



224 2ND ST

Request for a Certificate of Appropriateness for a Private School as a modification to HPB17-0122.

**HPB Final Submittal
May 06, 2019**

G-1.01 ZONING DATA AND DRAWING LIST

Item #	Zoning Information			
1	Address:	224 2nd Street		
2	Board and file numbers:	HPB19-0298		
3	Folio number(s):	02-4203-003-1250		
4	Year constructed:	1925	Zoning District:	CPS-1
5	Base Flood Elevation:	8.0' NGVD	Grade value in NGVD	4.83' NGVD
6	Adjusted grade (Flood+Grade/2):	6.415' NGVD	Lot Area:	6,500 SF
7	Lot width:	50'	Lot Depth:	130'
8	Minimum Unit Size:	N/A	Average Unit Size:	N/A
9	Existing use:	Office & Residential	Proposed use:	Private School

		Maximum	Existing	Proposed	Deficiencies
10	Height	40'	27'-0"	31'-9 3/4"	
11	Number of Stories	4	2	3	
12	FAR: 1.0	6,500 sf	5,189 sf	Previously approved 5,459 sf, Proposed 6,500 sf	
13	Gross Square Footage	N/A	5,189 sf	Previously approved 5,595, Proposed 6,569 sf	
14	Floor Area by use	N/A	Office-3,051 sf Residential-2,138 sf	Private School - 6,569 sf	
15	Number of Units Residential	N/A	4	0	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal:				
29	Front Setback (Washington Ave):	0'	3'-7" EXISTING	3'-7"	
30	Side Setback (2nd Street):	0'	0'-9" EXISTING	0'-9"	
31	Side Setback (South):	0'	0'-0" EXISTING	0'	
33	Rear Setback (East):	5'	2'-1" EXISTING	2'-1" (1st and 2nd floor), 5'-0" (3rd floor)	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district 1				
40	Total # of parking spaces:	1	0	0*	*Required parking will be satisfied with payment into the city's parking fee-in-lieu program
49	Off-Street Loading Spaces	1	0	0*	*Required loading will be provided in accordance with the HPB waiver approval. See HPB17-0122 Final Order.
50	Bicycle Racks	4	0	8	

56	Located within a Local Historic District?	Yes
57	Is this a contributing building?	Yes

* Parking not required for accessory service spaces

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format

DRAWING LIST

Cover

Survey

- G-1.01 Zoning Data and Drawing list
- G-1.02 Location Plan
- G-1.03 Zoning and Historic District Map
- G-1.04 Existing Site Plan
- G-1.05 Previously Approved Site Plan
- G-1.06 Proposed Site Plan
- G-1.07 Proposed Mobility Plan
- G-1.08 Previously Approved Existing & Proposed FAR Diagram
- G-1.09 Existing & Proposed FAR Diagram
- G-1.10 Previously Approved Additional Areas Diagram
- G-1.11 Proposed Additional Areas Diagram
- G-1.12 2nd Street Context Elevations
- G-1.13 Washington Ave Context Elevations
- G-1.14-15 Existing Site Images
- G-1.16-17 Existing Interior Images
- G-1.18-24 Existing Context Photos
- G-1.25 Previously Approved Materials
- G-1.26 Proposed Materials

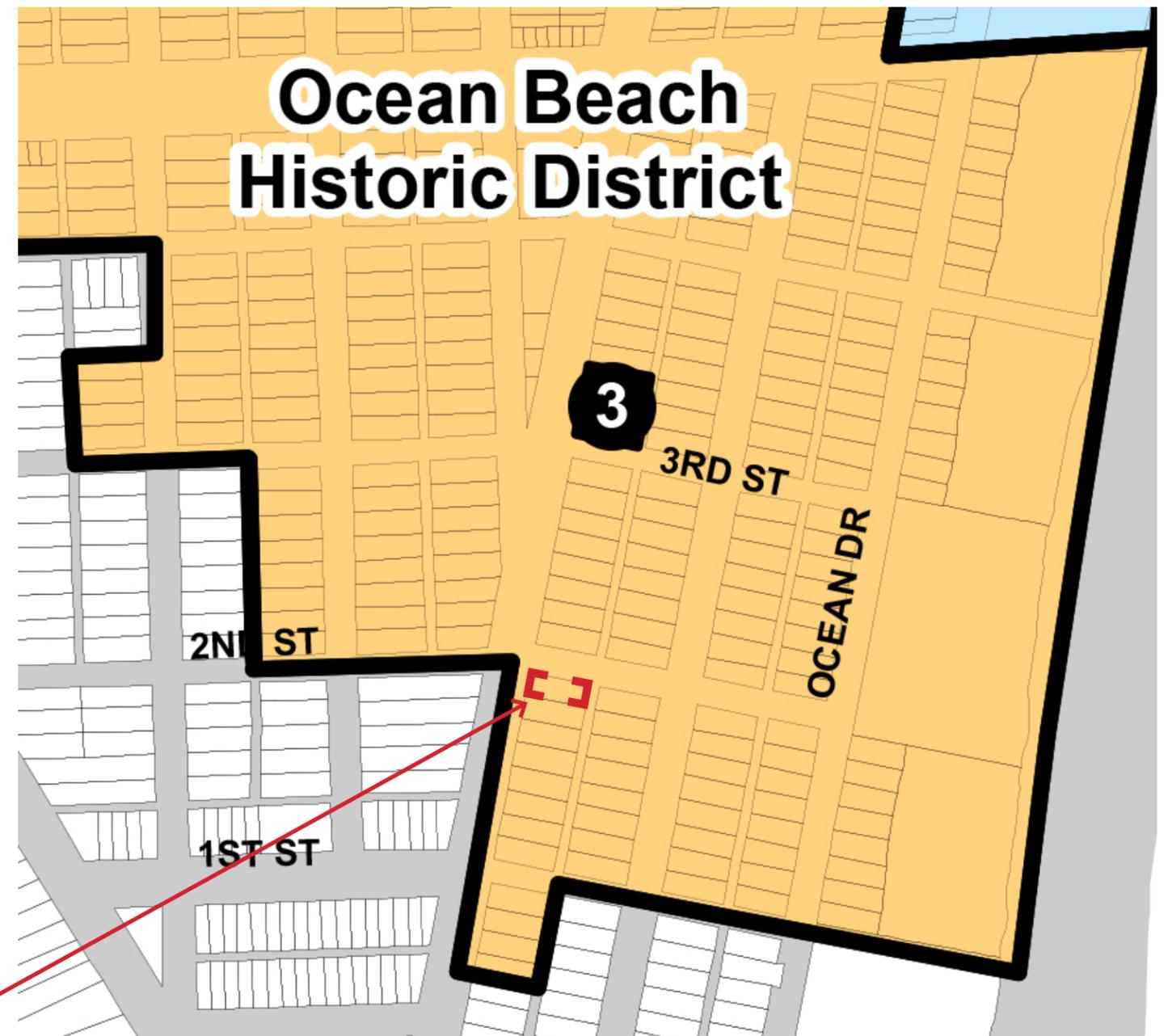
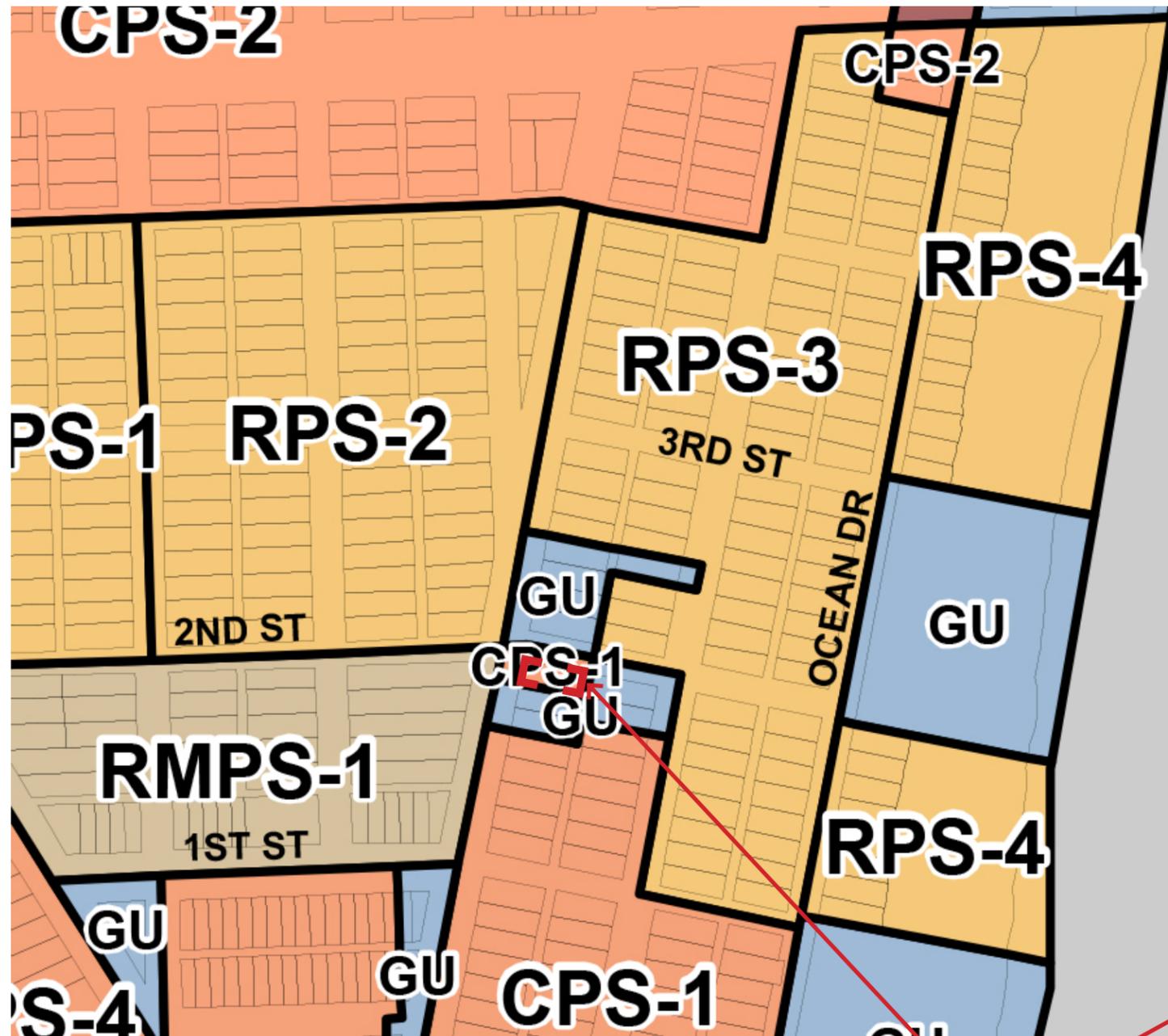
- AB-1.00 Existing Ground Floor Plan
- AB-1.01 Existing Second Floor Plan
- AB-1.01 Existing Roof Plan
- AB-2.00 Existing North & South Elevations
- AB-2.01 Existing East & West Elevations

- D-1.00 Proposed Ground Floor Demo Plan
- D-1.01 Proposed Second Floor Demo Plan
- D-1.02 Proposed Roof Demo Plan
- D-2.00 Proposed North & South Demo Elevations
- D-2.01 Proposed East & West Demo Elevations

- A-1.00 Previously Approved Ground Floor Plan
- A-1.01 Proposed Ground Floor Plan
- A-1.02 Previously Approved Second Floor Plan
- A-1.03 Proposed Second Floor Plan
- A-1.04 Proposed Third Floor Plan
- A-1.05 Previously Approved Roof Plan
- A-1.06 Proposed Roof Plan
- A-2.00 Previously Approved North & South Elevations
- A-2.01 Proposed North and South Elevations
- A-2.02 Previously Approved East & West Elevations
- A-2.03 Proposed East and West Elevations
- A-2.04 Previously Approved Site Line Analysis
- A-2.05 Proposed Site Line Analysis
- A-3.00 Previously Approved Section
- A-3.01 Proposed Sections

- A-4.00 Courtyard/2nd Floor Addition View
- A-4.01 Proposed Perspective View South East

G-1.03 ZONING AND HISTORIC DISTRICT MAP

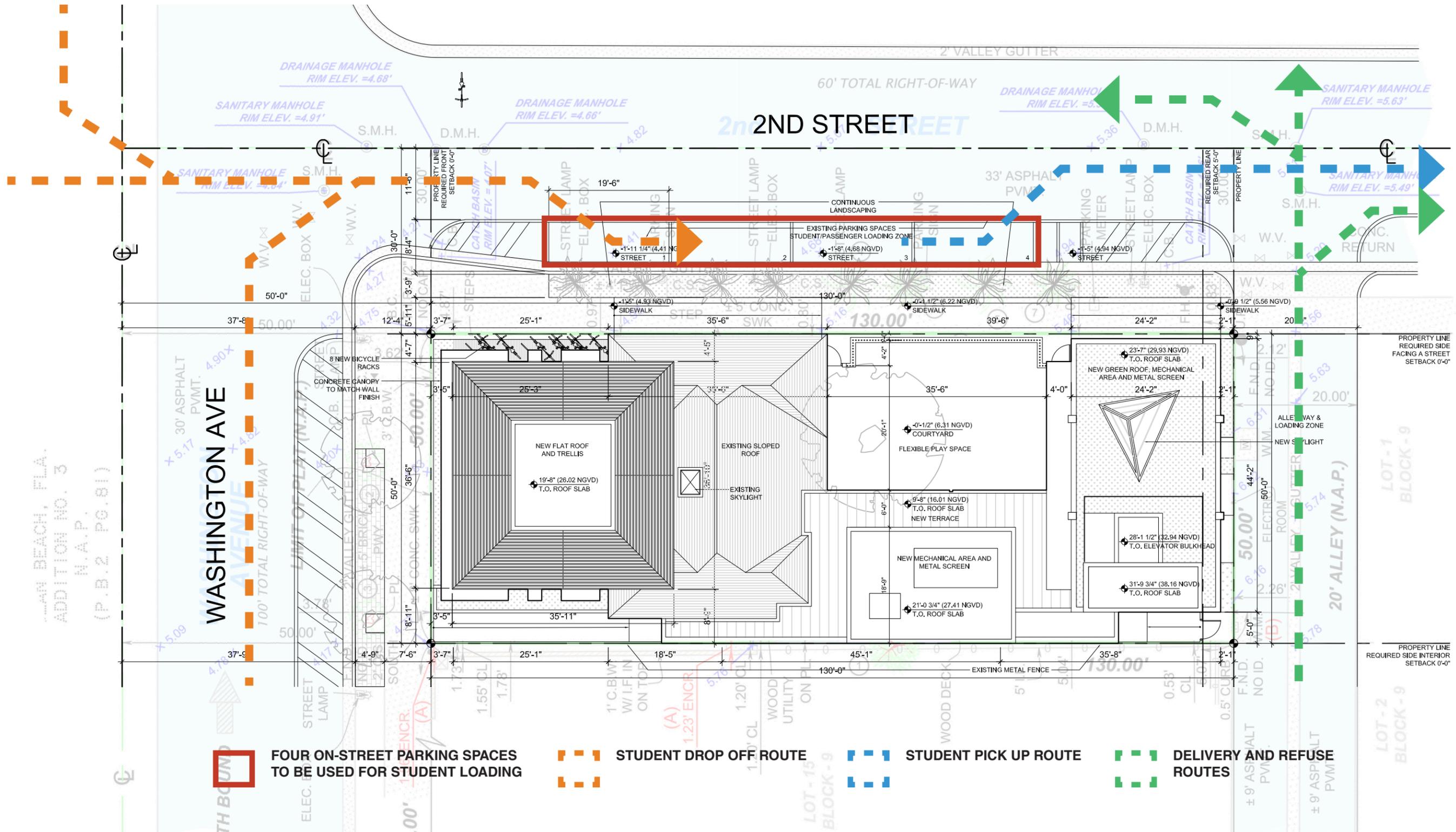


 CPS-1 - Commercial Performance Standard, Limited Mixed Use

224 2nd Street

 Ocean Beach Historic District

G-1.07 PROPOSED MOBILITY PLAN

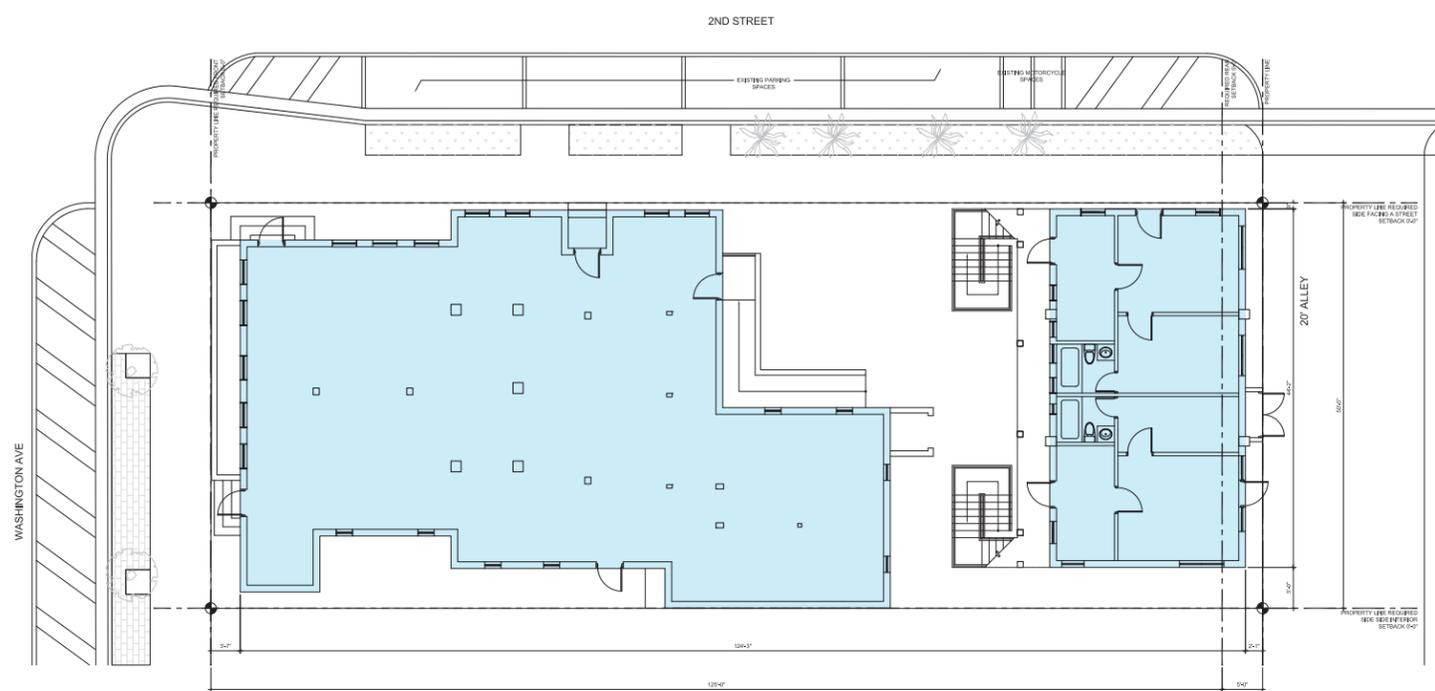


- FOUR ON-STREET PARKING SPACES TO BE USED FOR STUDENT LOADING
- STUDENT DROP OFF ROUTE
- STUDENT PICK UP ROUTE
- DELIVERY AND REFUSE ROUTES

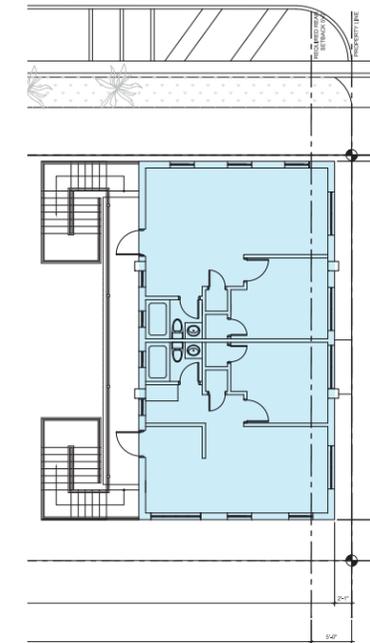


SCALE: 1/16" = 1'-0"

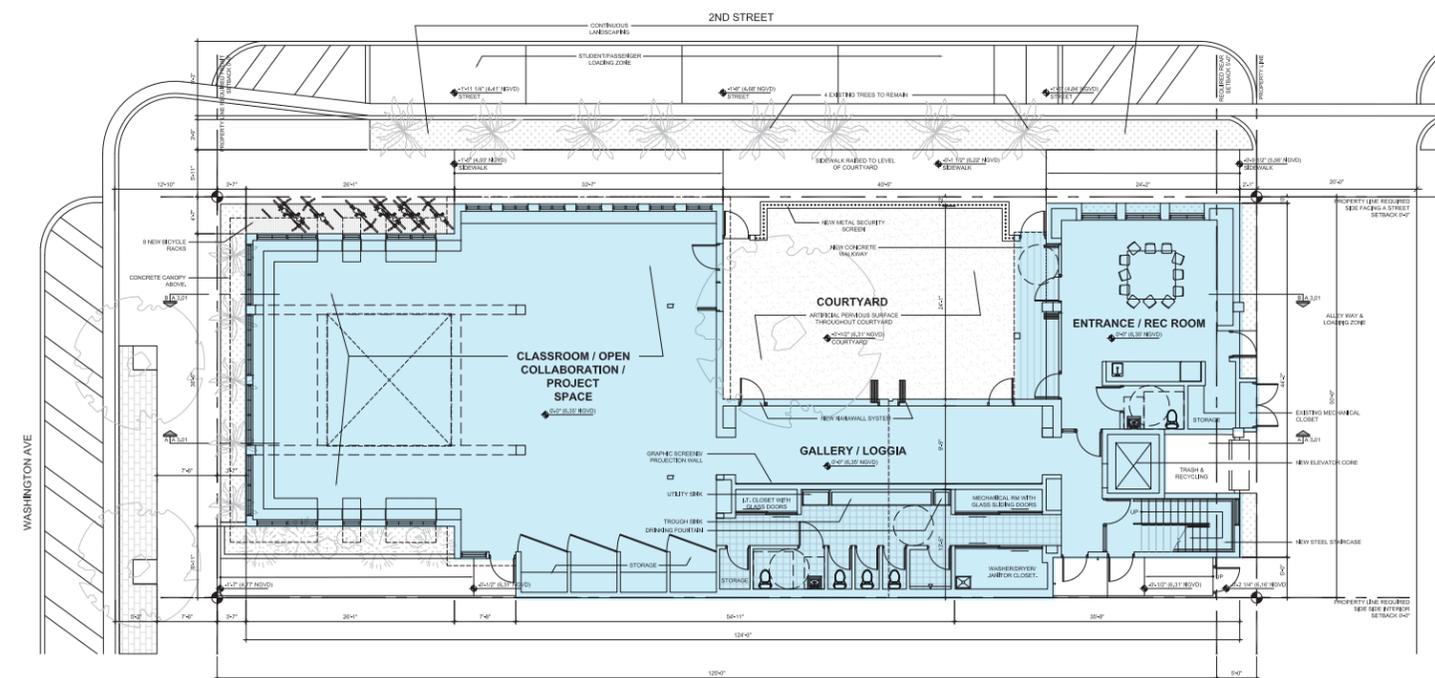
G-1.09 EXISTING & PROPOSED FAR DIAGRAMS



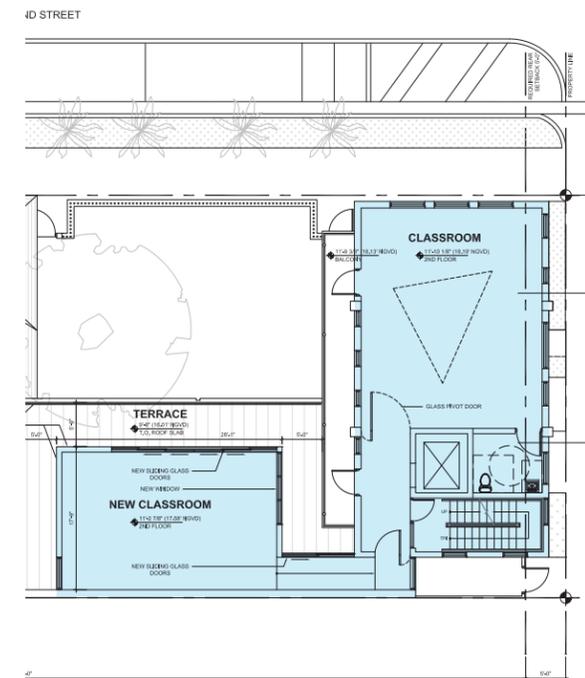
EXISTING GROUND FLOOR - 4,120 SF



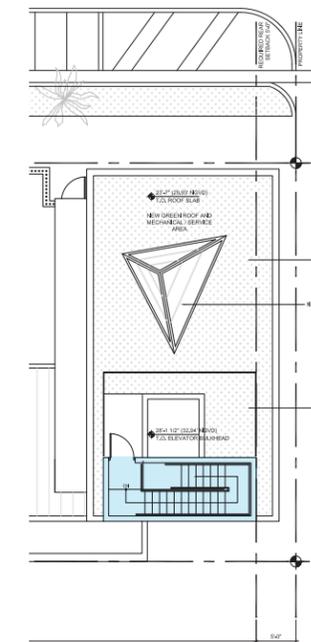
EXISTING SECOND FLOOR - 1,069 SF



PROPOSED GROUND FLOOR - 4,665 SF



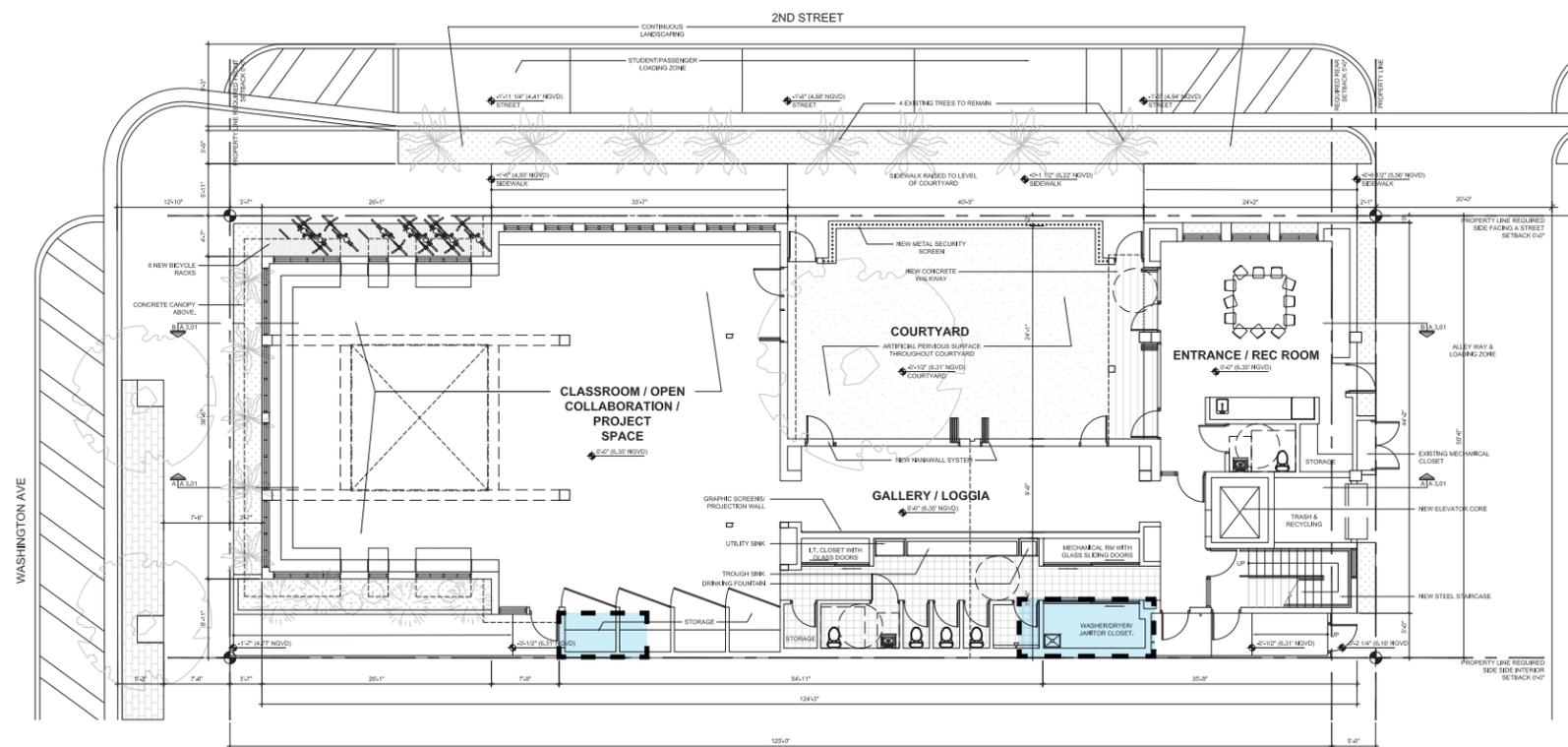
PROPOSED SECOND FLOOR - 1,624 SF



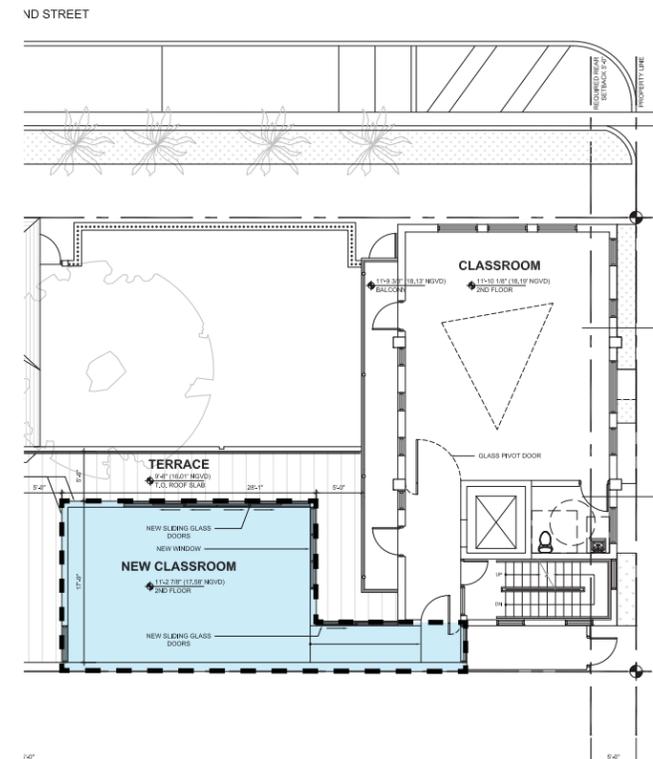
PROPOSED THIRD FLOOR - 171 SF



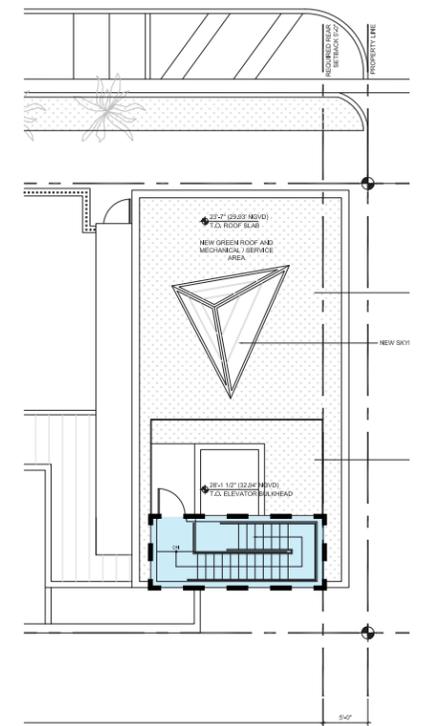
G-1.11 PROPOSED ADDITIONAL AREAS DIAGRAM



PROPOSED GROUND FLOOR - 113 SF



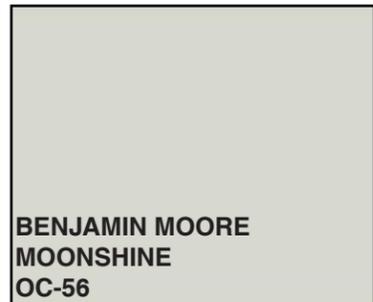
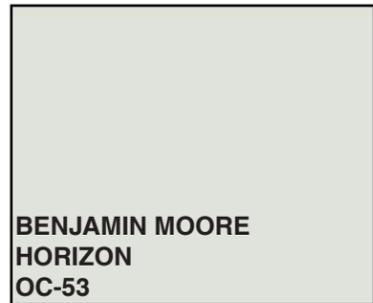
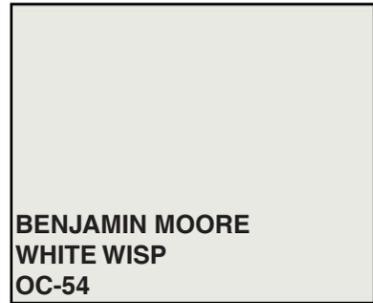
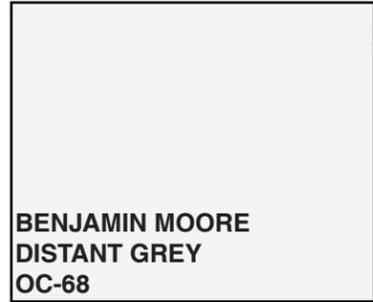
PROPOSED SECOND FLOOR - 624 SF



PROPOSED THIRD FLOOR - 171 SF

 TOTAL AREA TO BE ADDED
908 SF

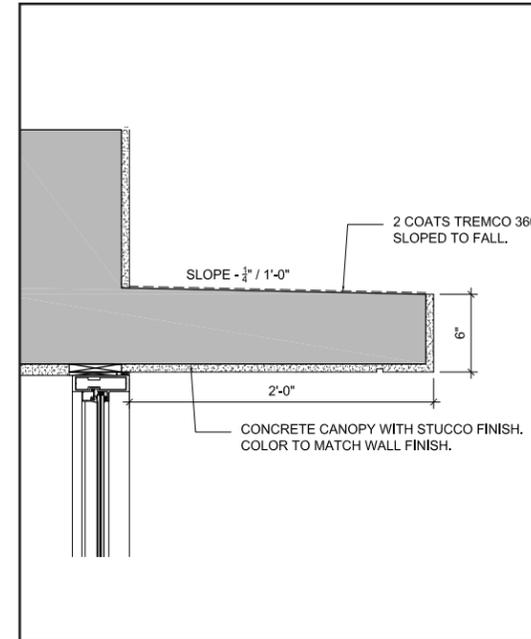
G-1.26 PROPOSED MATERIALS



PROPOSED STUCCO
PAINT FINISHES



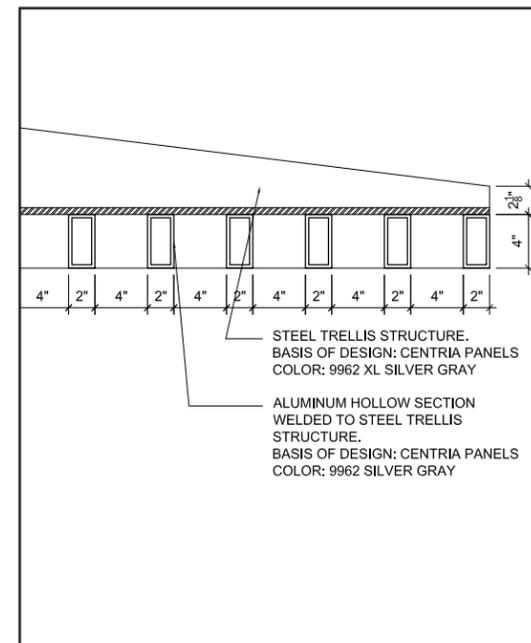
STANDING SEAM METAL
PANELS.



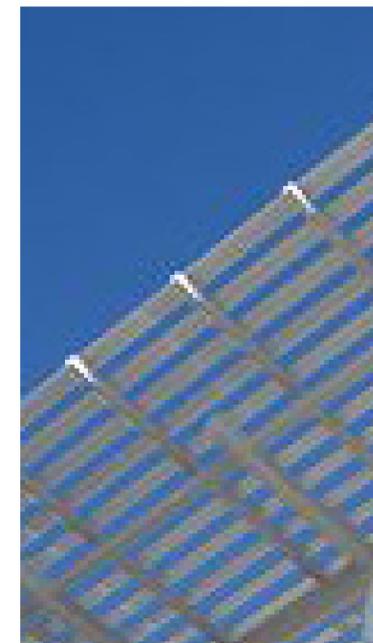
WINDOW CANOPY DETAIL



WINDOW EYEBROW



ROOF TRELLIS DETAIL

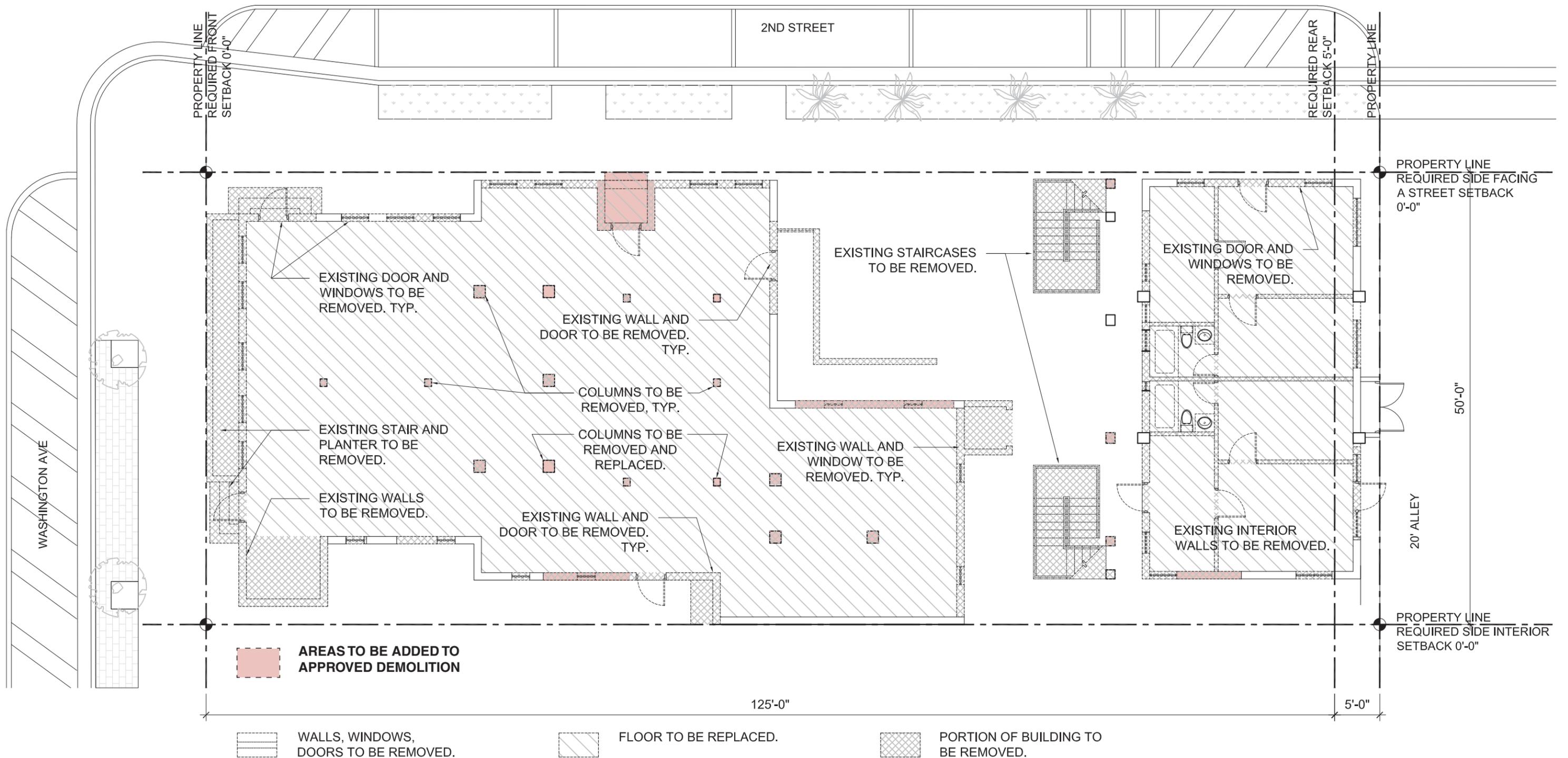


ROOF TRELLIS

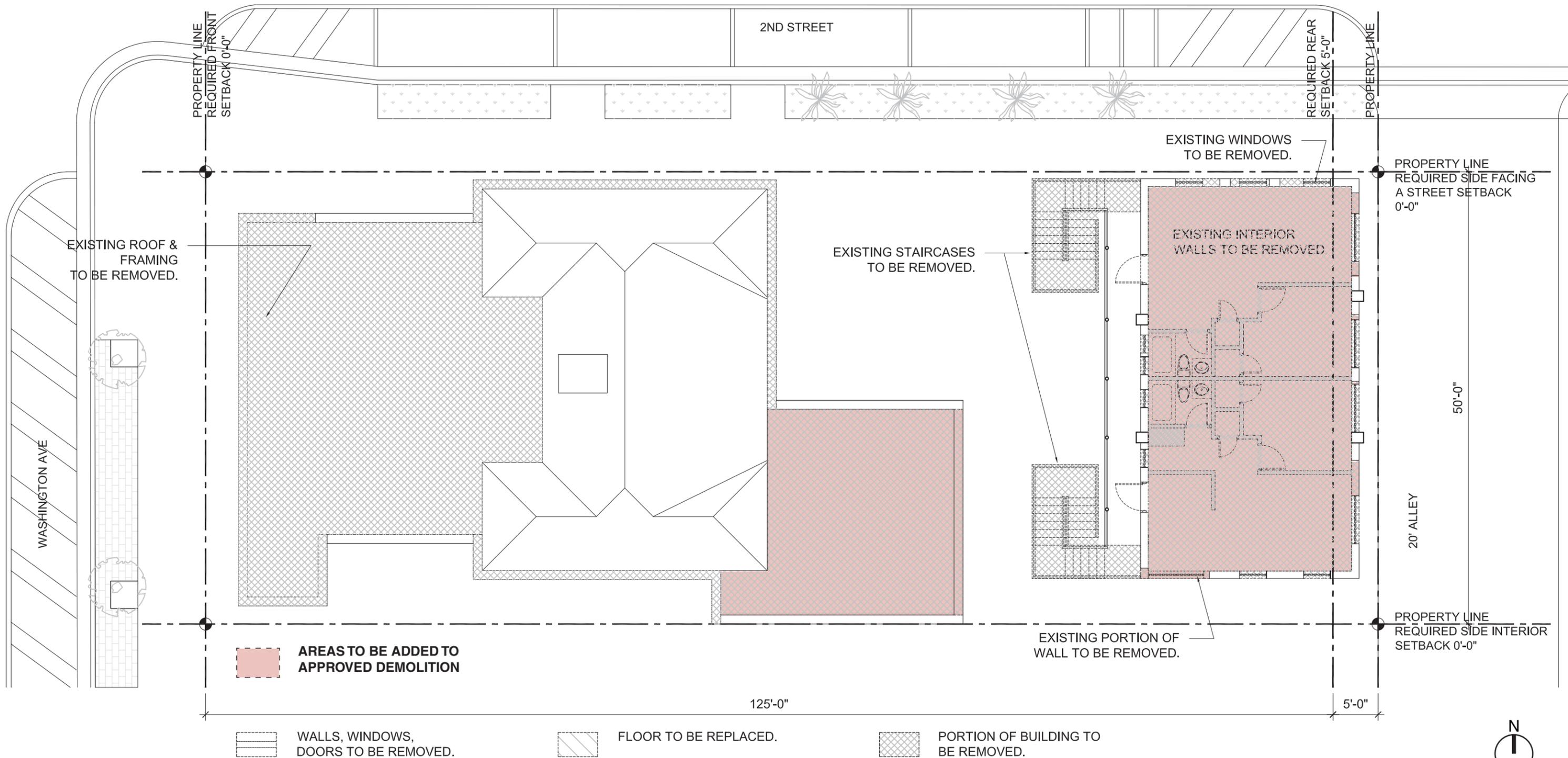


NANAWALL DOORS.

D-1.00 PROPOSED GROUND FLOOR DEMO PLAN



D-1.01 PROPOSED SECOND FLOOR DEMO PLAN



AREAS TO BE ADDED TO APPROVED DEMOLITION

WALLS, WINDOWS, DOORS TO BE REMOVED.

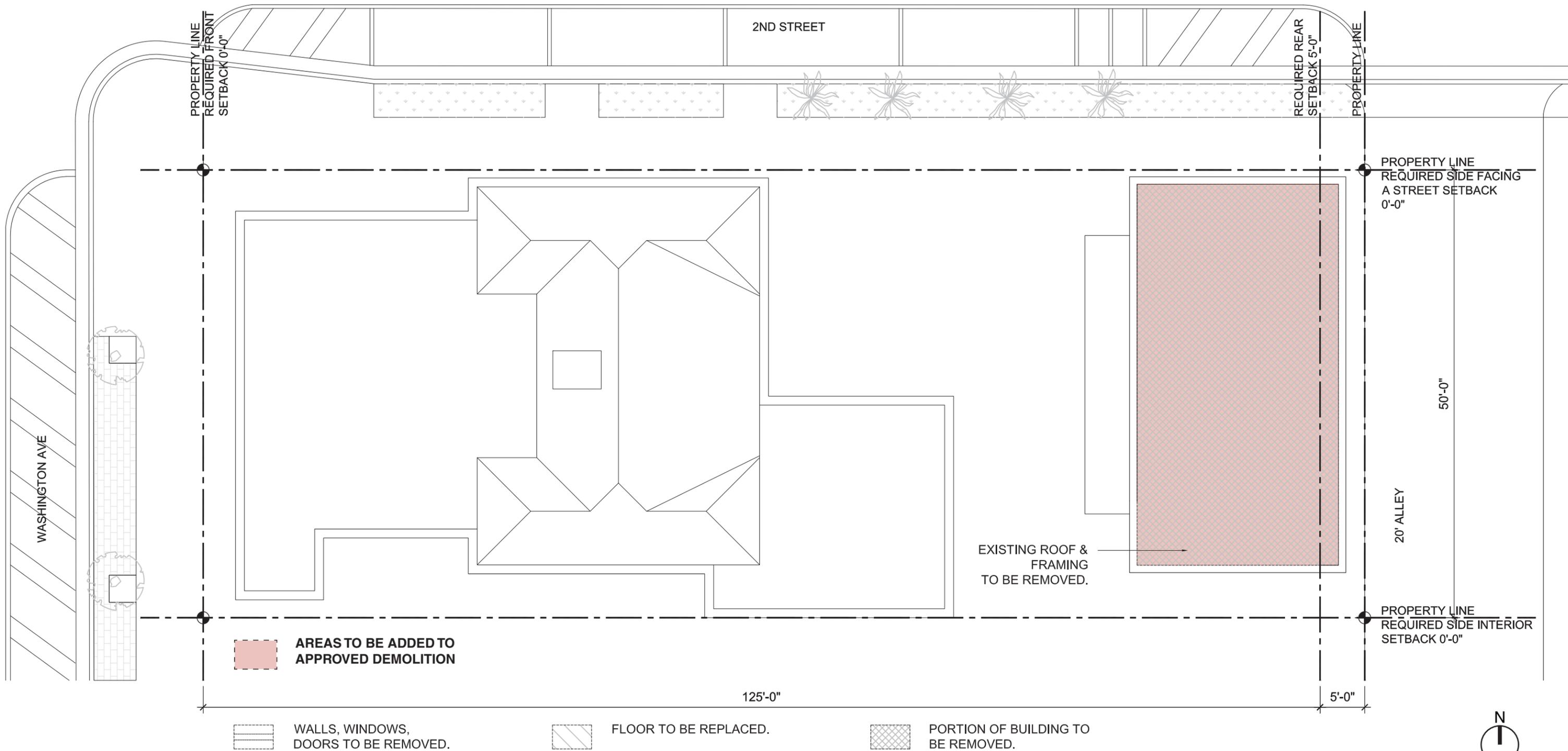
FLOOR TO BE REPLACED.

PORTION OF BUILDING TO BE REMOVED.



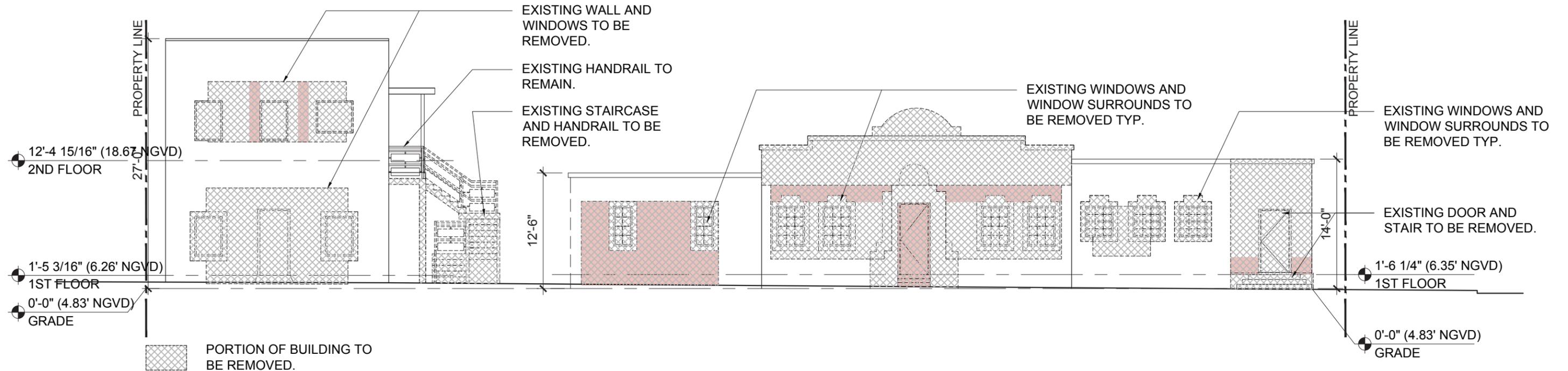
SCALE: 3/32" = 1'-0"

D-1.02 PROPOSED ROOF DEMO PLAN

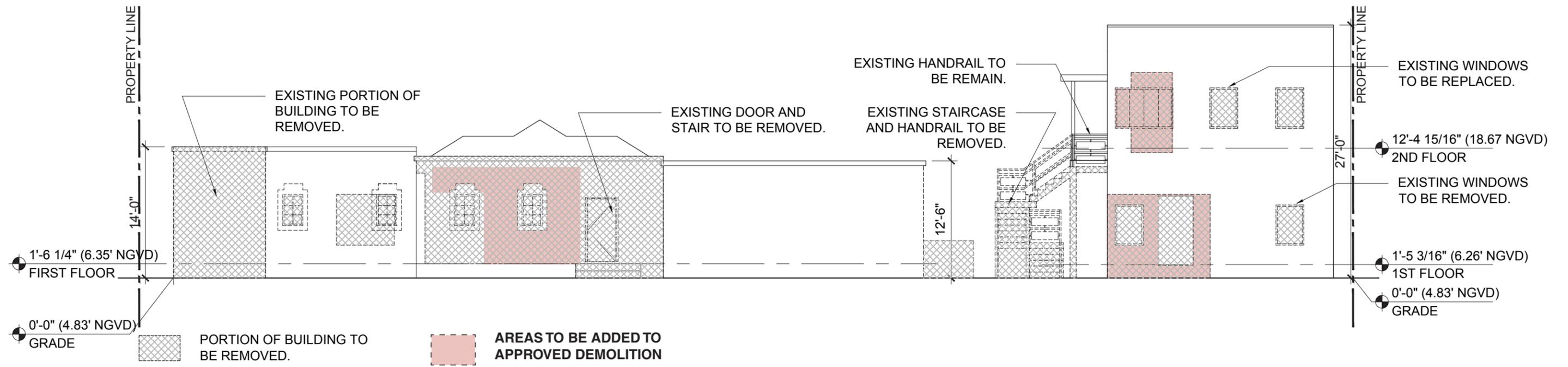


SCALE: 3/32" = 1'-0"

D-1.03 PROPOSED NORTH AND SOUTH DEMO ELEVATIONS

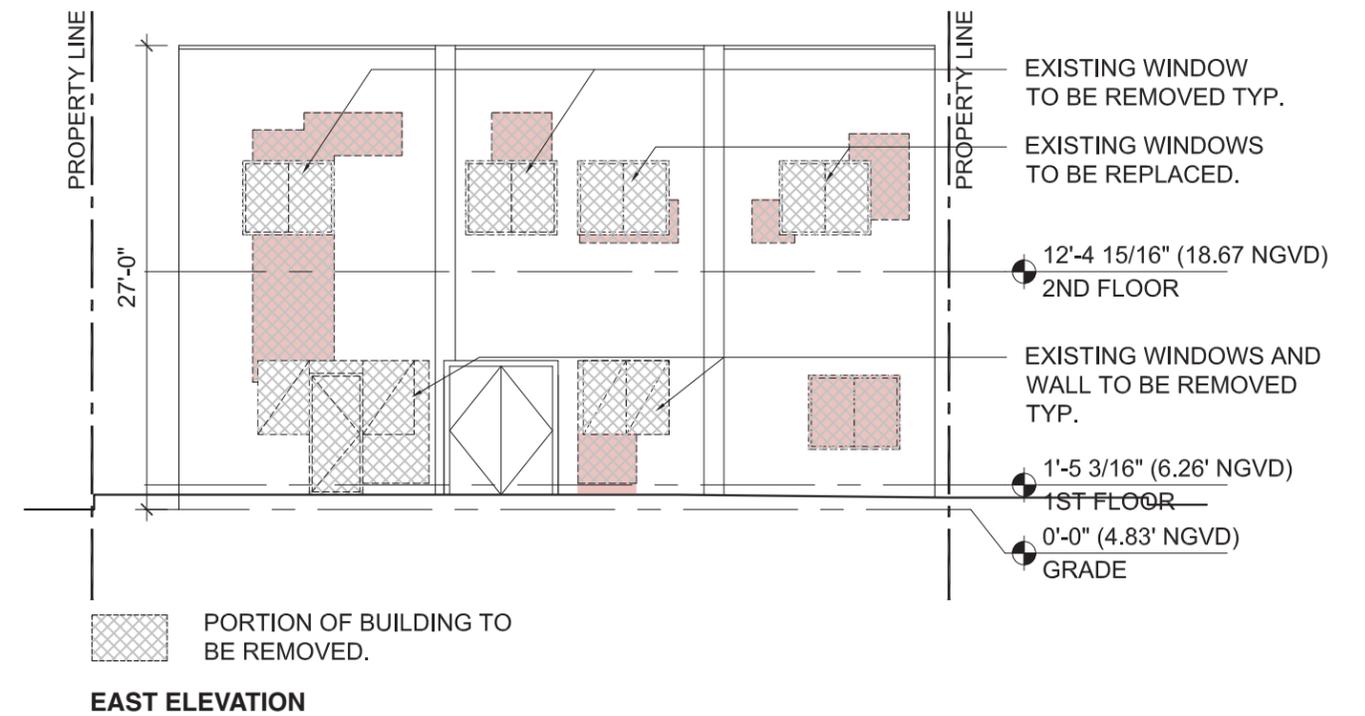
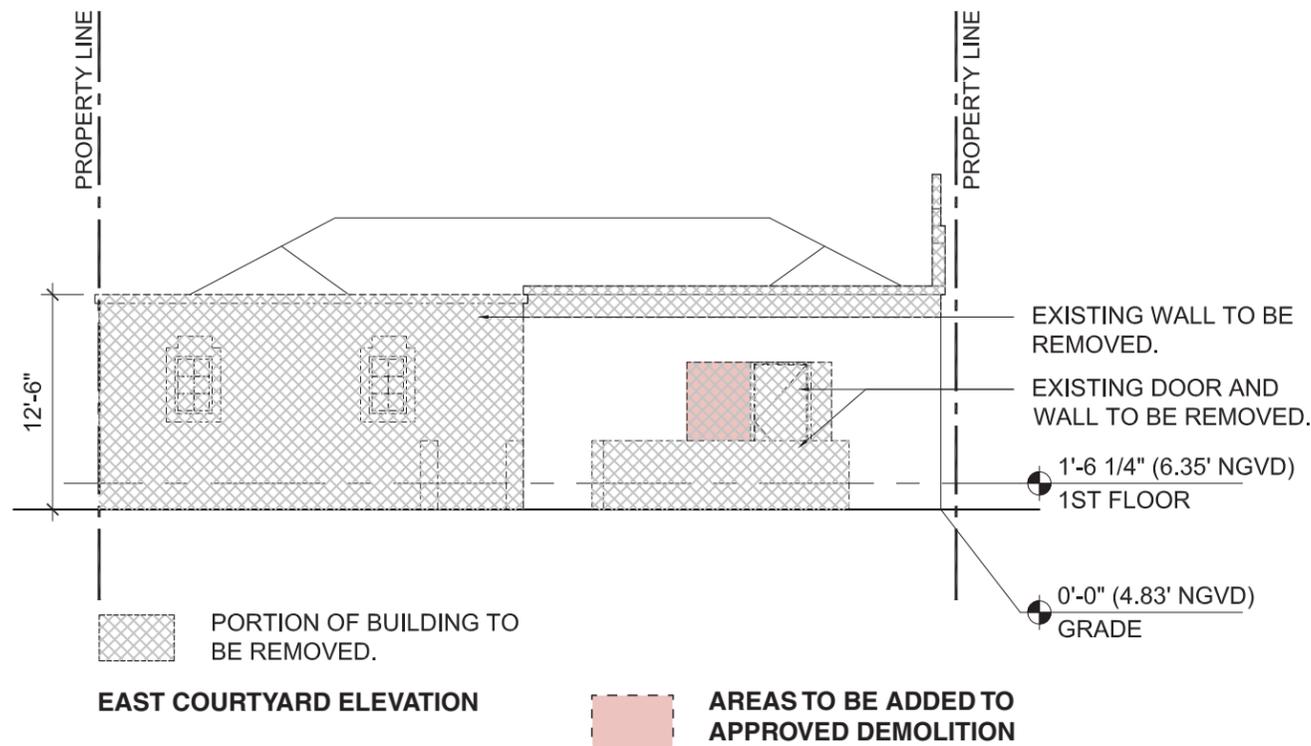
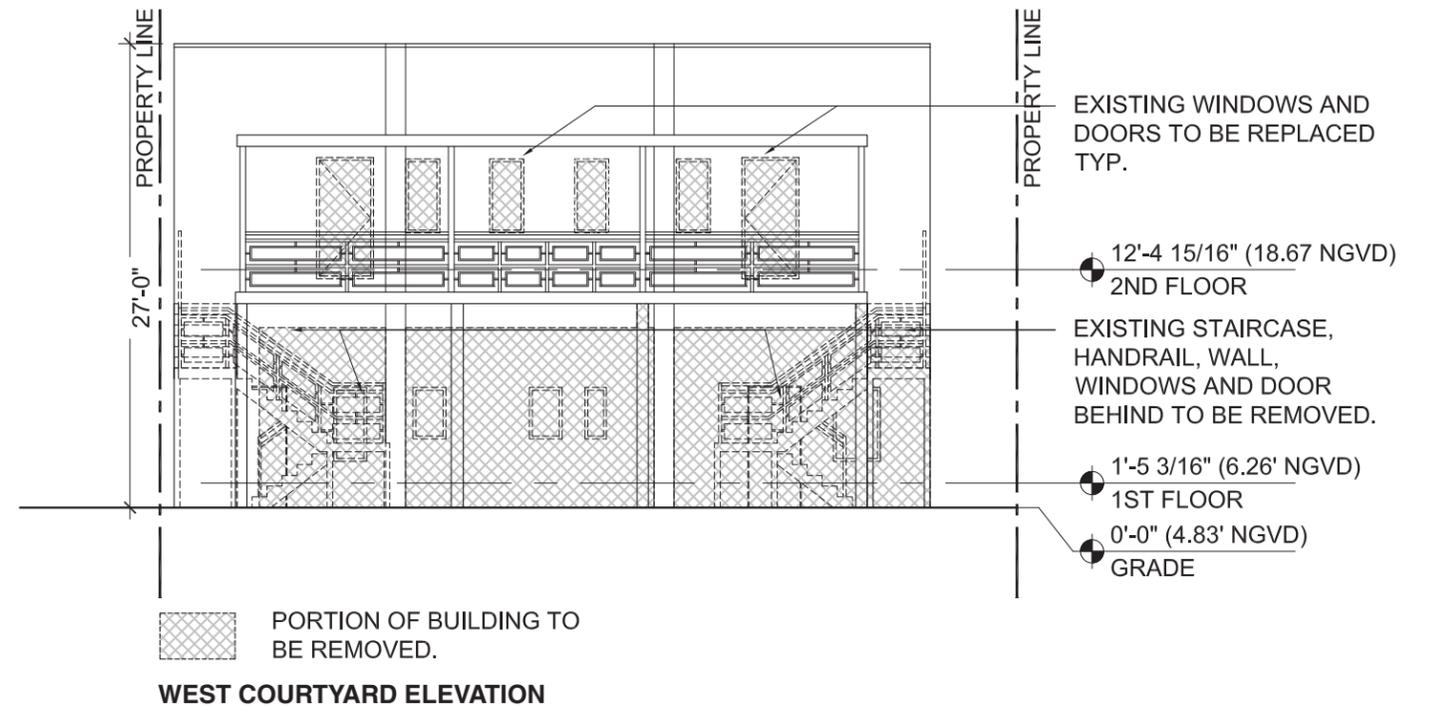
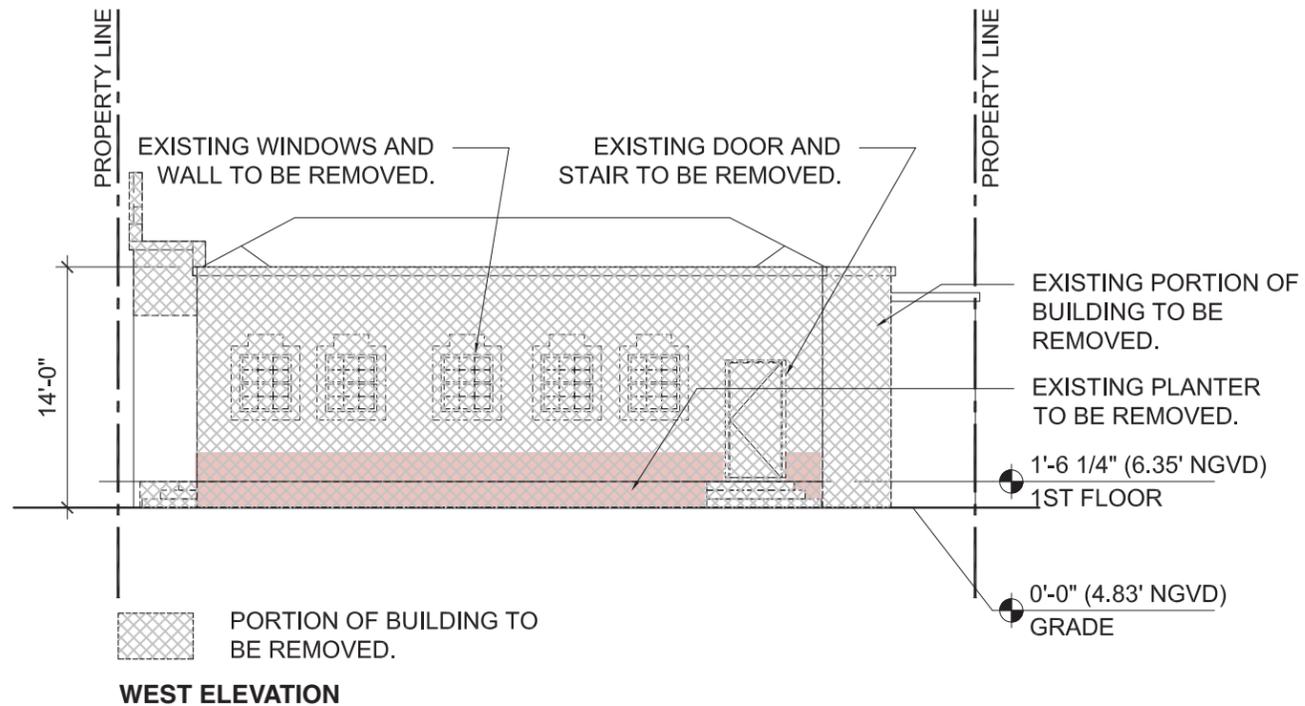


NORTH ELEVATION

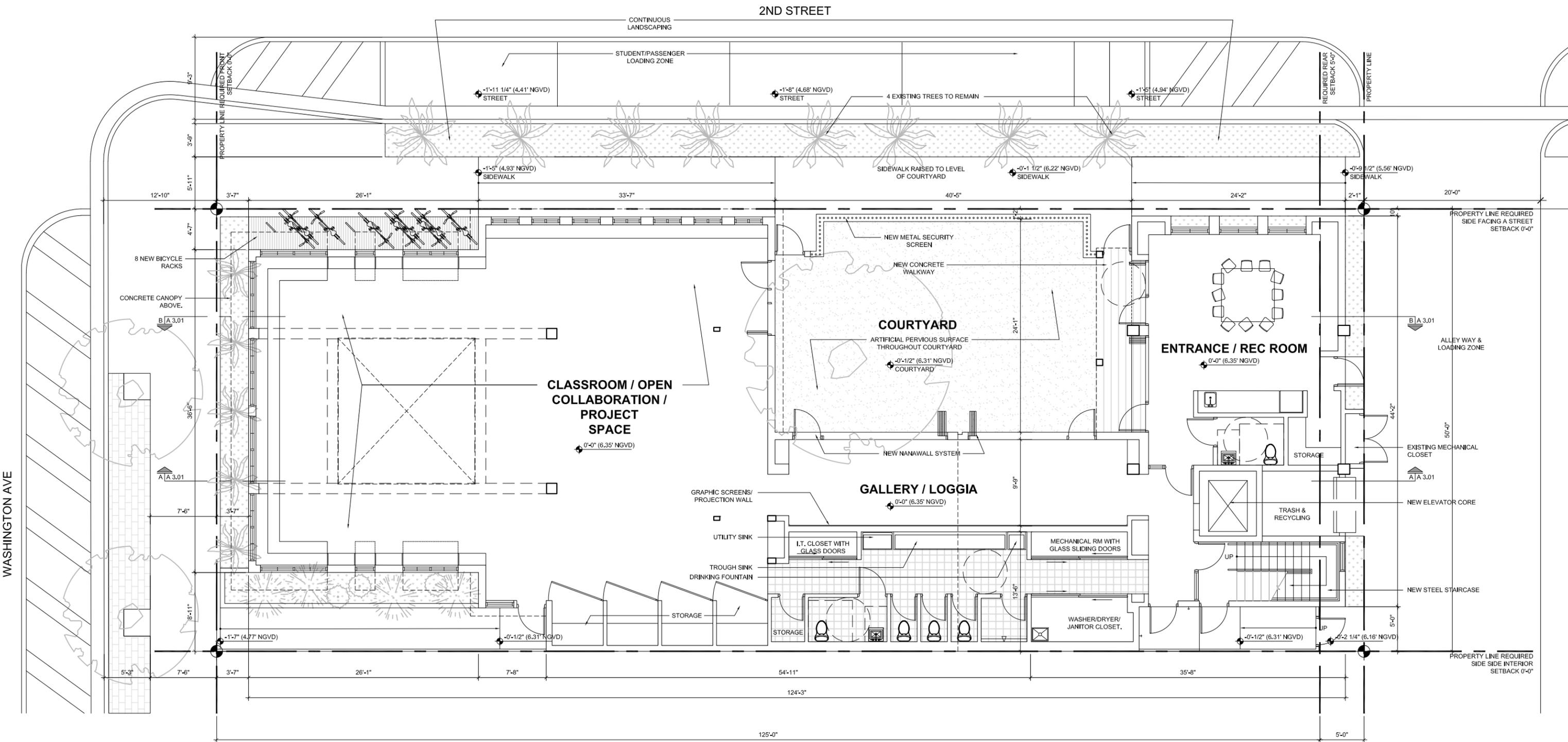


SOUTH ELEVATION

D-1.04 PROPOSED EAST AND WEST DEMO ELEVATIONS



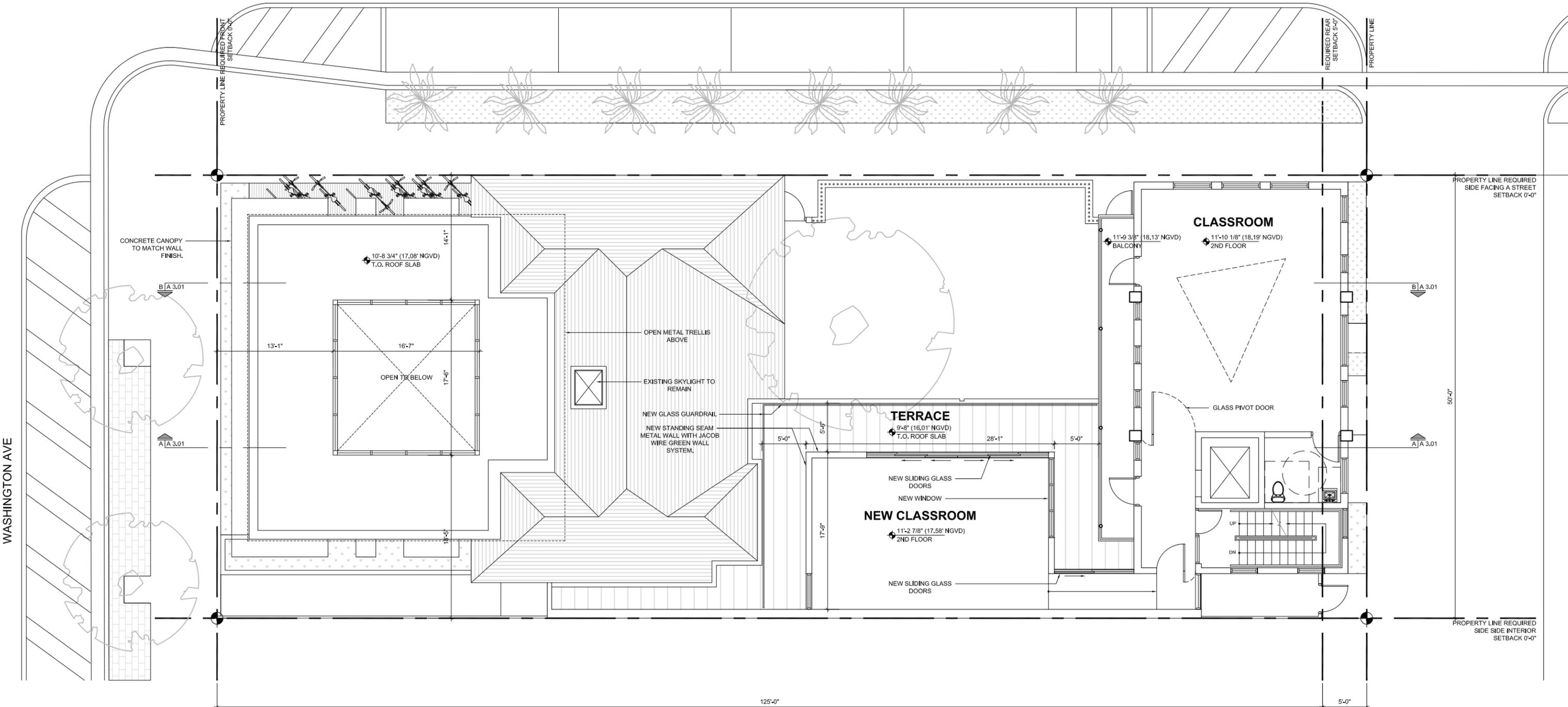
A-1.01 PROPOSED GROUND FLOOR PLAN



SCALE: 3/32" = 1'-0"

A-1.03 PROPOSED SECOND FLOOR PLAN

2ND STREET



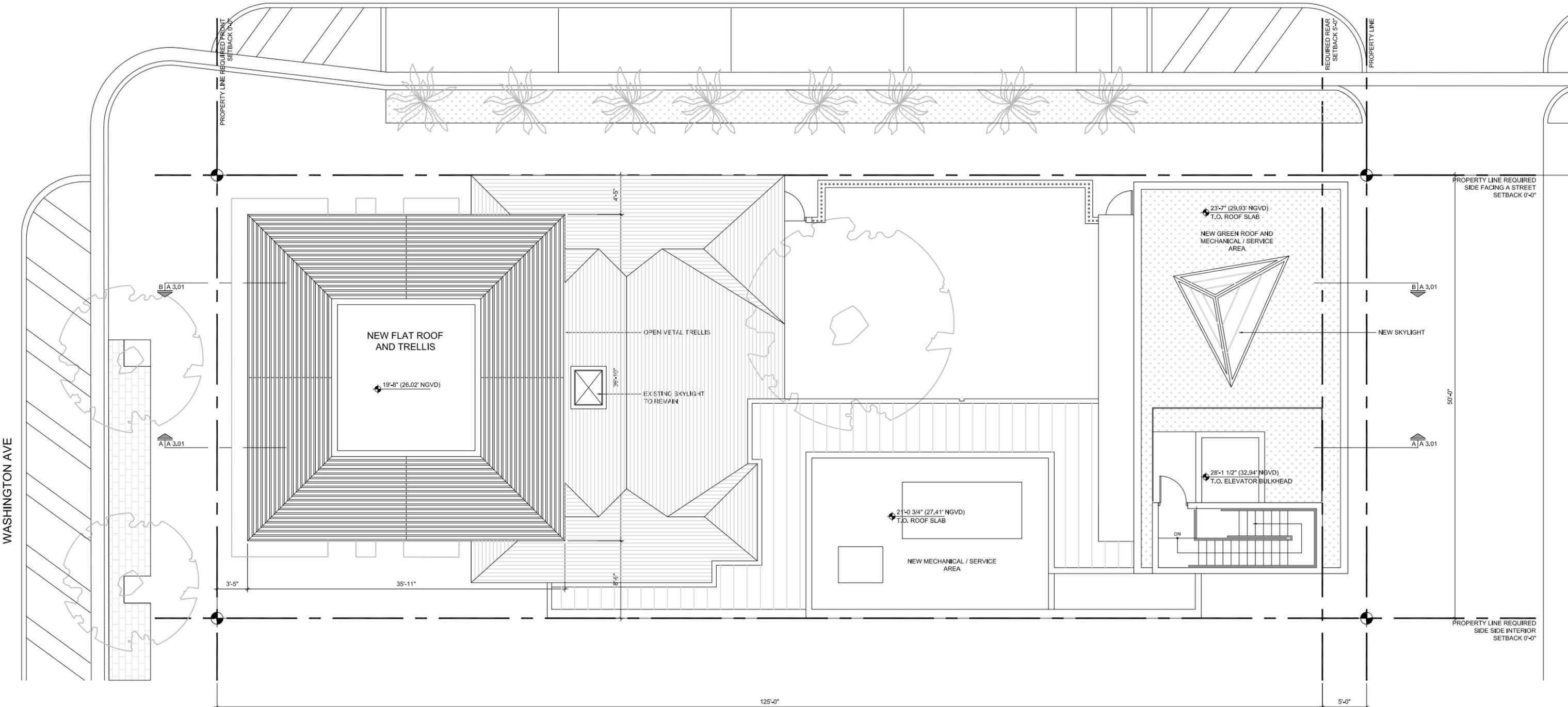
WASHINGTON AVE



SCALE: 3/32" = 1'-0"

A-1.04 PROPOSED THIRD FLOOR PLAN

2ND STREET



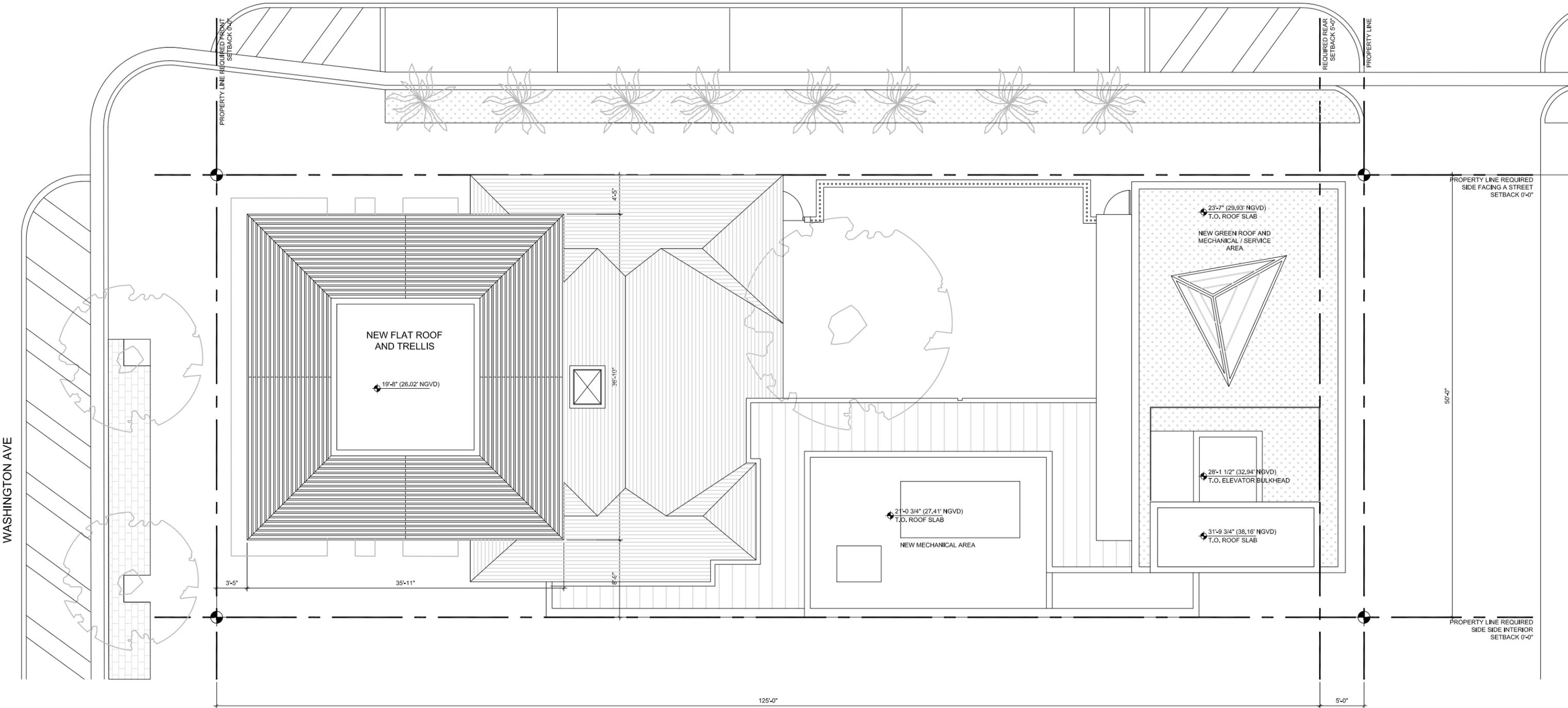
WASHINGTON AVE



SCALE: 3/32" = 1'-0"

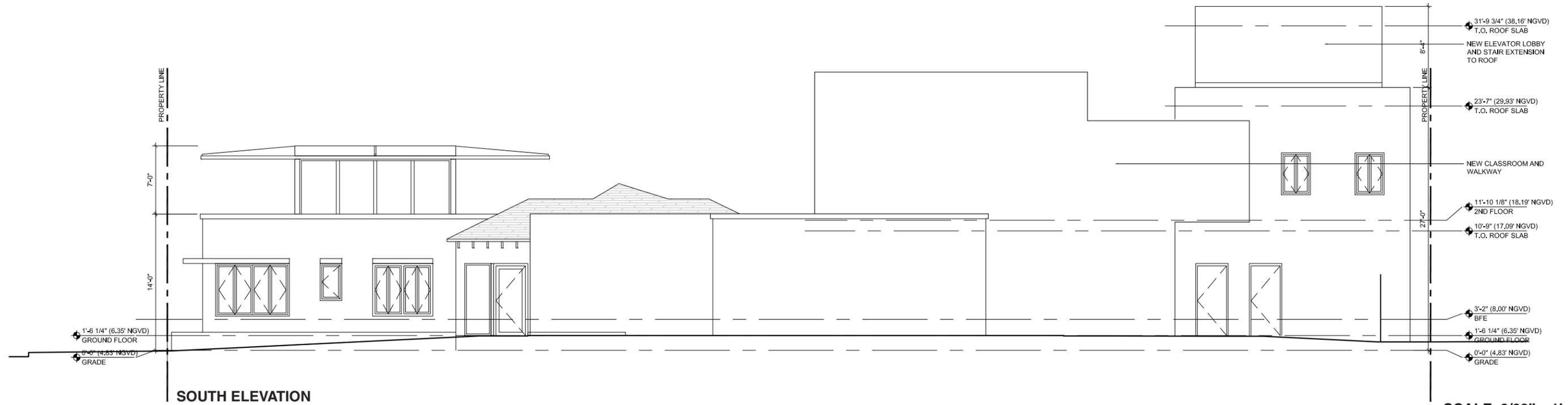
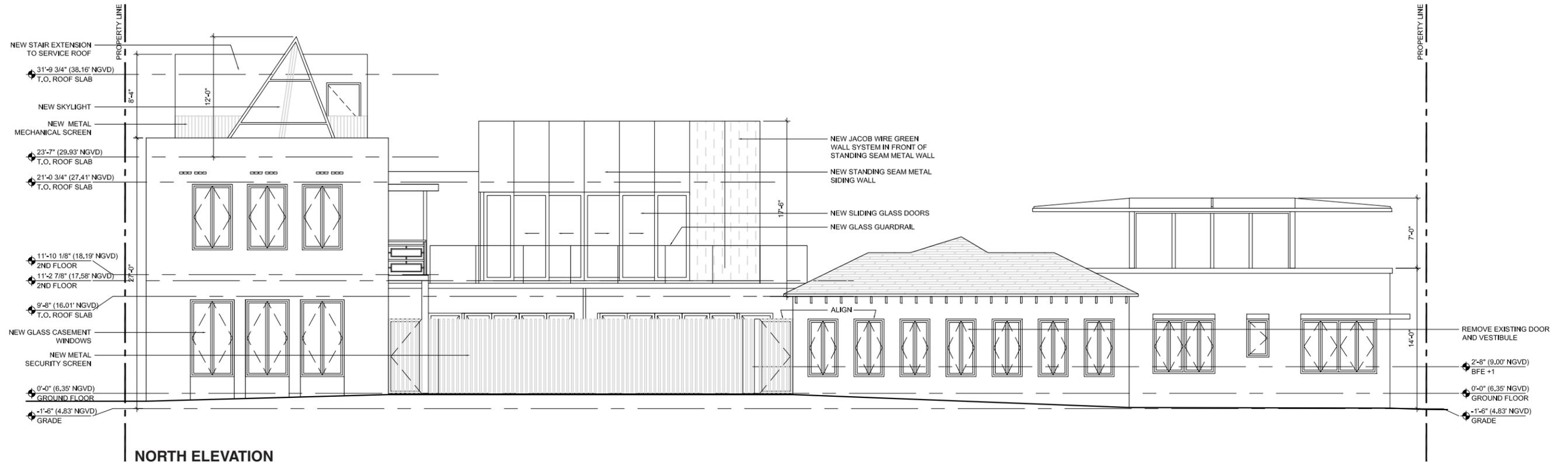
A-1.06 PROPOSED ROOF PLAN

2ND STREET



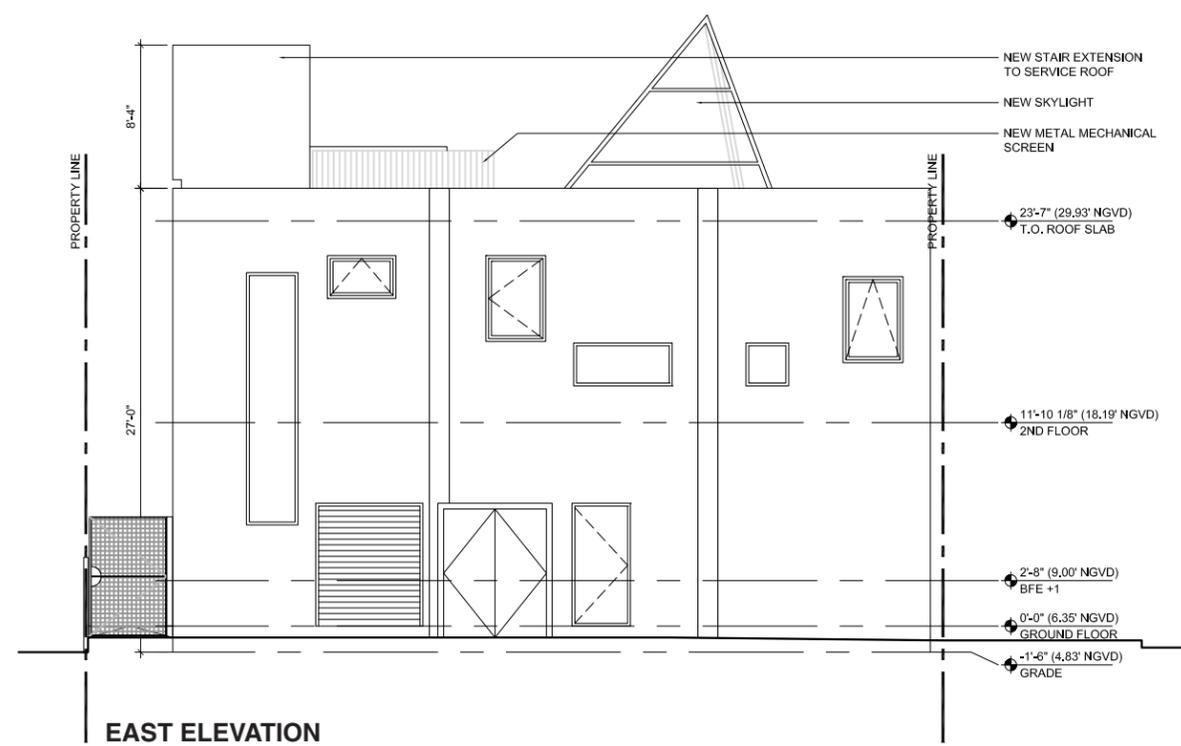
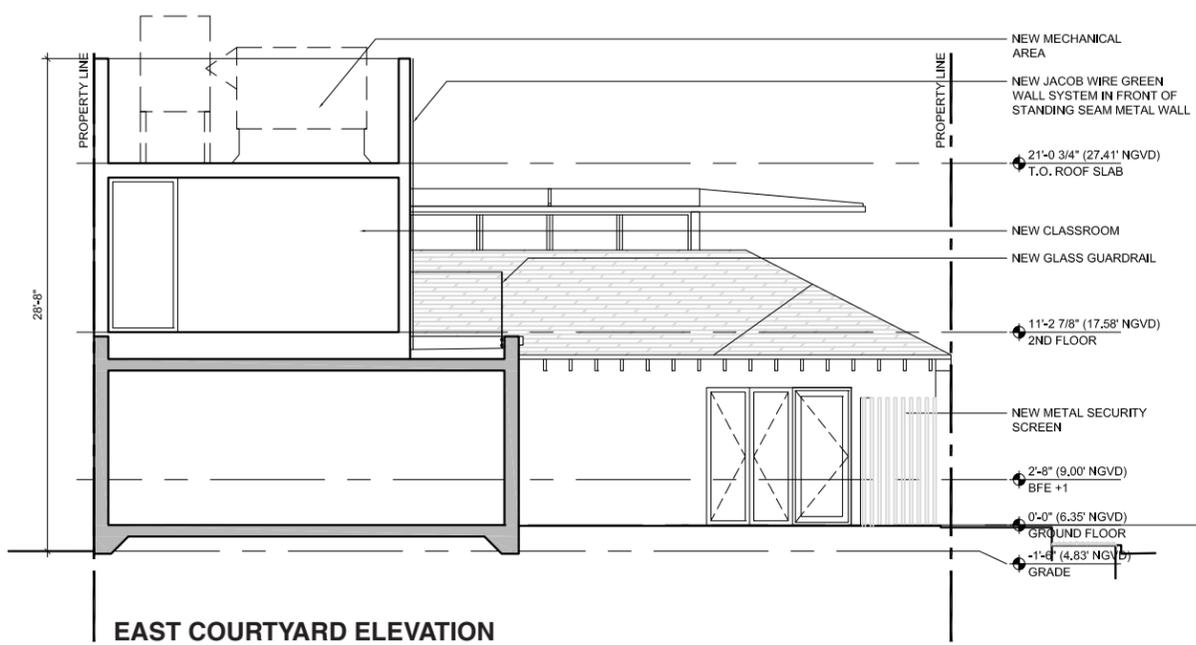
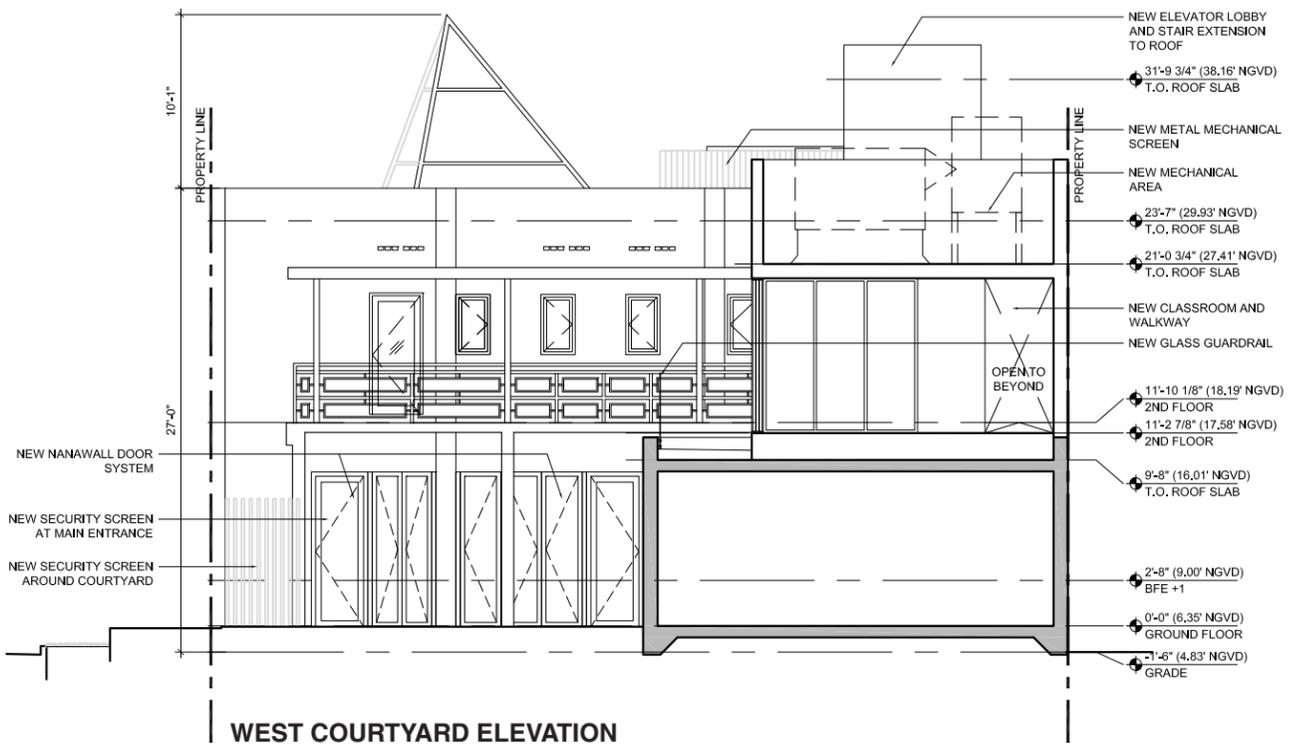
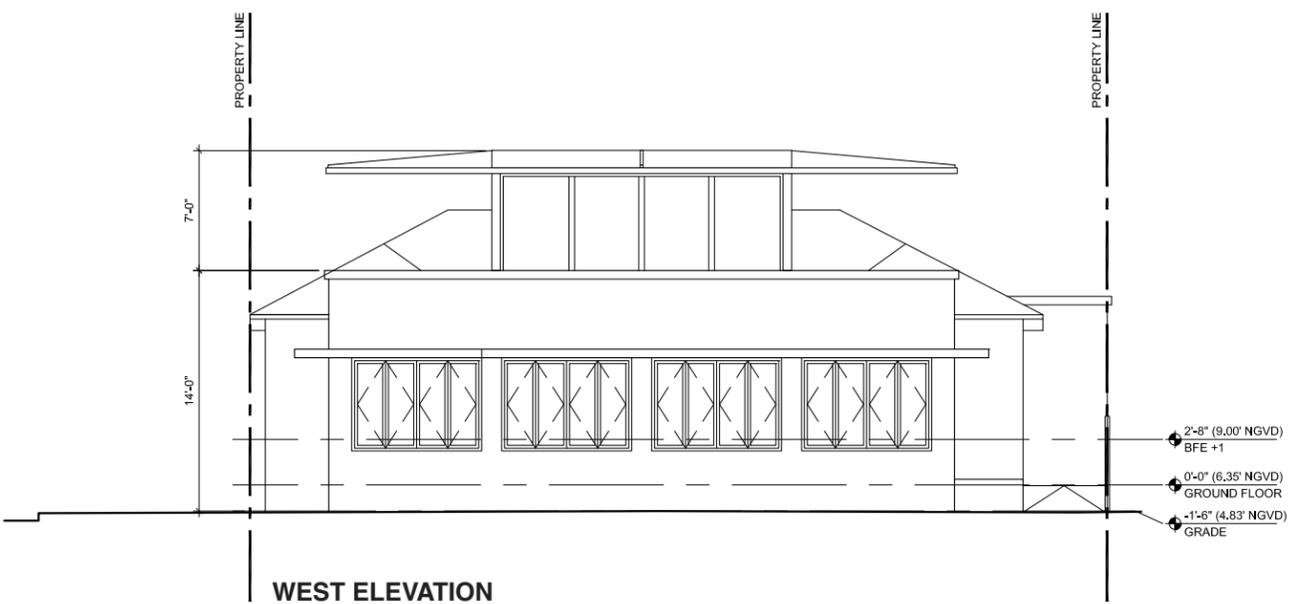
SCALE: 3/32" = 1'-0"

A-2.01 PROPOSED NORTH & SOUTH ELEVATION



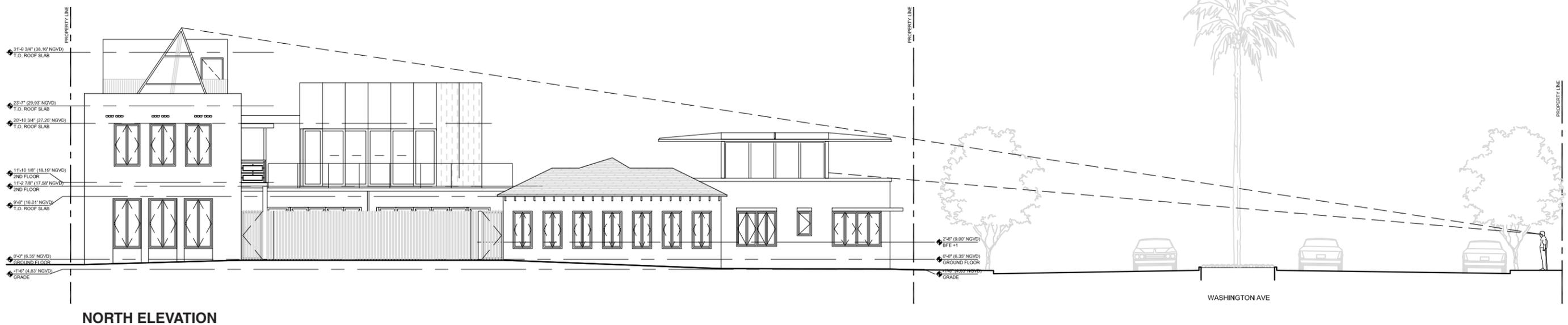
SCALE: 3/32" = 1'-0"

A-2.03 PROPOSED EAST & WEST ELEVATION

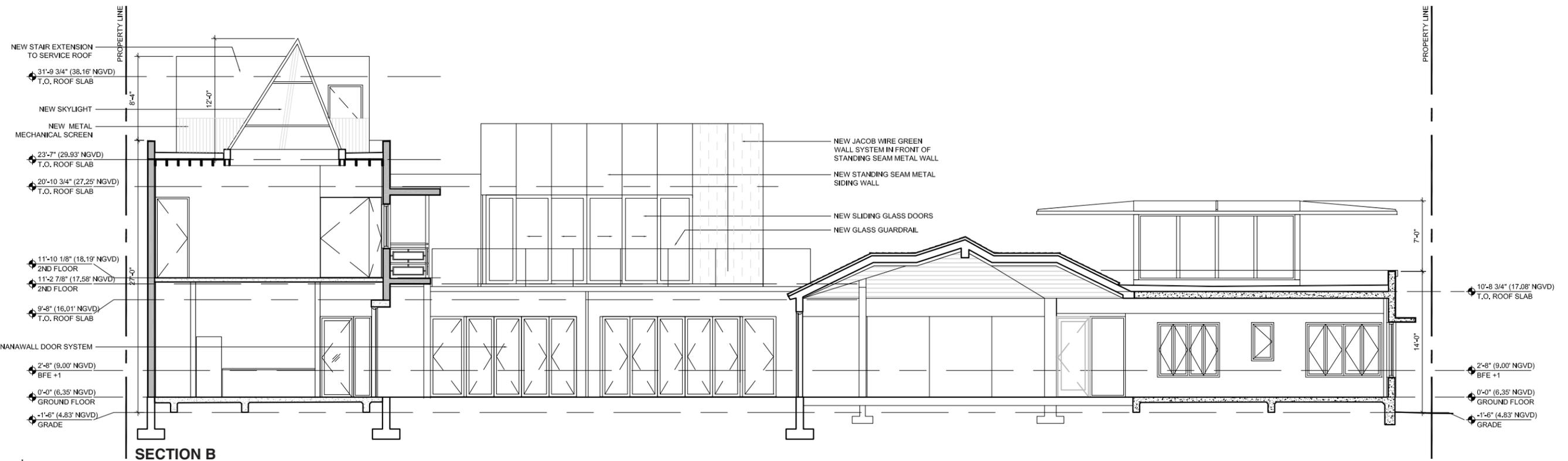
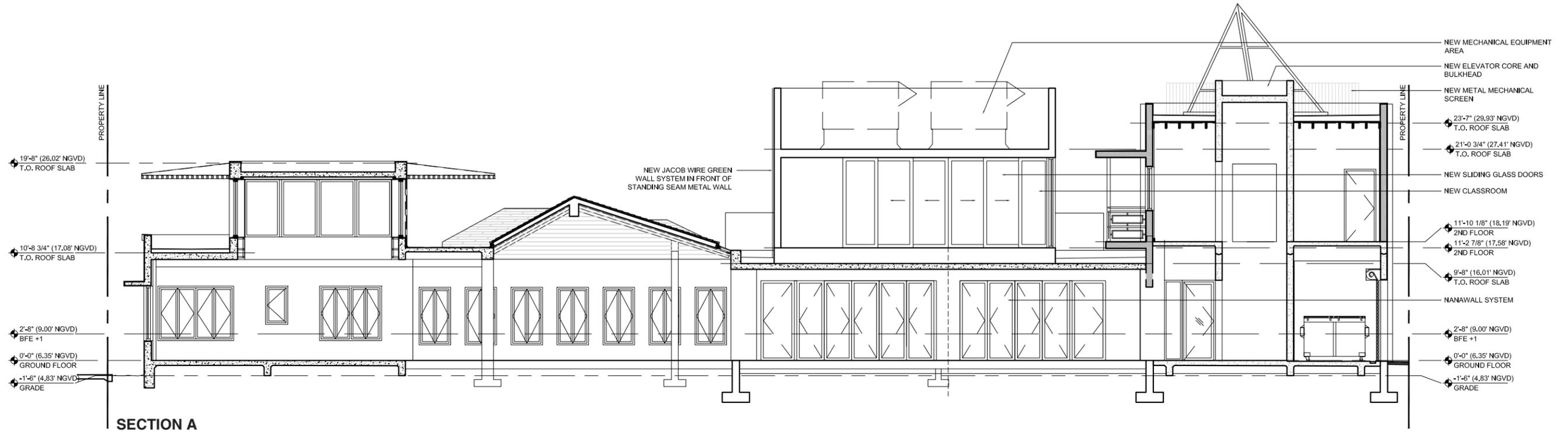


SCALE: 3/32" = 1'-0"

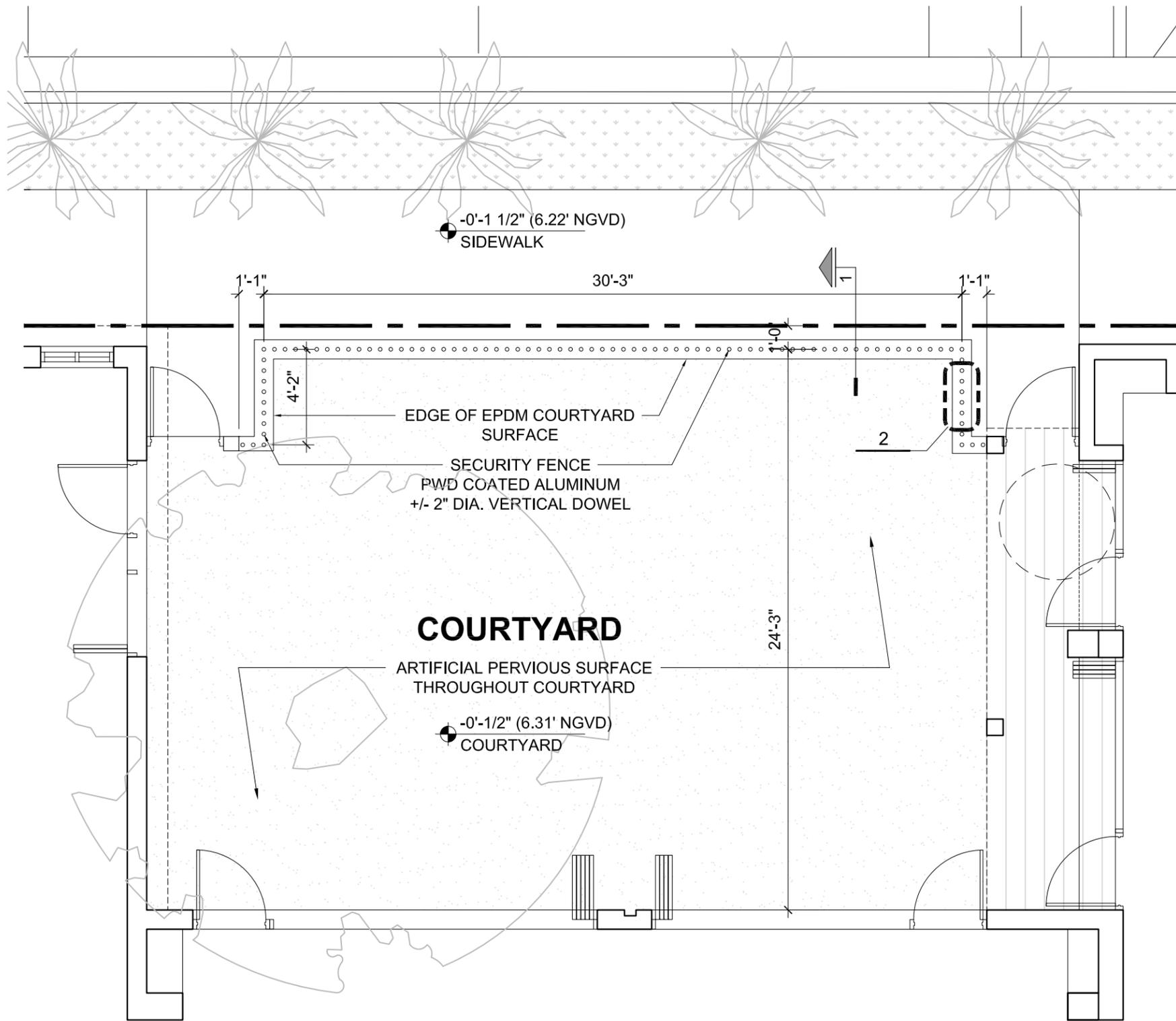
A-2.05 PROPOSED LINE OF SITE ANALYSIS



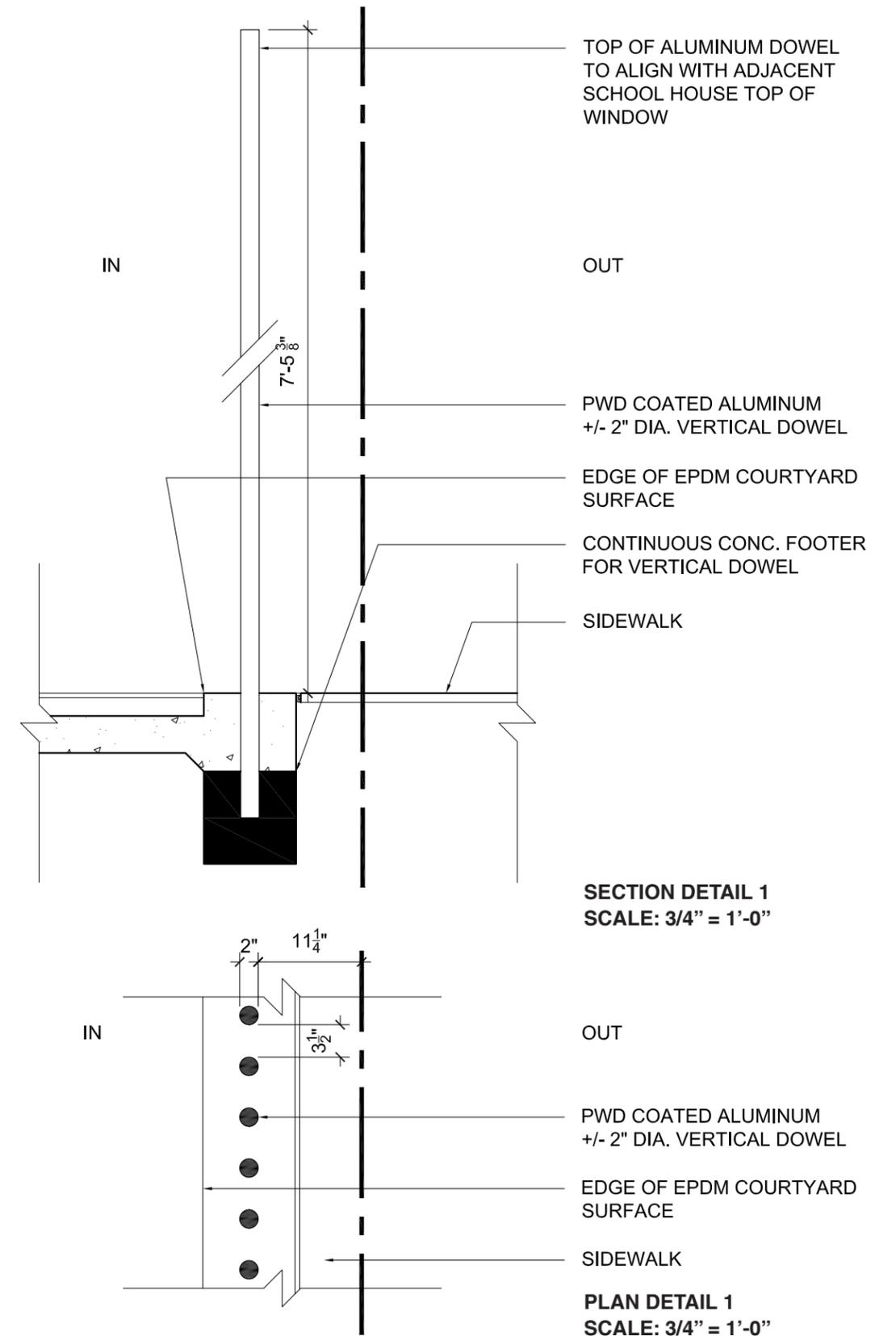
A-3.01 PROPOSED SECTION



A-3.02 PROPOSED SECURITY SCREEN DETAIL



PLAN
SCALE: 3/16" = 1'-0"



A-4.00 COURTYARD/2ND FLOOR ADDITION VIEW



A-4.01 PERSPECTIVE LOOKING SOUTH EAST



Shulman + Associates