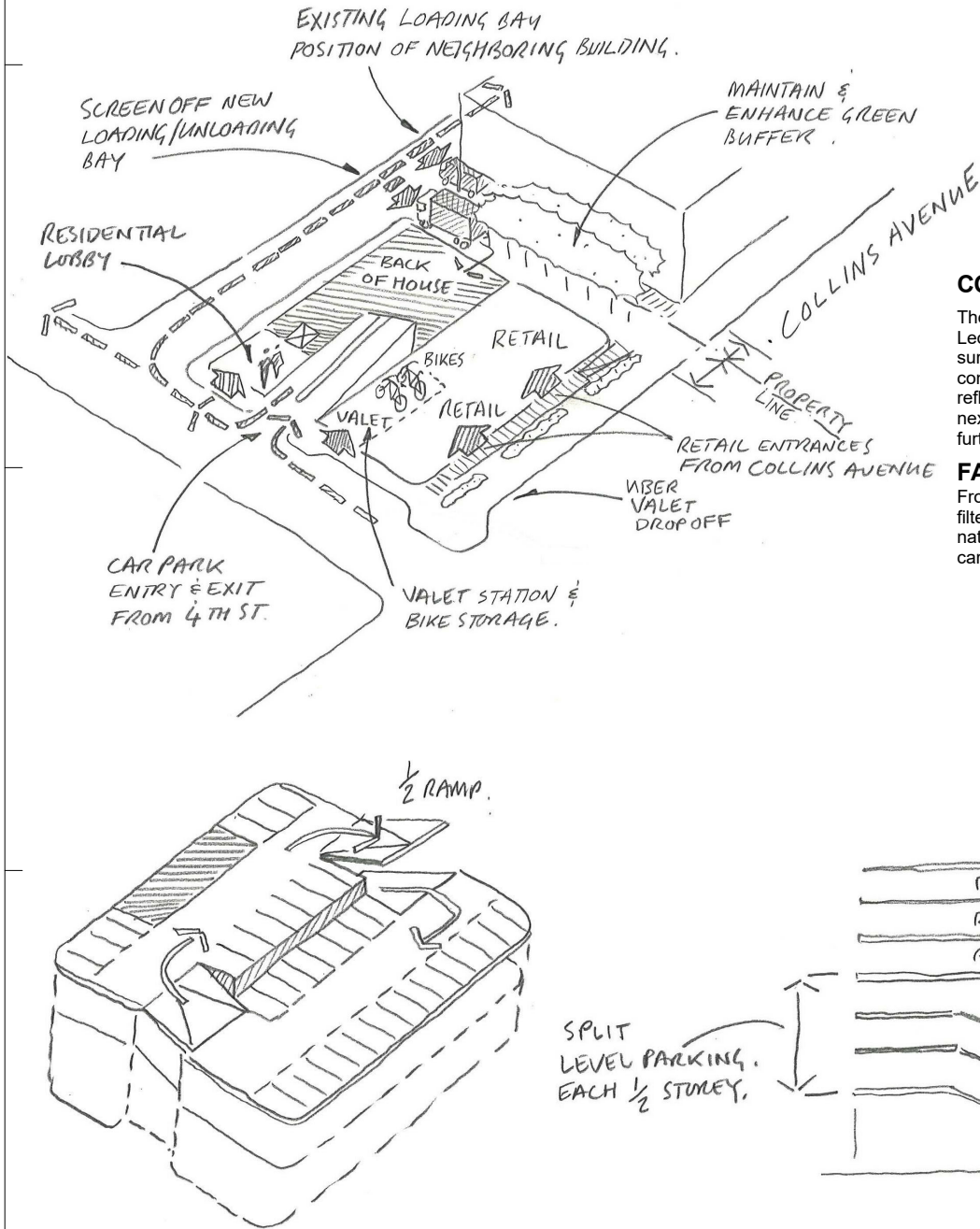


SITE & BUILDING DIAGRAM

The project is situated on the North West corner of Collins Avenue and 4th Street in Miami Beach. The lot area is 19,500 sq ft and is currently used as a primary purpose parking lot. The site is zoned as "mixed-use commercial" and is adjacent to residential zoning districts. The site is surrounded by ostensibly residential buildings- both single family homes and condominium buildings.

The project comprises 7,913 sq ft of ground floor retail including a 64-seat restaurant and 4,200 sq ft of retail; 3-levels of primary use public parking with 27 designated residential spaces, valet and self-parking for the restaurant and retail, along with other non-designated spaces, in all totaling 120 parking spaces (A full traffic impact report has been undertaken).

Above the 3-level parking structure, set back from each lot line and set within generously landscaped terraced gardens, there are a further 3-levels of prime residential development comprising of 15- condominium family apartments between 722 NSF - 1,625 NSF per dwelling.

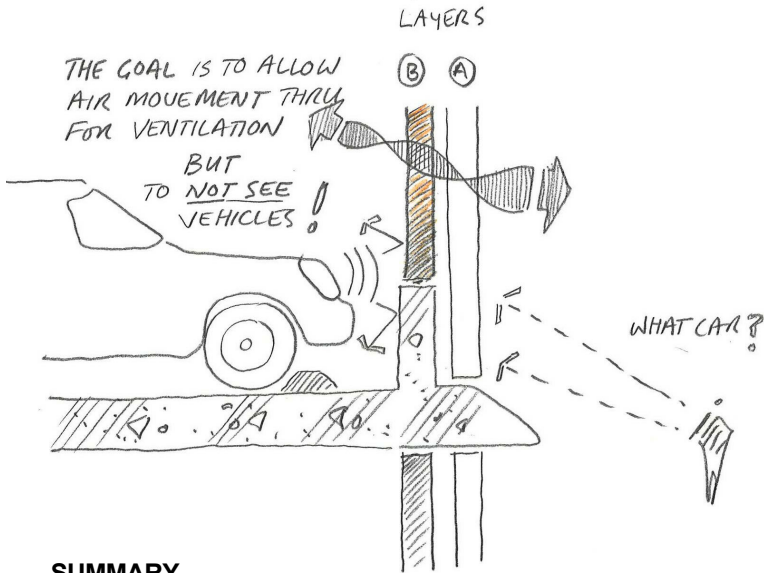
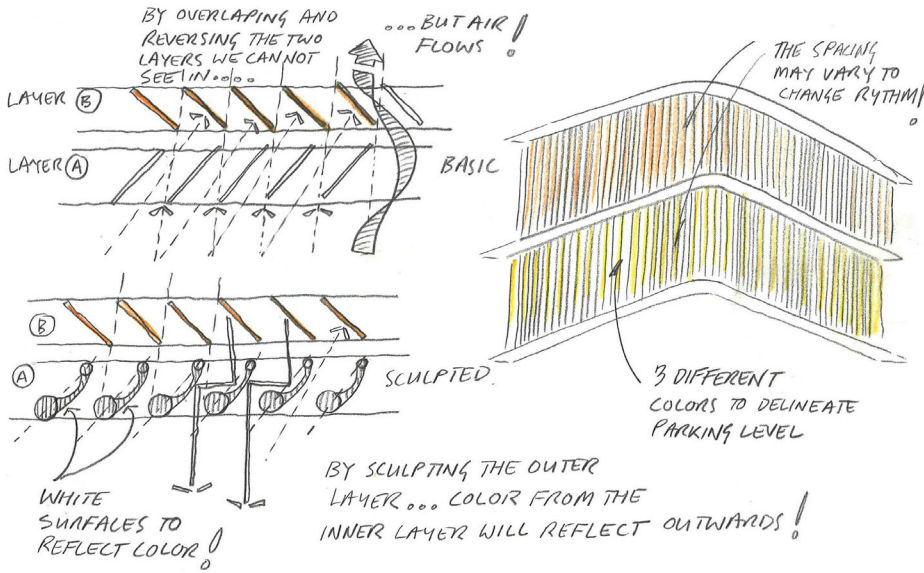


CONTEXT & DESIGN CONCEPT

The OCEAN BEACH PRESERVATION DISTRICT is known for its deco residential buildings and the use of a curated color palette championed by Leonard Horowitz and Barbara Capitan in the late 1970's. Taking cues from the surrounding deco architectural language, featuring both white surfaces and pastel colors, "eyebrow" horizontal features and curvilinear forms, the Torino Car Park project creates a subtle and delicate contemporary architectural response, where the scale of each parking level has been broken down to form a changing color wave of direct, reflected and obscured shades from white to magenta. The eye of the observer is drawn to an ever-varied mix of color, each floor different from the next and the intensity of color changing according to vantage point. The custom vertical white rods at times are spaced close apart and at others further apart, creating an abstract and interactive experience depending upon the viewpoint, the time of day or with seasonal weather fluctuations.

FAÇADE

From the inside, the inner wall of the façade design has been designated a different color according to each level. The play of filtered light from outside to inside will create a unique user experience setting the project apart from the usual perfunctory nature of parking structures. The façade design has also been ingeniously designed to shield the penetration of direct light from car headlamps to the exterior, as well as to mitigate against noise from automobiles emanating from within.



SUMMARY

In summary, the aims of the project are to respect the character, scale and spirit of the OCEAN BEACH PRESERVATION DISTRICT, whilst creating an uplifting and joyous piece of contemporary architecture that appears as a welcome and appropriate addition to the district from now and into the future. The changing nature of the façade with its subtle and sophisticated play of light and color will interact with passersby and residents of the neighborhood, providing an engaging connection to the built environment.

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savory Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Starlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcala
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE CHECKED BY

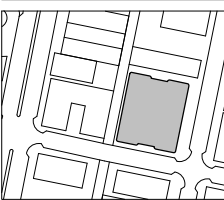
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION

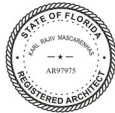


SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019

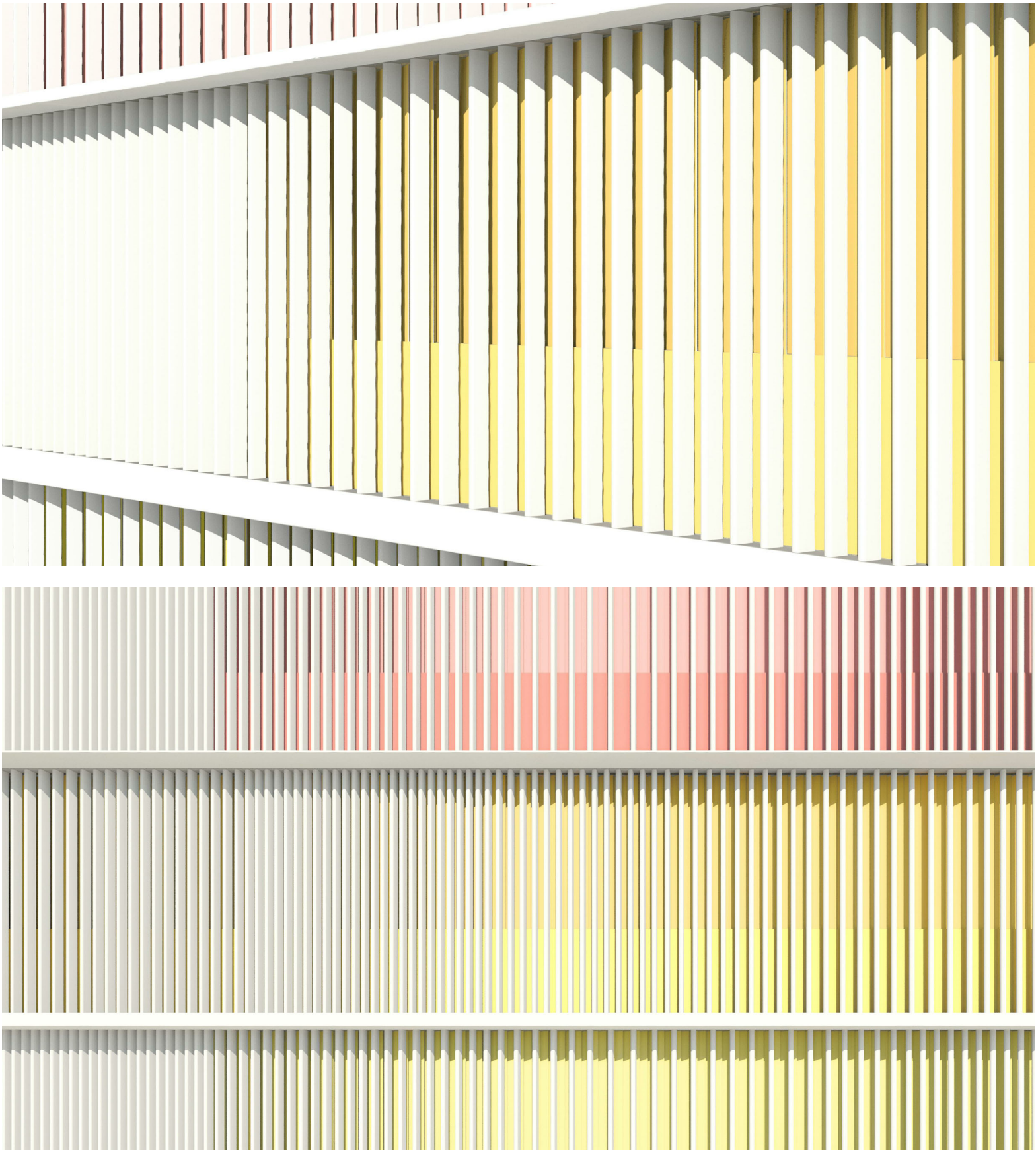


DRAWING TITLE

HPB A-073

PROPOSED BUILDING -
NARRATIVE

ARCH D 36"x24"



PERSPECTIVE - CLOSE-UP OF FACADE FIN SYSTEM

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5946

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrie Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE

04/15/19

DRAWN BY

-

SCALE

-

CHECKED BY

-

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

DRAWING TITLE

HPB A-074

PROPOSED BUILDING - PERSPECTIVES

NOT FOR CONSTRUCTION

ARCH D 36"x24"



PERSPECTIVE - CLOSE-UP - LOOKING UP AT THE FACADE FROM STREET LEVEL

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC

c/o Allied Partners

770 Lexington Ave

17th Floor

New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP

375 Park Avenue, Suite 3308

New York, NY 10152

License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone

800 Brickell Avenue, 6th Floor

Miami, FL 33131

MEP Engineer:

Stanlec

3915 Biscayne Blvd, Suite 401

Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.

8660 W. Flagler Street, Suite 113

Miami, FL 33144

Geo-tech Engineer:

Langan

15150 NW 79th Court, Suite 200

Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.

260 Palermo Avenue

Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.

40 NW 3rd Street, Suite 1102

Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.

8201 Peters Road, Suite 1000

Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.

973-C Russell Avenue

Galthersburg, MD 20879

Landscape Architect:

Naturaliffical, Inc.

6915 Red Road, Suite 224

Coral Gables, FL 33143

Contact: Andree Arcila

O: 786.717.6564 / M: 305.321.2341

Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE

04/15/19

DRAWN BY

-

SCALE

-

CHECKED BY

-

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

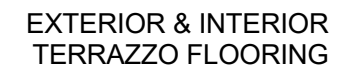
© Brandon Haw Architecture LLP 2019

DRAWING TITLE

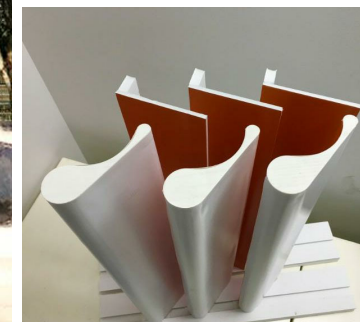
HPB A-075

PROPOSED BUILDING - PERSPECTIVES

NOT FOR CONSTRUCTION



SATIN WHITE &
MULTI-COLORED ALUMINUM
FIN FACADE



TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

Structural Engineer:
DeSimone
8030 Biscayne Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanley
1915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:
SLS Consulting, Inc.
260 Palmetto Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Hains & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Dusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
97-C Russell Avenue
Guthrieburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
Q 791-6564 / M 305.321.2341
Firm Reg. No. LC268000548

[illegible]

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



NOT FOR CONSTRUCTION

ARCH D 36"x24"

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

--- BOUNDARY OF 2'-5 1/2" TALL CONTINUOUS CONCRETE FLOOD PROOF CURB WALL (ALL DOORS AT WALL OPENINGS ARE EITHER FIT WITH DEMOUNTABLE FLOOD BARRIER PANELS OR ARE FLOOD PROOF.)

DEMOUNTABLE FLOOD BARRIER PANELS

1 BP - LEVEL 01
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Dusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE CHECKED BY

As indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

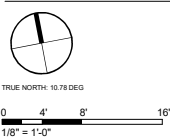
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-111

BUILDING PLAN - LEVEL 1

GROUND

NOT FOR CONSTRUCTION

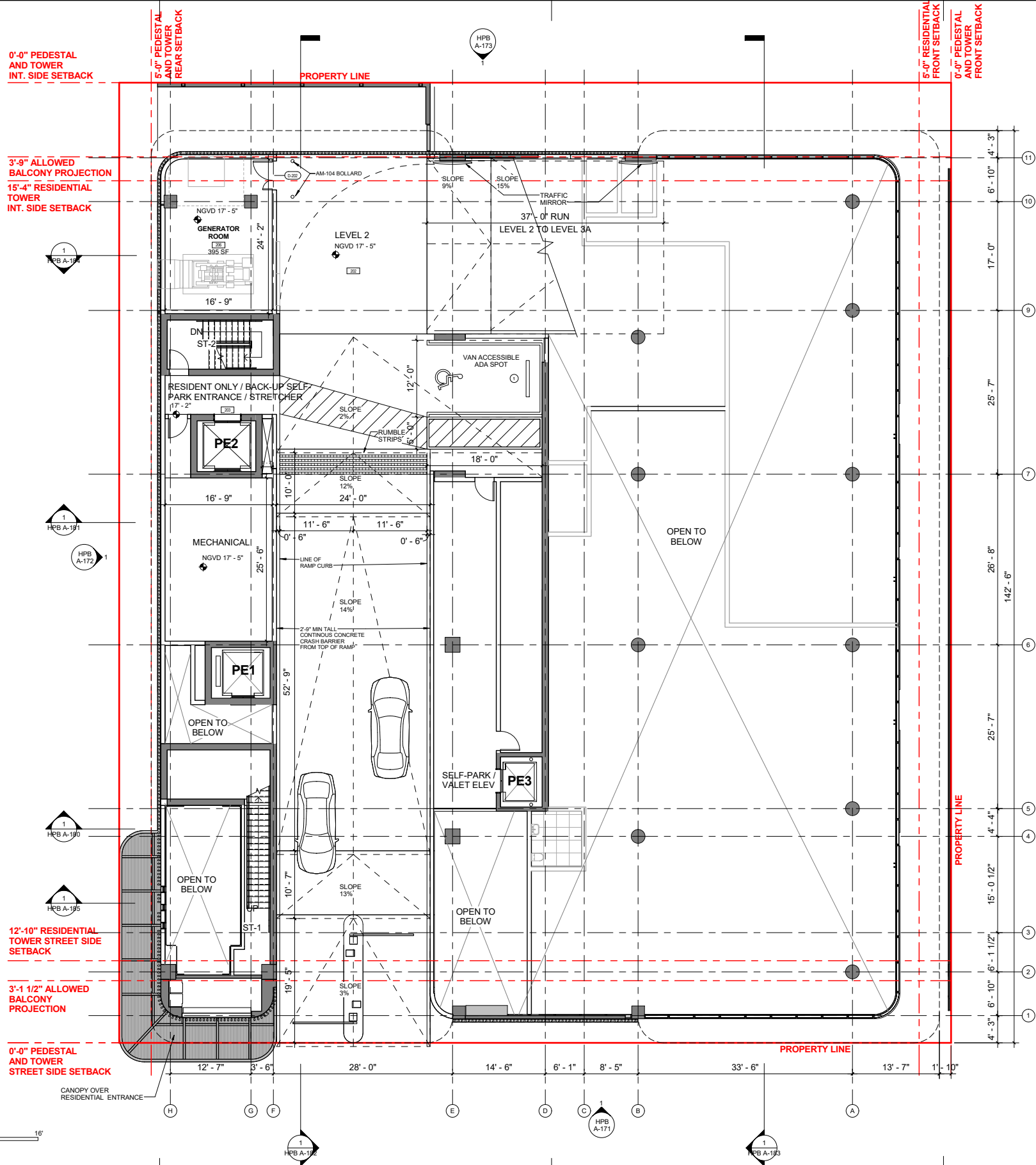
ARCH D 36"x24"

PARKING COUNT			
LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND	
	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0"
	ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

1 BP - LEVEL 02
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Dusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE

As indicated

CHECKED BY

PROJECT NO. & TITLE

1507 TORINO GARAGE

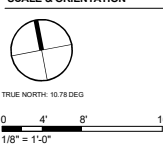
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-112

BUILDING PLAN - LEVEL 2

NOT FOR CONSTRUCTION

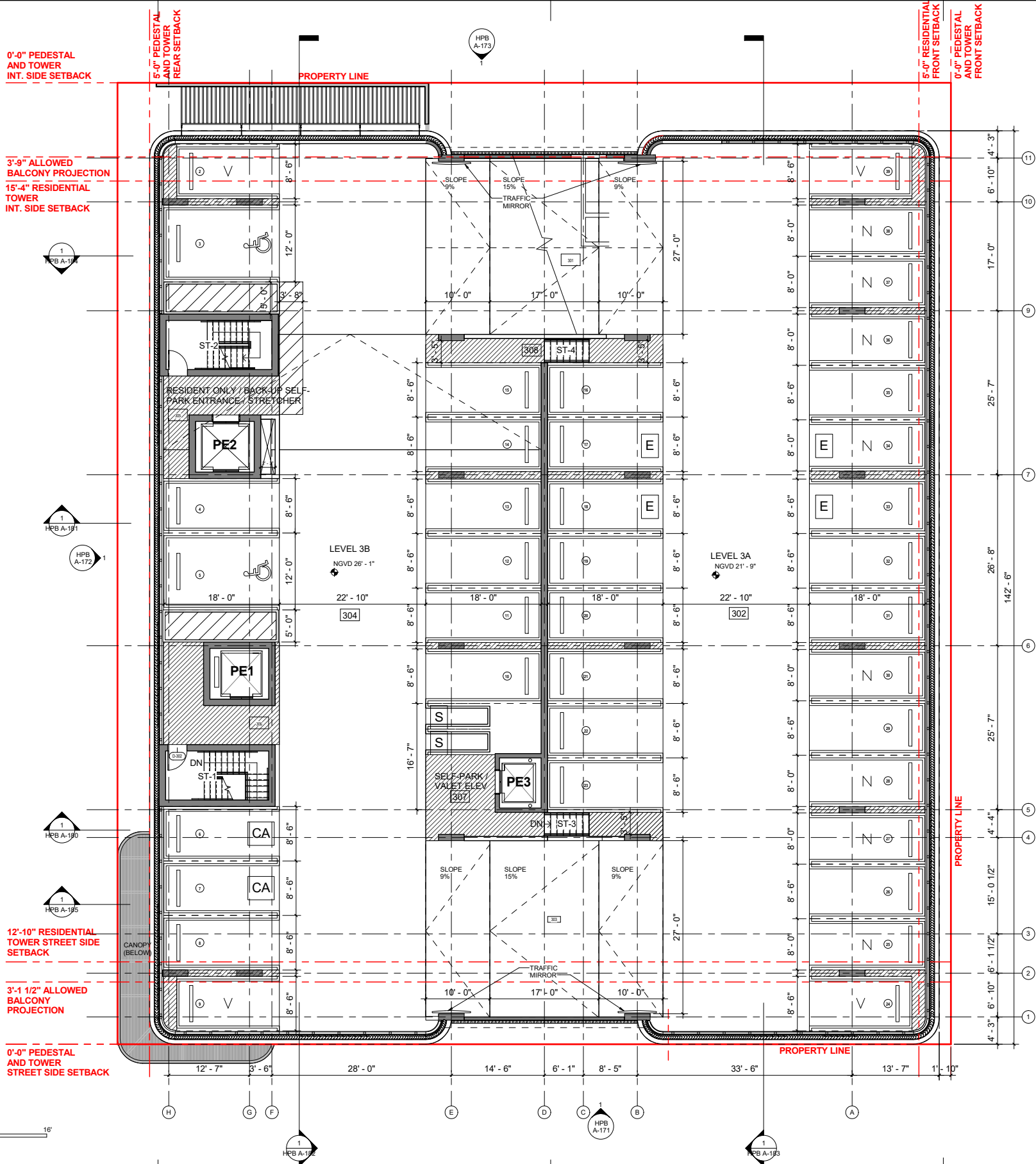
ARCH D 36"x24"

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



1 BP - LEVEL 03
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE

As indicated

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG
0 4' 8' 16'
1/8" = 1'-0"

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-113

BUILDING PLAN - LEVEL 3

NOT FOR CONSTRUCTION

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5946

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE

As indicated

CHECKED BY

PROJECT NO. & TITLE

1507 TORINO GARAGE

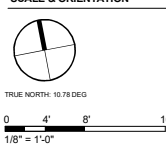
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019

DRAWING TITLE

HPB A-114

BUILDING PLAN - LEVEL 4

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0"
	ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

0'-0" PEDESTAL
AND TOWER
INT. SIDE SETBACK5'-0" PEDESTAL
AND TOWER
REAR SETBACK

PROPERTY LINE

5'-0" RESIDENTIAL
FRONT SETBACK
0'-0" PEDESTAL
AND TOWER
FRONT SETBACK3'-9" ALLOWED
BALCONY PROJECTION
15'-4" RESIDENTIAL
TOWER
INT. SIDE SETBACK

LEVEL 4B

NGVD 35' - 1 1/2"

LEVEL 4A

NGVD 30' - 9 1/2"

12'-10" RESIDENTIAL
TOWER STREET SIDE
SETBACK3'-1 1/2" ALLOWED
BALCONY
PROJECTION0'-0" PEDESTAL
AND TOWER
STREET SIDE SETBACK1 BP - LEVEL 04
1/8" = 1'-0"0 4' 8' 16'
1/8" = 1'-0"

NOT FOR CONSTRUCTION

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139**Owner:**
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165**Architect:**
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131**MEP Engineer:**
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737**Civil Engineer:**
VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144**Geo-tech Engineer:**
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948**Life Safety Consultant:**
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134**Parking Consultant:**
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128**Elevator Consultant:**
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324**Acoustic Consultant:**
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879**Landscape Architect:**
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrie Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-

SCALE	CHECKED BY
As indicated	-

PROJECT NO. & TITLE

1507 TORINO GARAGE

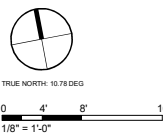
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-115

BUILDING PLAN - LEVEL 5

NOT FOR CONSTRUCTION

PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0"
	ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"

0'-0" PEDESTAL
AND TOWER
INT. SIDE SETBACK3'-9" ALLOWED
BALCONY PROJECTION
15'-4" RESIDENTIAL
TOWER
INT. SIDE SETBACK

HPB A-114

HPB A-111

HPB A-172

HPB A-190

HPB A-195

12'-10" RESIDENTIAL
TOWER STREET SIDE
SETBACK3'-1 1/2" ALLOWED
BALCONY
PROJECTION0'-0" PEDESTAL
AND TOWER
STREET SIDE SETBACK1 BP - LEVEL 05
1/8" = 1'-0"0 4' 8' 16'
1/8" = 1'-0"

HPB A-112

HPB A-171

HPB A-193

ARCH D 36"x24"

ROOFING NOTES

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE, THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4"-.12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMP IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL.
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

KEY

- ROOF DRAIN
- DECK DRAIN
- PLANTER DRAIN
- TRENCH DRAIN RAIN WATER LEADER
- SIDE OUTLET SCUPPER DRAIN
- TRENCH DRAIN

LEVEL 6 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
6A	722 NSF	479 NSF	1,201 NSF
6B	958 NSF	566 NSF	1,524 NSF
6C	1,283 NSF	237 NSF	1,520 NSF
6D	1,447 NSF	297 NSF	1,744 NSF
6E	1,623 NSF	1,485 NSF	3,108 NSF
TOTAL	6,033 NSF	3,064 NSF	9,097 NSF

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.
LINE OF 42" TALL BALUSTRADE

0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

3'-9" ALLOWED BALCONY PROJECTION
15'-4" RESIDENTIAL TOWER INT. SIDE SETBACK

12'-10" RESIDENTIAL TOWER STREET SIDE SETBACK

3'-1 1/2" ALLOWED BALCONY PROJECTION

0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

2 BP - LEVEL 06 - RESIDENTIAL
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROPERTY LINE

PROPERTY LINE

5'-0" RESIDENTIAL FRONT SETBACK
0'-0" PEDESTAL AND TOWER FRONT SETBACK

PLANTERS TO BE ANCHORED TO STRUCTURAL SLAB

FUTURE INTENSIVE LANDSCAPING (INACCESSIBLE)

RIVER ROCK EMBEDDED IN MESH INSET

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

LEVEL 06 ROOF EDGE

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5648

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrea Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE
04/15/19

DRAWN BY

SCALE
1/8" = 1'-0"

CHECKED BY

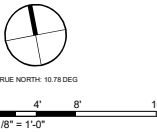
PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-116

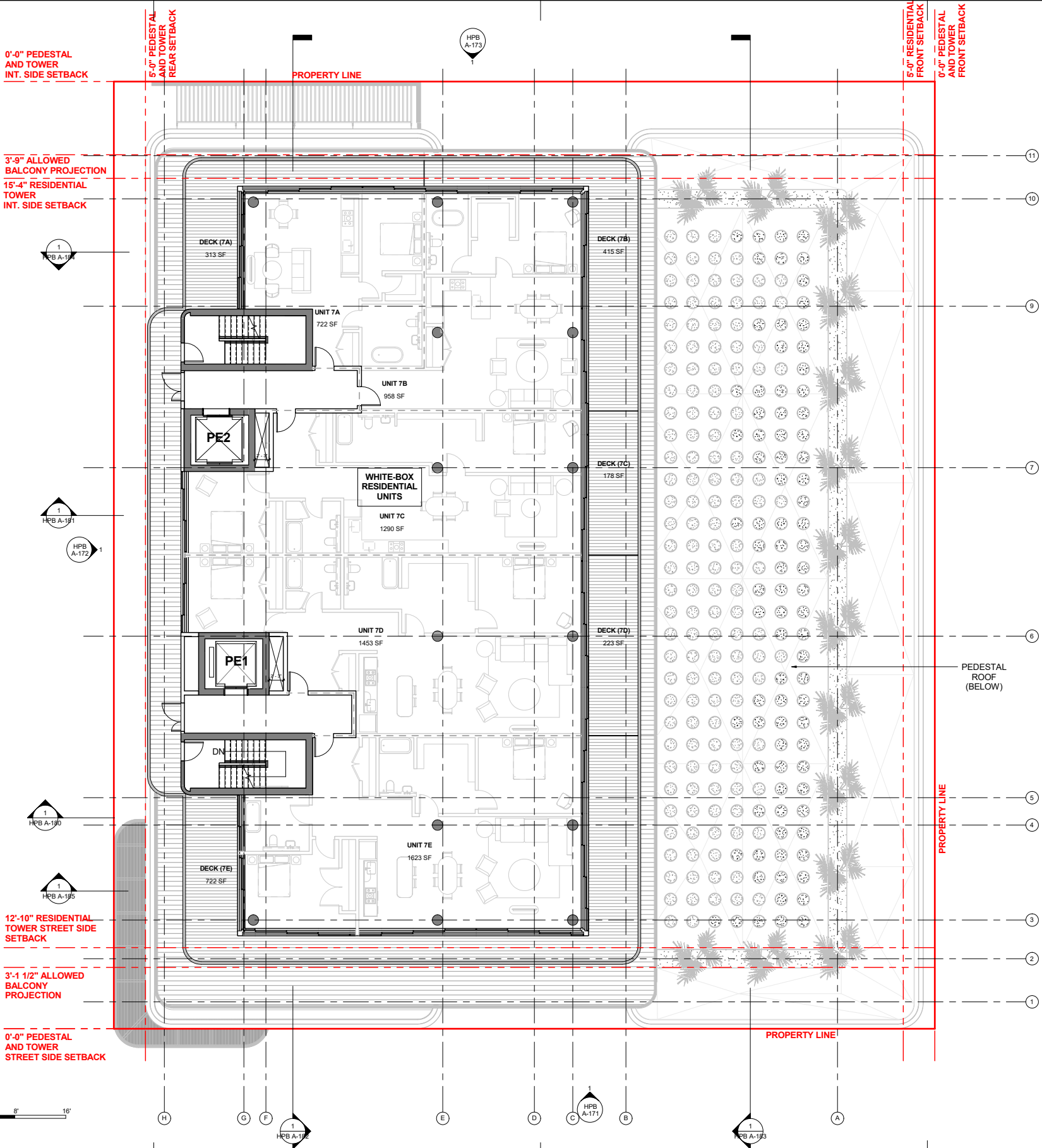
BUILDING PLAN - LEVEL 6 -
RESIDENTIAL 01

NOT FOR CONSTRUCTION

ARCH D 36"x24"

LEVEL 7 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
7A	722 NSF	313 NSF	1,035 NSF
7B	958 NSF	415 NSF	1,373 NSF
7C	1,290 NSF	178 NSF	1,468 NSF
7D	1,453 NSF	223 NSF	1,676 NSF
7E	1,623 NSF	722 NSF	2,345 NSF
TOTAL	6,046 NSF	1,851 NSF	7,897 NSF



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE **DRAWN BY**
04/15/19 -

SCALE **CHECKED BY**
1/8" = 1'-0" -

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

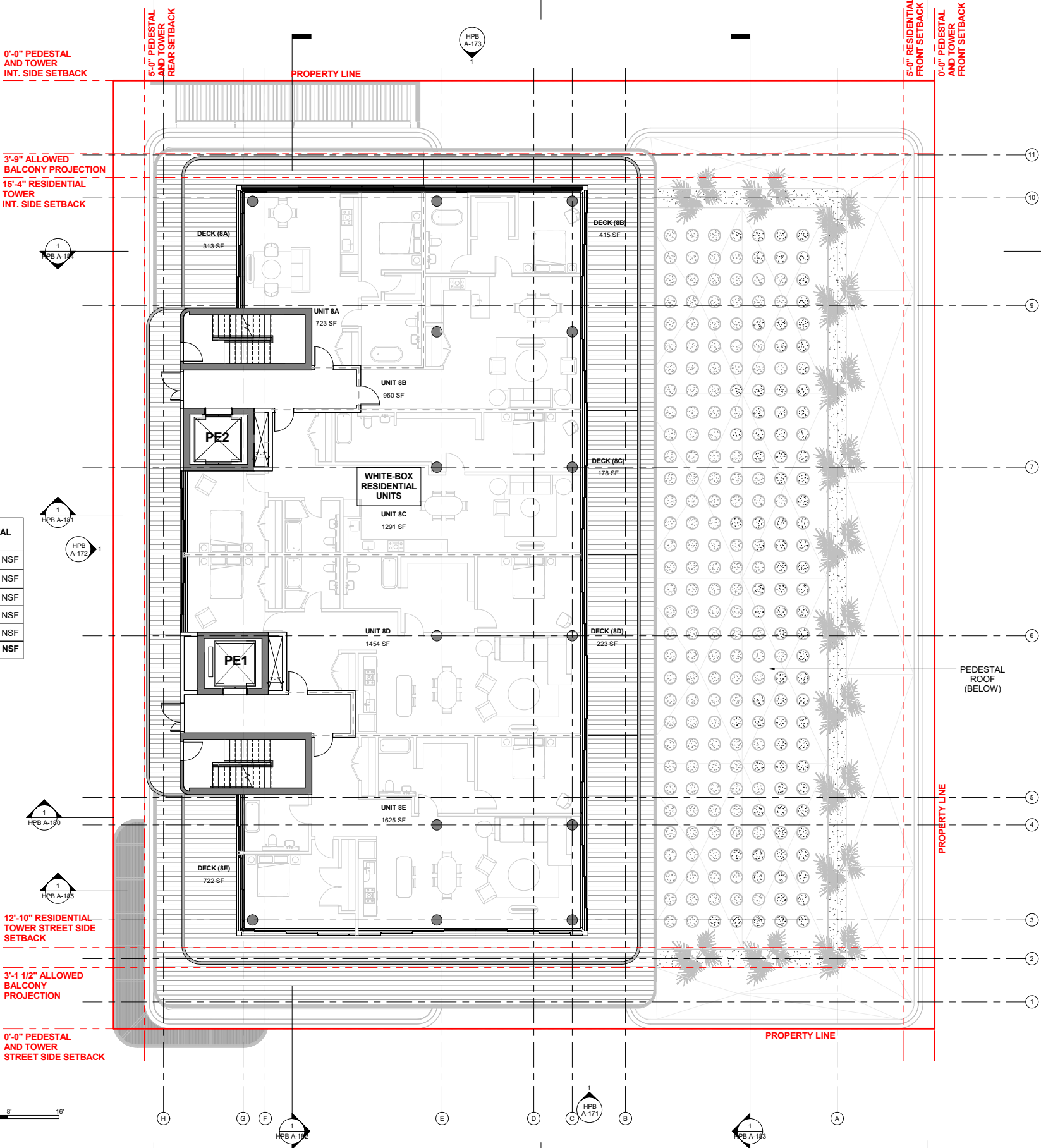
DRAWING TITLE
HPB A-117
BUILDING PLAN - LEVEL 7 -
RESIDENTIAL 02

NOT FOR CONSTRUCTION

ARCH D 36"x24"

LEVEL 8 UNITS

LEVEL	INTERIOR	EXTERIOR	TOTAL
8A	723 NSF	313 NSF	1,036 NSF
8B	960 NSF	415 NSF	1,375 NSF
8C	1,291 NSF	178 NSF	1,469 NSF
8D	1,454 NSF	223 NSF	1,677 NSF
8E	1,625 NSF	722 NSF	2,347 NSF
TOTAL	6,053 NSF	1,851 NSF	7,904 NSF



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139
Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165
Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131
MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737
Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144
Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646
Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134
Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128
Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324
Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879
Landscape Architect:
Naturaliff, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-118

BUILDING PLAN - LEVEL 8 -
RESIDENTIAL 03

NOT FOR CONSTRUCTION

ARCH D 36"x24"

ROOFING NOTES

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE. THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4":12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMPS IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL.
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. O.S. = OVERFLOW SCUPPER.
9. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

KEY

- ROOF DRAIN
- DECK DRAIN
- PLANTER DRAIN
- TRENCH DRAIN RAIN WATER LEADER
- SIDE OUTLET SCUPPER DRAIN
- TRENCH DRAIN

T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL BLACK OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

LINE OF 42" TALL GLASS BALUSTRADE

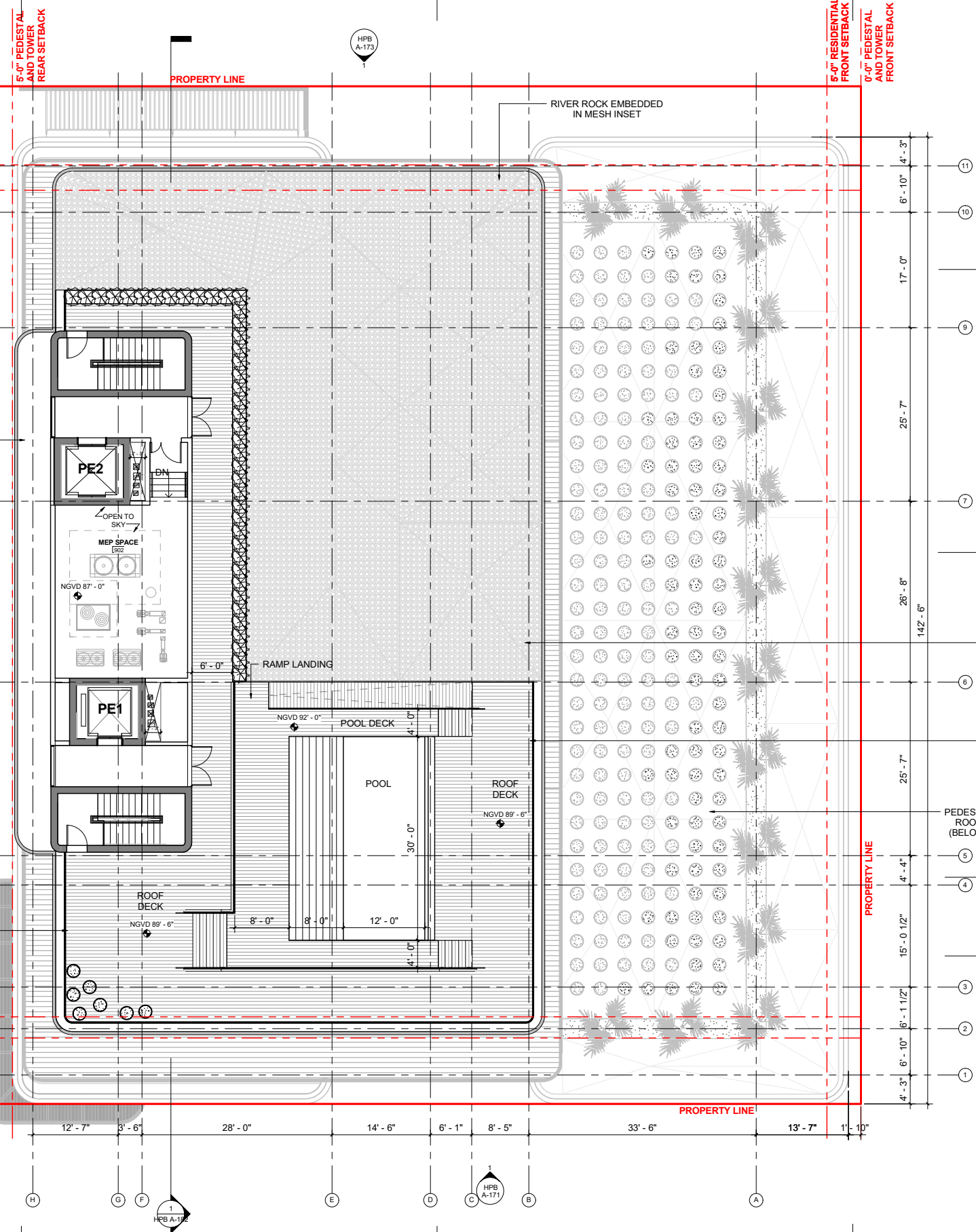
12'-10" RESIDENTIAL TOWER STREET SIDE SETBACK

3'-1 1/2" ALLOWED BALCONY PROJECTION

0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK

3'-9" ALLOWED BALCONY PROJECTION
15'-4" RESIDENTIAL TOWER INT. SIDE SETBACK



T.P.O. ROOFING SYSTEM (GAF EVERGUARD EXTREME 60MIL WHITE OR APPROVED EQUIVALENT) OVER LIGHTWEIGHT CONCRETE WITH MIN. R-19 RIGID INSULATION. SLOPED TO DRAIN AT 1/4" PER FT. (MIN). EXTEND MEMBRANE UP CONCRETE CURB.

LINE OF 42" TALL GLASS BALUSTRADE

PEDESTAL ROOF (BELOW)

1 BP - LEVEL 09 - ROOF LEVEL
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8860 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Dusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
---------------	----------

04/15/19

SCALE	CHECKED BY
-------	------------

1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

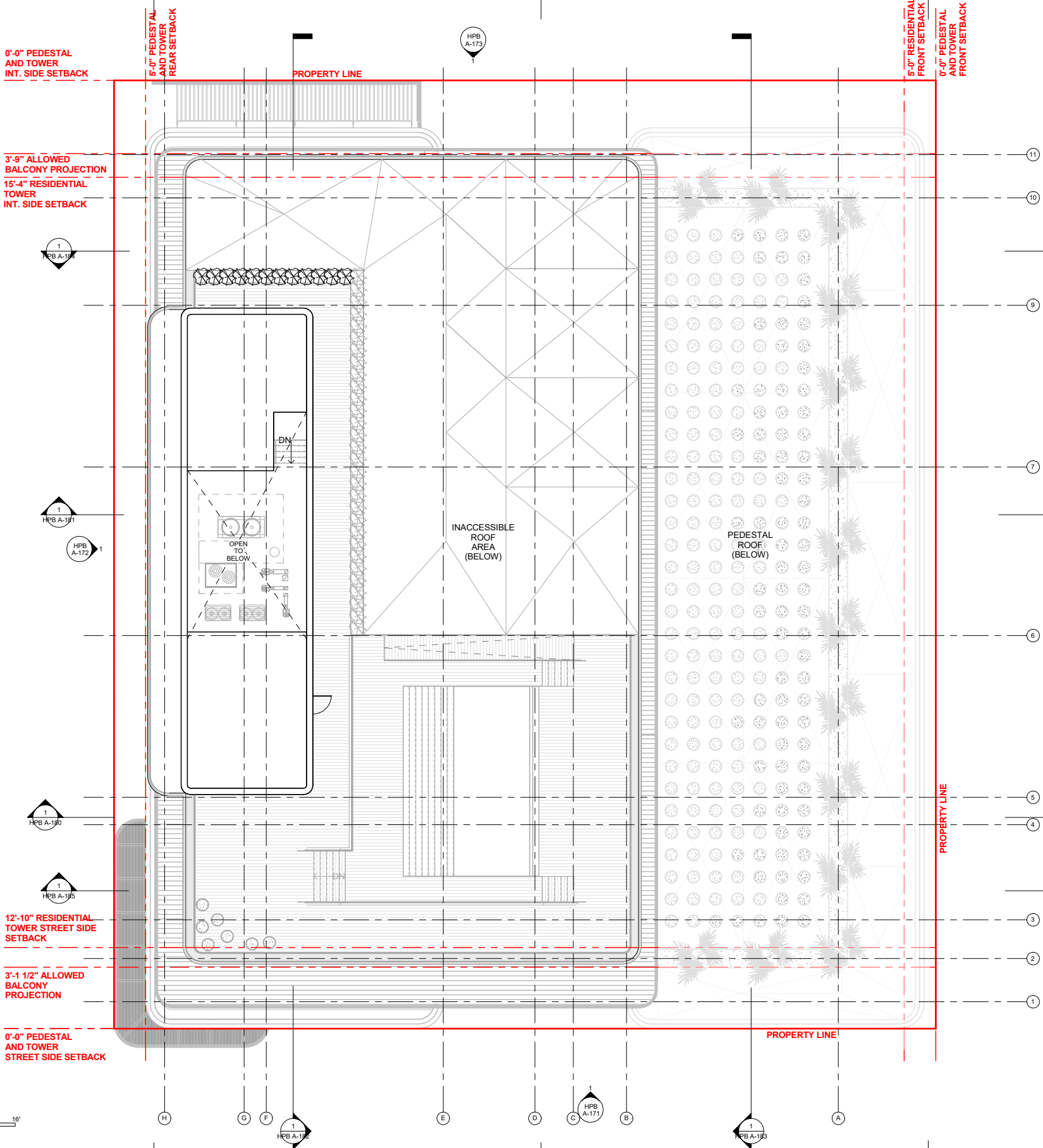


DRAWING TITLE

HPB A-119

BUILDING PLAN - LEVEL 9 ROOF DECK

ARCH D 36"x24"



ROOFING NOTES

1. ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE MOUNTED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
2. ALL ROOFTOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND CALCULATIONS DESIGNED TO COMPLY WITH THE F.B.C.
3. ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE, THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" : 12" IN ACCORDANCE WITH F.B.C. 2014 EDITION, SECTION 1515.2.2.1
4. ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE EXCLUDING SUMPS IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
5. ALL CRICKETS TO BE 1/2" PER FT. MINIMUM SLOPED TO DRAIN, TYPICAL.
6. ROOF VENTS SHALL BE A MINIMUM OF 10 FT. FROM AIR INTAKES. REFER TO MECHANICAL DRAWINGS.
7. E.O.S. = EMERGENCY OVERFLOW SCUPPER.
8. SEE ELECTRICAL DRAWINGS FOR LIGHTING PROTECTION PLANS.
10. SEE PLUMBING DRAWINGS FOR ROOF DECK DRAINAGE CALCS. PROVIDE AND INSTALL WALKING PADS AROUND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS. (TYPICAL).
11. PROVIDE 3'-0" WIDE WALKIN PADS AROUND ALL MECHANICAL EQUIPMENT. REFER TO PROJECT MANUAL.
12. REFER TO ELECTRICAL DWGS. FOR LIGHTNING PROTECTION SYSTEM.

KEY

- ROOF DRAIN
- DECK DRAIN
- PLANTER DRAIN
- TRENCH DRAIN RAIN WATER LEADER
- SIDE OUTLET SCUPPER DRAIN
- TRENCH DRAIN

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8860 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-

SCALE	CHECKED BY
1/8" = 1'-0"	-

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS REQUIRED)

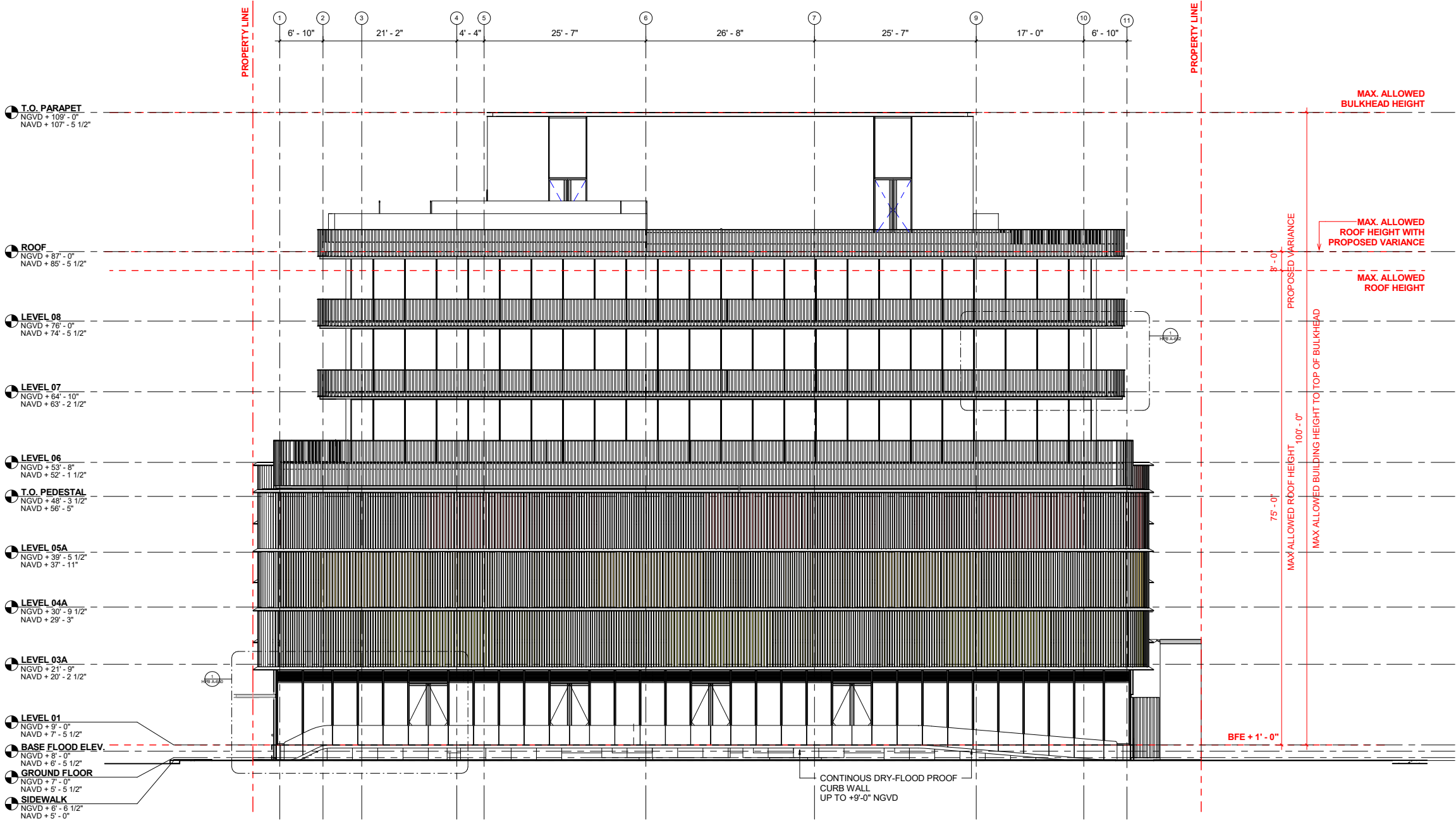
SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019

1 BP - ROOF PLAN
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

NOT FOR CONSTRUCTION



1 BE - EAST
1/8" = 1'-0"
0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8860 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acosta
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-170

PROPOSED BUILDING ELEVATION
- EAST

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrie Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE

04/15/19

DRAWN BY

SCALE

1/8" = 1'-0"

CHECKED BY

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS REQ'D)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

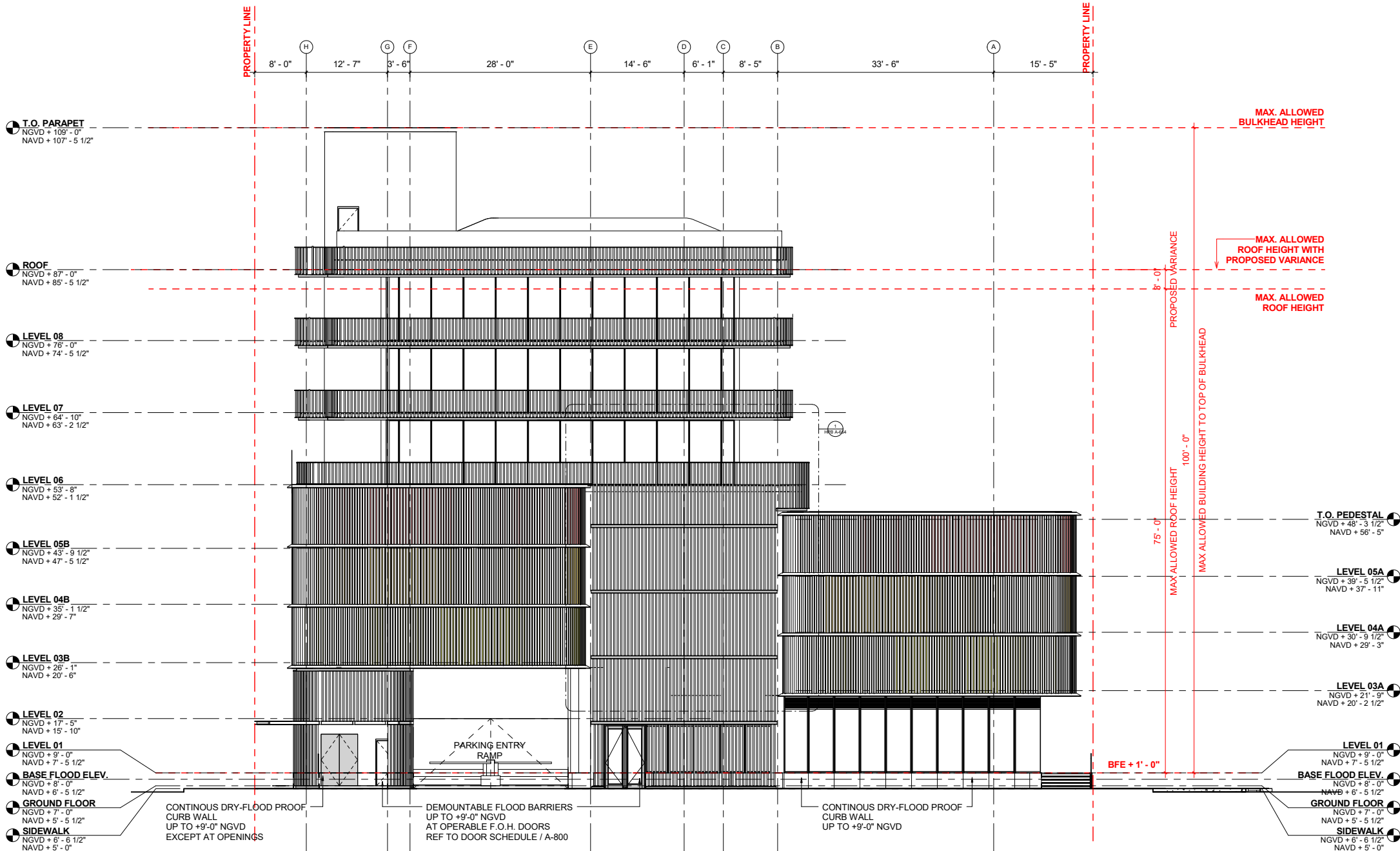


DRAWING TITLE

HPB A-171

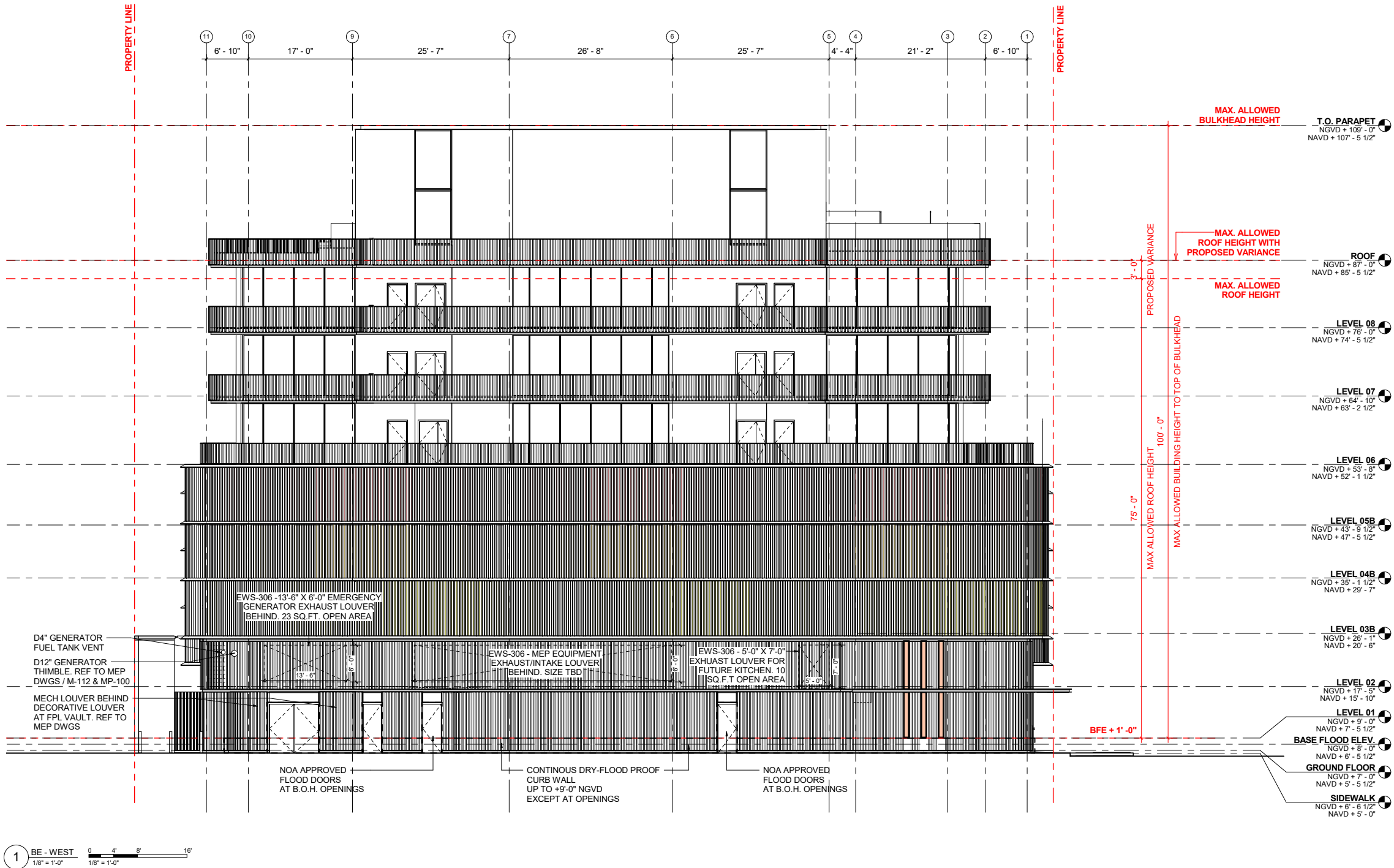
PROPOSED BUILDING ELEVATION
- SOUTH

NOT FOR CONSTRUCTION



1 BE - SOUTH
1/8" = 1'-0"

ARCH D 36"x24"



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



DRAWING TITLE

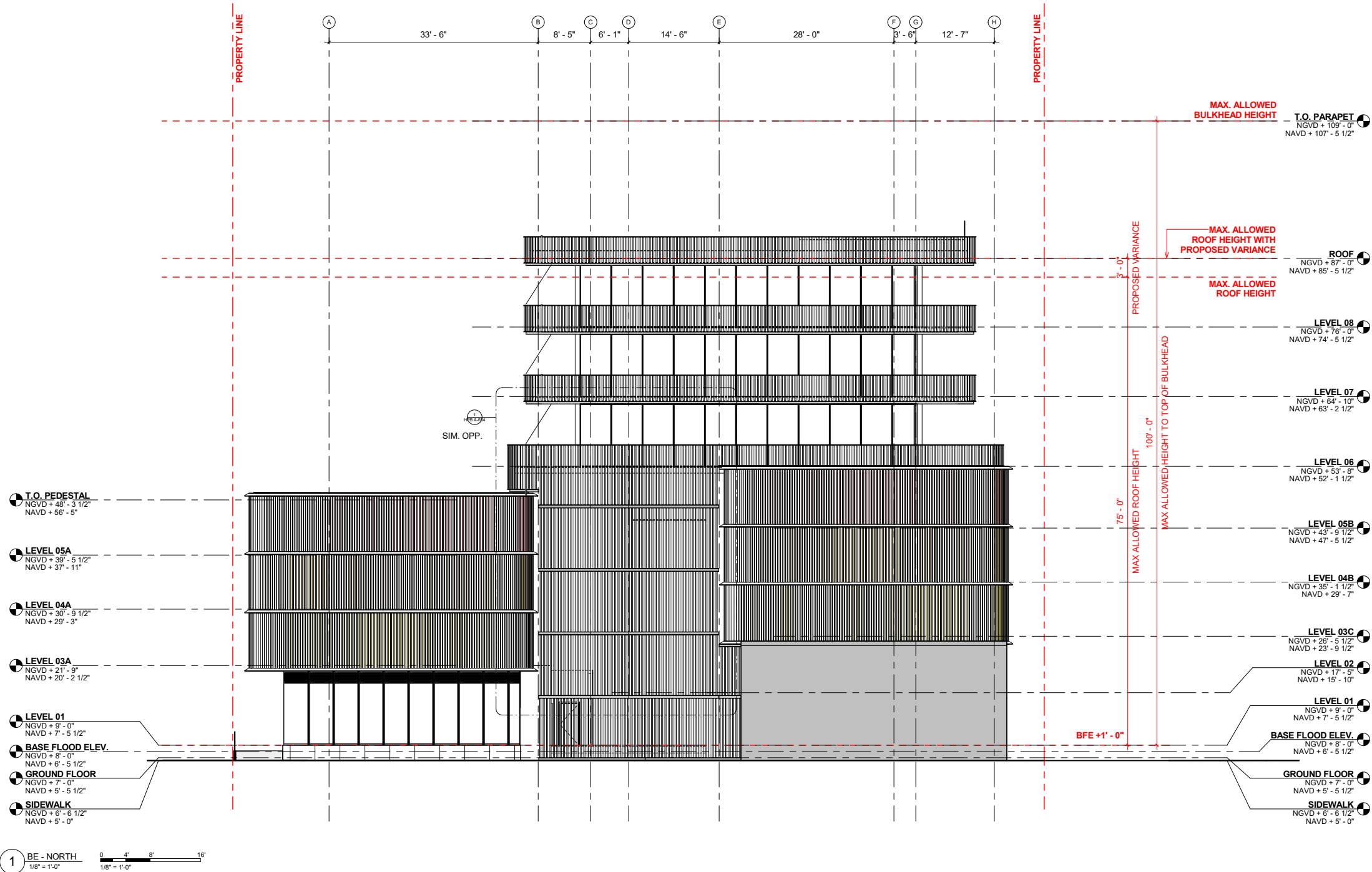
HPB A-172

PROPOSED BUILDING ELEVATION

- WEST

NOT FOR CONSTRUCTION

ARCH D 36"x24"



PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd. Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8800 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019



DRAWING TITLE

HPB A-173

PROPOSED BUILDING ELEVATION
- NORTH

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andrie Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE CHECKED BY

1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019

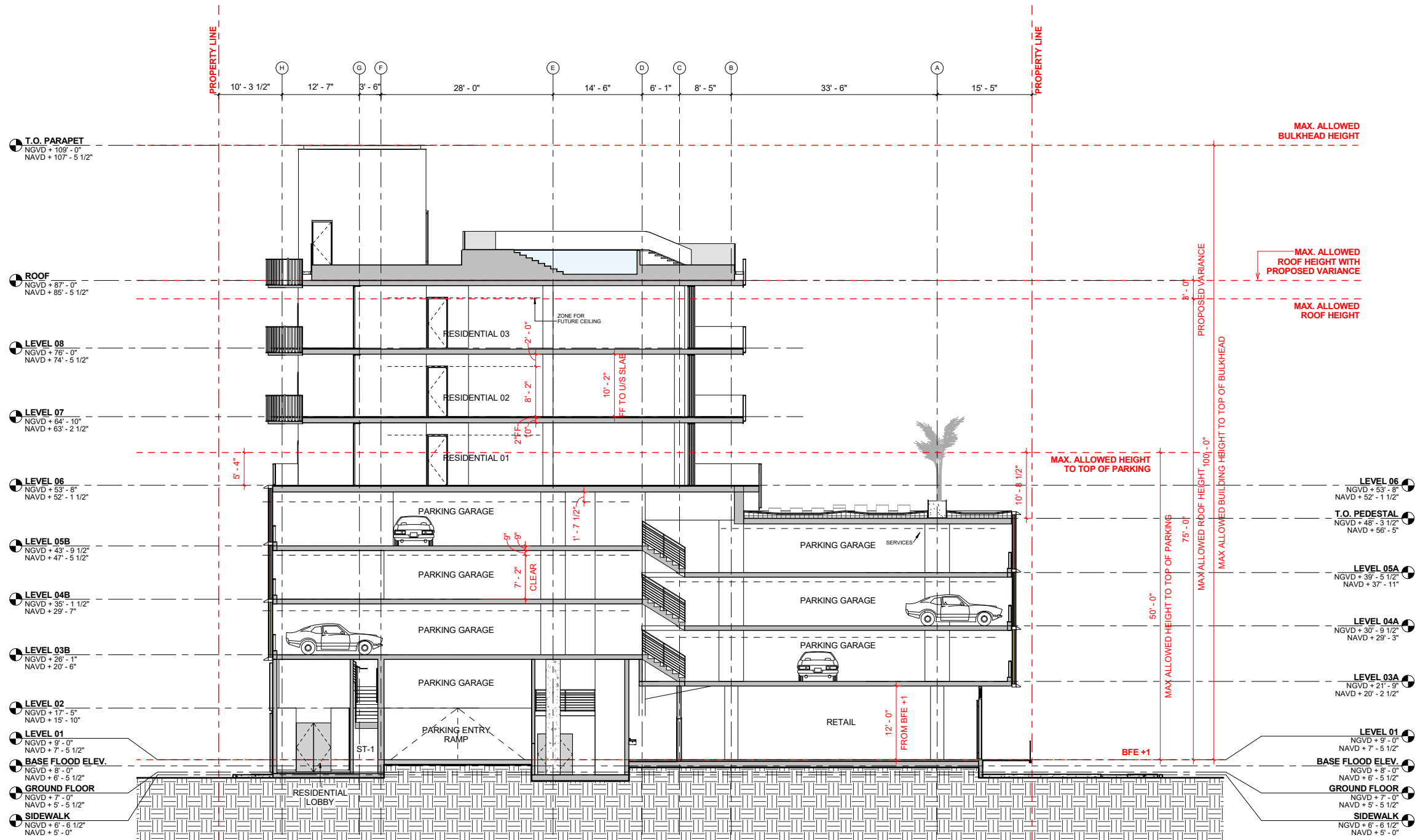


DRAWING TITLE

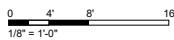
HPB A-180

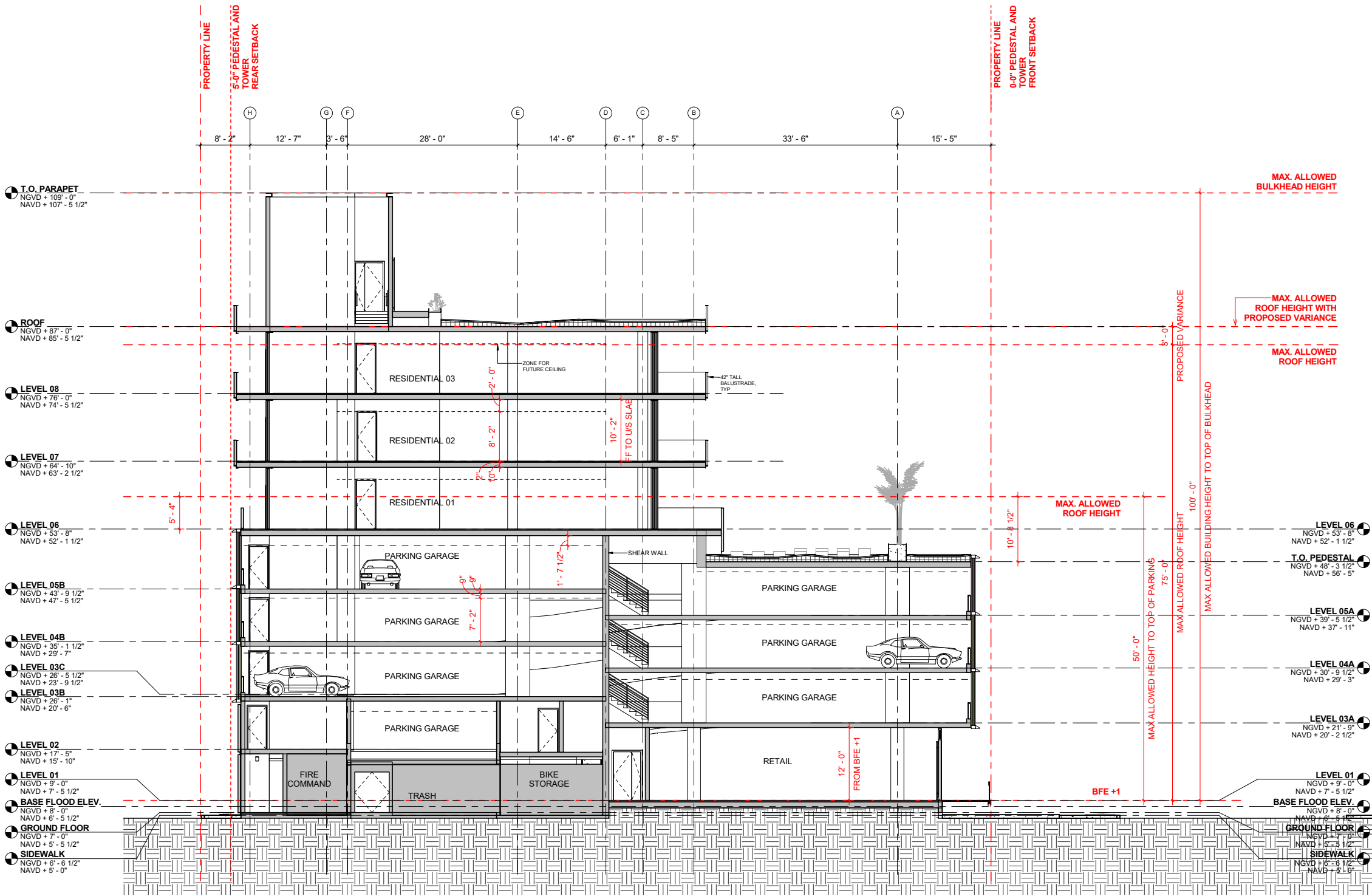
BUILDING SECTION 01

NOT FOR CONSTRUCTION



1 BUILDING SECTION - EW - THRU PARKING LEVEL C AND D
1/8" = 1'-0"





1 BUILDING SECTION - EW - THRU SLOPED PARKING TIERS AND BULKHEAD
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Acila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

SCALE CHECKED BY

1/8" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

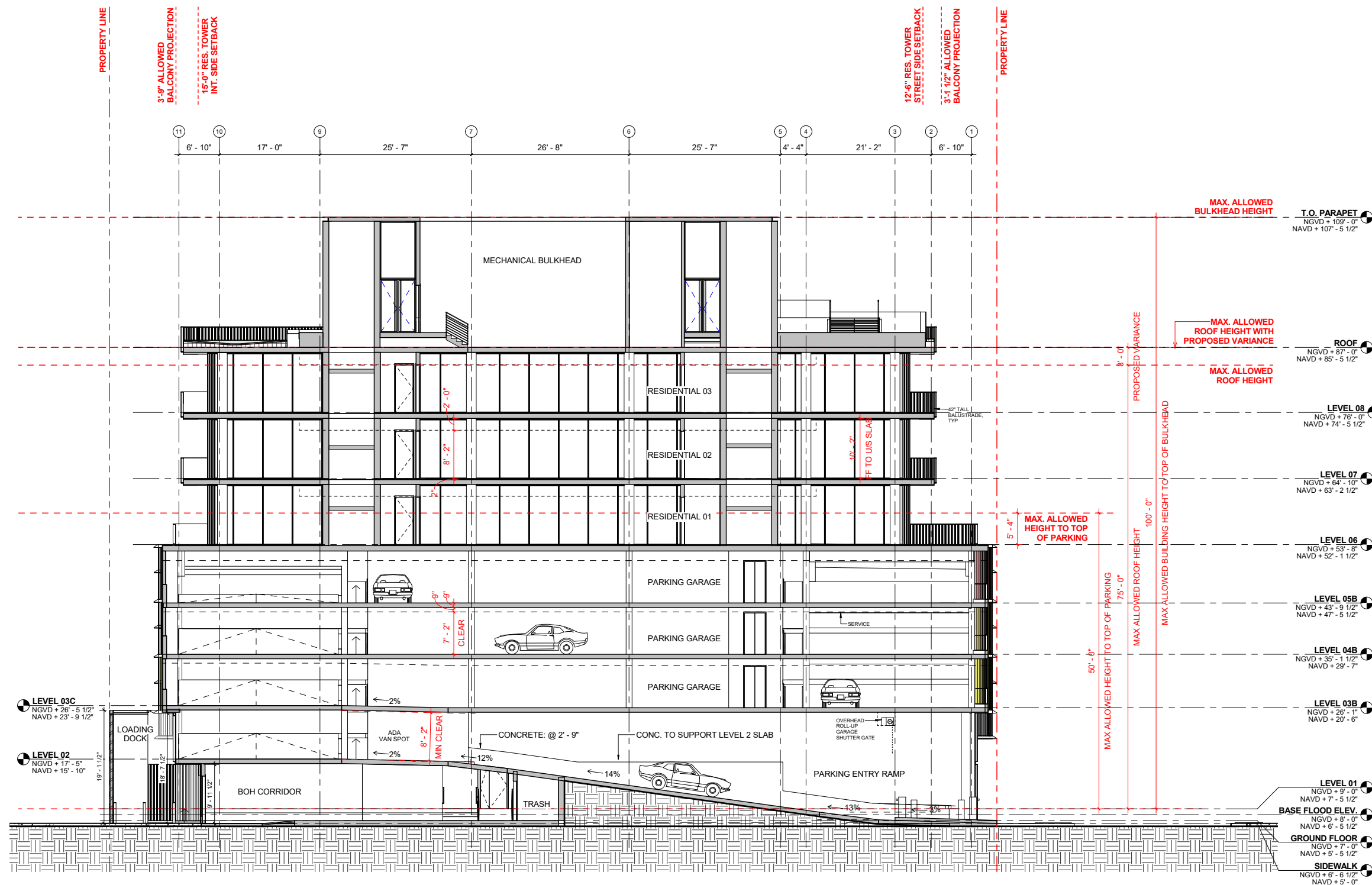
© Brandon Haw Architecture LLP 2019

DRAWING TITLE

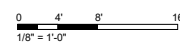
HPB A-181

BUILDING SECTION 02

NOT FOR CONSTRUCTION

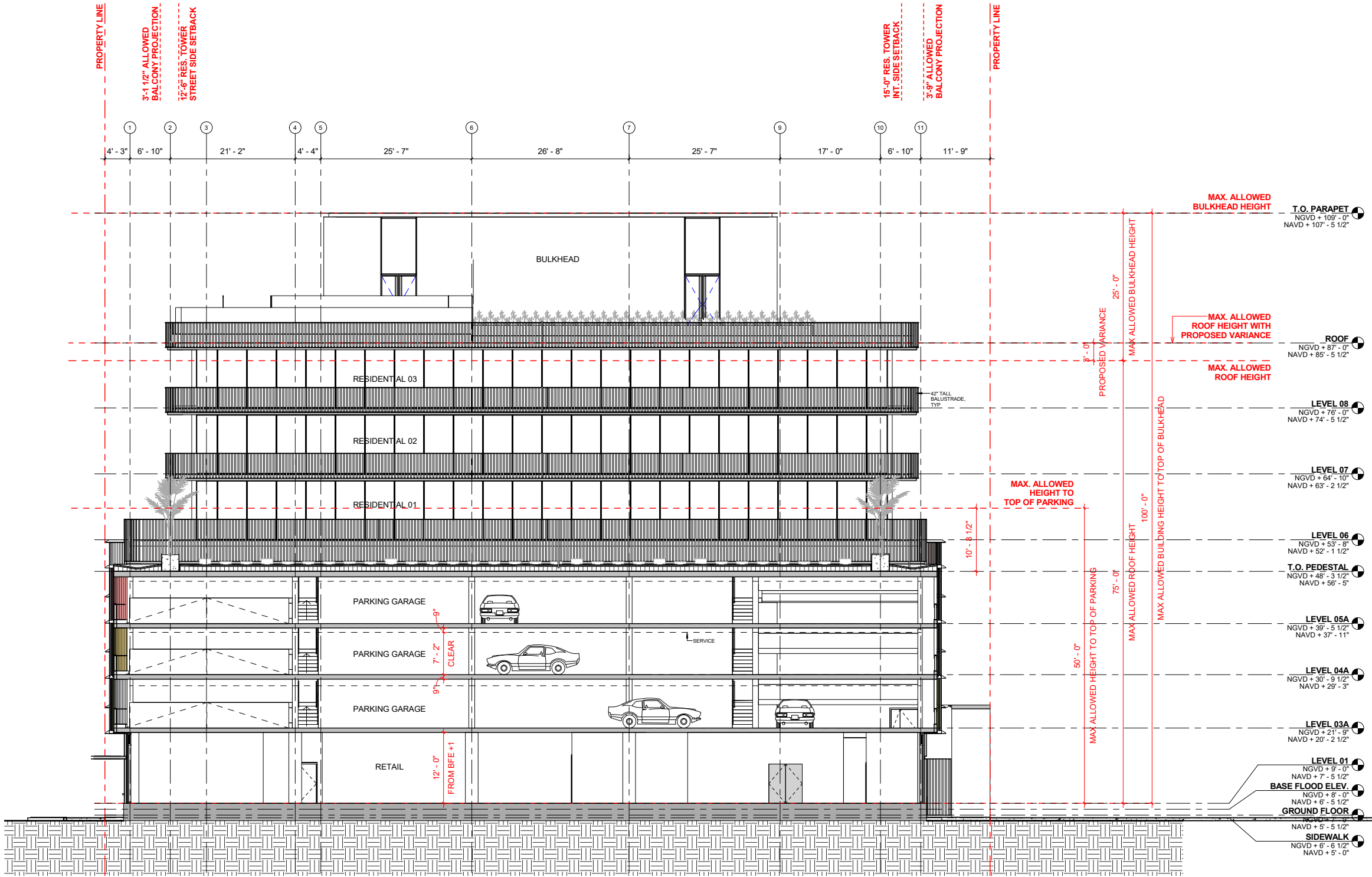


1 BUILDING SECTION - NS - THRU PARKING ENTRY RAMP
1/8" = 1'-0"



NOT FOR CONSTRUCTION

ARCH D 36"x24"



1 BUILDING SECTION - NS - THRU PARKING LEVEL A AND B
1/8" = 1'-0"

0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE
400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE 04/15/19 **DRAWN BY** -

SCALE 1/8" = 1'-0" **CHECKED BY** -

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL

KEY PLAN

SCALE & ORIENTATION

TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS REQ'D)

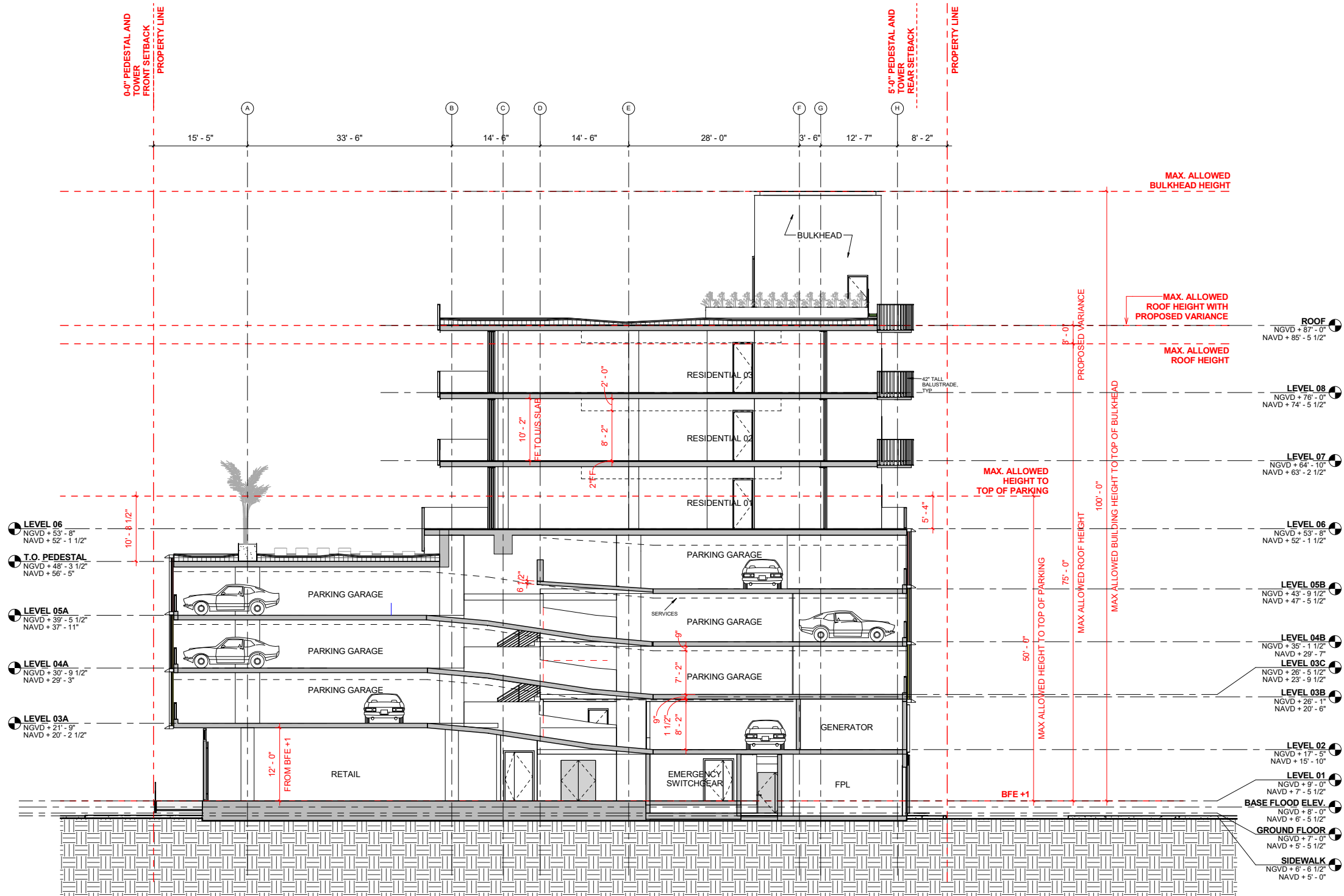
SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019

DRAWING TITLE
HPB A-183
BUILDING SECTION 04

NOT FOR CONSTRUCTION

ARCH D 36"x24"



1 BUILDING SECTION - EW - THRU PARKING LEVEL D AND A
1/8" = 1'-0"
0 4' 8' 16'
1/8" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

1/8" = 1'-0" -

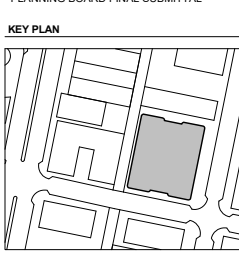
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



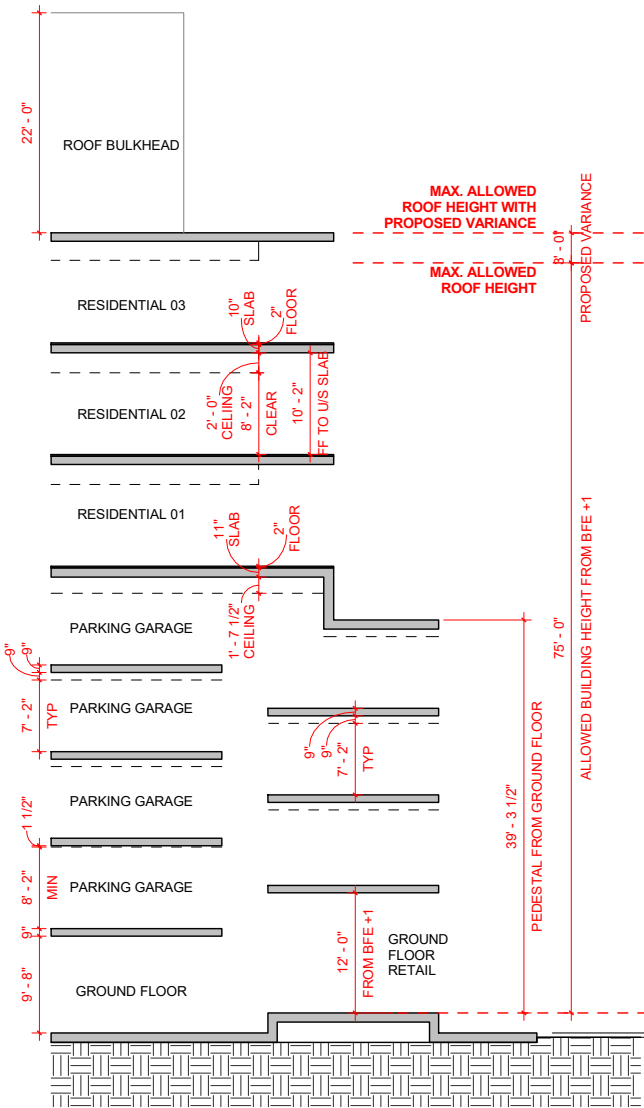
DRAWING TITLE

HPB A-184

BUILDING SECTION 05

NOT FOR CONSTRUCTION

ARCH D 36"x24"



PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)
PROPOSING 3' - 0" HEIGHT VARIANCE

0 4' 8' 16'
1/8" = 1'-0"

T.O. PARAPET
NGVD 107' - 0"

ROOF
NGVD 87' - 0"

LEVEL 08
NGVD 76' - 0"

LEVEL 07
NGVD 64' - 10"

LEVEL 06
NGVD 53' - 0"

T.O. PEDESTAL
NGVD 48' - 3 1/2"

LEVEL 05A
NGVD 39' - 5 1/2"

LEVEL 04A
NGVD 37' - 9 1/2"

LEVEL 03A
NGVD 21' - 0"

BFE +1
NGVD 9' - 0"

BASE FLOOD ELEV
NGVD 8' - 0"

LEVEL 01
NGVD 7' - 0"

SIDEWALK
NGVD 6' - 6 1/2"

ROOF
BULKHEAD

RESIDENTIAL

PARKING GARAGE

GROUND FLOOR

GROUND FLOOR
RETAIL

0 2' 4' 8'
1/4" = 1'-0"

PROPOSED AMENDMENT SCHEME (3 LVLS RESIDENTIAL)
PROPOSING 3' - 0" HEIGHT VARIANCE

T.O. PARAPET
NGVD 107' - 0"

ROOF
NGVD 87' - 0"

T.O. PEDESTAL
NGVD 48' - 3 1/2"

LEVEL 03A
NGVD 21' - 0"

BFE +1
NGVD 9' - 0"

BASE FLOOD ELEV
NGVD 8' - 0"

LEVEL 01
NGVD 7' - 0"

SIDEWALK
NGVD 6' - 6 1/2"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andree Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE

04/15/19

As Indicated

Author

Author

Checked By

Checker

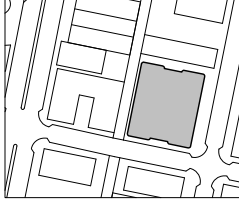
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

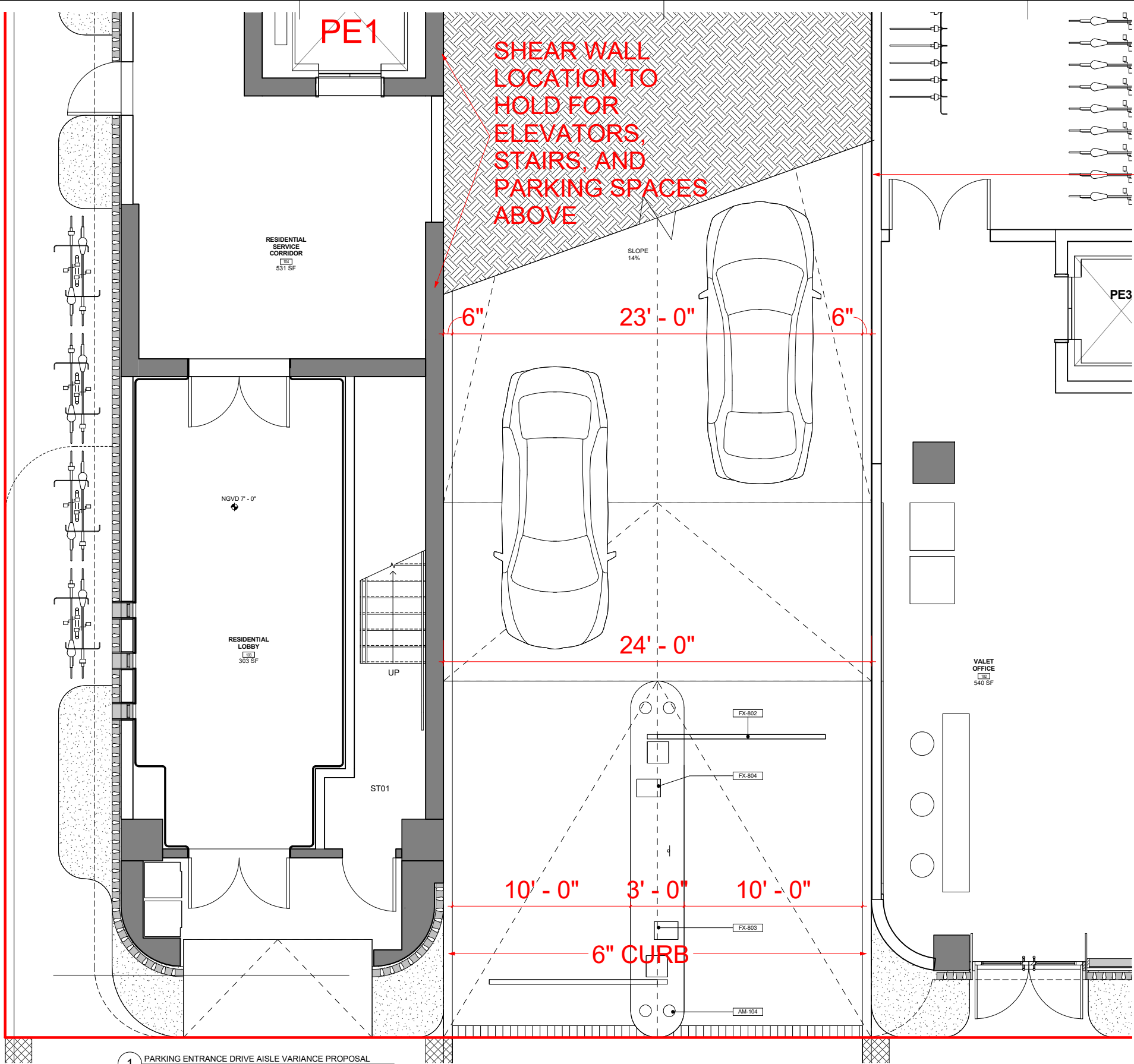


DRAWING TITLE

HPB A-190

BUILDING HEIGHT VARIANCE
DIAGRAMS

NOT FOR CONSTRUCTION



1 PARKING ENTRANCE DRIVE AISLE VARIANCE PROPOSAL
3/8" = 1'-0"

WALL TO HOLD
FOR PARKING
SPACES ABOVE

SHEAR WALL
LOCATION TO
HOLD FOR
ELEVATORS,
STAIRS, AND
PARKING SPACES
ABOVE

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8600 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5948

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:
Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

05/06/19 Author

SCALE CHECKED BY

3/8" = 1'-0" Checker

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

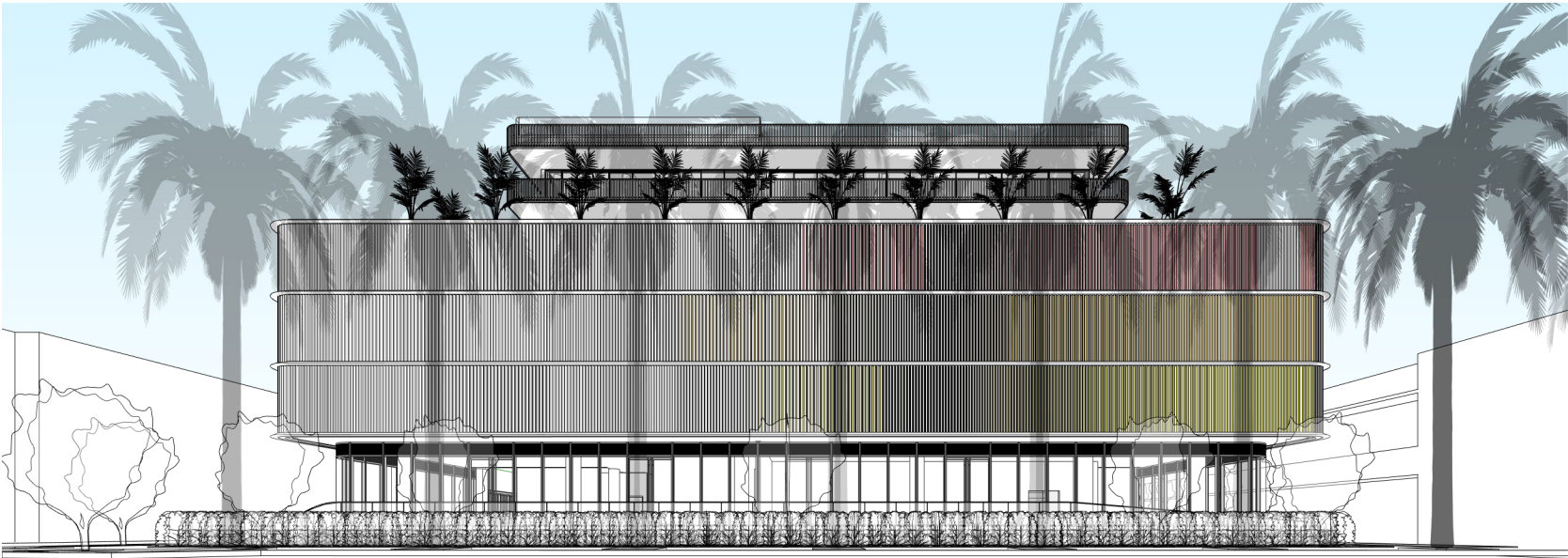


DRAWING TITLE

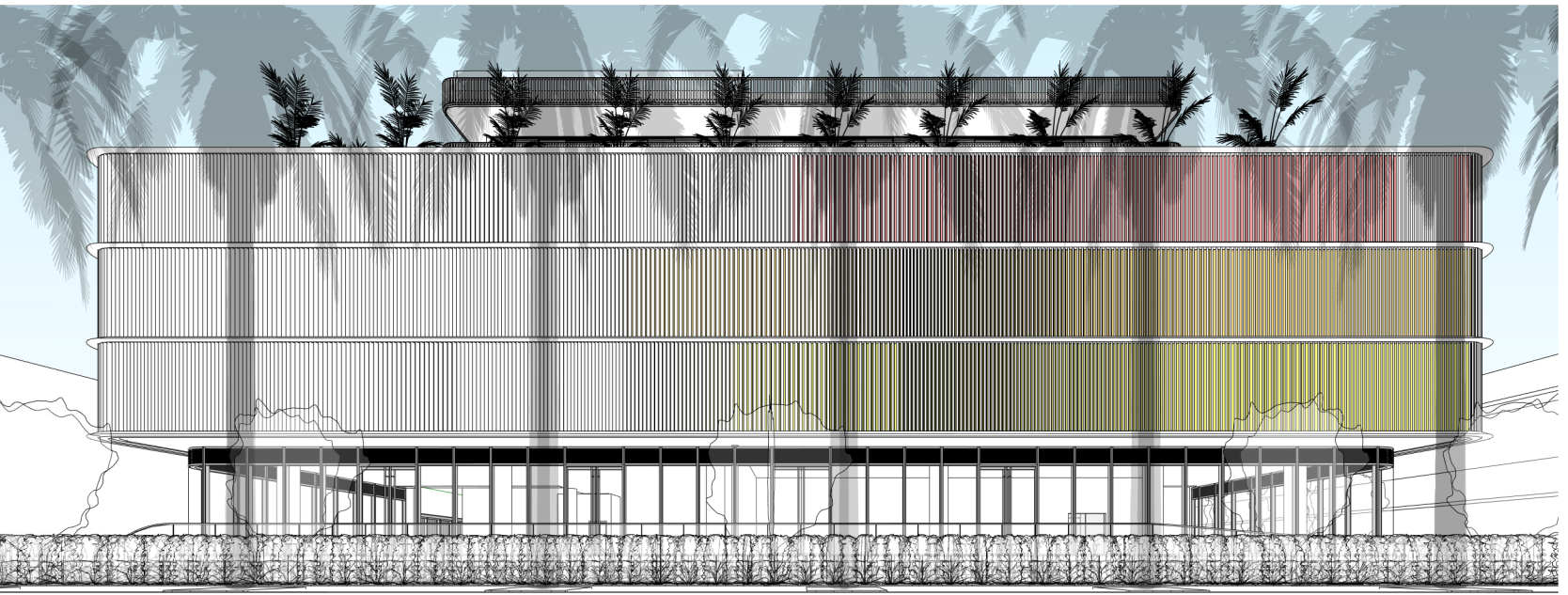
HPB A-191

GARAGE ENTRANCE DRIVE AISLE
VARIANCE DIAGRAM

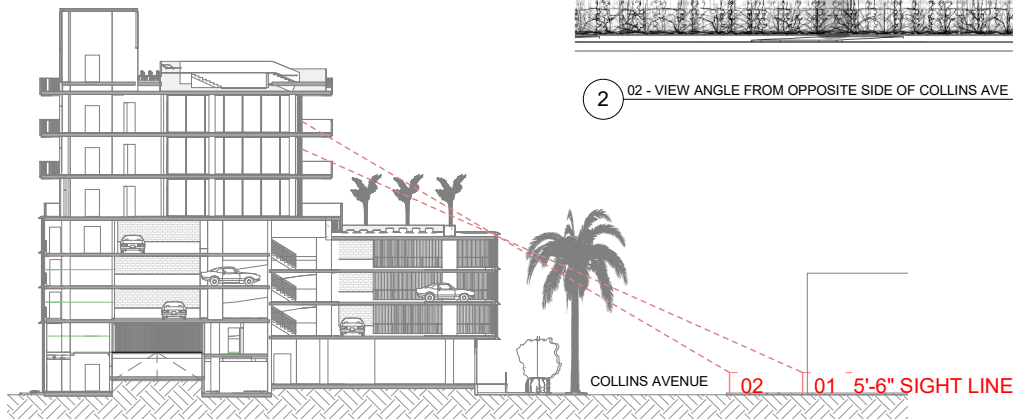
NOT FOR CONSTRUCTION



01 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



02 - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE



1 DIAGRAM - VIEW ANGLE FROM OPPOSITE SIDE OF COLLINS AVE
3/64" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH,
FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8860 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5646

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Gaithersburg, MD 20879

Landscape Architect:

Naturalistic, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

3/64" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 10.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2019

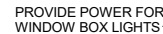


DRAWING TITLE

HPB A-403

VIEW ANGLE FROM OPPOSITE
SIDE OF COLLINS AVE

NOT FOR CONSTRUCTION

[illegible]

GENERAL NOTES:

NOT FOR CONSTRUCTION

TORINO GARAGE

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stantec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 11
Miami, FL 33144

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Landscape Architect:
Naturalificial, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcila
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

[illegible]

04/15/19	-
----------	---

$$1/8'' = 1'-0''$$

1507 TORINO GARAGE

PLANNING BOARD FINAL SUBMITTAL

DP // / / / / / / / / / /



This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

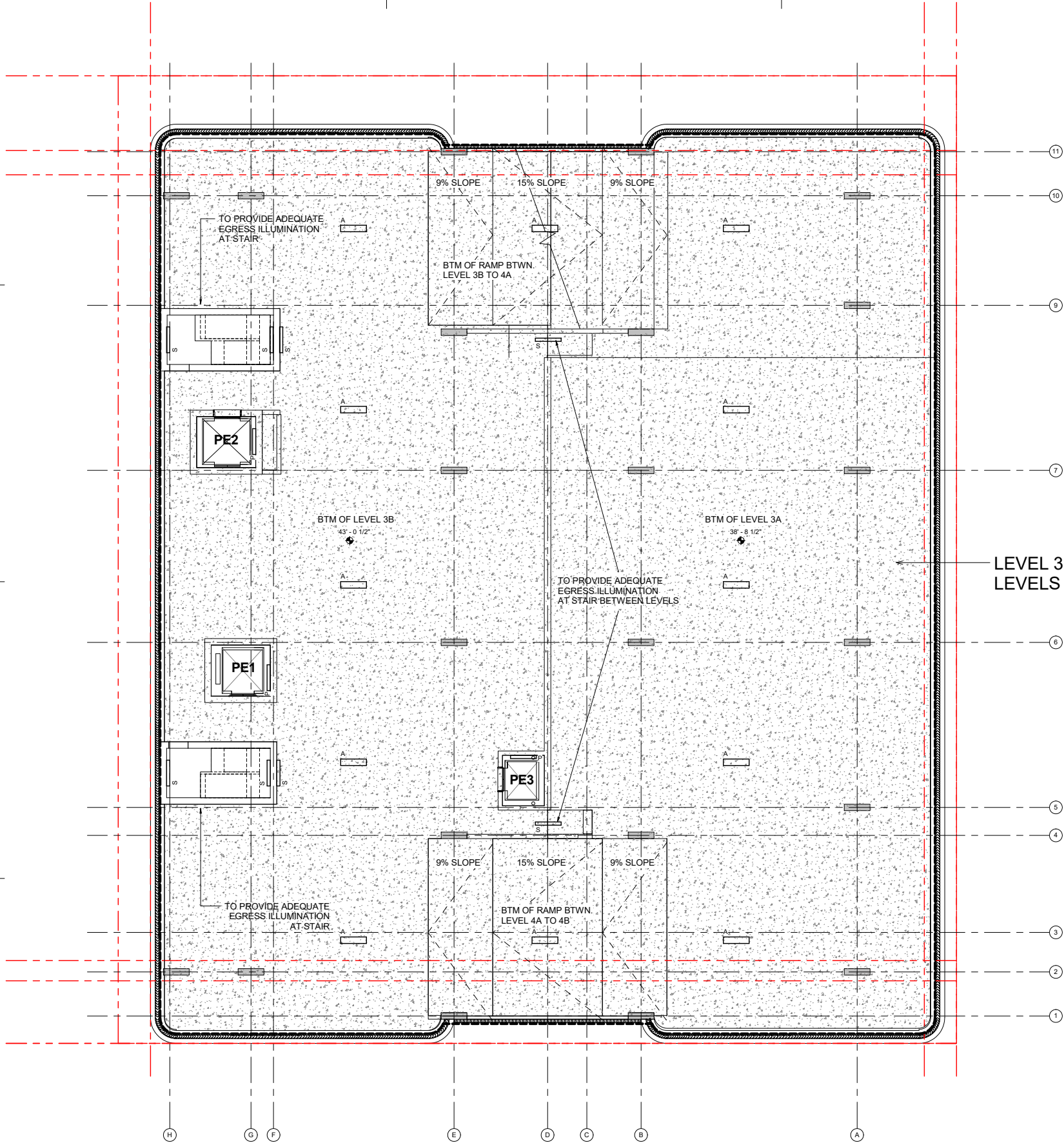
© Brandon Haw Architecture LLP 2019



HPB A-501

GROUND LVL INTERIOR LIGHTING
PLAN

ARCH D 36"x24"



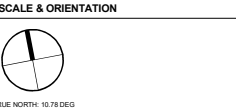
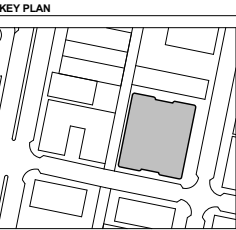
LEVEL 3 SHOWN
LEVELS 4 AND 5 ARE SIMILAR

LIGHTING LEGEND		
Symbol	Fixture Type	Fixture Description
A 	Typ. Parking Illumination	1'x4' T-8 Surface Strip Fixture (2 Lamp), Fluorescent
S 	Egress Illumination	6"x4' T-12 Surface Strip Fixture (2 Lamp), Fluorescent
P 	Service / Elev. Shaft Illumination	1'x6" T-8 Surface Strip Fixture (2 Lamp), Fluorescent
F 	Facade Illumination	Continuous Strip L.E.D Facade Uplighting with Radial Corners

GENERAL NOTES:
THE LIGHTING DESIGN INDICATED IS FOR CONCEPT / DESIGN INTENT PURPOSES ONLY. LOCATIONS OF FIXTURES AND FIXTURE TYPES ARE SHOWN DIAGRAMMATICALLY TO PROVIDE MINIMUM ILLUMINATION TO THE COMMERCIAL CAR PARK ACCORDING TO INDUSTRY STANDARDS. FACADE ILLUMINATION IS INTENDED TO BE SUBTLE AND APPROPRIATE TO THE RESIDENTIAL CONTEXT. PRIOR TO PERMITTING, THE ARCHIECT WILL COLLABORATE WITH A QUALIFIED ELECTRICAL ENGINEER / LIGHTING CONSULTANT, WHO WILL PROVIDE PHOTOMETRIC ANALYSIS, FIXTURE SPECIFICATIONS AND CODE COMPLIANCE.

PROJECT		
TORINO GARAGE 400 COLLINS AVE., MIAMI BEACH, FL 33139		
Owner: Savoy Hotel Partners, LLC c/o Allied Partners 770 Lexington Ave 17th Floor New York, NY 10065-8165		
Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249		
CONSULTANTS		
Structural Engineer: DeSimone 800 Brickell Avenue, 6th Floor Miami, FL 33131		
MEP Engineer: Stanlec 3915 Biscayne Blvd., Suite 401 Miami, FL 33137-3737		
Civil Engineer: VSN Engineering, Inc. 8660 W. Flagler Street, Suite 113 Miami, FL 33144		
Geo-tech Engineer: Langan 15150 NW 79th Court, Suite 200 Miami Lakes, FL 33016-5646		
Life Safety Consultant: SLS Consulting, Inc. 260 Palermo Avenue Coral Gables, FL 33134		
Parking Consultant: Timothy Haas & Associates, Inc. 40 NW 3rd Street, Suite 1102 Miami, FL 33128		
Elevator Consultant: Van Deusen & Associates, Inc. 8201 Peters Road, Suite 1000 Plantation, FL 33324		
Acoustic Consultant: Electro-Media Design, Ltd. 973-C Russell Avenue Gaithersburg, MD 20879		
Landscape Architect: Naturalistic, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143 Contact: Andree Arcia O: 786.717.6564 / M: 305.321.2341 Firm Reg. No. LC26000548		
NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-
SCALE	CHECKED BY
1/8" = 1'-0"	-
PROJECT NO. & TITLE	
1507 TORINO GARAGE	
PROJECT STATUS	
PLANNING BOARD FINAL SUBMITTAL	



SEAL & SIGNATURE
This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
© Brandon Haw Architecture LLP 2019



DRAWING TITLE
HPB A-502
TYP. PARKING LVL INTERIOR
LIGHTING PLAN

NOT FOR CONSTRUCTION