

CITY OF MIAMI BEACH

HISTORIC PRESERVATION BOARD

FINAL SUBMITTAL

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PARK AVENUE HOTEL

MIAMI BEACH

07.29.2019

MIAMI BEACH, FLORIDA 33139

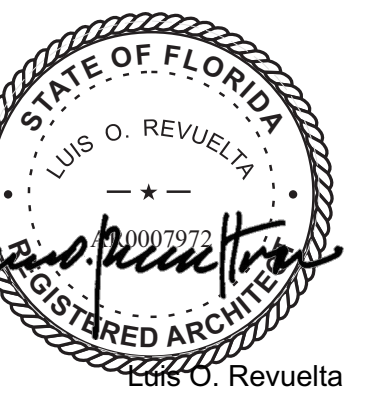
visions

Further Information

MUSLAM

60 ARTHUR GODFREY Rd. #
206
AMI BEACH, FLORIDA 33140
1.888.515.3107

Consultant



AR-0007972

HPB SUBMITTAL

Date _____

Scale

OWN

1822

Name
PLAN

et No.

A-001



CITY OF MIAMI BEACH



CITY OF MIAMI



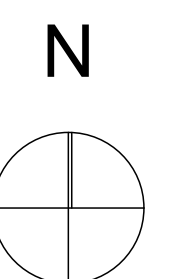
CITY OF MIAMI BEACH



MIAMI BEACH

LOCATION PLANS | 1

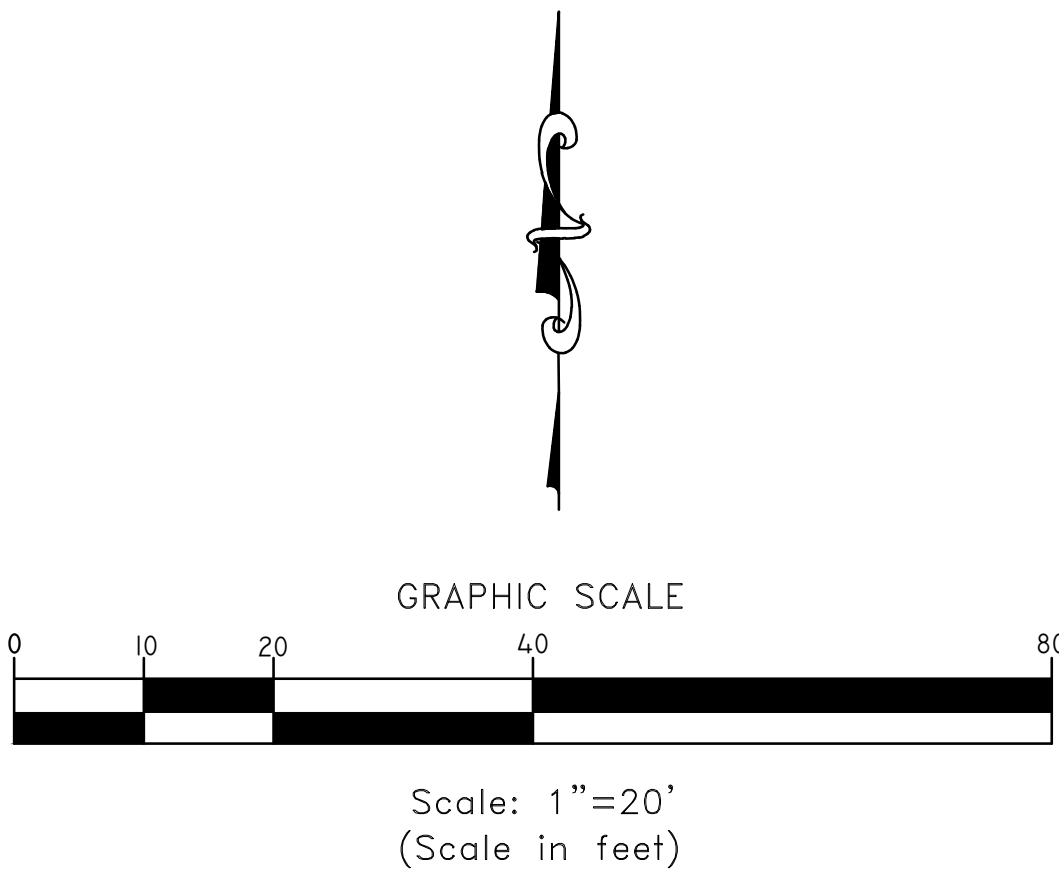
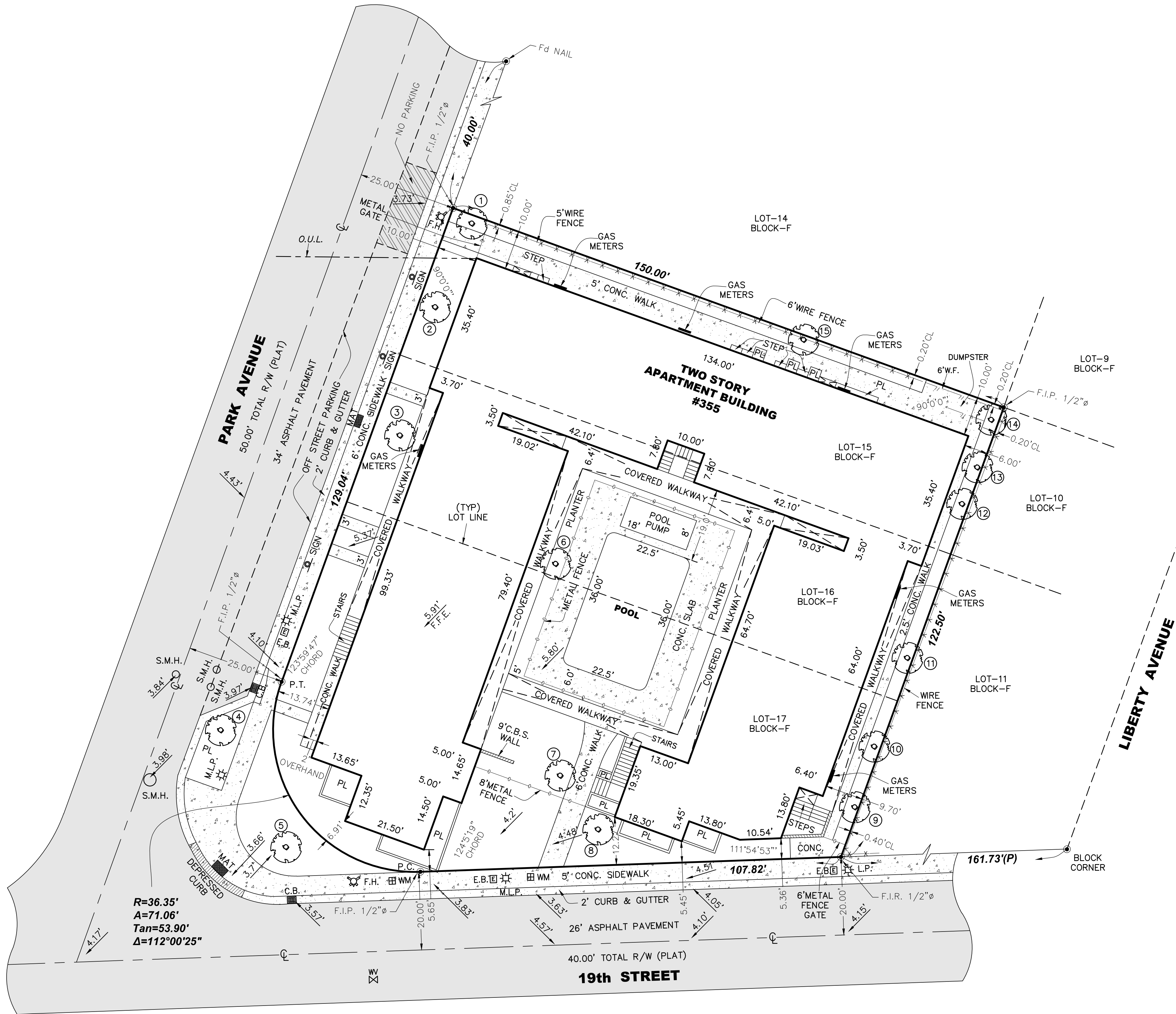
N.T.S.



- LEGEND**
- A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CB = Catch basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chattahoochee
C = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
FD. = Found
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON. = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
P.L. = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference Monument
P.R.C. = Point of Reverse Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor
Mapper
R/W = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
+ = Denotes Spot Elevations Taken

- a) All roads shown hereon are public unless otherwise noted.
b) No identification cap found on property corners unless otherwise noted.
c) Distance along boundary are record and measured unless otherwise noted.
d) The graphic portions of this document are intended to be displayed at the graphic scale scales as shown. The graphic scales may be altered in reproductions and as such, should be considered when obtaining scaled data.
e) Accuracy: The expected use of land as classified in the minimum technical standards (G.S. 7-2-24) is "Suitable for Surveying". The minimum relative distance accuracy for the type of boundary shown is 1/4000. The minimum relative distance accuracy for the type of boundary shown is 1/4000. The minimum relative distance accuracy for the type of boundary shown is 1/4000. The minimum relative distance accuracy for the type of boundary shown is 1/4000.
f) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

- NOTE: Easements and/or encroachments shown hereon are of the apparent nature, fence legal ownership is not determined.
a) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
c) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
d) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
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o) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
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q) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
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s) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
t) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
u) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
v) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
w) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
x) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
y) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
z) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.



TREE CHART			
#	DESCRIPTION	#	CANOPY
1	COCONUT	12"	15'
2	COCONUT	12"	16'
3	COCONUT	12"	15'
4	TREE	6"	7'
5	DOGWOOD	7"	13'
6	SABAL PALM	10"	4'
7	SABAL PALM	14"	8'
8	COCONUT	11"	14'
9	SABAL	16"	14'
10	GUMBO LIMBO	10"	10'
11	SABAL PALM	15"	8'
12	STRANGLER FIG	12"	16'
13	SABAL	14"	9'
14	SABAL PALM	5"	6'

This property described as:
Lots 15, 16 and 17, Block F,
AMENDED MAP OF
THE OCEAN FRONT PROPERTY OF THE
MIAMI BEACH IMPROVEMENT COMPANY,
according to the Plat thereof
as recorded in Plat Book 5, Page 7,
of the Public Records of Miami-Dade County, Florida.

Certified to:
S A BINKOV & M BINKOV LESSOR
JOBROTAM DEV CORP LESSEE

Address:
355 19th Street, Miami Beach, FL 33139

Elevations shown refer to N.G.V.D. 1929.
BM # Y-310-R (MIAMI-DADE)
Elevation = 5.62 ft (N.G.V.D.)

**"THIS SURVEY DECLARATION IS MADE ON THE FIELD
DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT
TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR
SUBSEQUENT OWNERS."**

Bearing, if any, shown based on _____ N/A (reference) N/A

REVISIONS: 05/23/18 SURVEY UPDATE 11/27/18 SURVEY UPDATE 03/05/19 SURVEY UPDATE			
FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0317	SUFFIX L
F.I.R.M. DATE 09/11/09	F.I.R.M. INDEX 09/11/09	BASE ELEV. + 8 FT N.G.V.D.	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

RENE ALVAREZ 11/22/17
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc. Surveyors, Mappers and Land Planners 9789 Sunset Drive, Miami, FL 33173 Phone 305.220.2424 Fax 305.552.8181 L.B. No. 6867 / E-mail: aaasurvey@aol.com			
Field Date 11/20/17	Scale: 1"=20'	Drawn by: R.S.	Drwg. No. 17-19663

NOT FOR CONSTRUCTION

These Design And Drawings Are The Copyrighted Property Of Revuelta Architecture International. P.A. and May Not Be Reproduced, Excerpted, or Used in Any Manner Without the Written Consent of the Architect. The Contractor Must Check And Verify All Dimensions Of The Job And Be Responsible For Same. Reporting Any Discrepancies To The Architects Before Commencing Work. Drawings Not to be Scaled. The Blotfold, Plot, Print, Stamp, or Seal of the Architect is Required for All Drawings. Date: 7/29/2019

7/29/2019 revuelta architecture international p.a.			
PARK AVENUE HOTEL - MIAMI BEACH			
Zoning Information			
1	Address:	355 19th Street Miami Beach, FL 33139	
2	Board and File Numbers:		
3	Folio Number(s):	02-3226-001-0290	
4	Year Constructed:	1951	Zoning District: RM-2
5	Based Flood Elevation:	8'-0" N.G.V.D.	Grade value in NGVD: 4'-6" N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	7'-10 1/2" N.G.V.D.	Lot Area: 22,236.75 SF (0.510485 ac.)
7	Lot width:	150'-0"	Lot Depth: 152'-8" (Average)
8	Minimum Unit Size (Hotel)	15%: 300 - 335 SF; 85%: 335 SF +	Average Unit Size (Hotel) N/A
9	Existing use:	Residential	Proposed use: Hotel
Building Data			
10	Height	50'-0"	Proposed 50'-0"
11	Number of Stories	N/A	5
12	FAR (2.0)	44,473.5 SF	44,461.78
13	Gross square footage		61,074.50
14	Square Footage by use	N/A	
15	Number of units Residential	N/A	
16	Number of units Hotel	N/A	116 Hotel Rooms
17	Number of seats	N/A	
18	Occupancy load		
Setbacks			
Subterranean:		Required	Proposed
19	Front Setback:	20'-0"	20'-0"
20	Side Setback:	12'-0" (8% of lot width, minimum 7'-6")	12'-0"
21	Side Setback:	N/A	
22	Side Setback facing street:	12'-0" (8% of lot width, minimum 7'-6")	12'-0"
23	Rear Setback:	15'-4" (Average) (10% of lot depth)	15'-4" (Average)
At Grade Parking:		Required	Proposed
24	Front Setback:	20'-0"	20'-0"
25	Side Setback:	11'-10 1/2" (8% of lot width, minimum 10'-0")	11'-10 1/2"
26	Side Setback:	N/A	
27	Side Setback facing street:	11'-10 1/2" (8% of lot width, minimum 10'-0")	11'-10 1/2"
28	Rear Setback:	0'-0"	0'-0"
Pedestal:		Required	Proposed
29	Front Setback:	20'-0"	20'-0"
30	Side Setback:	11'-10 1/2" (8% of lot width, minimum 10'-0")	11'-10 1/2"
31	Side Setback:	N/A	
32	Side Setback facing street:	11'-10 1/2" (8% of lot width, minimum 10'-0")	11'-10 1/2"
33	Rear Setback:	15'-4" (Average) (10% of lot depth)	15'-4" (Average)
Tower:		Required	Proposed
34	Front Setback:	N/A	
35	Side Setback:	N/A	
36	Side Setback:	N/A	
37	Side Setback facing street:	N/A	
38	Rear Setback:	N/A	
Parking			
39	Parking district	District No. 1	
40	Total # of parking spaces	0 (Per Sec. 130-33 = 0 spaces per room)	N/A
41	# of parking spaces per use (Provide a 0 separate chart for a breakdown calculation)		N/A
42	# of parking spaces per level (Provide 0 a separate chart for a breakdown calculation)		N/A
43	Parking Space Dimensions:	8'-6" x 18'-0" Regular; 6" x 16'-0" Tandem	N/A
44	Parking Space configuration (45, 60, 90, Parallel)		N/A
45	ADA Spaces	2	N/A
46	Tandem Spaces		N/A
47	Drive aisle width: Drives 22'-0" Two-Way; 11'-0" One-Way shall have a minimum width of 22 feet for two-way traffic and 11 feet for one-way traffic.		N/A
48	Valet drop off and pick up	Required	Provided
49	Loading zones and Trash collection areas	3 (10'-0" x 20'-0" minimum over 50 units no more than 100- 2 loading spaces; over 100 no more than 200- 3 loading spaces)	Not Provided
50	Racks: Minimum short-term bicycle parking spaces = 1 per 10 units. Minimum long-term bicycle parking spaces = 1/10% employees	Short-term 10 Long-term 1	Not Provided

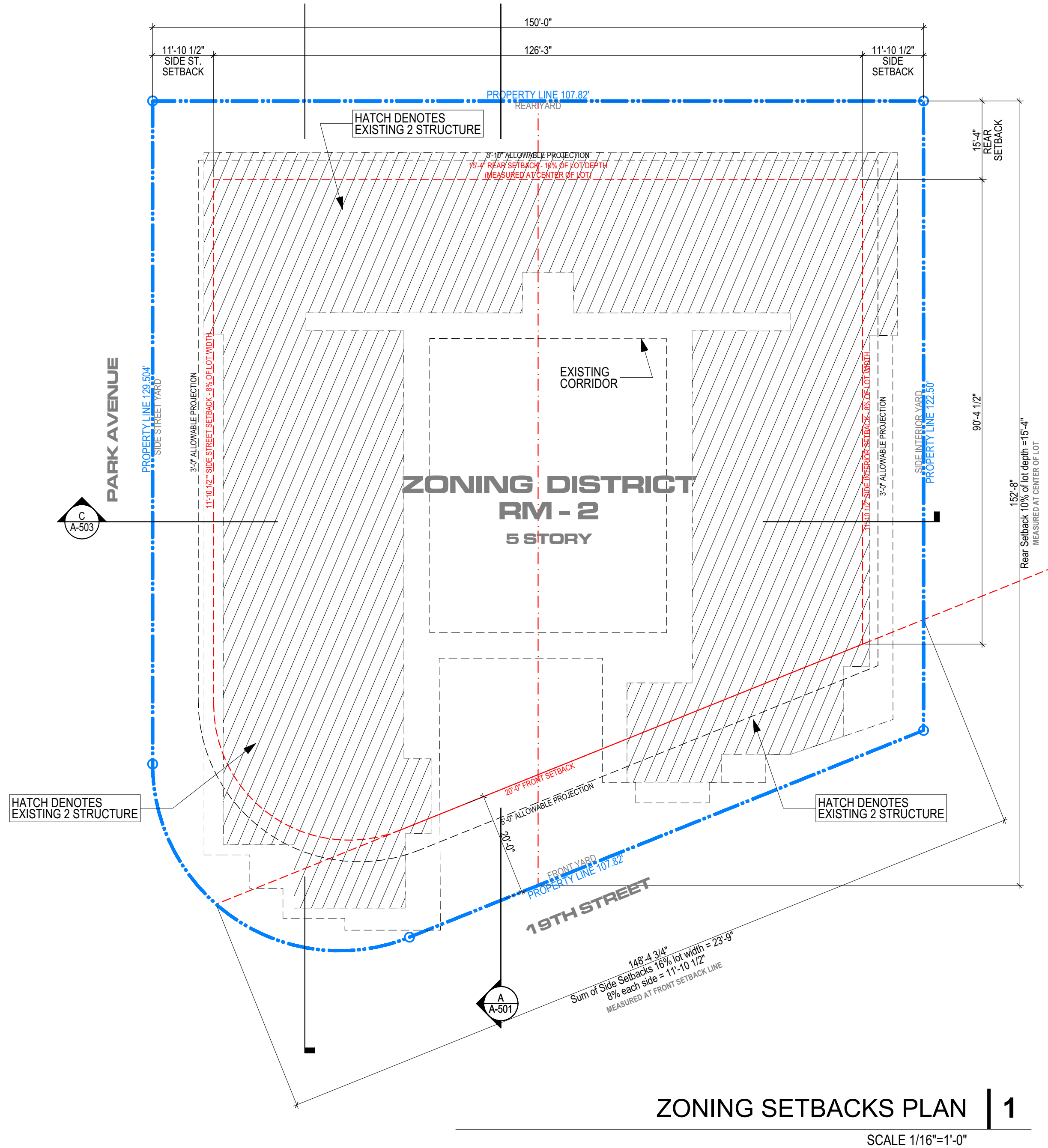
ZONING DATA SUMMARY | 2

N.T.S.

ROOMS BREAKDOWN									
		FLOORS							
		AREA SF	L1	L2	L3	L4	L5	TOTAL PER ROOM TYPE	% Total Type/Total Units
PARK AV. HOTEL									
Standard Rooms									
King		255	10	10	10	10	10	50	42.60
King Large		289.5	6	6	7	7	7	33	28.69
DQ		289.5	1	1				2	1.65
DQ Large		321	3	3	6	6	6	24	20.86
Special Rooms								0	
King ADA		289.5	1	1	1	1	1	5	4.55
Double Queen ADA		321	1	1				2	1.65
Florida Room									
TOTAL GUESTROOMS			22	22	24	24	24	116	75.84
									24.16

ROOMS BREAKDOWN | 3

N.T.S.



ZONING SETBACKS PLAN | 1

SCALE 1/16"=1'-0"

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Project

PARK AVE. HOTEL

355 - 19th Street
MIAMI BEACH, FLORIDA 33139

Revisions

Owner Information

BUSLAM
960 ARTHUR GODFREY Rd., # 206
MIAMI BEACH, FLORIDA 33140
1.888.515.3107

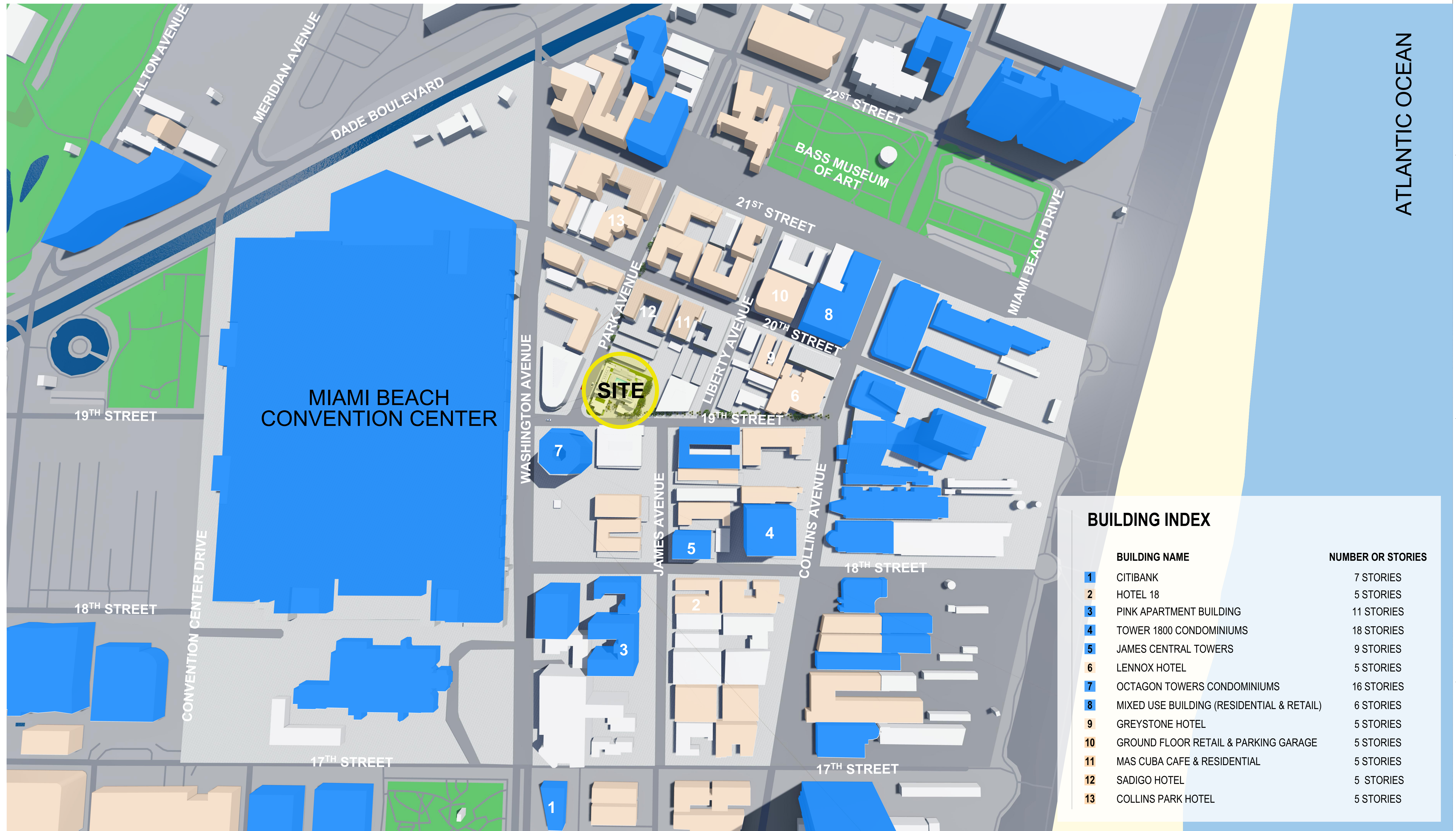
Consultant

STATE OF FLORIDA
LUIS O. REVUELTA
REGISTERED ARCHITECT
00007972

Luis O. Revuelta
AR-007972

HPB SUBMITTAL

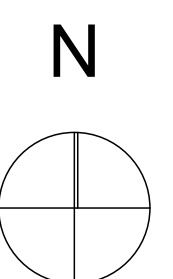
Date
07/29/2019
Scale
AS SHOWN
Project No.
1822
Sheet Name
ZONING DATA
Sheet No.
A-003



= TALLER THAN 5 STORIES
 = BUILDINGS 5 STORIES TALL
 = BUILDINGS 3 TO 4 STORIES TALL

SITE PLAN - CONTEXT | 1

N.T.S.



BUILDING INDEX

BUILDING NAME		
1	CITIBANK	7 STORIES
2	HOTEL 18	5 STORIES
3	PINK APARTMENT BUILDING	11 STORIES
4	TOWER 1800 CONDOMINIUMS	18 STORIES
5	JAMES CENTRAL TOWERS	9 STORIES
6	LENNOX HOTEL	5 STORIES
7	OCTAGON TOWERS CONDOMINIUMS	16 STORIES
8	MIXED USE BUILDING (RESIDENTIAL & RETAIL)	6 STORIES
9	GREYSTONE HOTEL	5 STORIES
10	GROUND FLOOR RETAIL & PARKING GARAGE	5 STORIES
11	MAS CUBA CAFE & RESIDENTIAL	5 STORIES
12	SADIGO HOTEL	5 STORIES
13	COLLINS PARK HOTEL	5 STORIES

