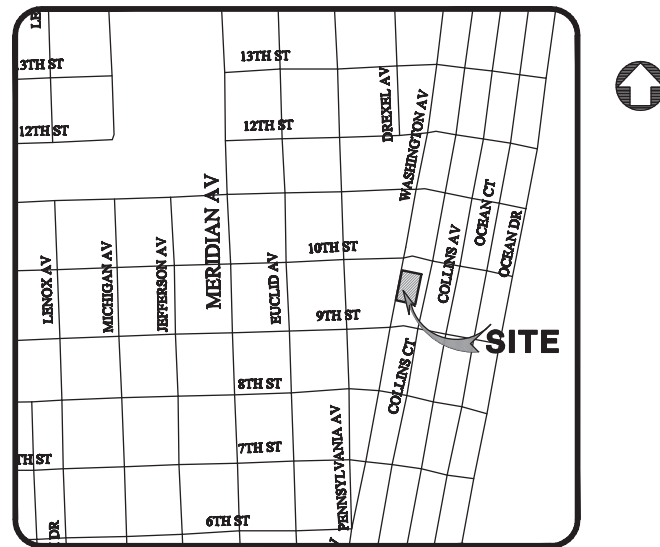
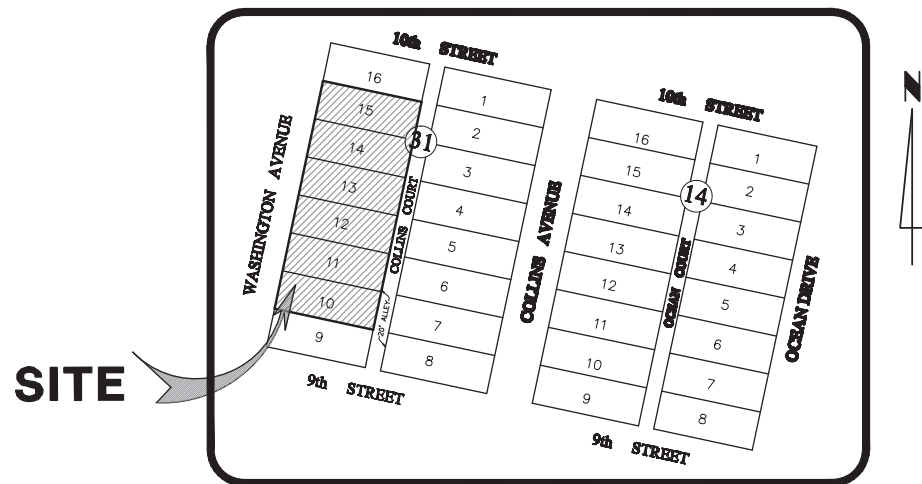


**BOUNDARY SURVEY**  
of  
**915-943 WASHINGTON AVENUE, MIAMI BEACH,**  
**MIAMI-DADE COUNTY, FLORIDA 33139**  
for  
**LIGHTSTONE**



**VICINITY MAP**  
NOT TO SCALE



**LOCATION SKETCH**  
NOT TO SCALE

**SURVEYOR'S NOTES:**

1. Field Survey was completed on: June 7th, 2016.

**2. LEGAL DESCRIPTION:**

All that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Miami Beach, County of Miami-Dade, State of Florida.

Lots 10 to 15 inclusive, Block 31, of OCEAN BEACH ADDITION NO. 2, according to the Plat thereof, as recorded in Plat Book 2, Page 56, of the Public Records of Miami-Dade County, Florida.

Containing 39,000 Square Feet or 0.90 Acres more or less by calculations.

### 3. SOURCES OF DATA:

**AS TO HORIZONTAL CONTROL:**

North Arrow and bearings refer to an assumed value of S78°00'00"E along the Southerly line of the Subject property, Miami-Dade County, Florida. Said line is considered well-established and monumented.

**AS TO VERTICAL CONTROL:**

By scaled determination the subject property lies in Flood Zone AE, Base Flood Elev. 8 feet, as per Federal Emergency Management Agency (FEMA) Community-Panel number 120651 Map No. 12086C0319, Suffix L, Firm Index Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum of 1929.

Benchmark used:

Miami-Dade County Benchmark: X-310-R  
Elevation: 8.12 feet (National Geodetic Vertical Datum)  
Location:  
11 ST --- 55' North of north edge of pavement  
Washington AVE --- 105' West of west edge of pavement

#### 4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

**5. LIMITATIONS:**

The above Legal Description provided by client.

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

**CERTIFY TO:****SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.022 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

**J. BONFILL & ASSOCIATES, INC.**  
Florida Certificate of Authorization Number LB 3398

By: ORIA JANNET SUAREZ  
Professional Surveyor and Mapper No. 6781  
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.



**J. Bonhill & Associates, Inc.**  
REGISTERED LAND SURVEYORS & MAPPERS  
Florida Certificate of Authorization LB3398  
7100 S.W. 99th Avenue, Suite 104  
Miami, Florida 33173 (305) 598-8383

915-943 WASHINGTON AVENUE, MIAMI BEACH,  
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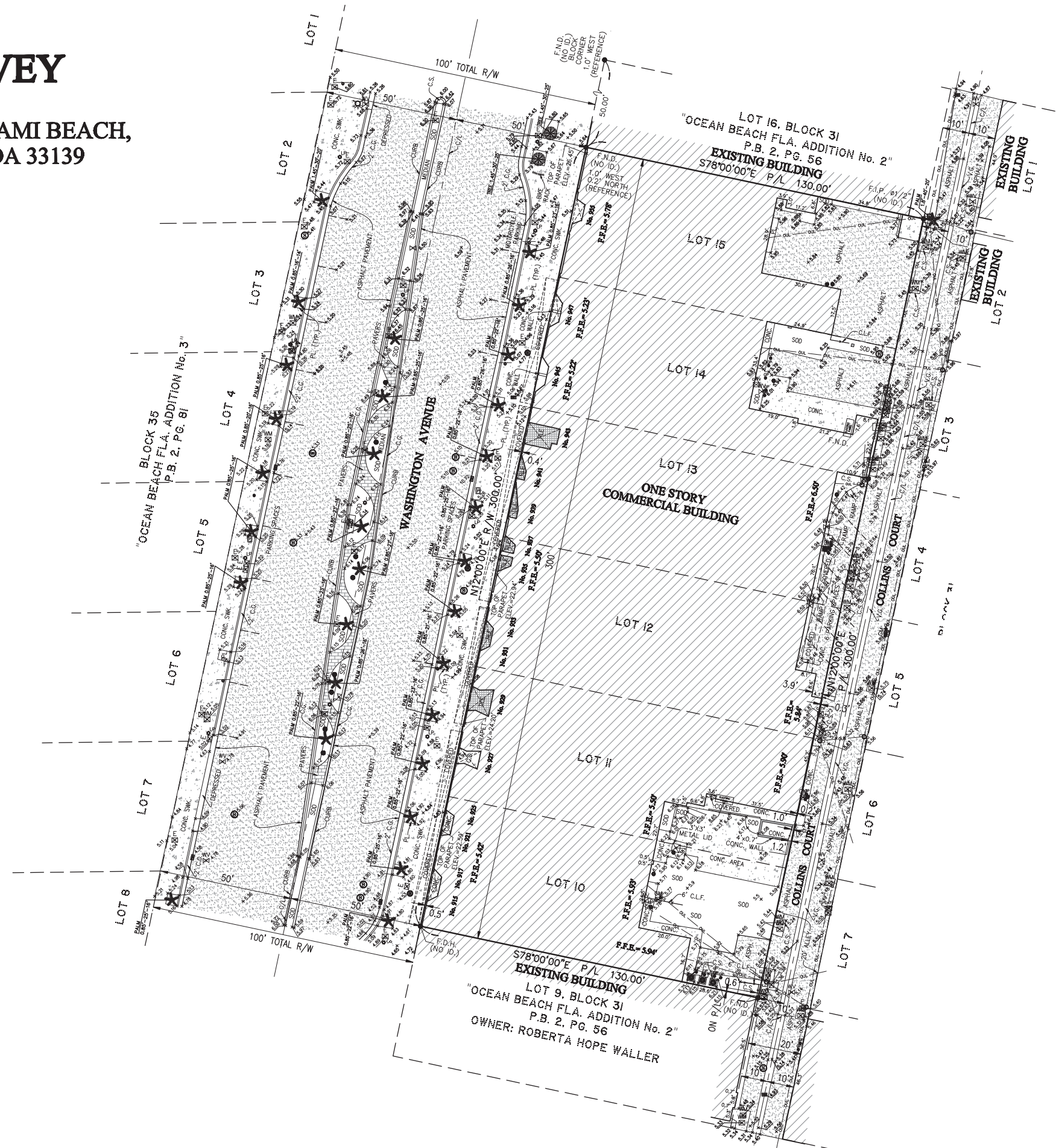
REVISIONS	BY
Proj:	16-0065
Job:	<del>16-0070</del>
Date:	06-07-2016
Drawn:	G.P., J.S., C.B., A.A.
Checked:	J.S.
Scale:	AS SHOWN
Field Book: ON FILE	
SHEET 1 OF 2	

0' 10' 20' 40'

GRAPHIC SCALE  
SCALE : 1" = 20'

	Concrete Light Pole
	Cable Television
	Metal Light Pole
	Guy Wire
	Utility Power Pole
	Fire Hydrant
	Water Meter
	Electric Box
	Telephone Box
	Sewer Manhole
	Overhead Utility Lines
	Light Pole
	Gas Valve
	Water Valve
	Control Valve
	Water Manhole
	Telephone Manhole
	Monitoring Well
	Parking Meter
	Chain Link Fence
	Unknown Manhole
	Sewer Valve
	Mail Box
	Spot Elevation
	Temporary Benchmark
	Diameter-Height-Spread
	Right-of-Way Lines
	Property Corner
	Traffic Sign
	Catch Basin
	Drainage Manhole
	Wood Fence
	Iron Fence
	C.B.S. Wall
	Clean Out
	Guard Pole
	Back Flow Preventer
	Irrigation Control Valve
	Telephone Booth
	Air Conditioner
	Gas Meter
	Grease Manhole
	Drain

A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Gutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
D.W.Y.	Driveway
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
ID.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
P.B.	Plat Book
P.C.P.	Permanent Control Point
PG.	Page
PL.	Planter
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P/S	Parking Spaces
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK.	Sidewalk
T.B.M.	Temporary Benchmark
T.O.B.	Top of Bank
U.E.	Utility Easement
V.G.	Valley Gutter
W.F.	Wood Fence
(TYP.)	Typical
E.O.W.	Edge of Water
P.B.	Plat Book
R	Recorded



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[illegible]

**2 OF 2**