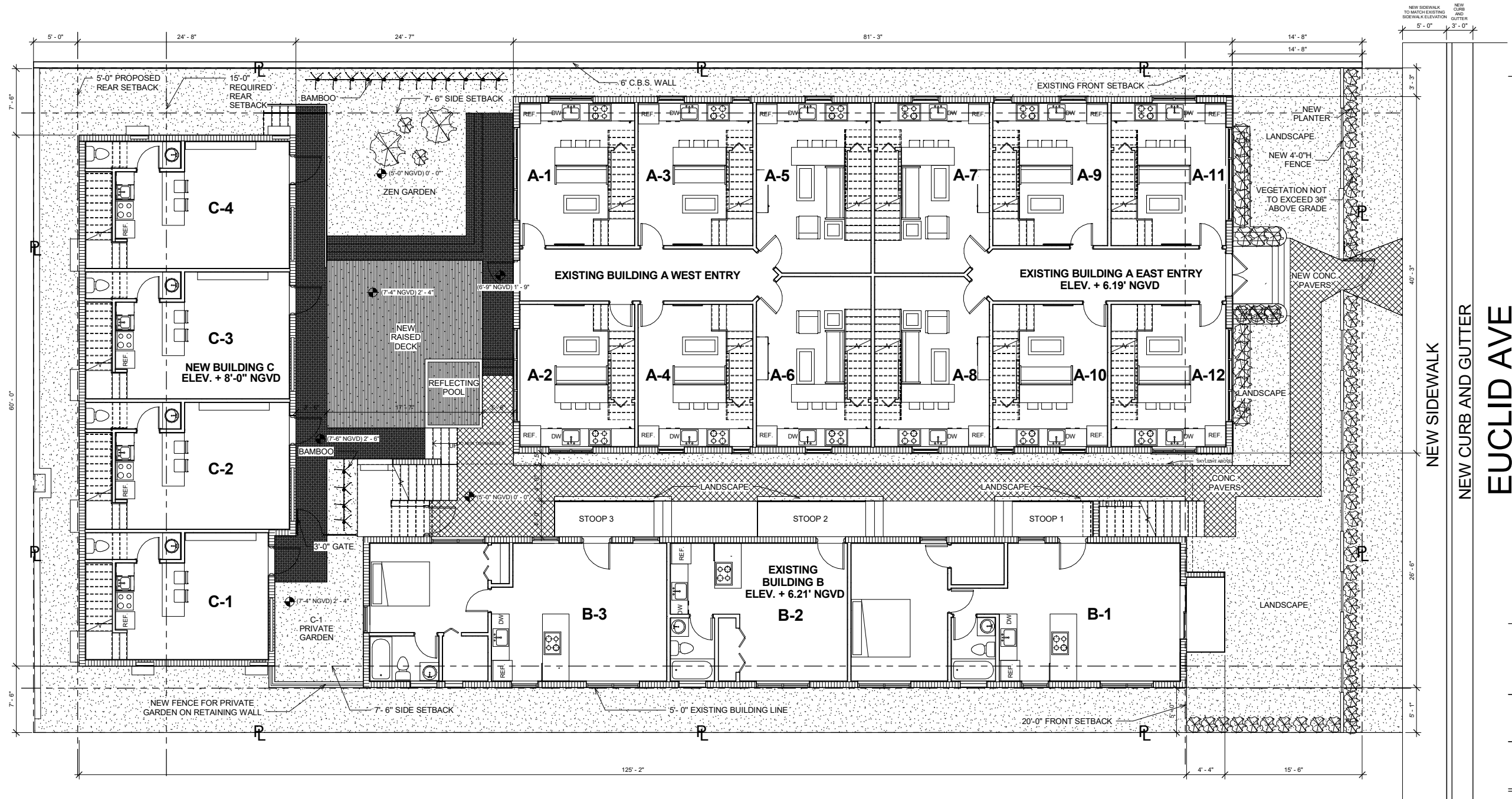
EXISTING/DEMO SITE PLAN

A1.0

PROJECT #: 16-006

DATE: 03-29-16

1 EXISTING SITE PLAN
3/16" = 1'-0"



1 PROPOSED SITE PLAN
3/16" = 1'-0"

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PROPOSED SITE PLAN

A1.1

REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16



BUILDING A EAST (FRONT)



BUILDING B SOUTH EAST (FRONT)



BUILDING A NORTH EAST (FRONT)

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**EXISTING BUILDING FRONT
IMAGES**

A0.7

PROJECT #: 16-006

DATE: 03-29-16



BUILDING A EAST (FRONT)



BUILDING A WEST (REAR)



BUILDING A SOUTH (SIDE)

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**EXISTING BUILDING A
IMAGES**

A0.8

PROJECT #: 16-006

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BUILDING B EAST (FRONT)



BUILDING B SOUTH (SIDE)

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**EXISTING BUILDING B
IMAGES**

A0.9

PROJECT #: 16-006

DATE: 03-29-16



BUILDING C SOUTH EAST (FRONT)



BUILDING C NORTH EAST (FRONT)



BUILDING C COURTYARD



BUILDING C NORTH EAST (FRONT)

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**EXISTING BUILDING C
IMAGES**

A0.10

PROJECT #: 16-006

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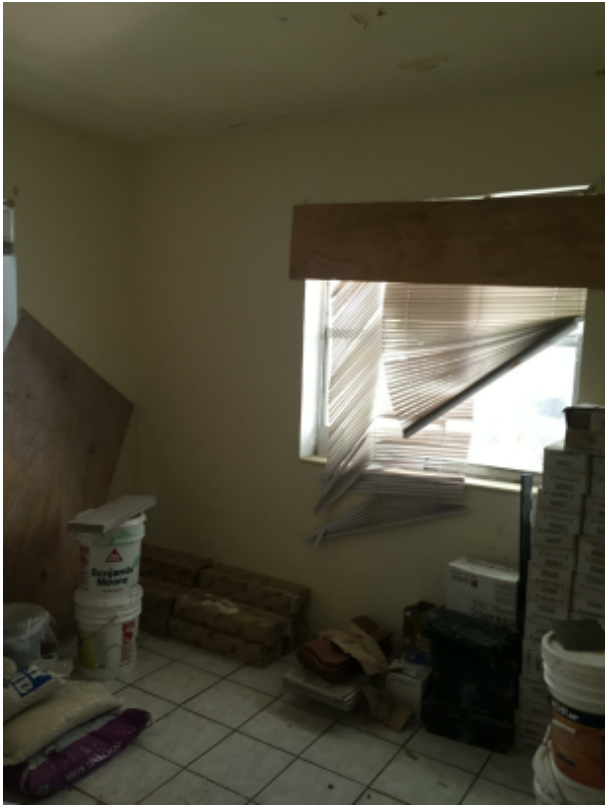
EXISTING CONNECTION BETWEEN BUILDINGS B AND C



BUILDING C ENTRY PORCH



BUILDING C INTERIOR VIEW



BUILDING C INTERIOR VIEW



BUILDING C NORTH-FACING WALL
(NORTH SIDE)

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SUBMITTAL DATE: 06-09-16

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**EXISTING BUILDING C
IMAGES**

A0.11

PROJECT #: 16-006

DATE: 03-29-16



BUILDING C INTERIOR



BUILDING C VIEW LOOKING SOUTH



BUILDING C WEST-FACING WALL
(REAR SIDE)



BUILDING C INTERIOR VIEW LOOKING TOWARDS ENTRY



BUILDING C INTERIOR VIEW LOOKING TOWARDS LIVING AREA

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**EXISTING BUILDING C
IMAGES**

A0.12

PROJECT #: 16-006

DATE: 03-29-16



CONTEXTUAL SKETCH. MAIN FACADE. FROM LEFT TO RIGHT: BUILDINGS B AND A

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ARI SKLAR

PROPOSED RENDERINGS

A0.13

REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16



INTERIOR COURTYARD VIEW TAKEN FROM NORTH. FROM LEFT TO RIGHT: BUILDINGS A, B AND C



CONCEPTUAL REPRESENTATION OF BUILDING C REAR ELEVATION



CONCEPTUAL REPRESENTATION OF SITE WITH BUILDING A FOOTPRINT

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LICENSE #AR1473

REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
1610 Euclid Avenue,
Miami Beach, FL 33139

- ☐ REVIEW SET
- ☐ PRELIMINARY
- ☐ NOT FOR CONSTRUCTION
- ☐ DRY RUN PERMIT SET
- ☐ PERMIT SET
- ☐ BID SET
- ☐ CONSTRUCTION SET

SUBMITTAL DATE: 06-09-16

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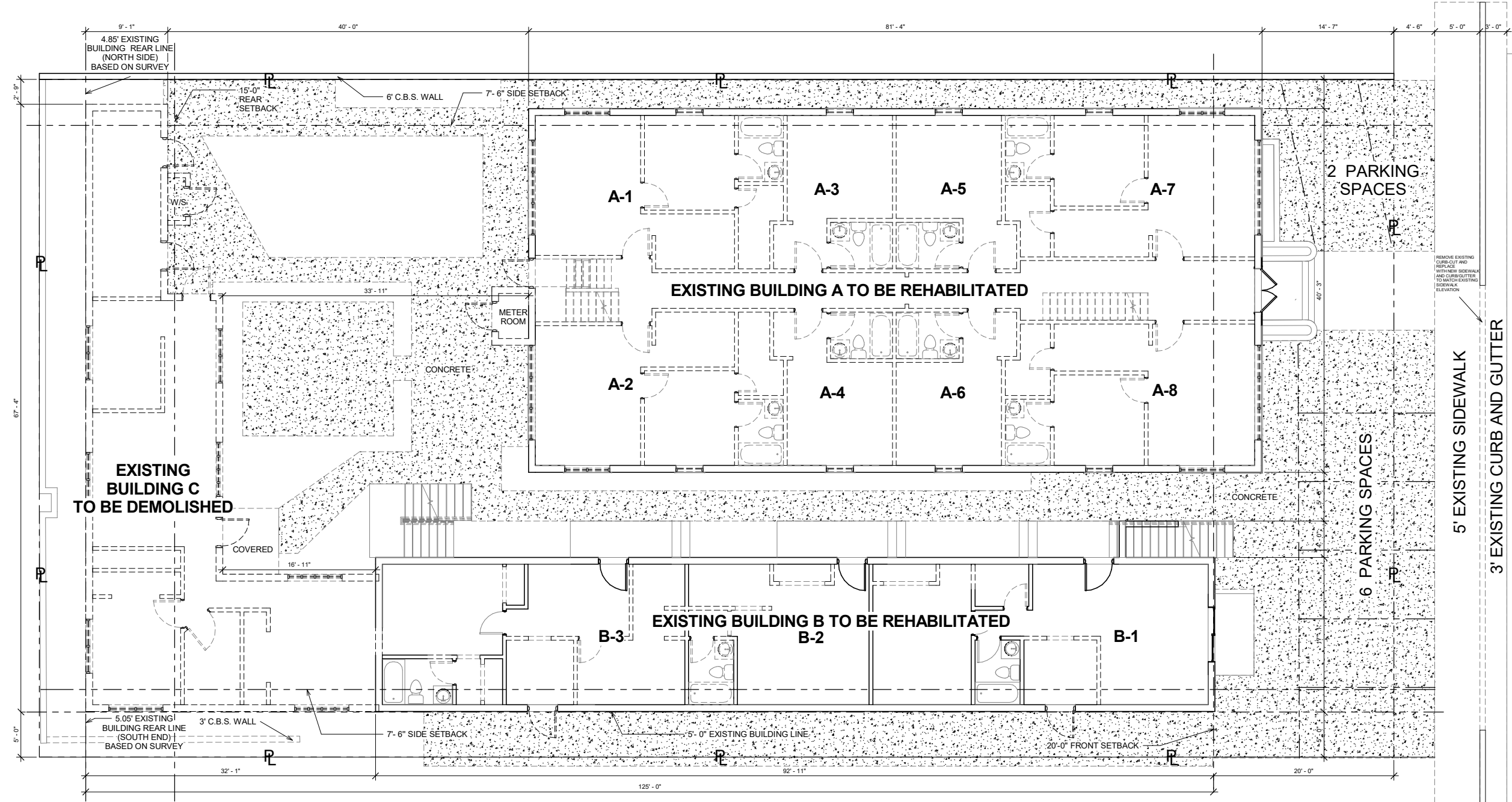
PROPOSED RENDERINGS

A0.14

REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16



1 EXISTING SITE PLAN
3/16" = 1'-0"

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EXISTING/DEMO SITE PLAN

A1.0

PROJECT #: 16-006

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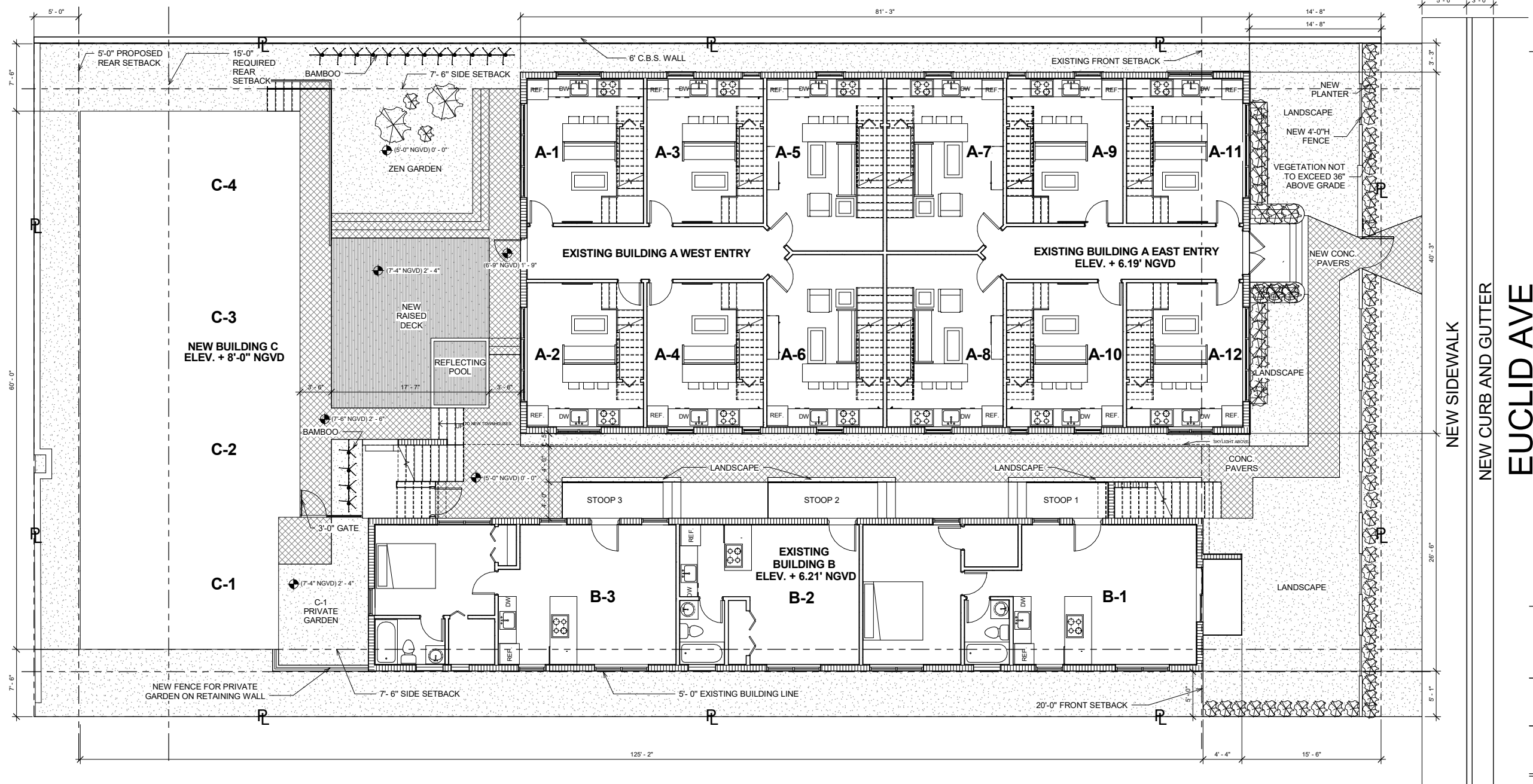
PROPOSED SITE PLAN

A1.1

REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16

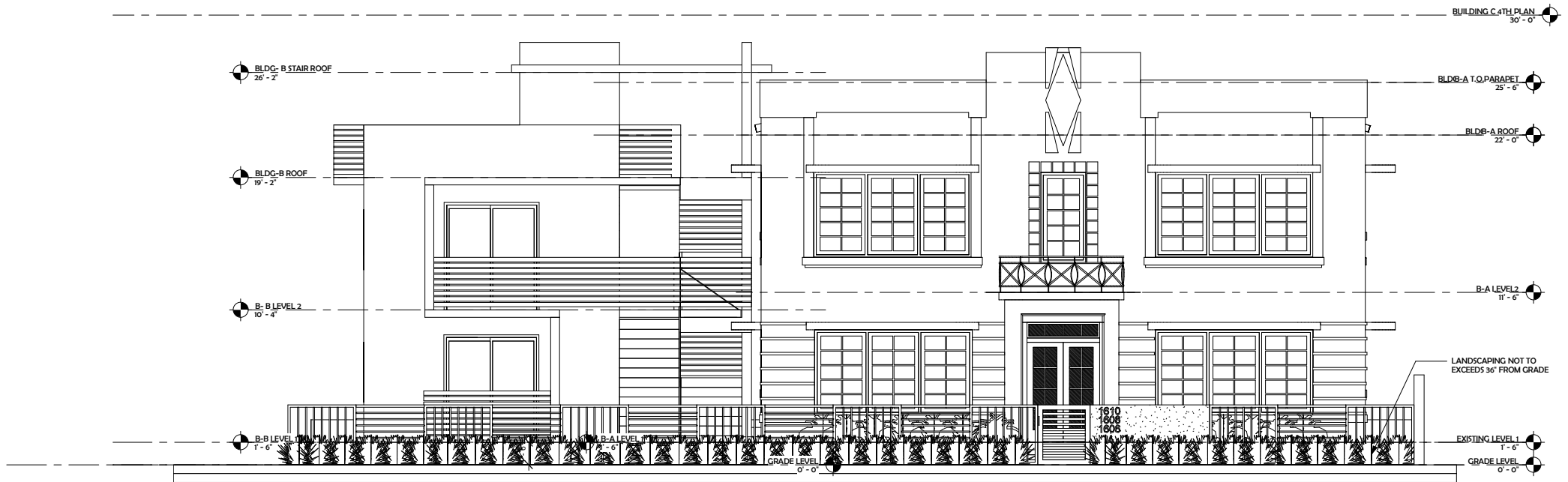


1 PROPOSED SITE PLAN
3/16" = 1'-0"

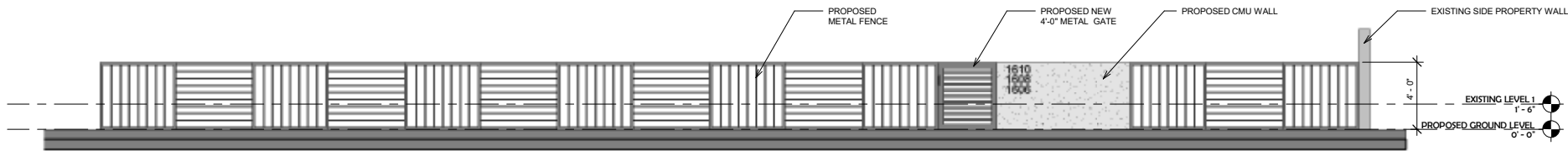
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REVISIONS



1 SITE EAST EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED PROPERTY FRONT FENCE
1/4" = 1'-0"

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**PROPOSED SITE EAST
ELEVATION**

A1.2
REV. 08-15-16

PROJECT #: 16-006

DATE: 03-29-16

EXIST/DEMO
PLAN LEGEND

EXISTING CMU WALL
WALL TO BE DEMOLISHED

WALL & CEILING FINISHES

FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723

INSULATION MATERIALS

INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL273, FBC R 902.10

TYP. PROJECT DEMOLITION NOTES

1. EXISTING BATHROOMS- REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE, AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
2. EXISTING PLASTER/GWB - REMOVE AND DISCARD AS INDICATED WITH A DASHED LINE ON DEMOLITION PLANS AND PREPARE FOR REPLACEMENT. DO NOT REMOVE ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORING WHERE REQUIRED
3. REMOVE ALL INACTIVE SANITARY, VENT & WATER PIPING & CAP BELOW FLOOR SLAB AS REQUIRED. PATCH HOLES IN FLOOR SLAB WITH CONCRETE, LEAVING A SMOOTH, LEVEL FLOOR
4. ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

NOTE: THE EXISTING WOOD FRAMING FLOOR WILL BE EVALUATED BY AN STRUCTURAL ENGINEER AND COMPLETELY DEMOLISHED IF IT IS REQUIRED

1 BLDG-A EXIST/DEMO FIRST FLOOR
1/4" = 1'-0"

2 BLDG-A PROPOSED FIRST FLOOR
1/4" = 1'-0"

PROPOSED
PLAN LEGEND

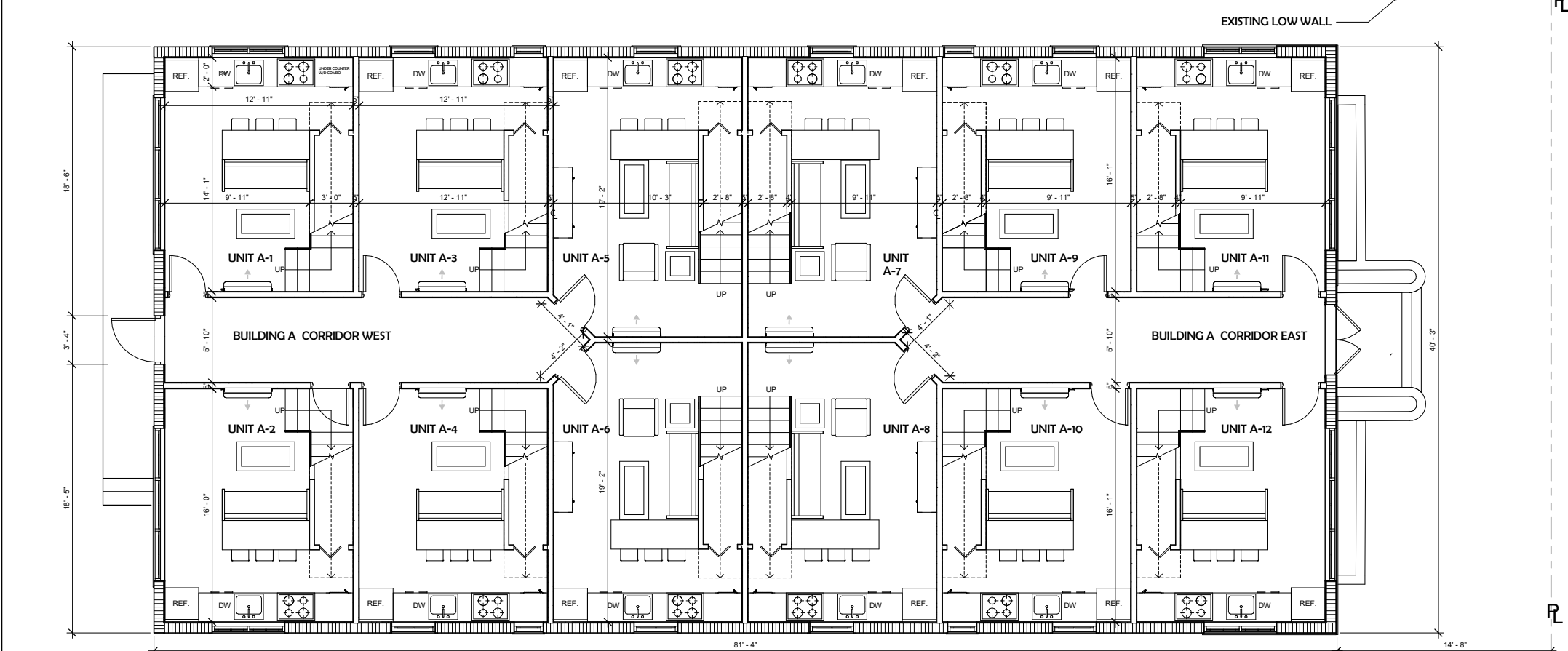
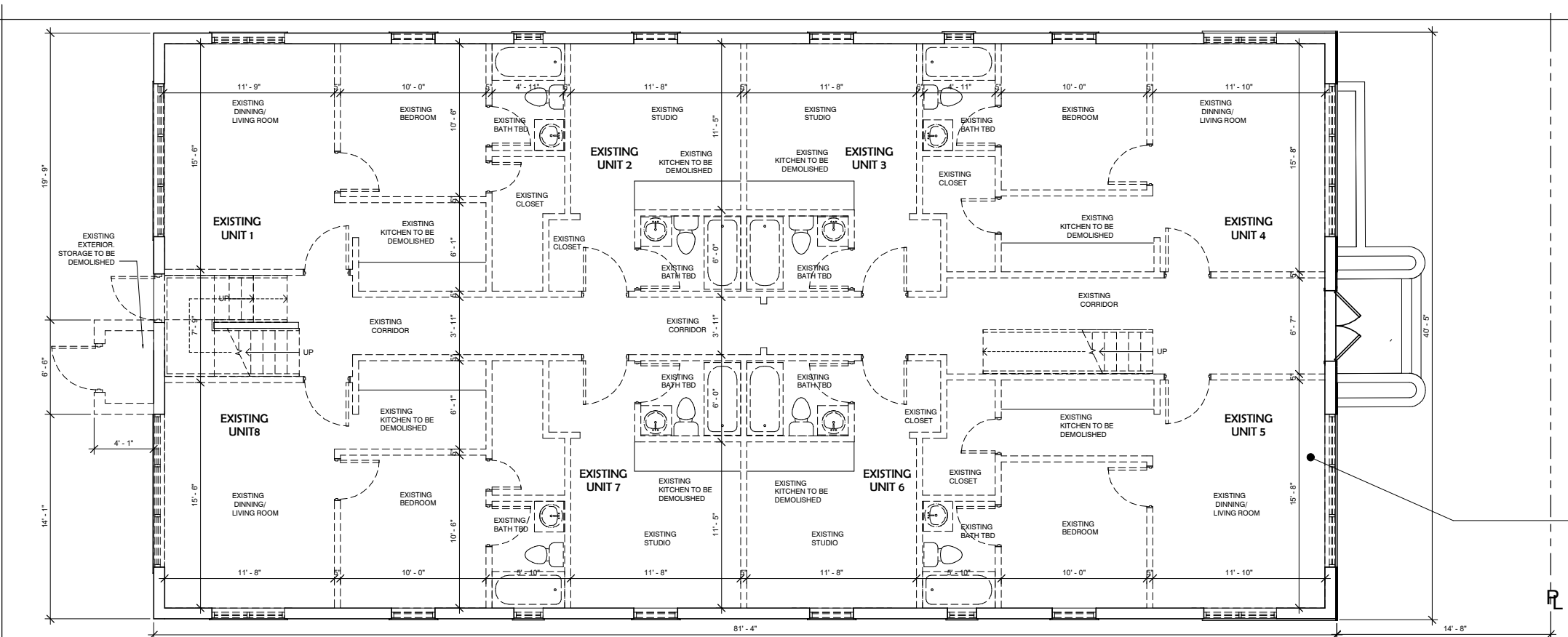
EXISTING CMU WALL
NEW PARTITION WALL

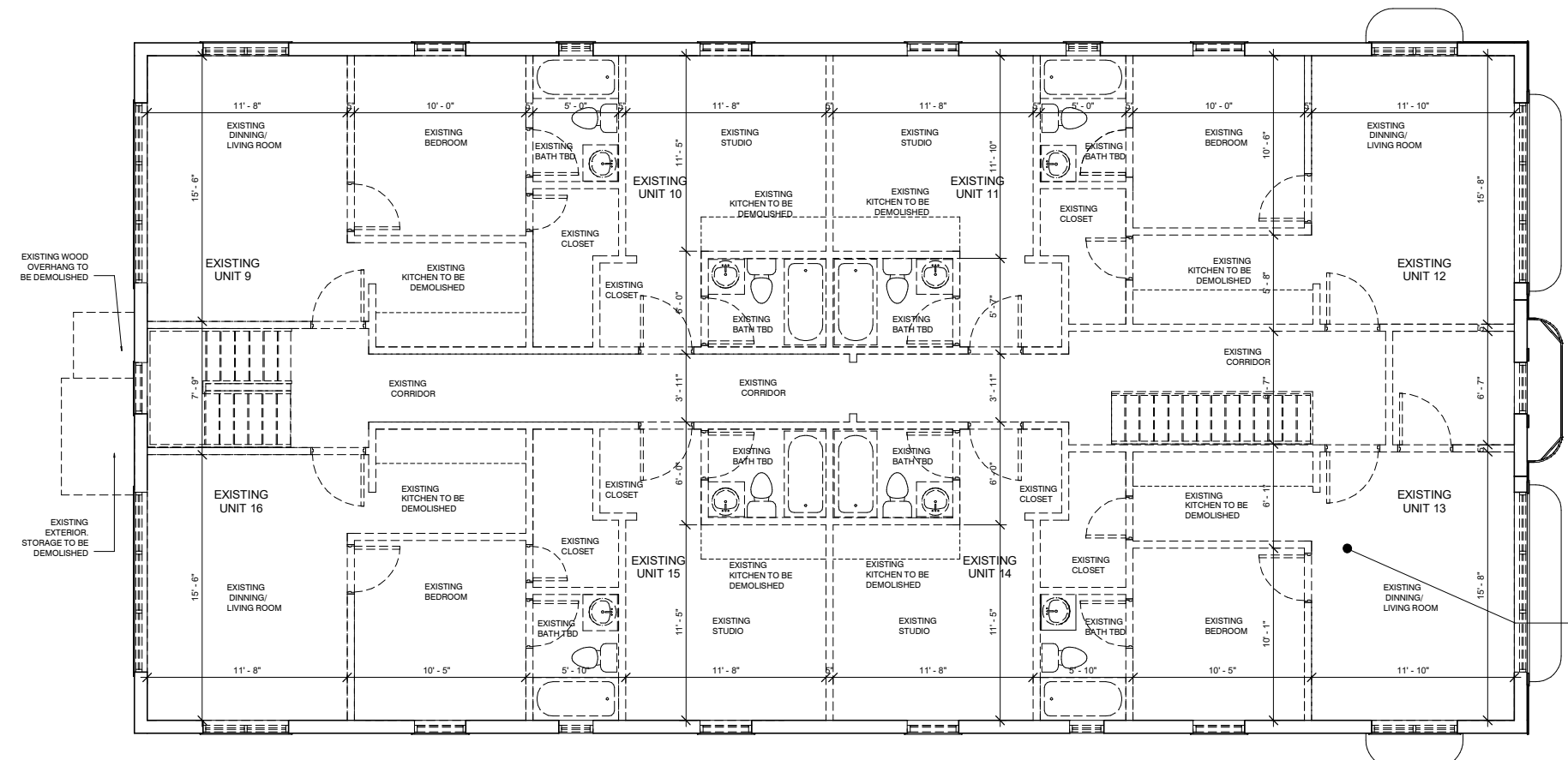
WALL & CEILING FINISHES

FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723

INSULATION MATERIALS

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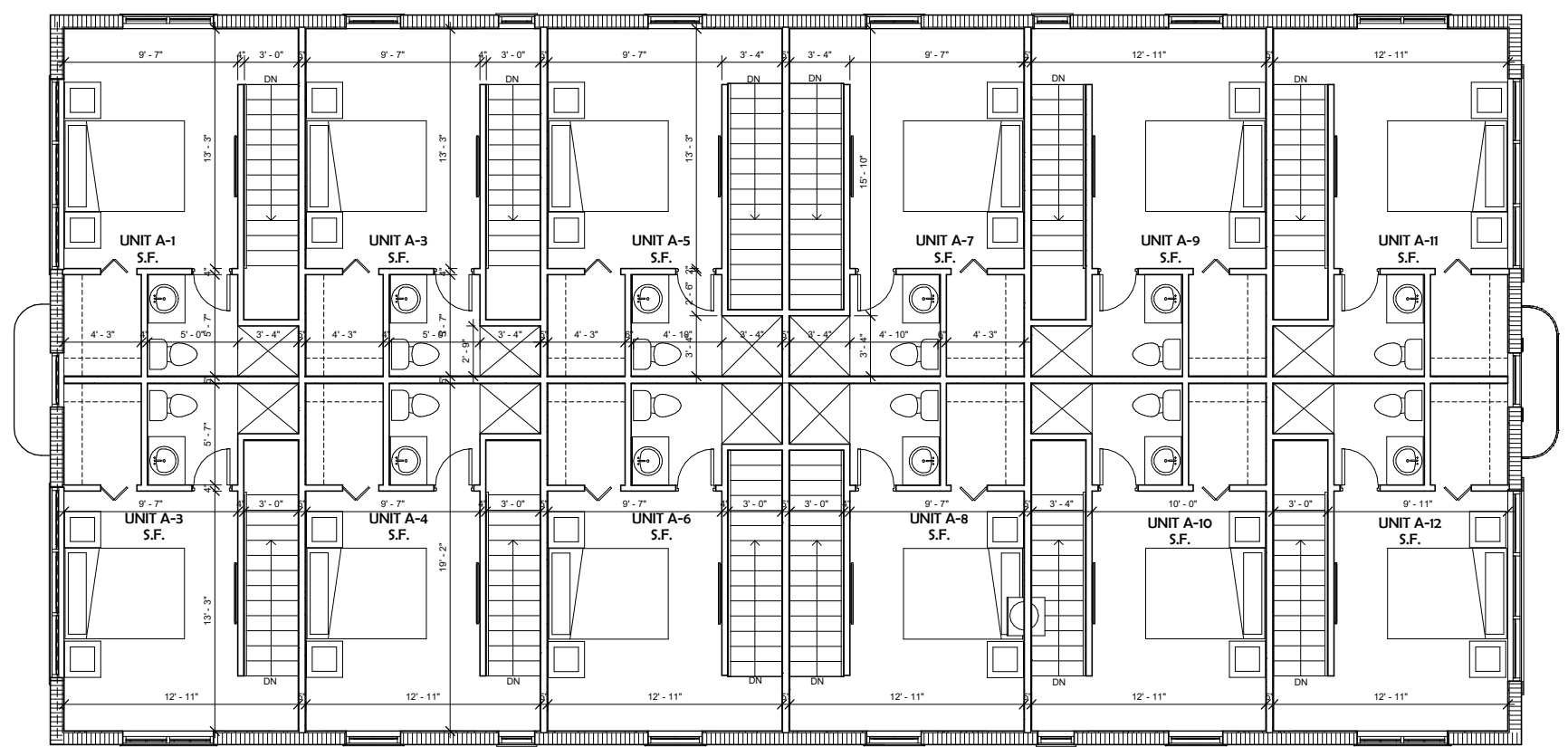


PLAN LEGEND
EXISTING CMU WALL
WALL TO BE DEMOLISHED
WALL & CEILING FINISHES
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 793
INSULATION MATERIALS
INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL275, FBC R 302.10

- TYP. PROJECT DEMOLITION NOTES**
- EXISTING BATHROOMS- REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
 - EXISTING PLASTER/GWB- REMOVE AND DISCARD AS INDICATED WITH A DASHED LINE ON DEMOLITION PLANS AND PREPARE FOR REPLACEMENT. DO NOT REMOVE ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORING WHERE REQUIRED
 - REMOVE ALL INACTIVE SANITARY, VENT & WATER PIPING & CAP BELOW FLOOR SLAB AS REQUIRED. PATCH HOLES IN FLOOR SLAB WITH CONCRETE, LEAVING A SMOOTH, LEVEL FLOOR
 - ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

NOTE: THE EXISTING WOOD FRAMING SECOND FLOOR WILL BE EVALUATED BY AN STRUCTURAL ENGINEER AND COMPLETELY DEMOLISHED IF IT IS REQUIRED

1 BLDG-A EXIST/DEMO SECOND FLOOR
1/4" = 1'-0"



PROPOSED PLAN LEGEND
EXISTING CMU WALL
NEW PARTITION WALL
WALL & CEILING FINISHES
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 793
INSULATION MATERIALS
INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL275, FBC R 302.10

2 BLDG-A PROPOSED SECOND FLOOR
1/4" = 1'-0"

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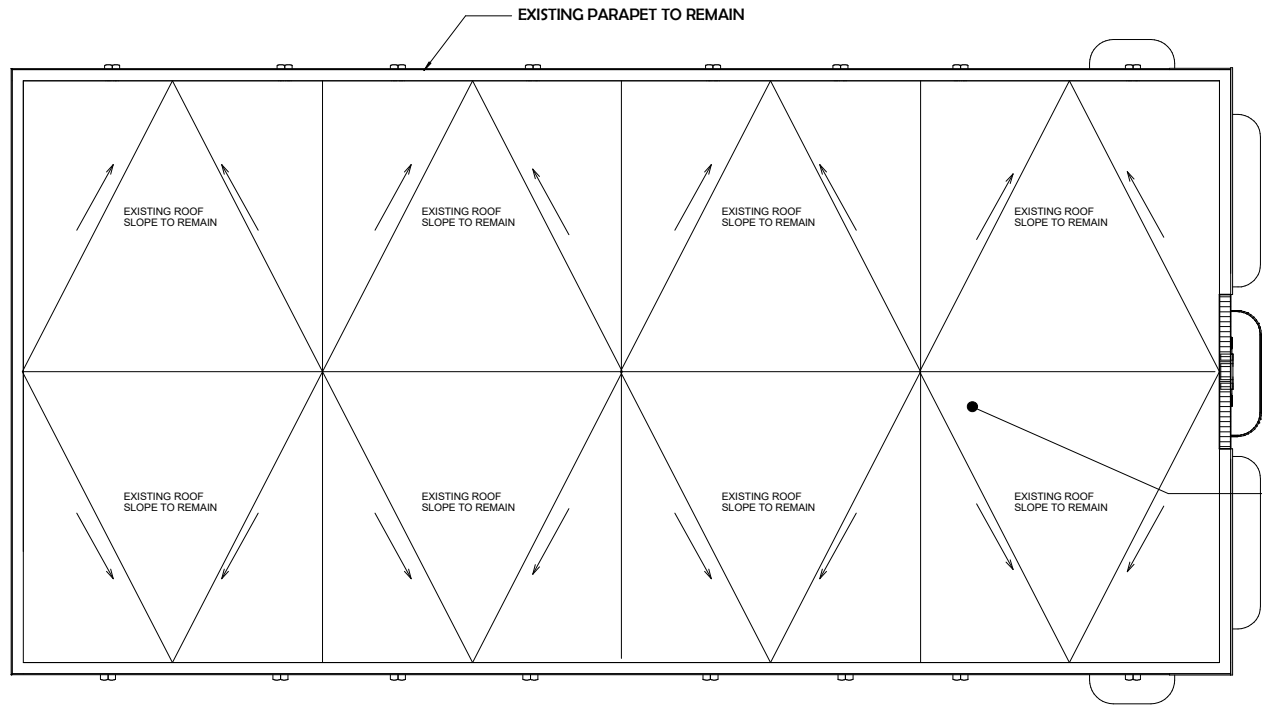
**BUILDING A
EXIST/PROPOSED SECOND
FLOOR**

A2.1

REV. 08-15-16

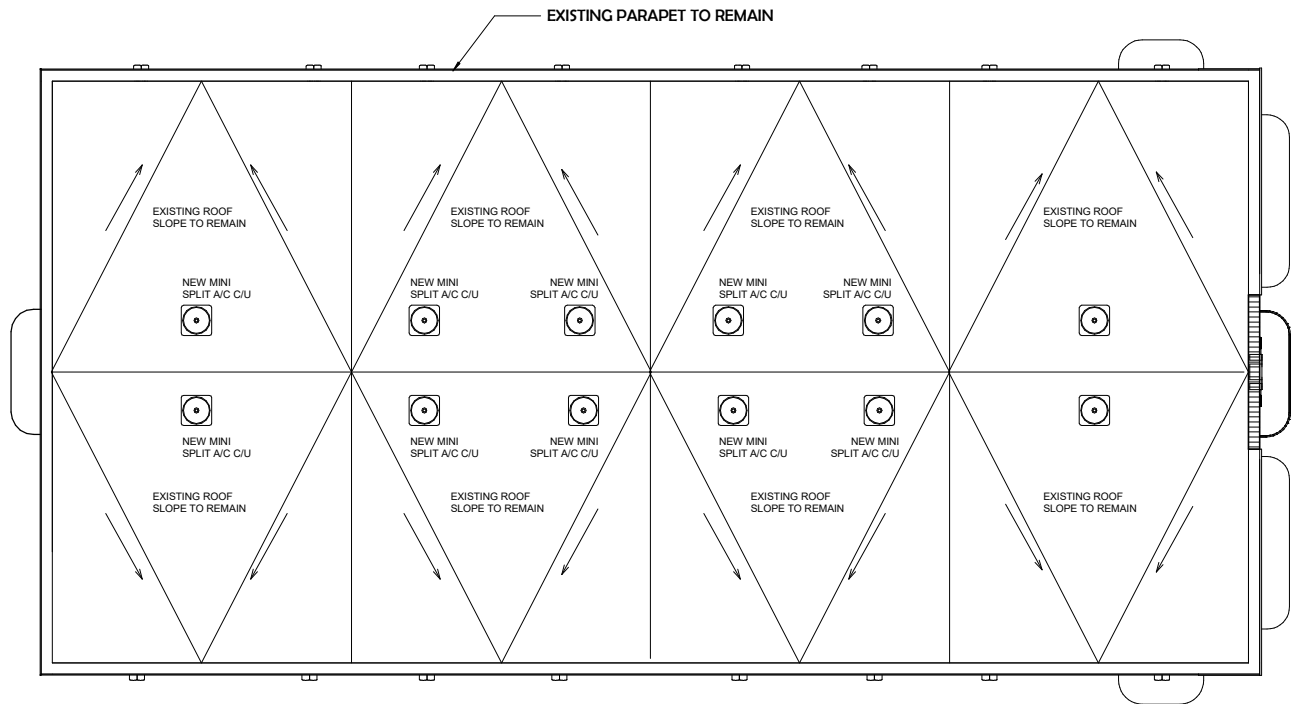
PROJECT #: 16-006

DATE: 03-29-16



NOTE: THE EXISTING WOOD FRAMING ROOF WILL BE EVALUATED BY AN STRUCTURAL ENGINEER AND COMPLETELY DEMOLISHED IF IT IS REQUIRED

2 BLDG A ROOF EXIST/DEMO
3/16" = 1'-0"



1 BLDG-A ROOF PROPOSED
3/16" = 1'-0"

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
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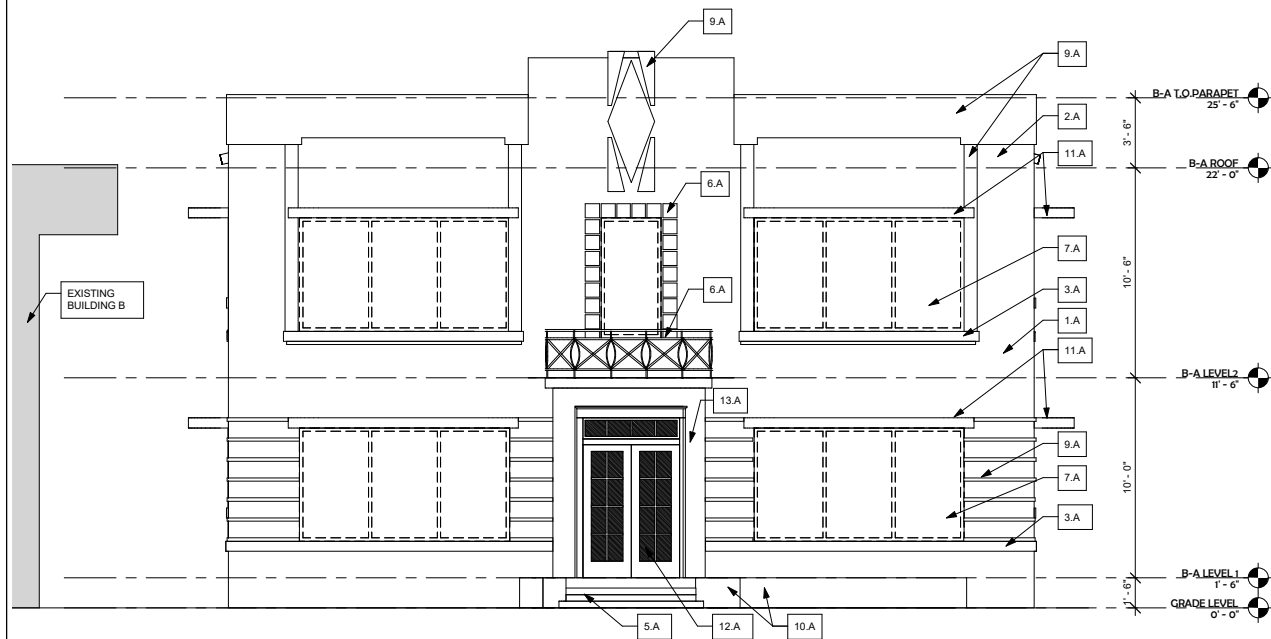
**BUILDING A EXISTING
PROPOSED ROOF PLAN**

A2.2

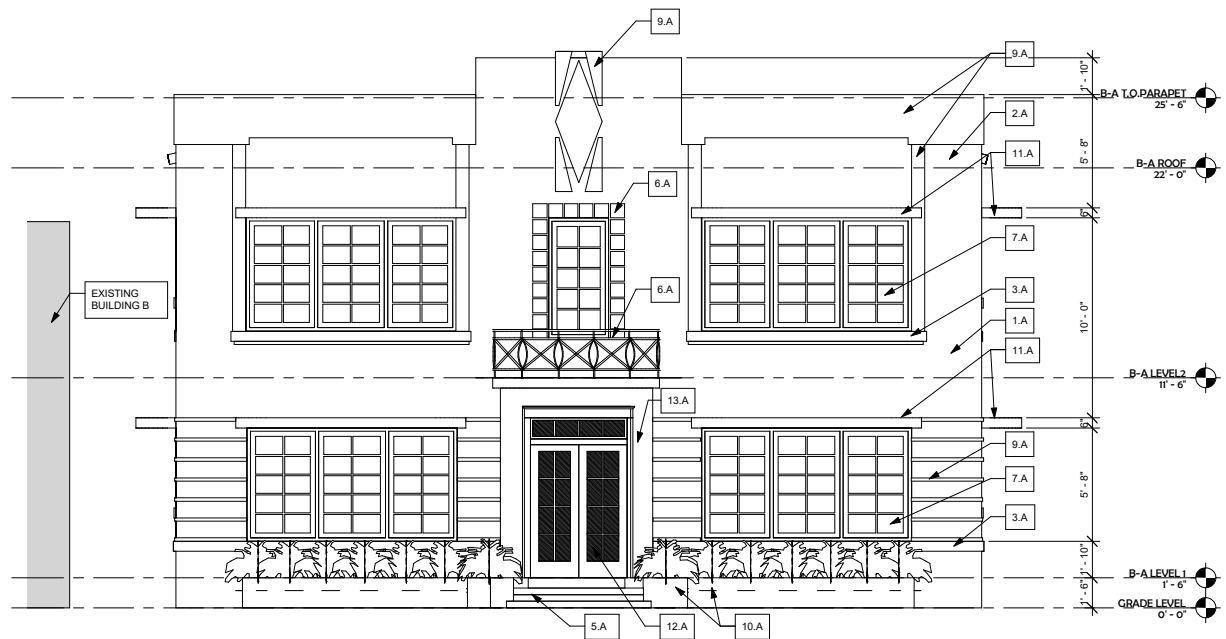
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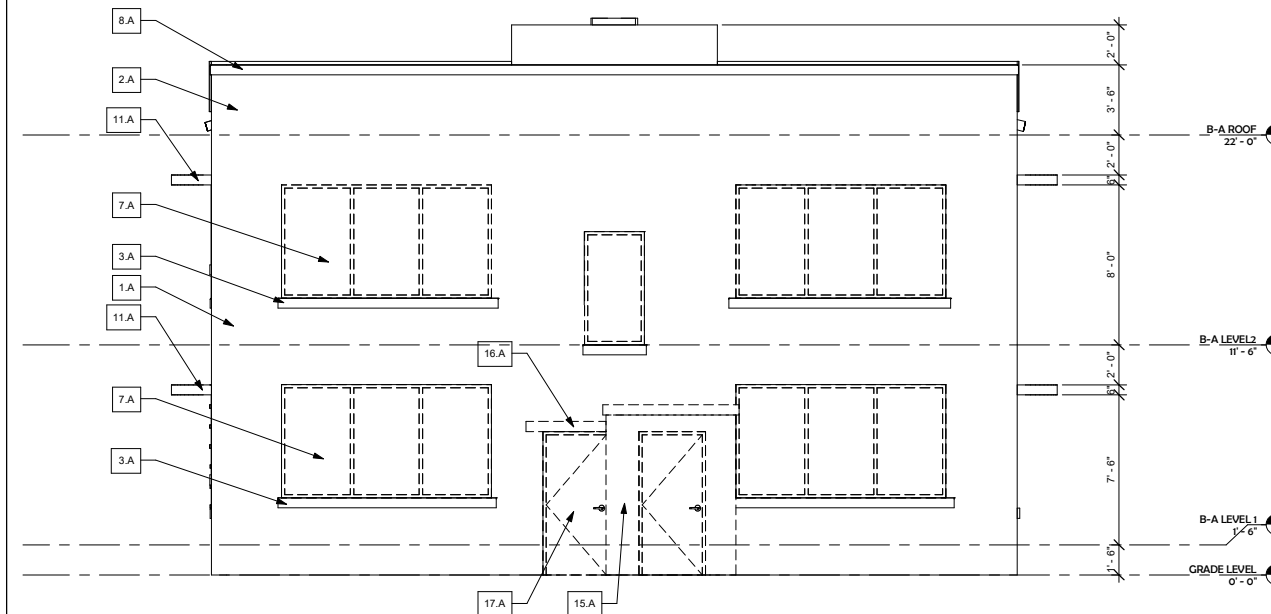
DATE: 03-29-16



1 EAST ELEVATION EXISTING/DEMO
1/4" = 1'-0"



2 EAST ELEVATION PROPOSED
1/4" = 1'-0"



3 WEST ELEVATIONS EXISTING/DEMO
1/4" = 1'-0"

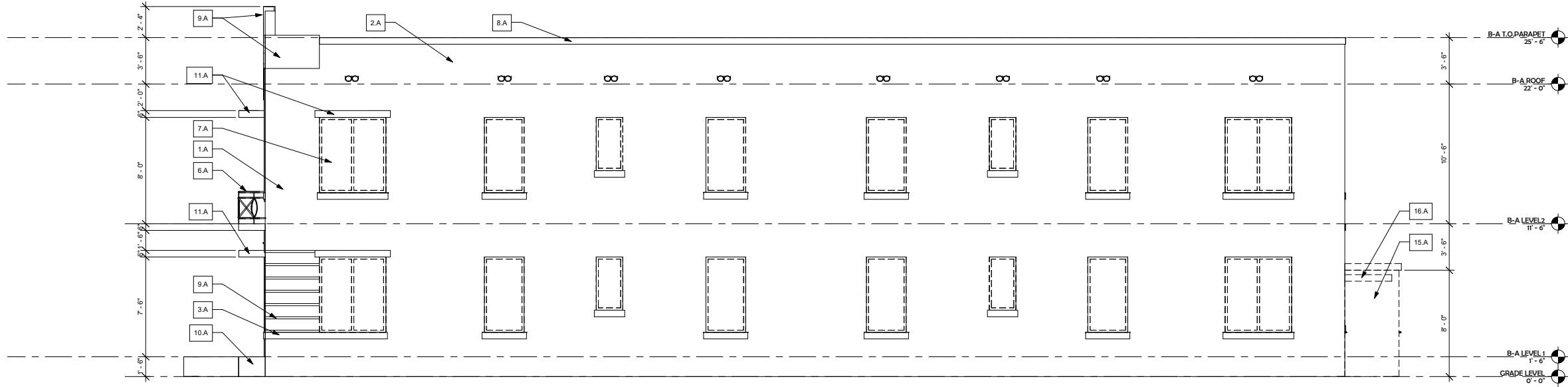


4 WEST ELEVATIONS PROPOSED
1/4" = 1'-0"

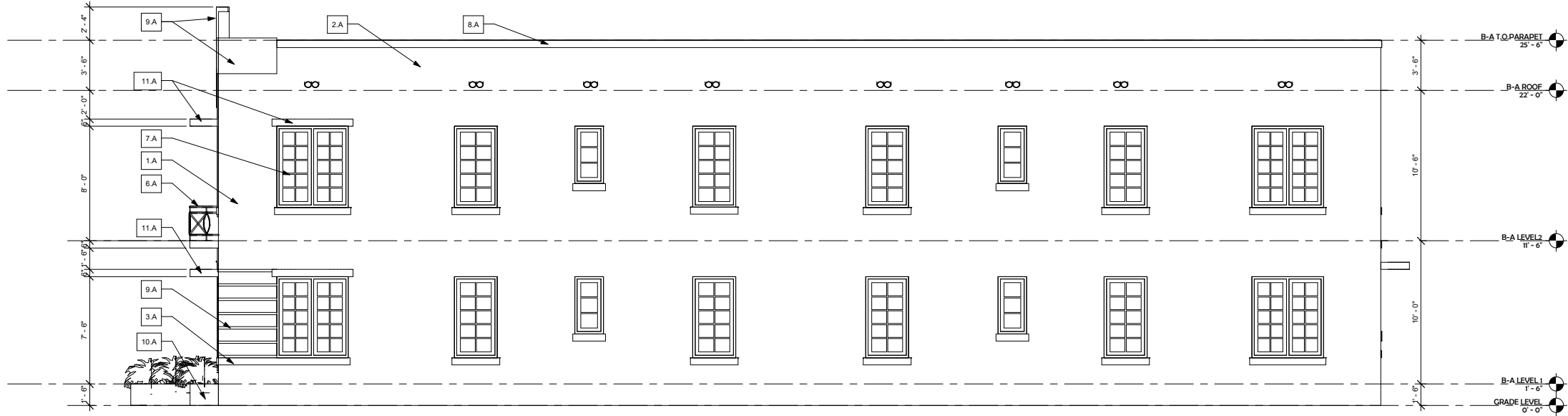
PROPOSED ELEVATION RESTORATION NOTES BLDG A

- 1.A EXISTING ROUGH STUCCO TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE.
2.A EXISTING ROUGH STUCCO PARAPET TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE.
3.A EXISTING SMOOTH STUCCO WINDOW SILL TO REMAIN. PATCH AND REPAIR AS NEEDED.
5.A EXISTING CONCRETE STEPS TO REMAIN WITH NEW TILE FINISH.
6.A EXISTING RAILING TO BE RESTORED TO ITS ORIGINAL CONDITIONS.
7.A EXISTING WINDOWS TO BE REPLACED AND RESTORE WITH SIMILAR DESIGN AS THE BUILDING ORIGINAL WINDOWS.
8.A EXISTING SMOOTH STUCCO CORNICE TO REMAIN. PATCH AND RESTORE AS NEEDED.
9.A EXISTING STUCCO REVEALS TO REMAIN PATCH AND RESTORE AS NEEDED.

- 10.A EXISTING PLANTERS TO REMAIN. PATCH AND RESTORE AS NEEDED.
11.A EXISTING OVERHANG TO REMAIN. PATCH AND RESTORE AS NEEDED.
12.A EXISTING DOOR TO BE RESTORED TO ITS ORIGINAL CONDITIONS.
13.A EXISTING TILE REVEAL TO BE RESTORED AS STUCCO REVEAL.
14.A NEW DOOR DESIGN TO MATCH BUILDING ORIGINAL DOORS.
15.A EXISTING EXTERIOR STORAGE TO BE DEMOLISHED.
16.A EXISTING WOOD OVERHANG TO BE DEMOLISHED.
17.A EXISTING DOOR TO BE DEMOLISHED.
18.A NEW CONCRETE OVERHANG.



1 NORTH ELEVATION EXIST/DEMO
1/4" = 1'-0"



2 NORTH ELEVATION PROPOSED
1/4" = 1'-0"

PROPOSED ELEVATION RESTORATION NOTES BLDG A

- | | |
|--|---|
| 1.A. EXISTING ROUGH STUCCO TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE. | 10.A. EXISTING PLANTERS TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 2.A. EXISTING ROUGH STUCCO PARAPET TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE. | 11.A. EXISTING OVERHANG TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 3.A. EXISTING SMOOTH STUCCO WINDOW SILL TO REMAIN. PATCH AND REPAIR AS NEEDED. | 12.A. EXISTING DOOR TO BE RESTORED TO ITS ORIGINAL CONDITIONS. |
| 4.A. EXISTING CONCRETE STEPS TO REMAIN WITH NEW TILE FINISH. | 13.A. EXISTING TILE REVEAL TO BE RESTORED AS STUCCO REVEAL. |
| 5.A. EXISTING RAILING TO BE RESTORED TO ITS ORIGINAL CONDITIONS. | 14.A. NEW DOOR DESIGN TO MATCH BUILDING ORIGINAL DOORS. |
| 6.A. EXISTING WINDOWS TO BE REPLACED AND RESTORE WITH SIMILAR DESIGN AS THE BUILDING ORIGINAL WINDOWS. | 15.A. EXISTING EXTERIOR STORAGE TO BE DEMOLISHED. |
| 7.A. EXISTING SMOOTH STUCCO CORNICE TO REMAIN. PATCH AND RESTORE AS NEEDED. | 16.A. EXISTING WOOD OVERHANG TO BE DEMOLISHED. |
| 8.A. EXISTING STUCCO REVEALS TO REMAIN PATCH AND RESTORE AS NEEDED. | 17.A. EXISTING DOOR TO BE DEMOLISHED. |
| | 18.A. NEW CONCRETE OVERHANG. |

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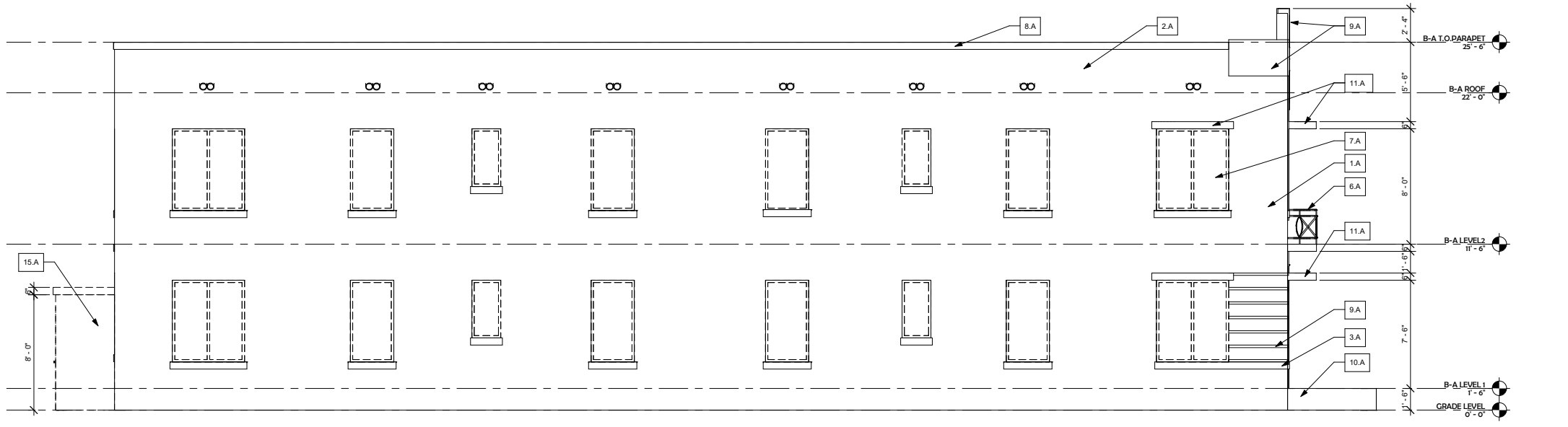
**BUILDING A EXISTING
PROPOSED ELEVATIONS**

A2.4

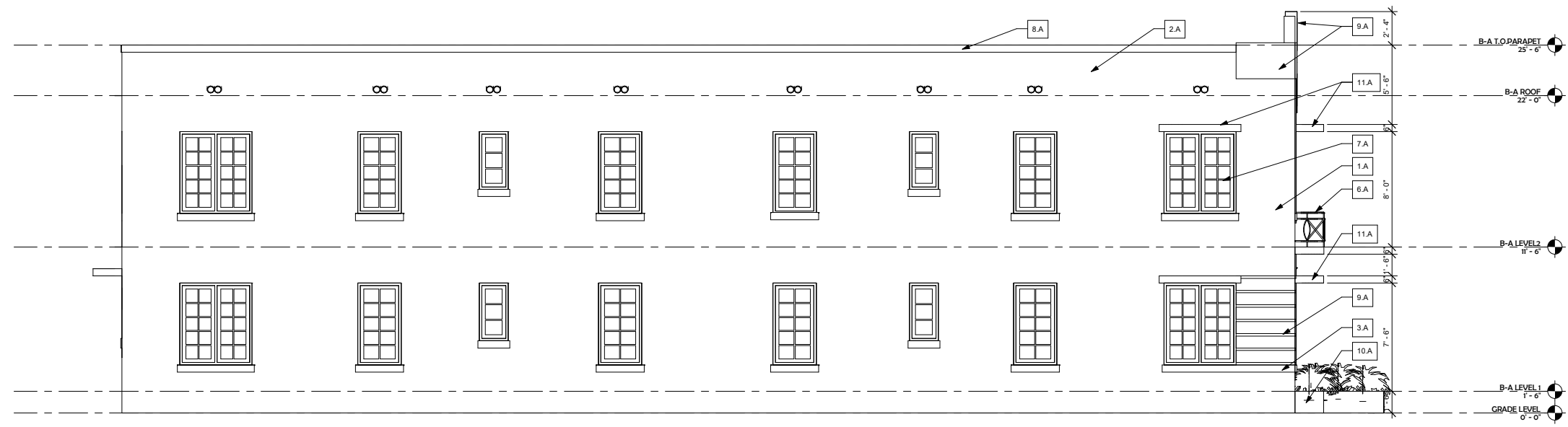
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1 SOUTH ELEVATION EXISTING/DEMO
1/4" = 1'-0"



2 SOUTH ELEVATION PROPOSED
1/4" = 1'-0"

PROPOSED ELEVATION RESTORATION NOTES BLDG A	
1.A. EXISTING ROUGH STUCCO TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE.	10.A. EXISTING PLANTERS TO REMAIN. PATCH AND RESTORE AS NEEDED.
2.A. EXISTING ROUGH STUCCO PARAPET TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE.	11.A. EXISTING OVERHANG TO REMAIN. PATCH AND RESTORE AS NEEDED.
3.A. EXISTING SMOOTH STUCCO WINDOW SILL TO REMAIN. PATCH AND REPAIR AS NEEDED.	12.A. EXISTING DOOR TO BE RESTORED TO ITS ORIGINAL CONDITIONS.
5.A. EXISTING CONCRETE STEPS TO REMAIN WITH NEW TILE FINISH.	13.A. EXISTING TILE REVEAL TO BE RESTORED AS STUCCO REVEAL.
6.A. EXISTING RAILING TO BE RESTORED TO ITS ORIGINAL CONDITIONS.	14.A. NEW DOOR DESIGN TO MATCH BUILDING ORIGINAL DOORS.
7.A. EXISTING WINDOWS TO BE REPLACED AND RESTORE WITH SIMILAR DESIGN AS THE BUILDING ORIGINAL WINDOWS.	15.A. EXISTING EXTERIOR STORAGE TO BE DEMOLISHED.
8.A. EXISTING SMOOTH STUCCO CORNICE TO REMAIN. PATCH AND RESTORE AS NEEDED.	16.A. EXISTING WOOD OVERHANG TO BE DEMOLISHED.
9.A. EXISTING STUCCO REVEALS TO REMAIN PATCH AND RESTORE AS NEEDED.	17.A. EXISTING DOOR TO BE DEMOLISHED.
	18.A. NEW CONCRETE OVERHANG.

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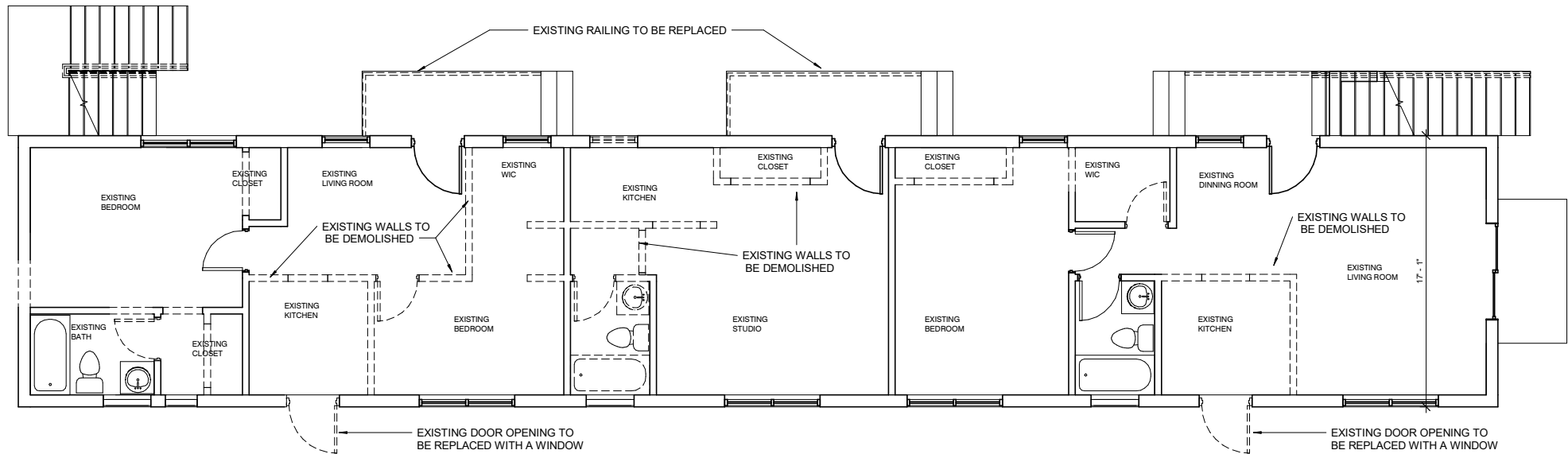
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**BUILDING A EXISTING
PROPOSED ELEVATIONS**

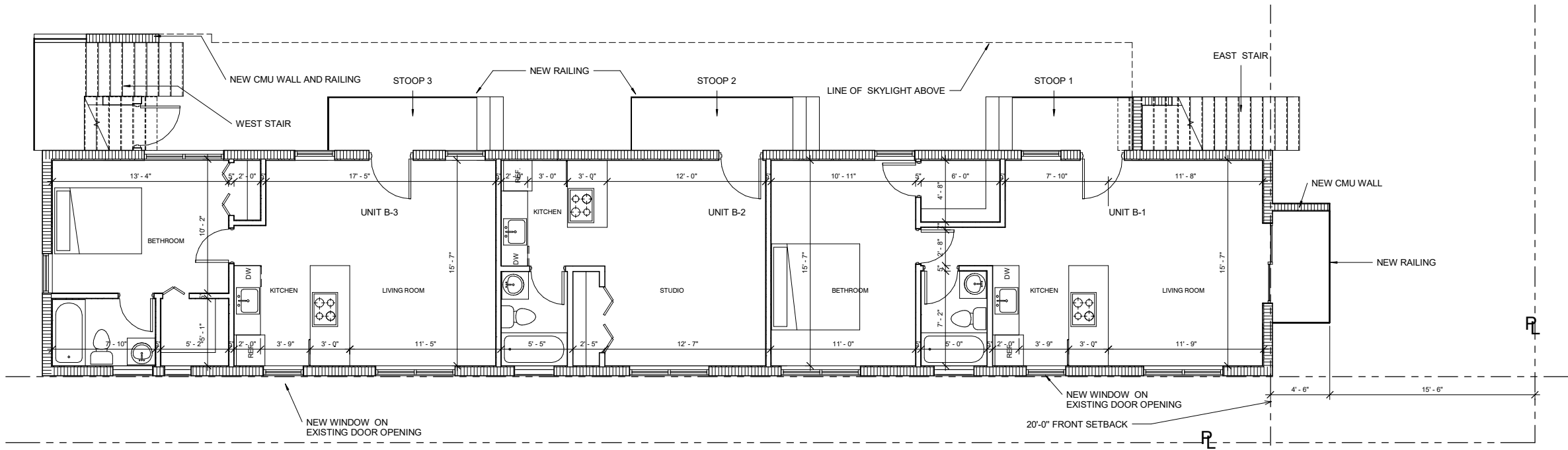
A2.5
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1 BLDG-B LEVEL 1 EXISTING
1/4" = 1'-0"



2 BLDG-B LEVEL 1 PROPOSED
1/4" = 1'-0"

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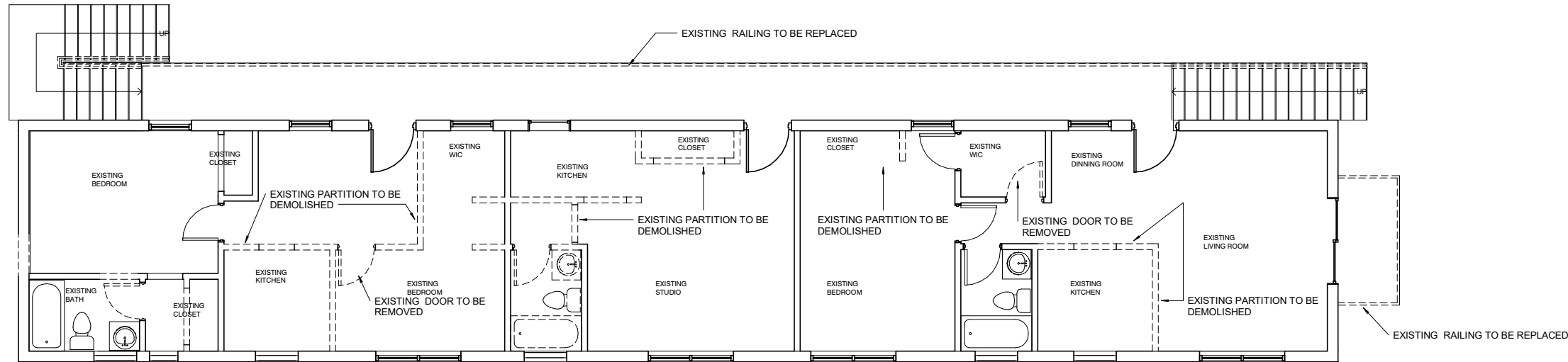
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CHECKED BY:
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BUILDING B LEVEL 1
EXISTING / PROPOSED
FLOOR PLAN

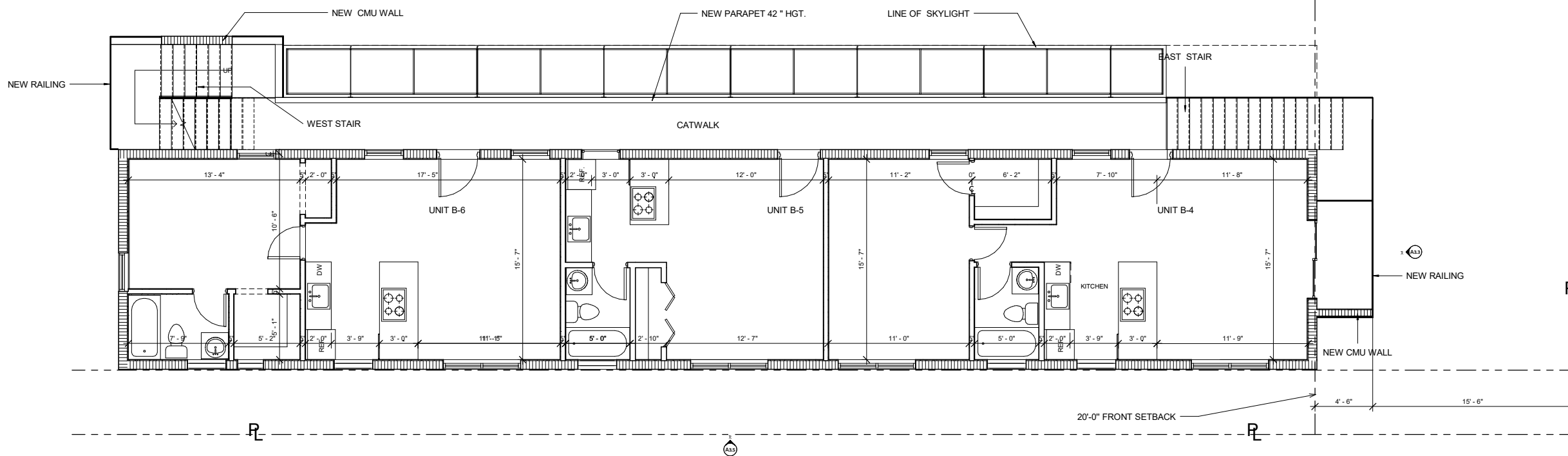
A3.0

PROJECT #: 16-006

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1 BLDG-B LEVEL 2 EXISTING
1/4" = 1'-0"



2 BLDG-B LEVEL 2 PROPOSED
1/4" = 1'-0"

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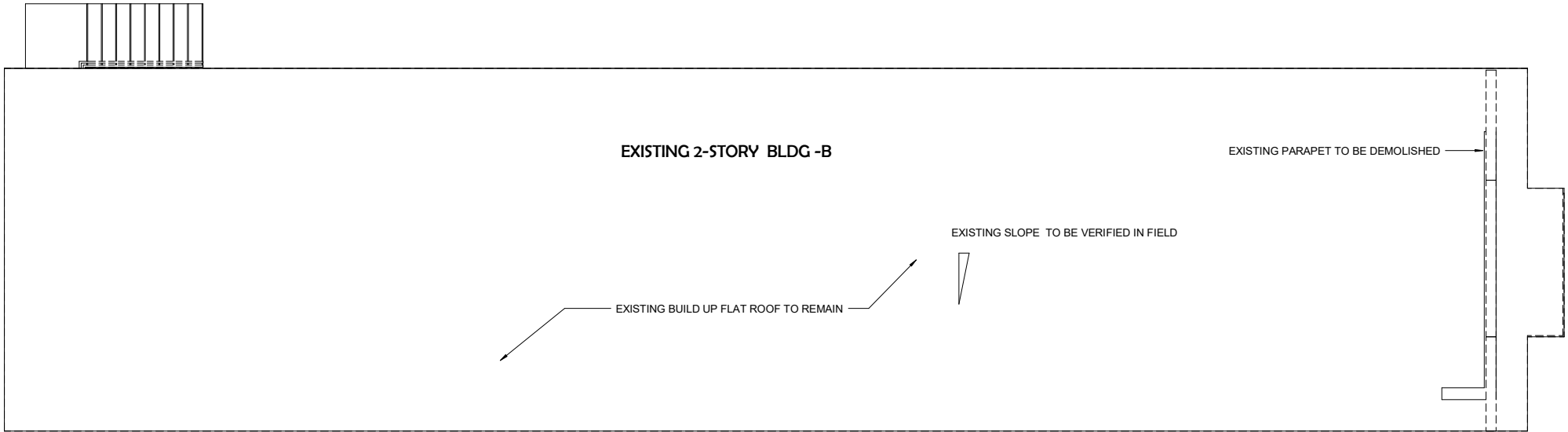
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**BUILDING B LEVEL 2
EXISTING / PROPOSED
FLOOR PLAN**

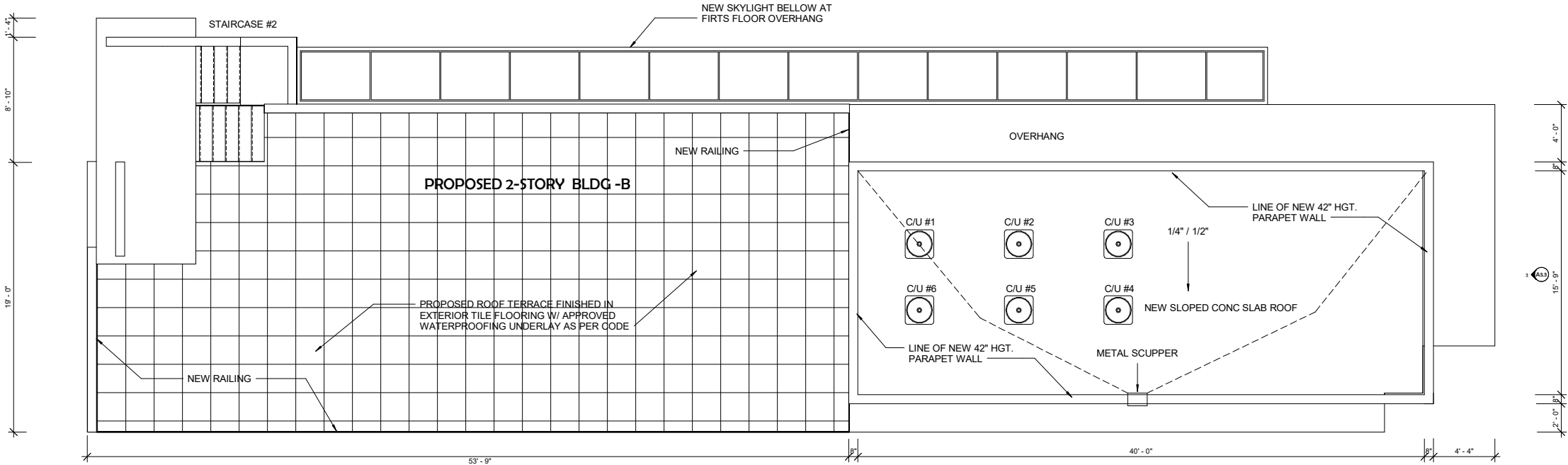
A3.1

PROJECT #: 16-006

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1 BLDG-B ROOF EXISTING
1/4" = 1'-0"



2 BLDG-B ROOF PROPOSED
1/4" = 1'-0"

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☐ PERMIT SET
☐ BID SET
☐ FINAL SUBMITTAL

SUBMITTAL DATE: 06-9-16

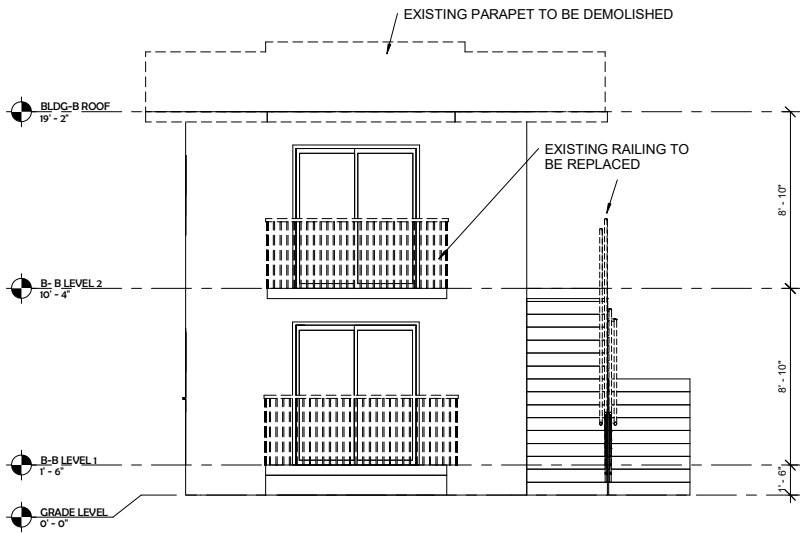
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BUILDING B ROOF PLAN
EXISTING / PROPOSED

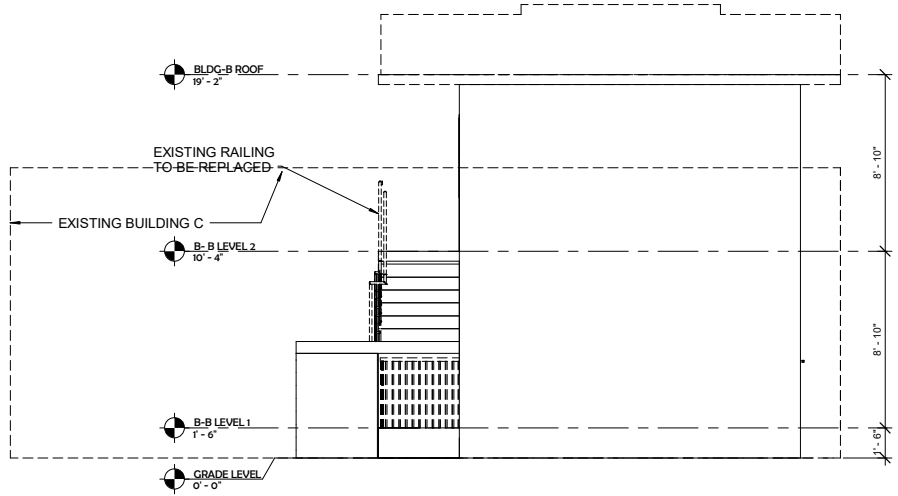
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PROJECT #: 16-006

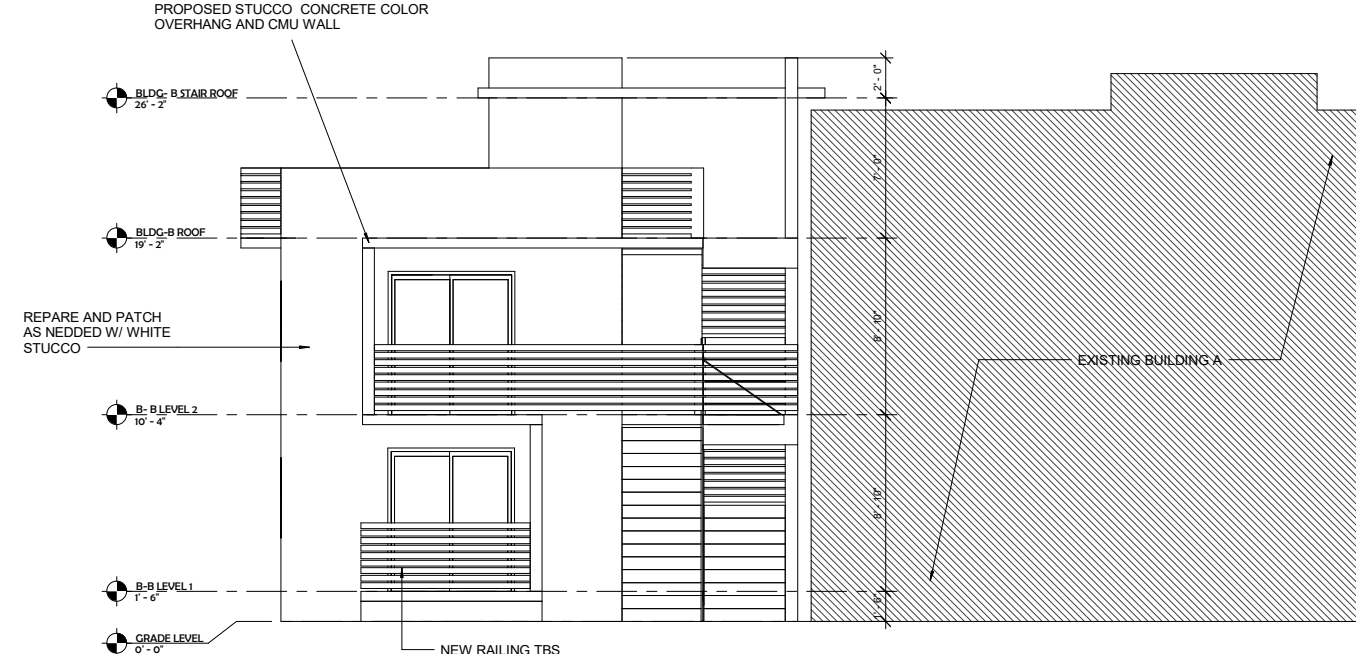
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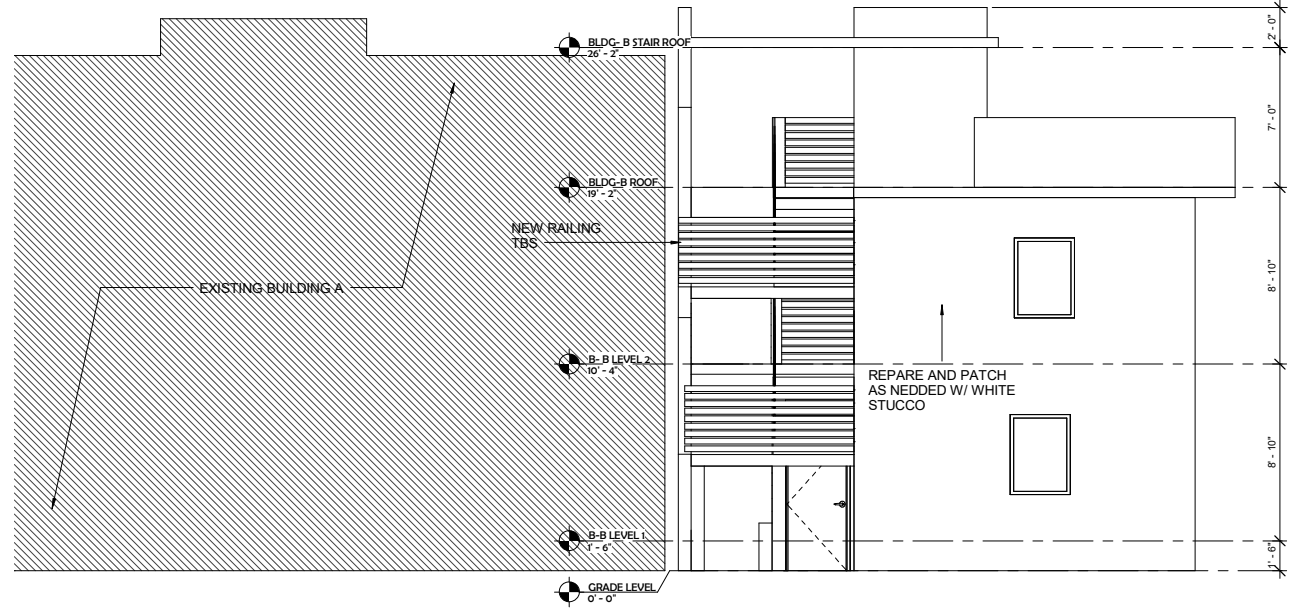
1 EXISTING EAST ELEVATION
1/4" = 1'-0"



3 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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REVISIONS

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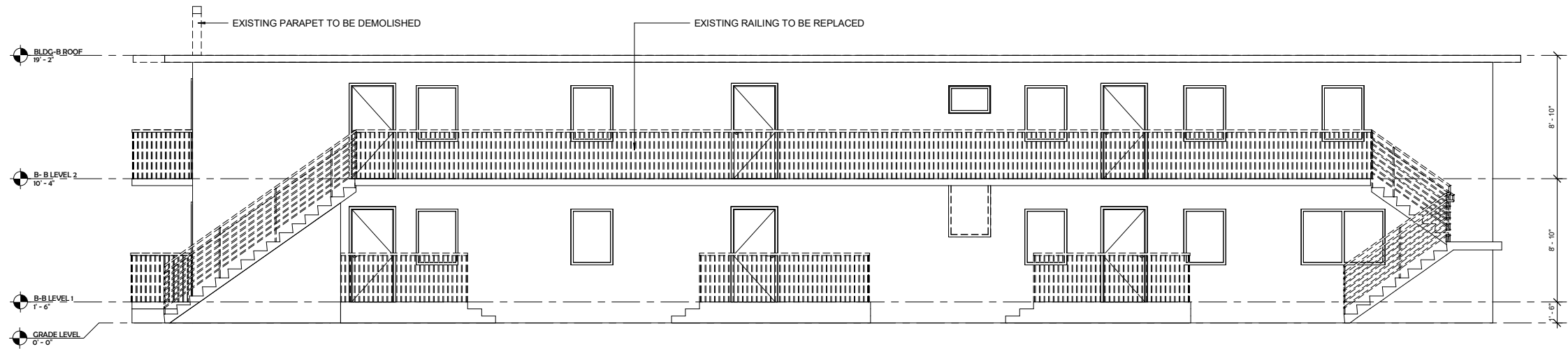
**BUILDING B ELEVATIONS
EAST / WEST EXISTING AND
PROPOSED**

A3.3

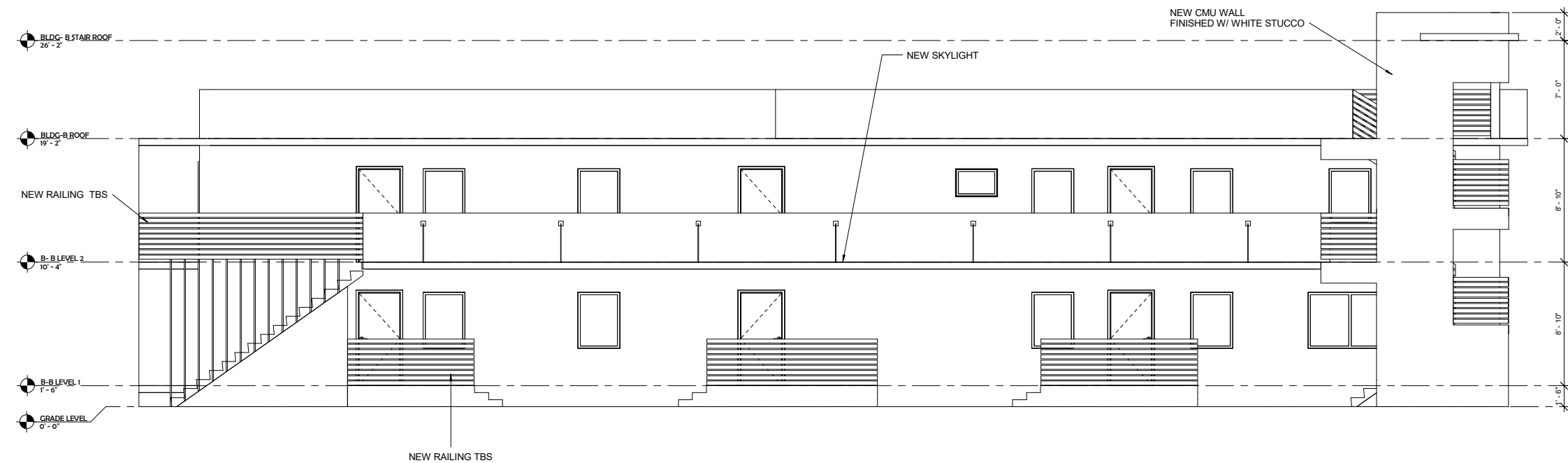
REV. 08-15-16

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DATE: 03-29-16



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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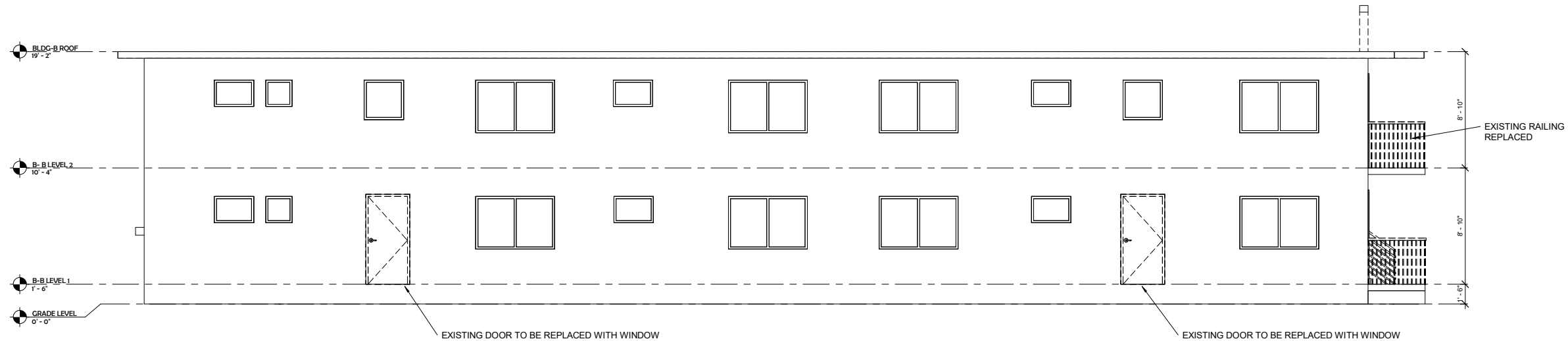
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**BUILDING B ELEVATION
NORTH EXISTING AND
PROPOSED**

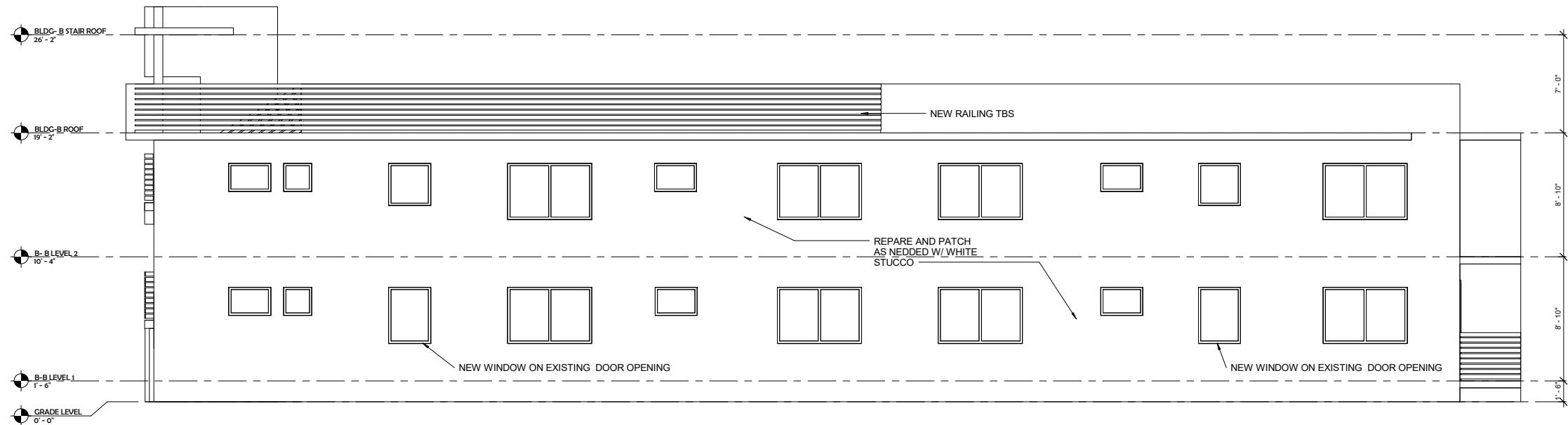
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PROJECT #: 16-006

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1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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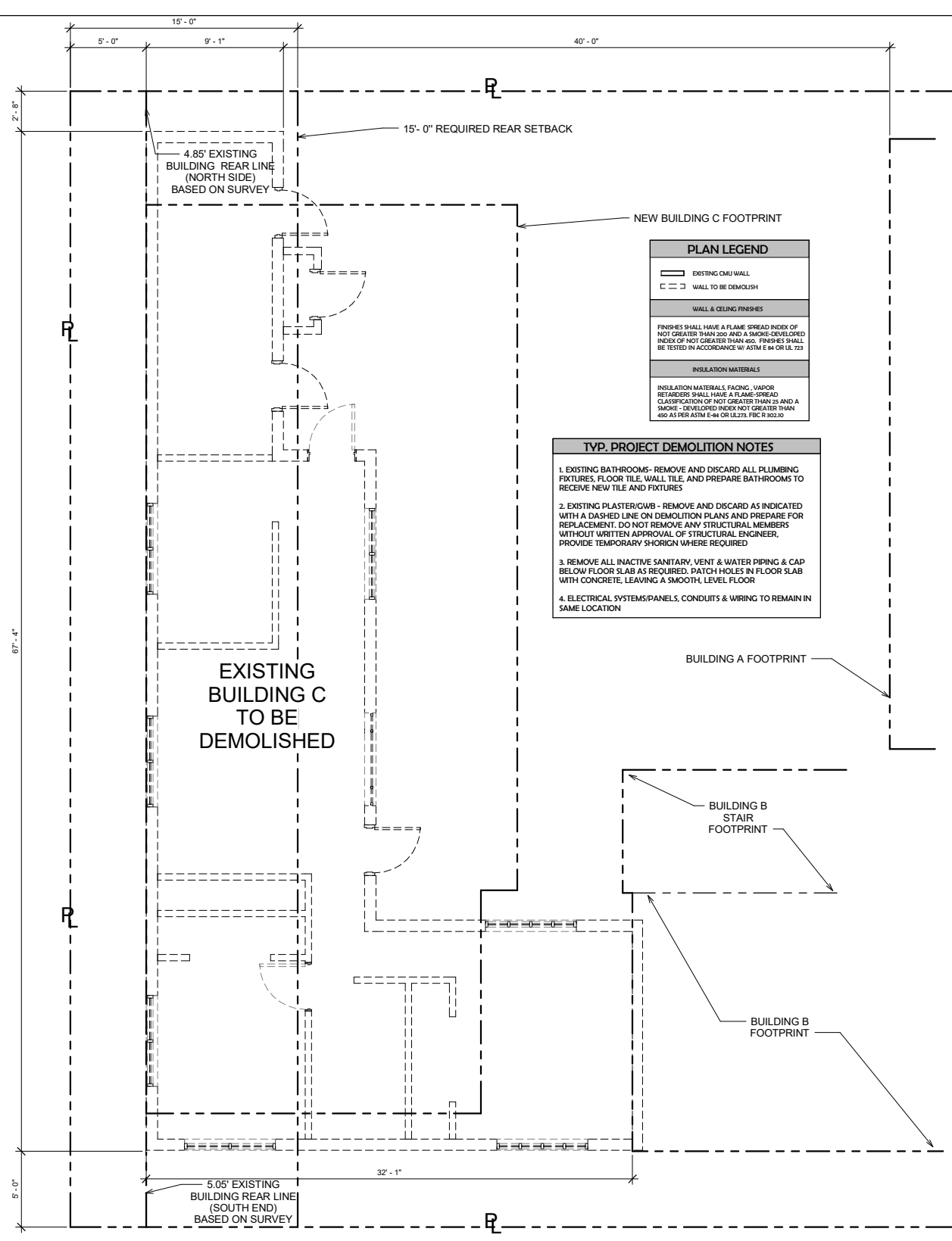
**BUILDING B ELEVATION
SOUTH EXISTING AND
PROPOSED**

A3.5

PROJECT #: 16-006

DATE: 03-29-16

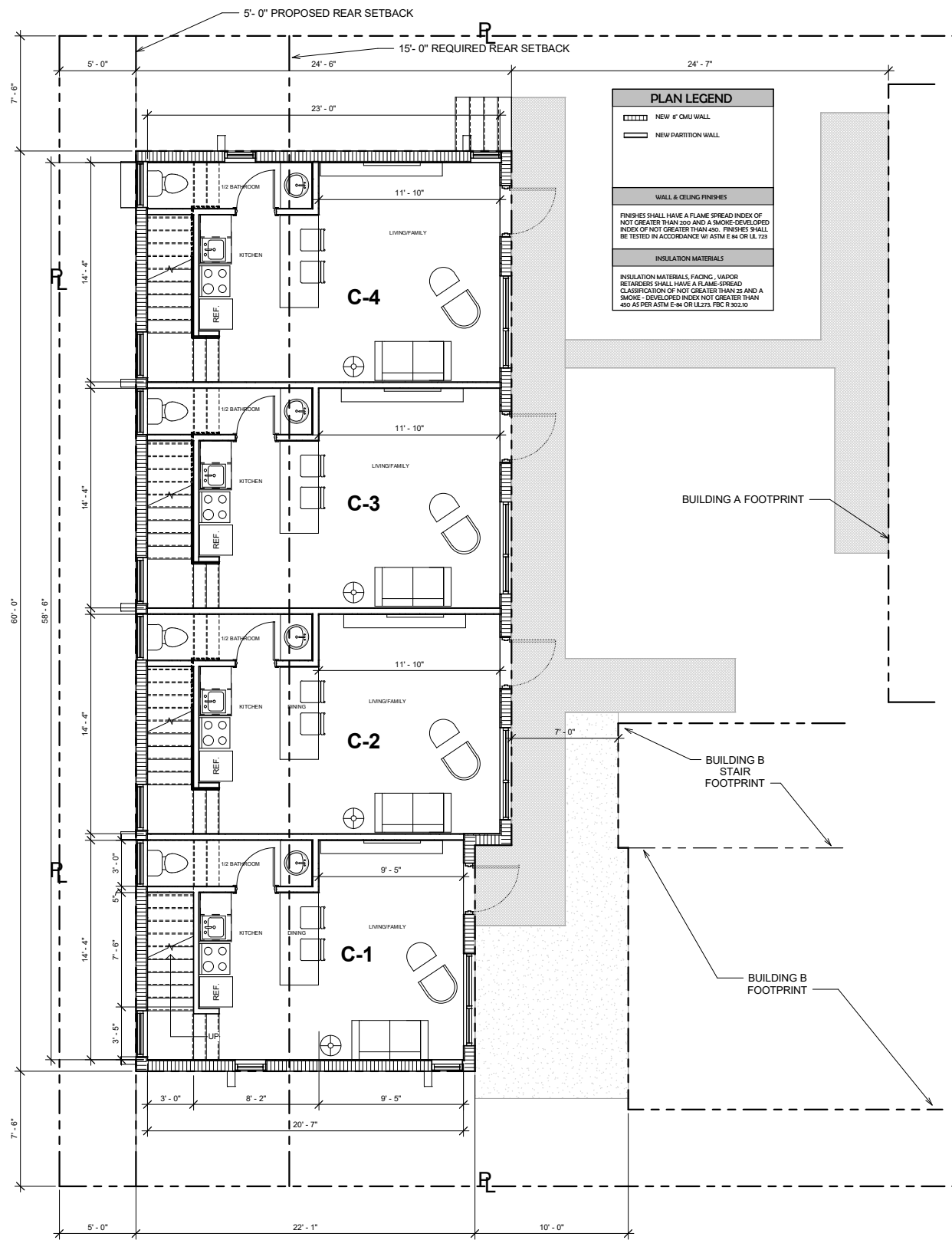
4 EXISTING BUILDING C FIRST FLOOR
1/4" = 1'-0"



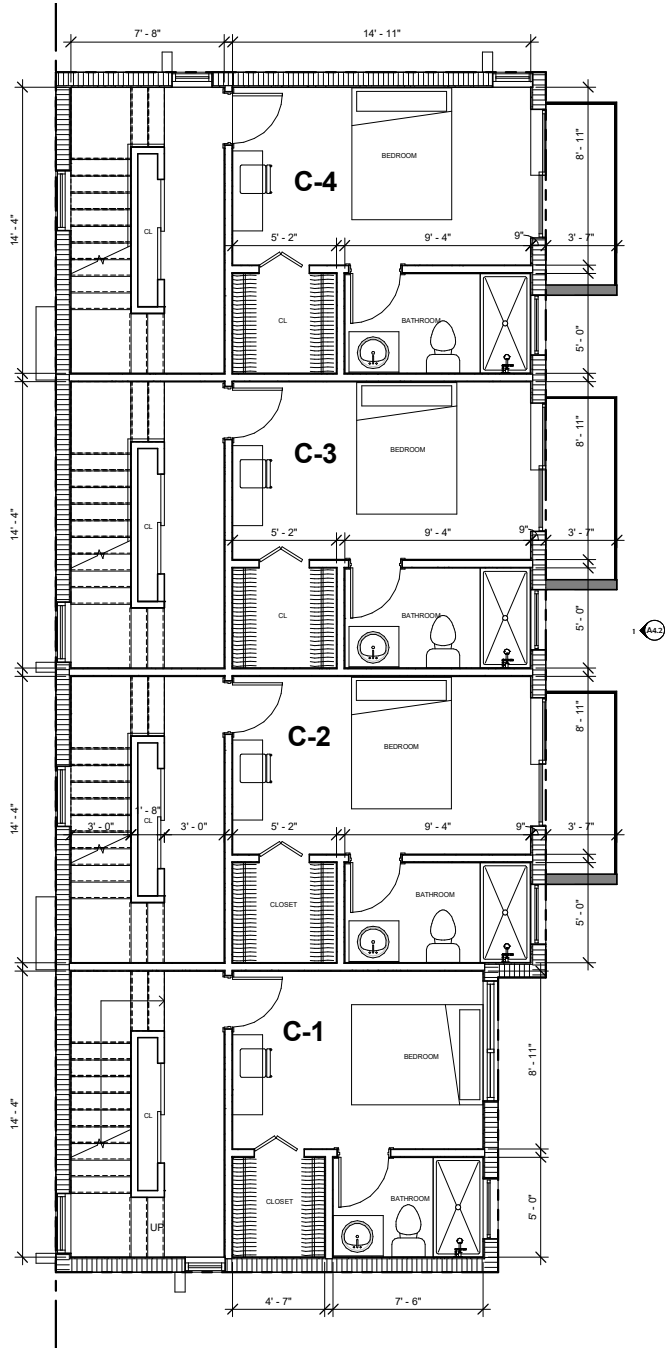
PLAN LEGEND	
	EXISTING CMU WALL
	WALL TO BE DEMOLISH
WALL & CEILING FINISHES	
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 400. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 793.	
INSULATION MATERIALS	
INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 400 AS PER ASTM E-94 OR UL278, FBC R 302.10.	

- TVP. PROJECT DEMOLITION NOTES**
1. EXISTING BATHROOMS- REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE, AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
 2. EXISTING PLASTER/GWB - REMOVE AND DISCARD AS INDICATED WITH A DASHED LINE ON DEMOLITION PLANS AND PREPARE FOR REPLACEMENT. DO NOT REMOVE ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER, PROVIDE TEMPORARY SHORIGN WHERE REQUIRED
 3. REMOVE ALL INACTIVE SANITARY, VENT & WATER PIPING & CAP BELOW FLOOR SLAB AS REQUIRED, PATCH HOLES IN FLOOR SLAB WITH CONCRETE, LEAVING A SMOOTH, LEVEL FLOOR
 4. ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

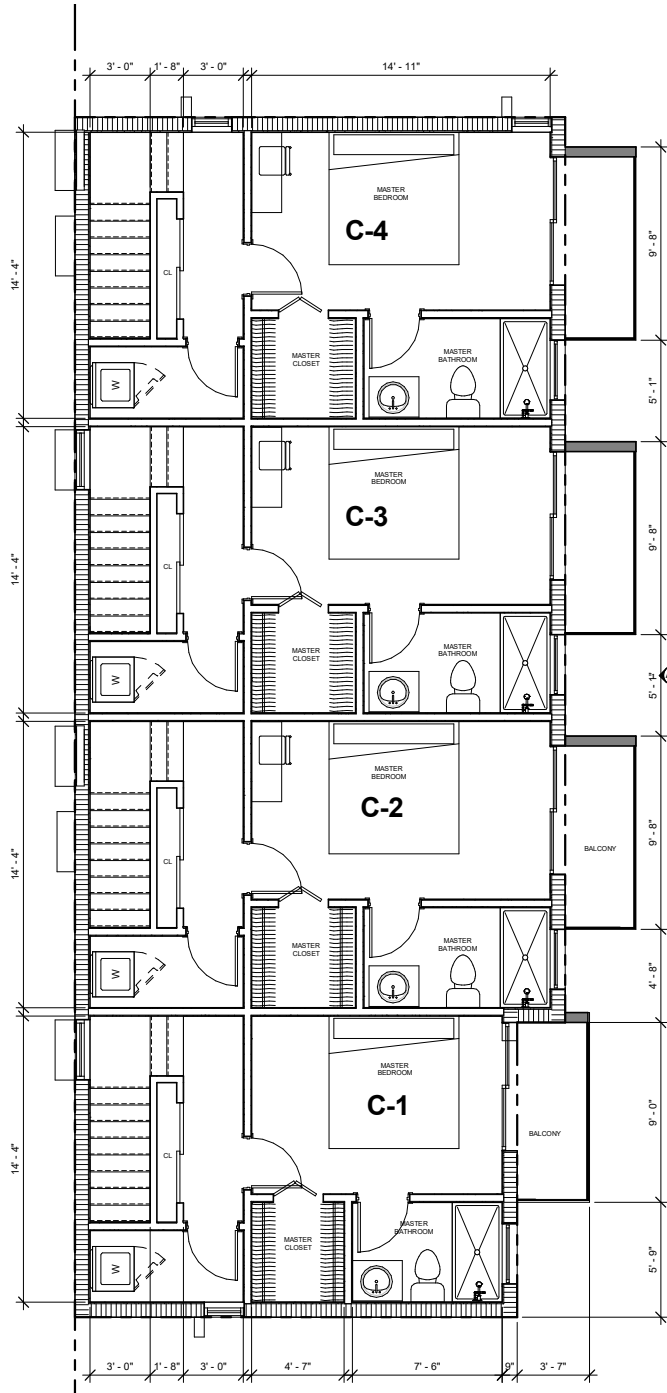
1 NEW BUILDING C FIRST FLOOR
1/4" = 1'-0"



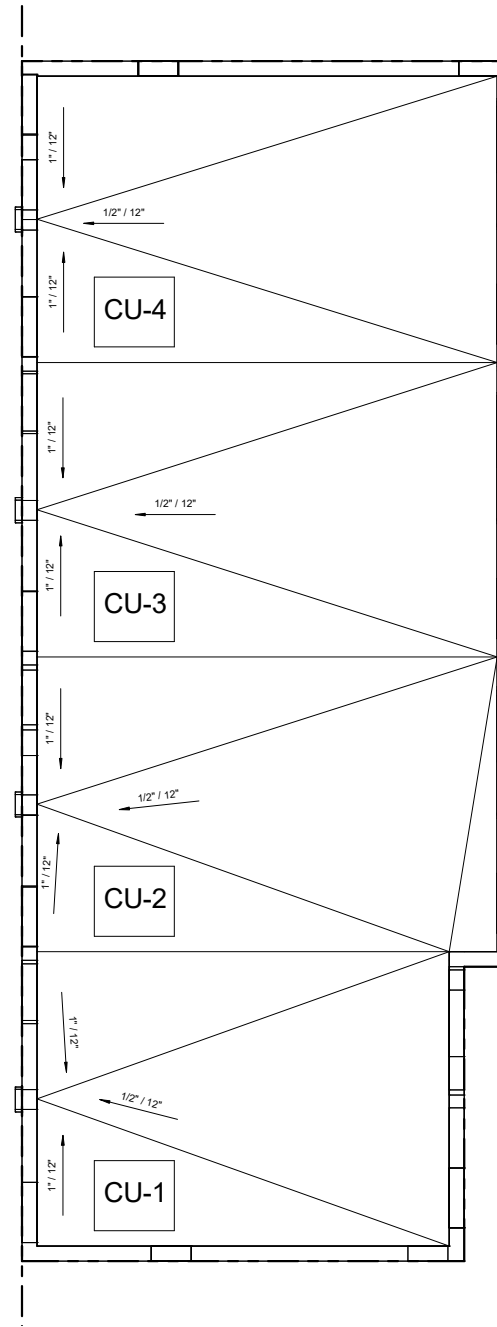
PLAN LEGEND	
	NEW 8" CMU WALL
	NEW PARTITION WALL
WALL & CEILING FINISHES	
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 400. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 793.	
INSULATION MATERIALS	
INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 400 AS PER ASTM E-94 OR UL278, FBC R 302.10.	



1 NEW BUILDING C SECOND FLOOR
1/4" = 1'-0"



2 NEW BUILDING C THIRD FLOOR
1/4" = 1'-0"



3 NEW BUILDING C ROOF PLAN
1/4" = 1'-0"

PLAN LEGEND	
	NEW 1' ODU WALL
	NEW PARTITION WALL
WALL & CEILING FINISHES	
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723	
INSULATION MATERIALS	
INSULATION MATERIALS: FACING, VAPOR RETARDER SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL-723, FSC-R 302.30	

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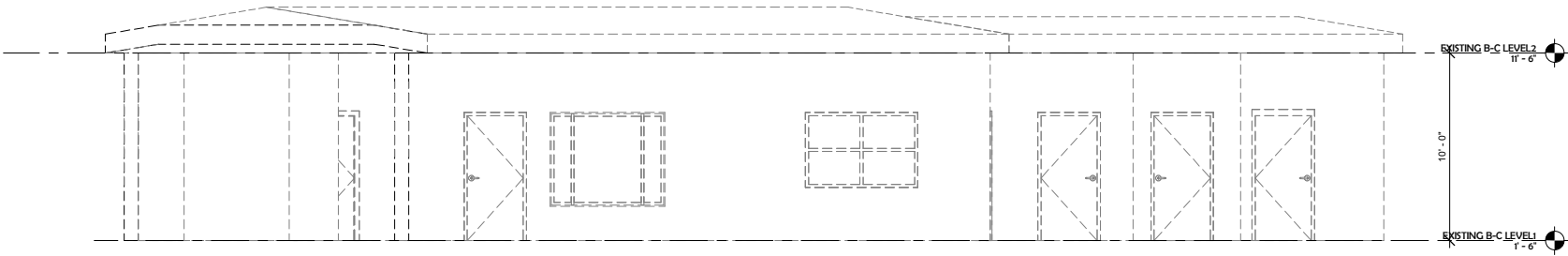
NEW BUILDING C UPPER FLOORS

A4.1

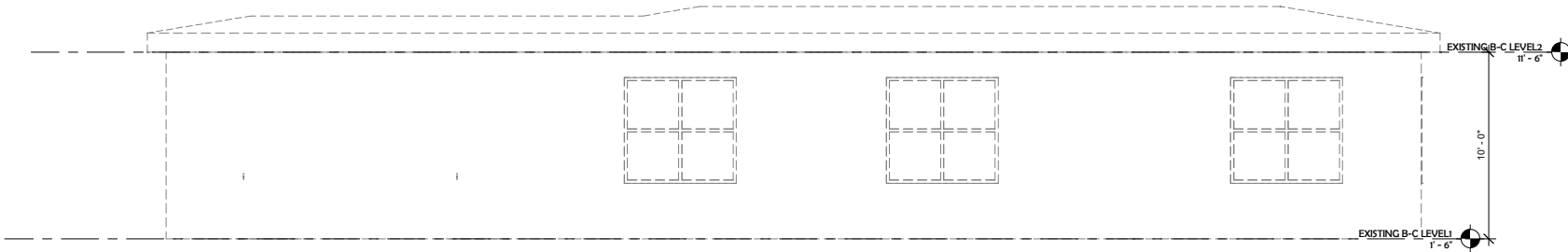
REV. 08-15-16

PROJECT #: 16-006

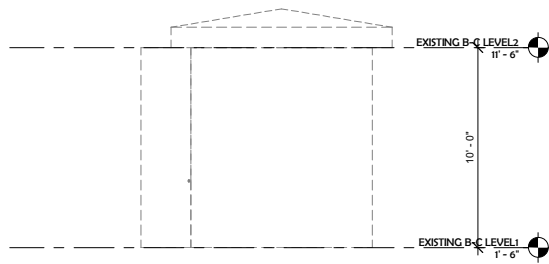
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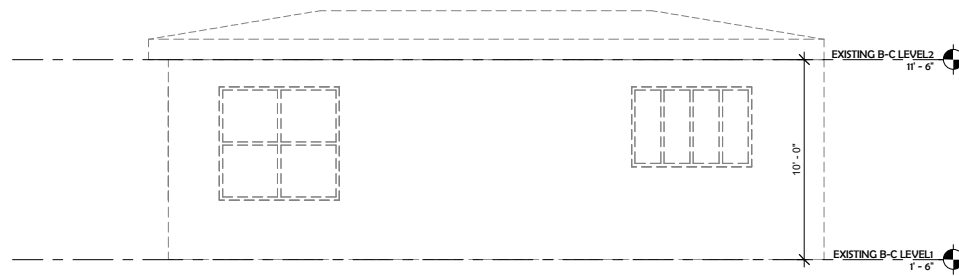
1 EXISTING BUILDING C EAST ELEVATION
1/4" = 1'-0"



4 EXISTING BUILDING C WEST ELEVATION
1/4" = 1'-0"



2 EXISTING BUILDING C NORTH ELEVATION
1/4" = 1'-0"



3 EXISTING BUILDING C SOUTH ELEVATION
1/4" = 1'-0"

EXISTING BUILDING C IS PROPOSED TO BE DEMOLISHED

TYP. PROJECT DEMOLITION NOTES

1. EXISTING BATHROOMS - REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE, AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
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4. ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

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**EXISTING/DEMO BUILDING
ELEVATIONS**

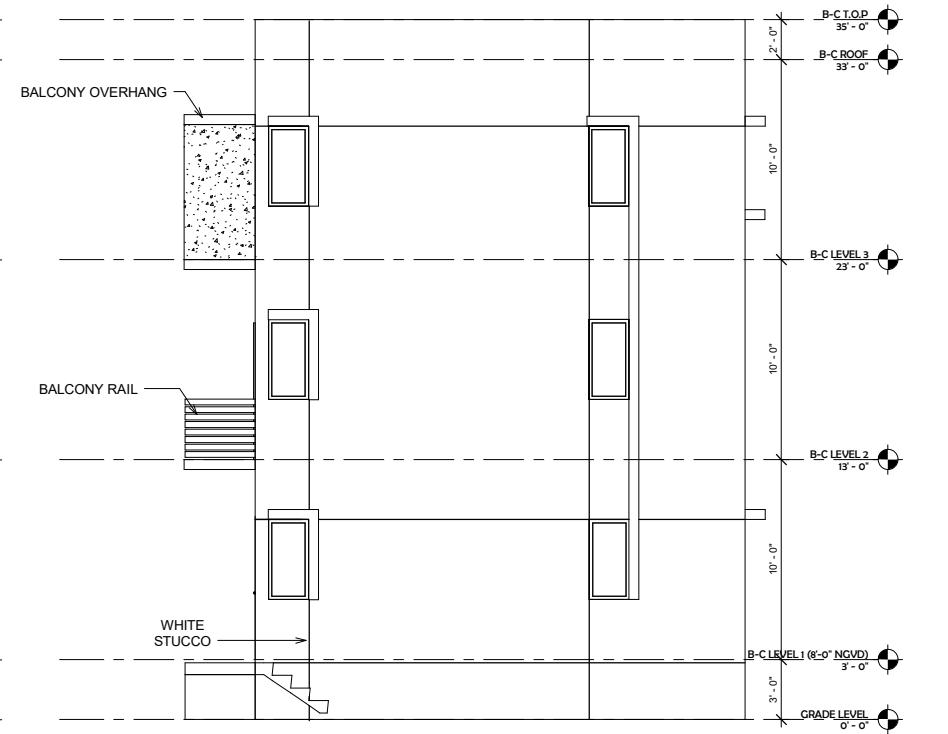
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PROJECT #: 16-006

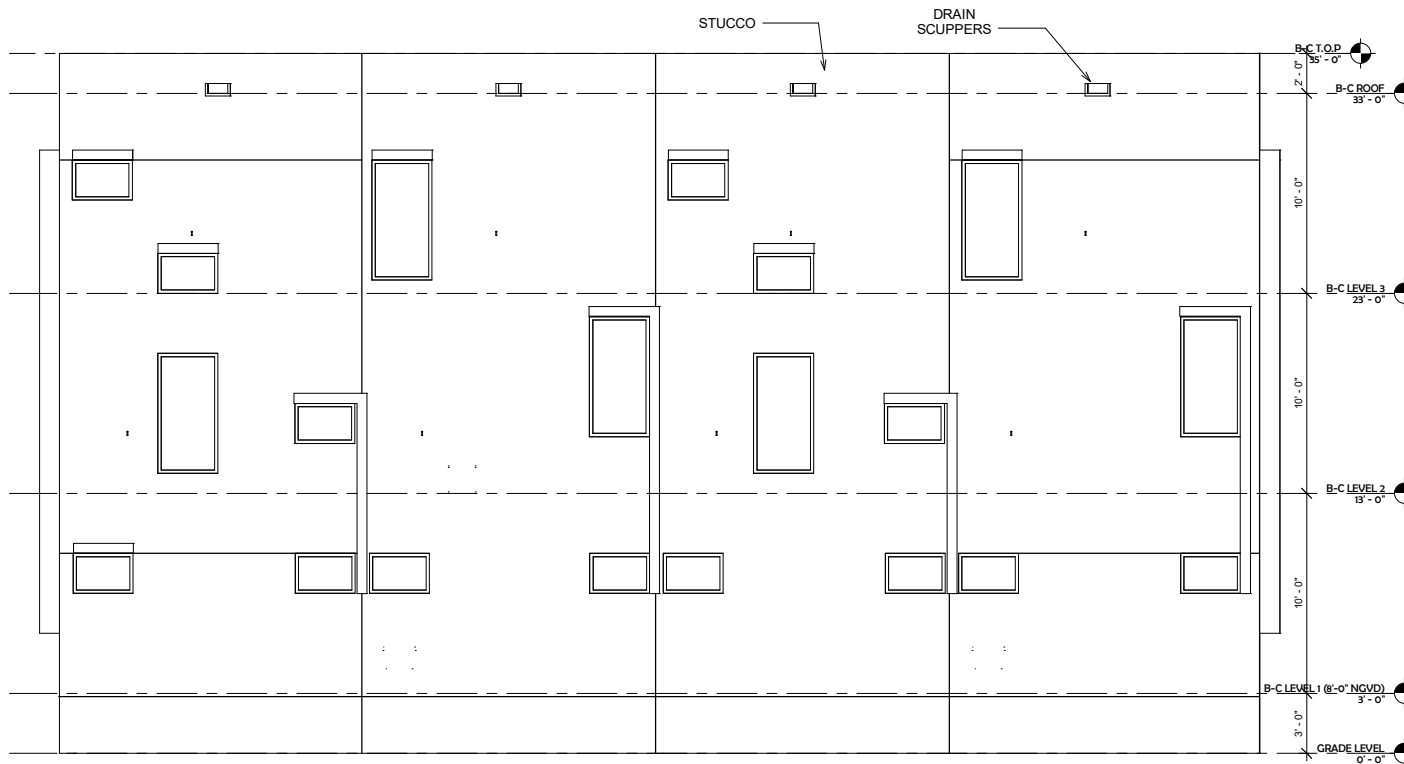
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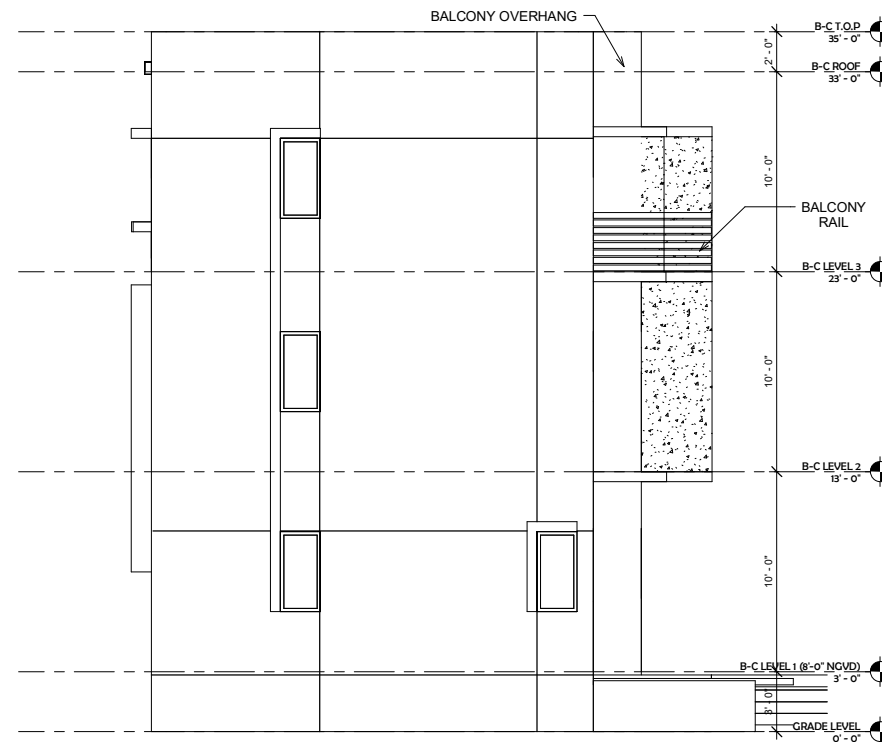
1 NEW BUILDING C EAST ELEVATION
1/4" = 1'-0"



2 NEW BUILDING C NORTH ELEVATION
1/4" = 1'-0"



4 NEW BUILDING C WEST ELEVATION
1/4" = 1'-0"



3 NEW BUILDING C SOUTH ELEVATION
1/4" = 1'-0"

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**NEW BUILDING C
ELEVATIONS**

A4.3

REV. 08-15-16

PROJECT #: 16-006

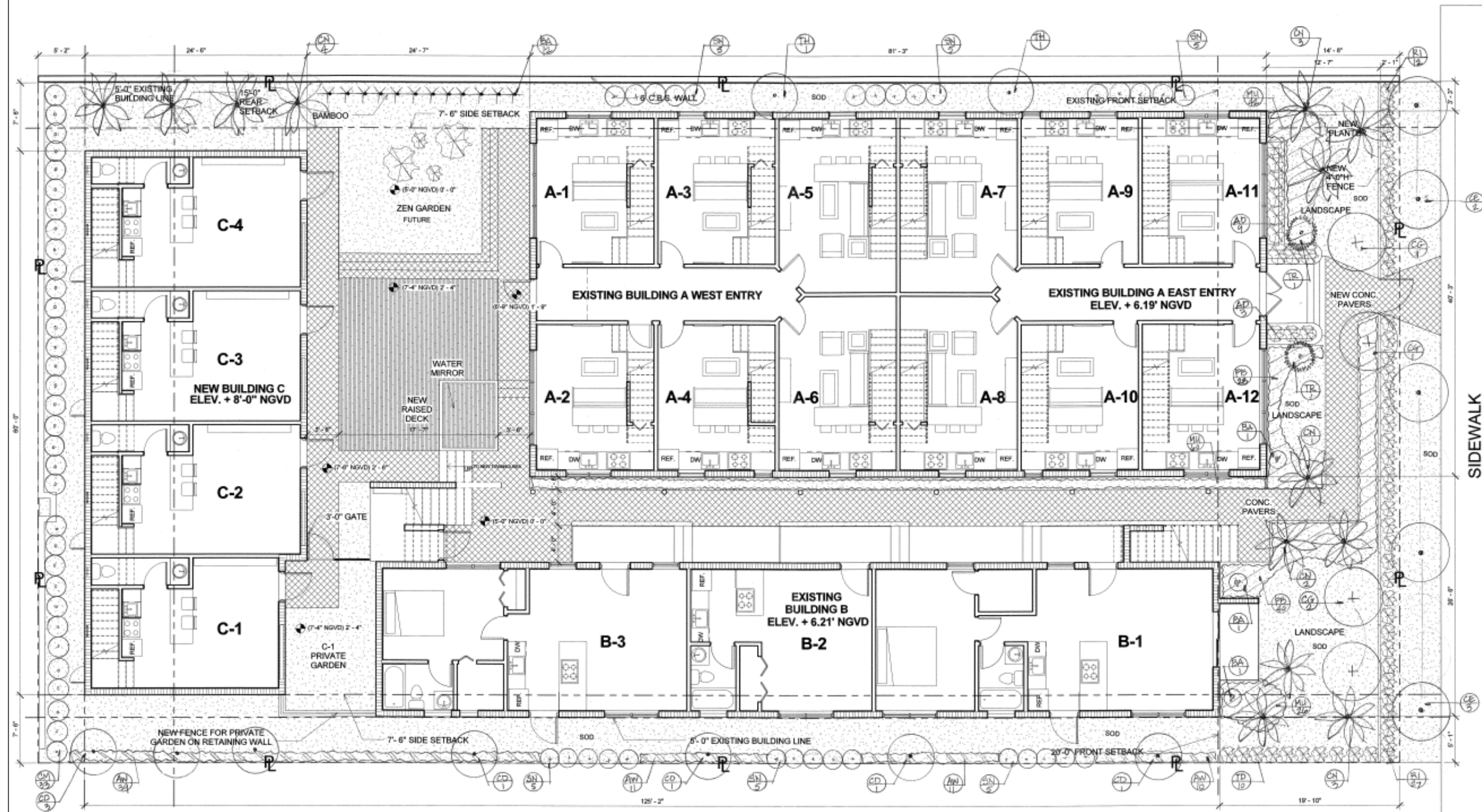
DATE: 03-29-16

EUCLID AVE

SIDEWALK



Note: A tree removal permit is required prior to the removal of any trees on site.
Note: Sod and irrigate to edge of road

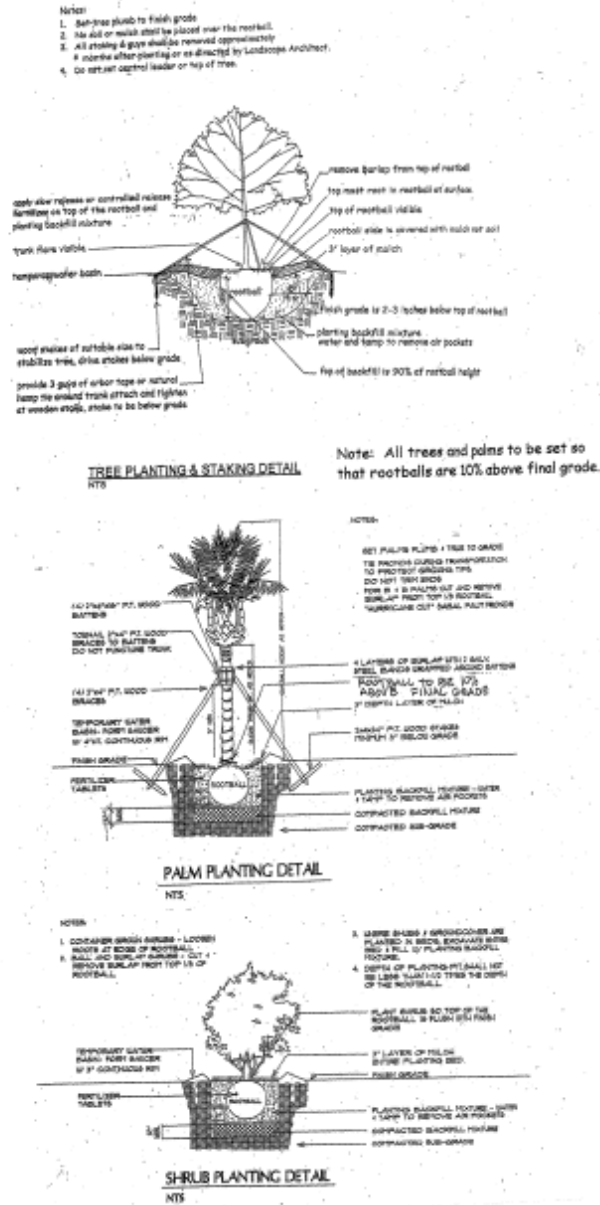


LANDSCAPE PLAN

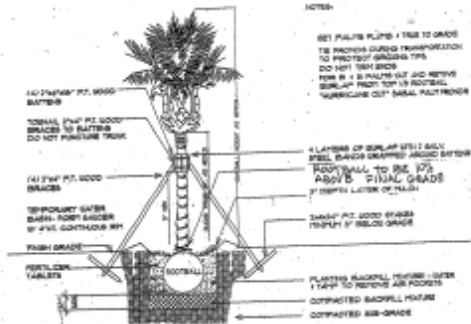
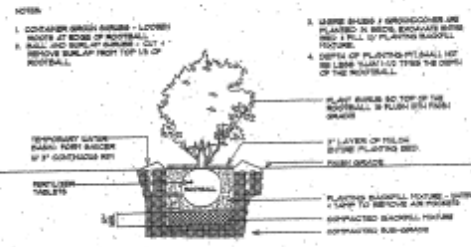
8/16" = 1'-0"

General Notes:

1. All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
2. All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
3. All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
4. All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
5. Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
6. Grade B+, shredded sterilized Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4' around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
7. Sod shall be St. Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
8. All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 8 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
9. All sodded areas to have a minimum of 2" of planting soil as described in note #8.
10. All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
11. All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
12. All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
13. All trees, palms and other plants shall be planted with the top of their rootballs no deeper than the final grade surrounding the planting area.
14. In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
15. All planting shall be installed with fertilizer at time of planting.
16. All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
17. All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using net free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/groundcover beds should be on separate irrigation zones when feasible for a more efficient system. Irrigation system shall be installed with a rainswitch device.
18. All landscape and irrigation shall be installed in compliance with all local codes.
19. The plan shall take precedence over the plant list, should there be any discrepancy between the two.

TREE PLANTING & STAKING DETAIL
NTS

Note: All trees and palms to be set so that rootballs are 10% above final grade.

PALM PLANTING DETAIL
NTSSHRUB PLANTING DETAIL
NTS

Plant List

Sym	Qty	Botanical/ Common Name	Size	Native
CE	5	Conocarpus erectus/ Green Buttonwood	14' Ht x 5' Spr, 3" cal	yes
CD	7	Coccoloba diversifolia/ Pigeon Plum	10' Ht x 5' Spr, 2" cal	yes
CN	13	Cocos nucifera/ Green Malaysian/ Coconut Palm	8' CT	no
CG	4	Caesalpinia granadilla/ Bridalveil Tree	12' Ht x 5' Spr, 2" cal	yes
TH	2	Tabeaia heterophylla/ Pink Tabeaia	10' Ht x 5' Spr, 2" cal	no
TR	2	Thrinax radiata/ Thatch Palm	8' OA Ht	yes
CM	33	Caryota mitis/ Fishtail Palm	6'-8' OA Ht	no
TD	10	Tripsacum dactyloides/ Fakahatchee Grass	24" x 24", 24" O.C.	yes
BA	15	Bambusa textilis gracilis/ Slender Weavers Bamboo	6'-8' Ht, 9' Stem min full	no
MU	128	Muhlenbergia capillaris/ Muhly Grass	18" x 18", 24" O.C.	yes
SN	30	Strelitzia nicotia/ Giant Bird of Paradise	6'-8' Ht	no
RI	39	Raphiolepis indica/ Indian Hawthorn	18" x 18", 24" O.C.	no
AD	12	Asparagus densiflorus densiflorus/ Meyers/ Fossil Fern	16" x 16", 24" O.C.	no
PB	68	Philodendron Burle Marx/ Burle Marx	18" x 18", 24" O.C.	no
AW	71	Acalypha wilkesiana/ Copperleaf	24" x 24", 24" O.C.	no
Sod		St. Augustine/ Floratam		
Mulch		Shredded Eucalyptus, Melaleuca or recycled mulch		

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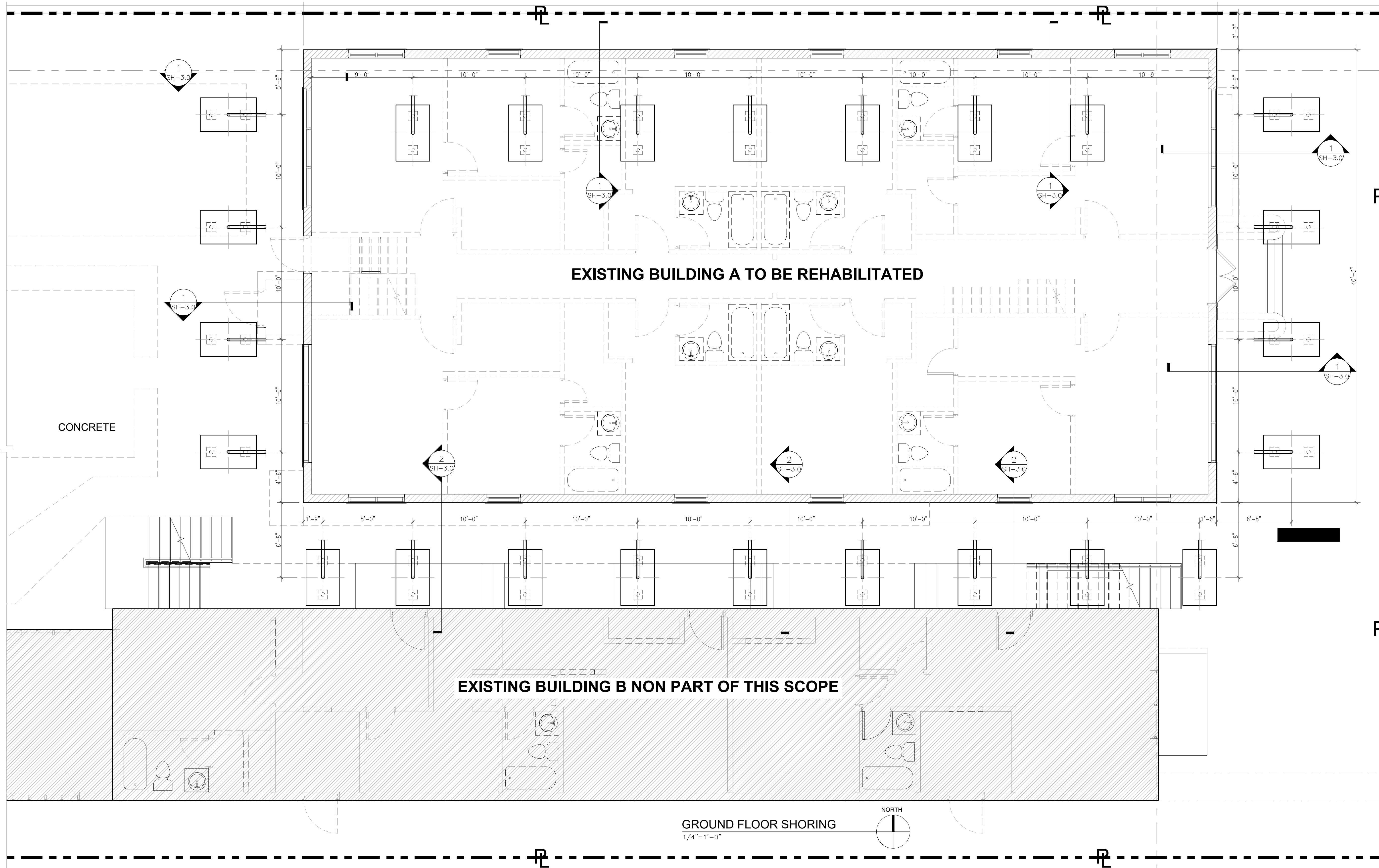
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GROUND FLOOR SHORING

SH-1.0

PROJECT #: H161280

DATE : 06-22-16



GROUND FLOOR SHORING
1/4"=1'-0"

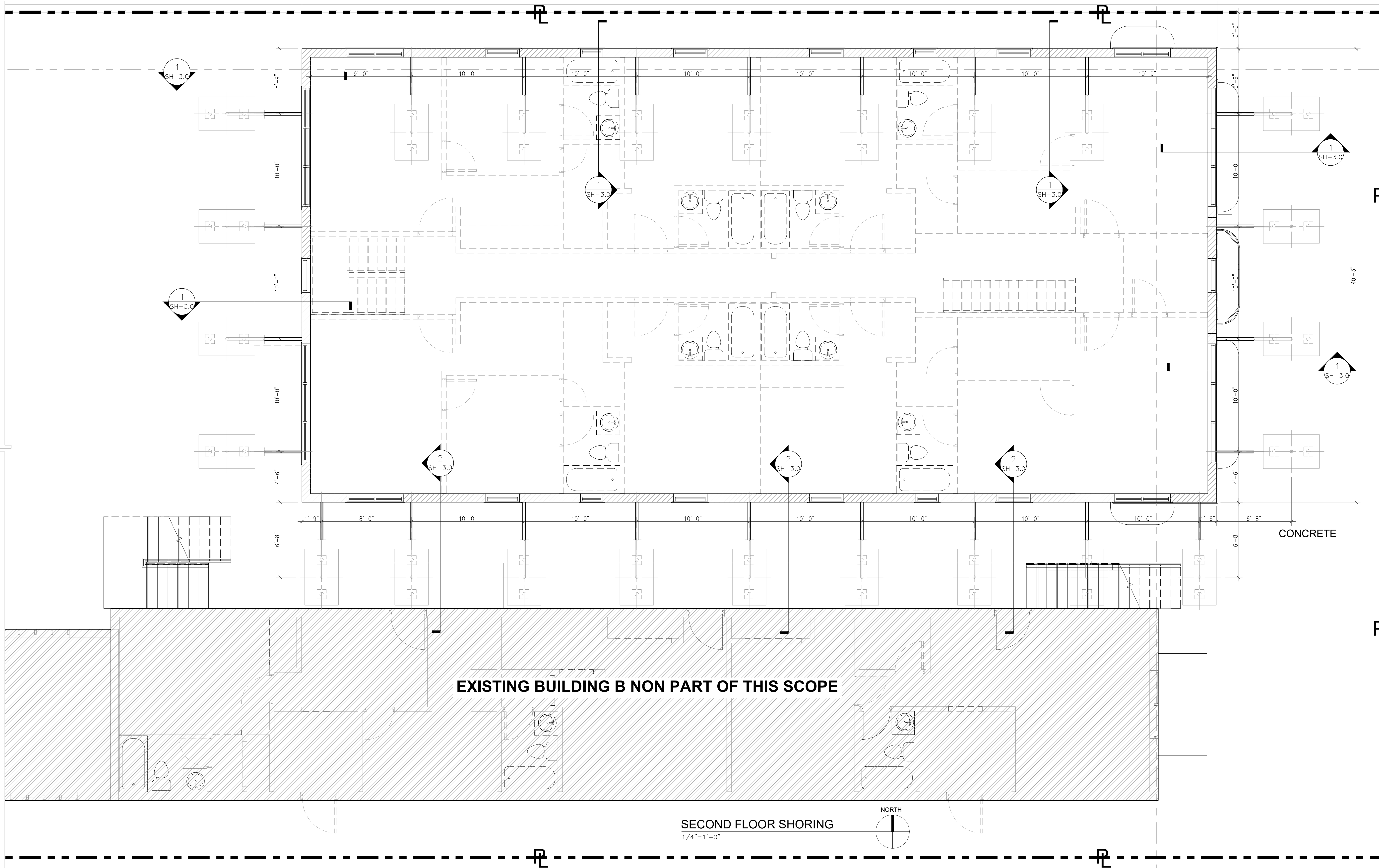
GENERAL NOTES

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THE APPLICABLE RECOMMENDED PRACTICES OF THE SHORING AND FORMING INSTITUTE, INC. AND OSHA SHALL BE FOLLOWED.
ALL EQUIPMENT MUST BE ERECTED PLUMB AND LEVEL.
IT IS THE CONTRACTOR'S RESPONSIBILITY FOR SAFETY REQUIREMENTS DURING ERECTION, USE AND DISMANTLING OF ASSEMBLY.

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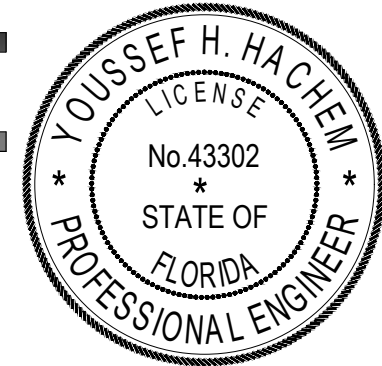
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REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
1610 Euclid Avenue,
Miami Beach FL 33139

- ☐ REVIEW SET
- ☐ PRELIMINARY
- ☐ NOT FOR CONSTRUCTION
- ☐ DRY RUN PERMIT SET
- ☐ PERMIT SET
- ☐ BID SET
- ☐ FINAL SUBMITTAL

SUBMITTAL DATE: 06-22-16

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

GROUND FLOOR SHORING

SH-2.0

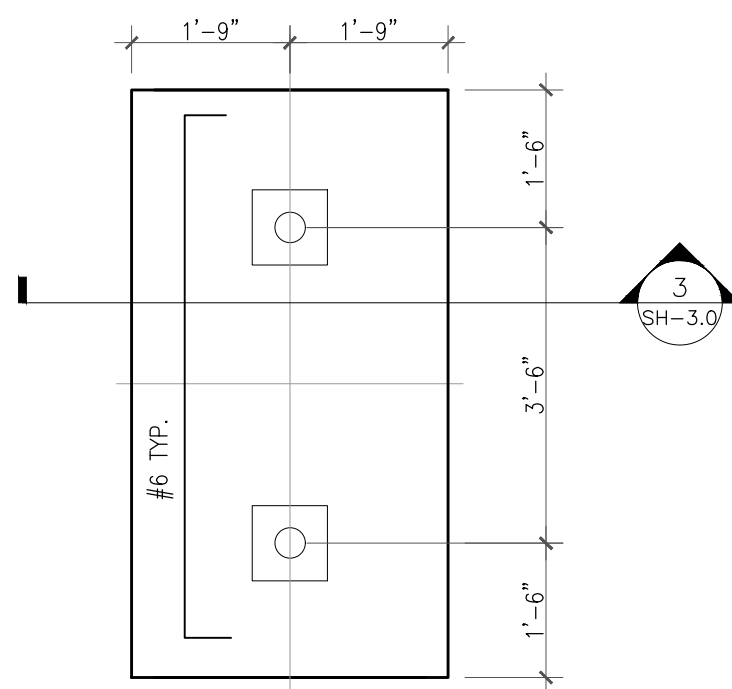
PROJECT #: H161280

DATE: 06-22-16

CONCRETE:

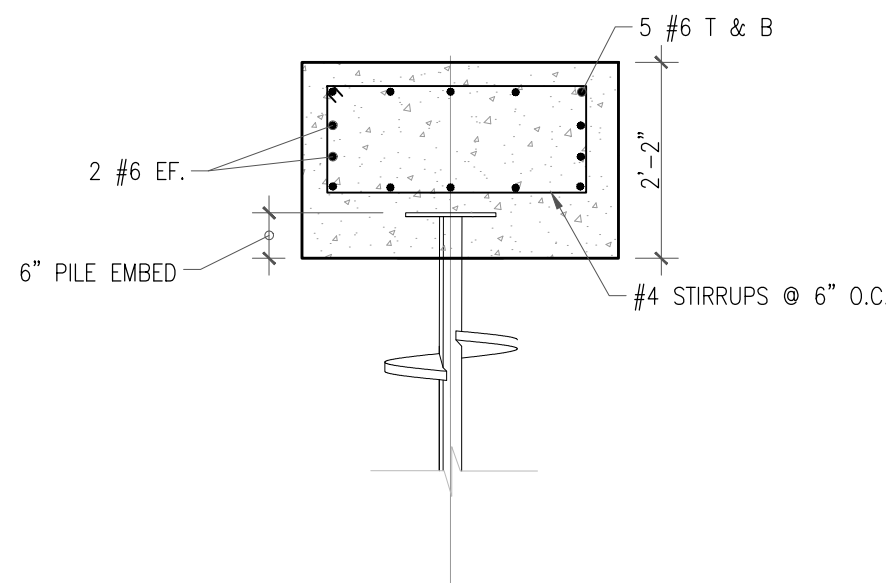
- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-LATEST EDITION) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (A.C.I. 315-LATEST EDITION).
- ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 305R-99).
- CONCRETE COVER:
TO BE AS FOLLOWS:

	BOTTOM	TOP	SIDES FOOTING/PILES
CAPS	3"	2"	2"
BEAMS	1 1/2"	1 1/2"	1 1/2"
COLUMNS	---	---	1 1/2"
SLABS	3/4"	3/4"	1"
WALLS	---	---	1 1/2"
- NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF ARCHITECT / ENGINEER.
- FOR ALL CONCRETE TO BE PLACED IN SLABS (INCLUDING SLABS ON GRADE), THE SLUMP SHALL NOT EXCEED 4". NO WAIVERS OF THIS REQUIREMENT SHALL BE CONSIDERED. SLUMP FOR OTHER CONCRETE SHALL NOT EXCEED 5".
- CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH ACHIEVED AT 28 DAYS AS FOLLOWS:
 - COLUMNS & FOOTINGS $f'_c = 3,000$ PSI
 - BEAMS, $f'_c = 5,000$ PSI (U.O.N.) W/ W/C OF 0.4 MAX
- TAKE ONE SET OF 5 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OR FRACTION THEREOF FOR EACH CLASS OF CONCRETE POURED EACH DAY. FOLLOW ASTM STANDARDS FOR SAMPLING AND TESTING. TEST ONE CYLINDER AT 3 DAYS AND 7 DAYS AND 3 AT 28 DAYS. IF ONE OF THE TWO 28 DAYS TESTS FALLS BELOW SPECIFIED STRENGTH, TEST THE THIRD CYLINDER AT 56 DAYS. TAKE ONE SLUMP TEST (ASTM C143) FOR EACH SET OF TEST CYLINDERS CAST.
- NO CONCRETE TEST WILL BE ACCEPTED IF CONCRETE IS TAMPERED WITH IN ANY WAY AFTER SAID TEST IS PERFORMED. REPEAT TEST IF WATER IS ADDED AFTER INITIAL SAMPLING.
- IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 4" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 4 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END AND FOR CYLINDER TESTING AT DISCHARGE END.
- CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL. CONTRACTOR SHALL DESIGN AND ERECT FORMWORK IN STRICT COMPLIANCE WITH ACI 347R LATEST EDITION SUBMIT SIGNED & SEALED SHOP DWGS. CONTRACTOR SHALL COORDINATE ALL OPENINGS AS REQUIRED FOR OTHER TRADES. OPENINGS WHERE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO IDENTIFY DESIGN INTENT ONLY. THE SPECIFIC DIMENSIONS AND LOCATIONS SHALL BE FURNISHED OR CONFIRMED BY THE TRADE REQUIRING THE OPENING. PROVIDE CHAMFERS AT ALL CORNERS IN CONCRETE MEMBERS EXPOSED TO VIEW. FORMWORK TO REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED ENOUGH STRENGTH TO SUPPORT ALL DEAD LOADS PLUS A MINIMUM OF 50 PSF OF ADDITIONAL CONSTRUCTION LOAD.
- SPECIFIED EXPANSION BOLTS SHALL BE OF THE SIZE INDICATED AND OF THE MAXIMUM EMBEDMENT LENGTH INTO THE CONCRETE. LEAD SHIELDS ARE NOT ACCEPTABLE. EXPANSION BOLTS SHALL NOT BE SUBSTITUTED FOR SPECIFIED ANCHOR BOLTS WITHOUT THE ENGINEER'S APPROVAL.



PILE CAP TYP. DETAIL

SCALE: 1/2"=1'-0"

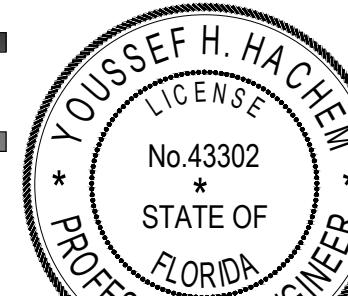


SECTION 3/SH-3.0

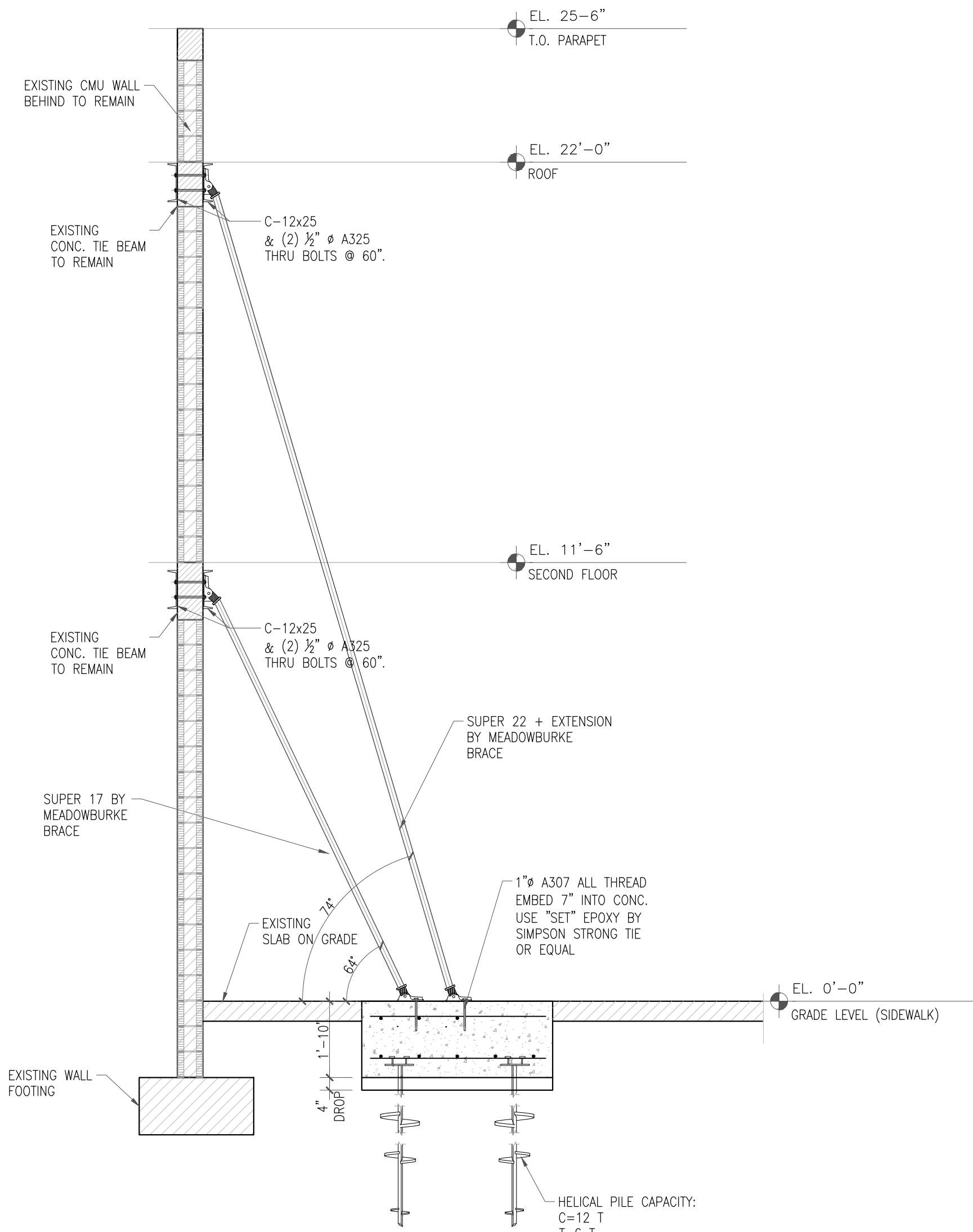
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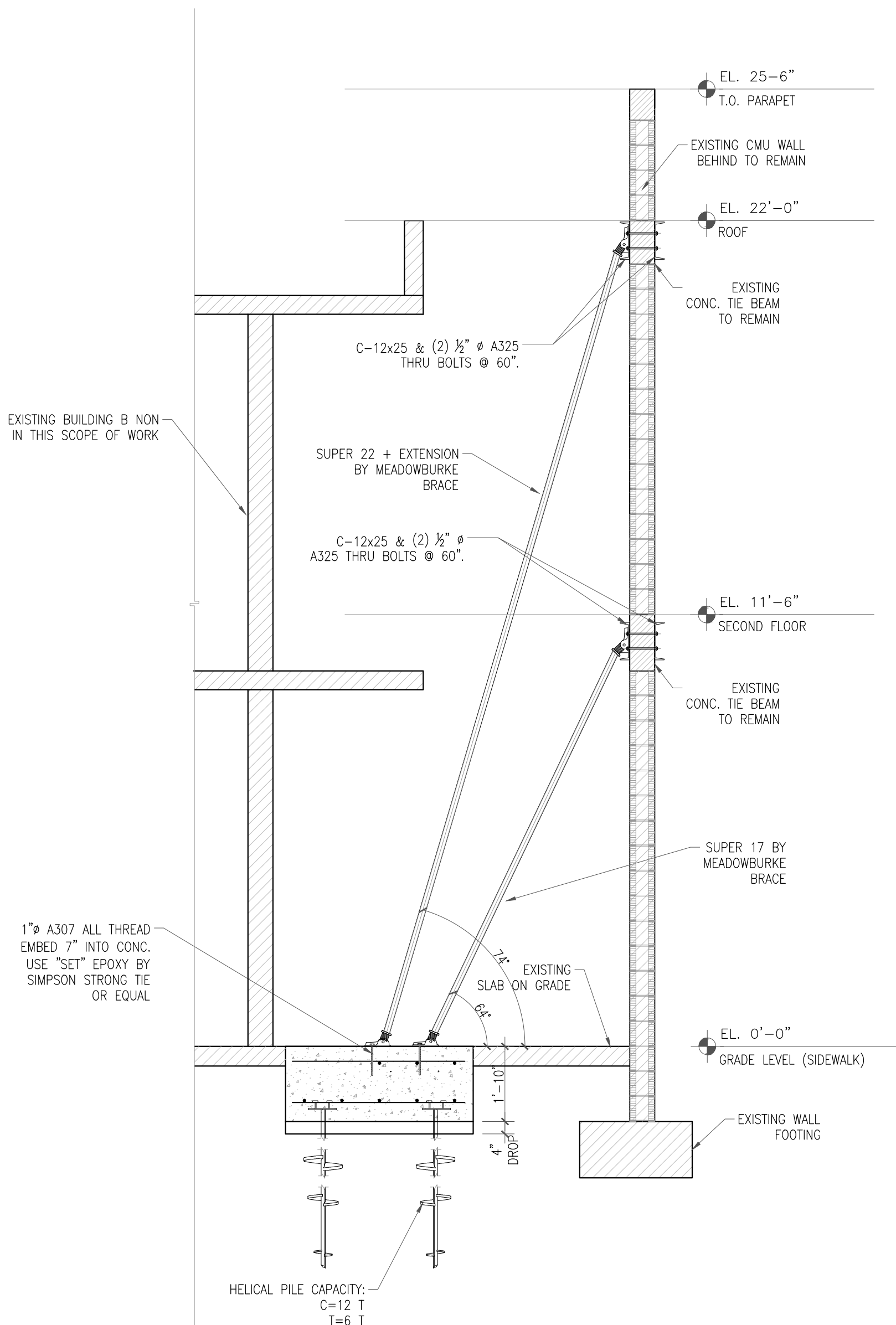


YOUSSEF HACHEM, Ph.D., P.E.
No. 43302



SECTION 1/SH-1.0 & SH-2.0

SCALE: 3/8"=1'-0"



SECTION 2/SH-1.0 & SH-2.0

SCALE: 3/8"=1'-0"