

SCOPE OF WORK:

- DEMOLITION OF EXISTING SURFACE PARKING LOT ON SITE
- CONSTRUCTION OF 8-STOREY BUILDING, INCLUDING GROUND-FLOOR RETAIL, 3 LEVELS OF PARKING, AND 3 LEVELS OF RESIDENTIAL



TORINO GARAGE

400 COLLINS AVENUE
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
FINAL SUBMISSION

MAY 6, 2019

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:

Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:

Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:

DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:

Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:

VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:

Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5848

Life Safety Consultant:

SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:

Timothy Haha & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:

Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:

Electro-Media Design, Ltd.
973-C Russell Avenue
Galliersburg, MD 20879

Landscape Architect:

NaturalFocal, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcoia
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE **DRAWN BY**

04/15/19 -

SCALE **CHECKED BY**

- -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.75 DEG

NOT TO SCALE

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

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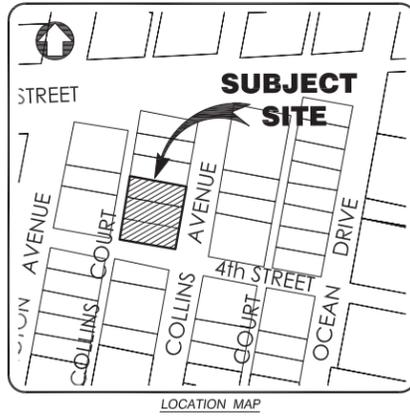


DRAWING TITLE

HPB A-000

TITLE SHEET

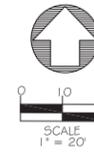
BOUNDARY/TOPOGRAPHIC SURVEY



MATCHLINE "A-A" (SEE BELOW RIGHT)

No.	BOTANICAL NAME	COMMON NAME	CAULP	HEIGHT	SPREAD
1	SABAL PALMETTO	SABAL PALM	10"	27'	8'
2	COCOS NUCIFERA	COCONUT PALM	8"	20'	12'
3	SABAL PALMETTO	SABAL PALM	12"	27'	8'
4	QUERCUS VIRGINIANA	LIVE OAK	13"	26'	33'
5	SABAL PALMETTO	SABAL PALM	9"	25'	8'
6	COCOS NUCIFERA	COCONUT PALM	8"	21'	12'
7	QUERCUS VIRGINIANA	LIVE OAK	12"	30'	25'
8	SABAL PALMETTO	SABAL PALM	12"	30'	30'
9	COCOS NUCIFERA	COCONUT PALM	7"	20'	12'
10	QUERCUS VIRGINIANA	LIVE OAK	12"	26'	22'
11	SABAL PALMETTO	SABAL PALM	12"	25'	10'
12	QUERCUS VIRGINIANA	LIVE OAK	10"	26'	30'
13	COCOS NUCIFERA	COCONUT PALM	8"	21'	15'
14	SABAL PALMETTO	SABAL PALM	12"	26'	10'
15	QUERCUS VIRGINIANA	LIVE OAK	13"	30'	27'
16	SABAL PALMETTO	SABAL PALM	12"	31'	8'
17	FLORIDA NATIVE	TREE	3"	13'	5'
18	BISERA SIMARUBA	GUMBO LIMBO	14"	16'	30'
19	FLORIDA NATIVE	TREE	4"	13'	5'
20	BISERA SIMARUBA	GUMBO LIMBO	15"	26'	24'
21	BISERA SIMARUBA	GUMBO LIMBO	13"	18'	13'
22	BISERA SIMARUBA	GUMBO LIMBO	13"	17'	20'
23	BISERA SIMARUBA	GUMBO LIMBO	13"	20'	30'

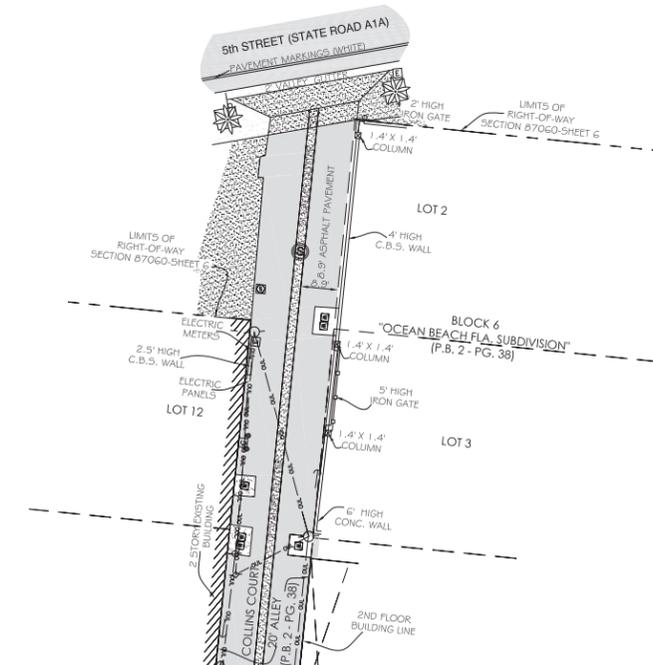
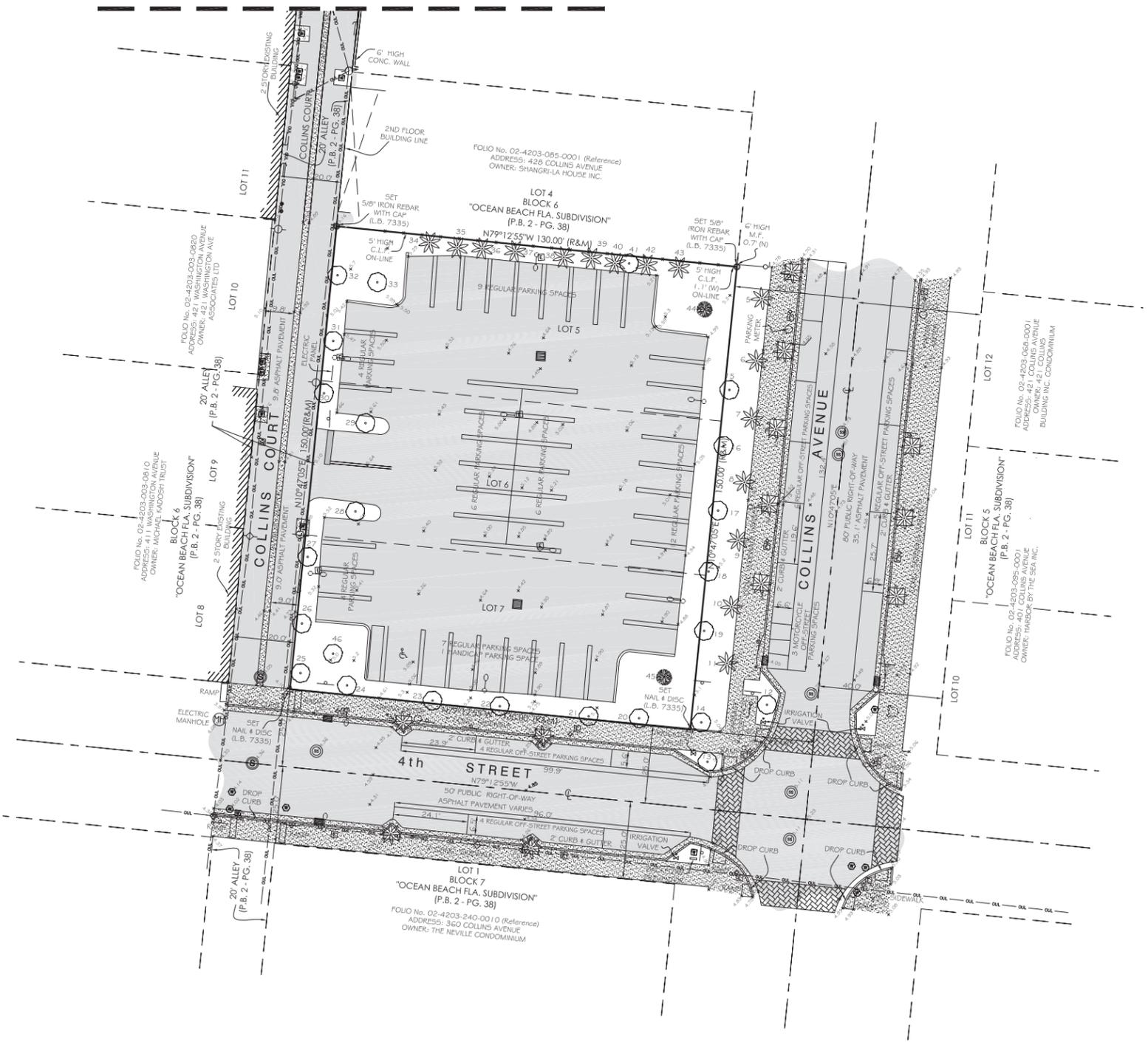
No.	BOTANICAL NAME	COMMON NAME	CAULP	HEIGHT	SPREAD
24	BISERA SIMARUBA	GUMBO LIMBO	15"	30'	23'
25	FLORIDA NATIVE	TREE	3"	8'	6'
26	QUERCUS VIRGINIANA	LIVE OAK	13"	30'	25'
27	QUERCUS VIRGINIANA	LIVE OAK	11"	30'	23'
28	QUERCUS VIRGINIANA	LIVE OAK	9"	30'	25'
29	QUERCUS VIRGINIANA	LIVE OAK	12"	27'	25'
30	QUERCUS VIRGINIANA	LIVE OAK	12"	30'	30'
31	QUERCUS VIRGINIANA	LIVE OAK	8"	27'	20'
32	QUERCUS VIRGINIANA	LIVE OAK	12"	30'	25'
33	QUERCUS VIRGINIANA	LIVE OAK	12"	35'	35'
34	FLORIDA NATIVE	TREE	9"	20'	20'
35	SABAL PALMETTO	SABAL PALM	8"	20'	12'
36	SABAL PALMETTO	SABAL PALM	8"	20'	12'
37	SABAL PALMETTO	SABAL PALM	9"	20'	12'
38	SABAL PALMETTO	SABAL PALM	7"	20'	12'
39	SABAL PALMETTO	SABAL PALM	7"	20'	12'
40	SABAL PALMETTO	SABAL PALM	8"	18'	12'
41	SABAL PALMETTO	SABAL PALM	10"	18'	12'
42	QUERCUS VIRGINIANA	LIVE OAK	11"	30'	40'
43	SABAL PALMETTO	SABAL PALM	10"	35'	35'
44	SABAL PALMETTO	SABAL PALM	11"	18'	15'
45	FLORIDA NATIVE	TREE	3"	12'	8'
46	FLORIDA NATIVE	TREE	4"	17'	15'



LEGEND

- CONC. = CONCRETE
- R = RECORDED VALUE
- M = MEASURED VALUE
- (C) = CALCULATED
- C.B.S. = CONCRETE BLOCK STUCCO
- CL = CENTERLINE
- P.B. = PLAT BOOK
- PG. = PAGE
- M.F. = METAL FENCE
- W.P. = WOOD POWER POLE
- W.A. = WOOD ANCHOR
- CP = CONCRETE POWER POLE
- OP = ORNAMENTAL PLANT
- BOLLARD = BOLLARD
- SIGN = SIGN
- PT = PALM TREE
- TREE = TREE
- CL = CHAIN LINK FENCE
- WF = WOOD FENCE
- MF = METAL FENCE
- COLPN = COLLUPN
- GV = GAS VALVE
- CB = CATCH BASIN
- OL = ORNAMENTAL LIGHT
- OLP = ORNAMENTAL LIGHT POLE
- LP = LIGHT POLE
- FP = FLAG POLE
- R = RADIUS
- ID = IDENTIFICATION
- LP = LIGHT POLE
- A = ARC
- L = LENGTH
- Δ = ANGLE OF THE CURVE
- OLP = ORNAMENTAL LIGHT POLE
- ML = MONUMENT LINE
- OW = OVERHEAD WIRE
- WV = WATER VALVE
- WM = WATER METER
- FD = FIRE HYDRANT
- TSB = TEMPORARY SITE BENCHMARK
- HOLA = HEDGE OR LANDSCAPED AREA
- CO = CLEAN OUT
- SSM = SANITARY SEWER MANHOLE
- SDM = STORM DRAINAGE MANHOLE
- UM = UNKNOWN MANHOLE
- FFL = FFL MANHOLE
- CLF = CHAIN LINK FENCE
- MF = METAL FENCE
- WF = WOOD FENCE
- MB = MAILBOX
- SMA = SIGNAL MAST ARM
- SL = STREET LIGHT SIGNAL
- BRICK = BRICK
- CONC. = CONCRETE
- PAV = PAVEMENT
- TILE = TILE
- SC = STAMPED CONCRETE
- ASP = ASPHALT

LEGAL DESCRIPTION:
Lots 5, 6, and 7, Block 6, of "OCEAN BEACH SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.



MATCHLINE "A-A" (SEE ABOVE LEFT)

SURVEYOR'S NOTES:
DATE'S OF SURVEY:
The date of completion of the original Survey was on June 30, 2013.
Revision 1: The Survey was Updated in the field on April 21, 2016.
Revision 2: The Survey was Updated in the field on April 5, 2019.

ACCURACY:
The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for Suburban Area (Linear: 1 foot in 7,500 feet) as defined in Rule 5J-17.051, Florida Administrative Code.
Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/10 of a foot on hard surfaces and 1/20 of a foot on ground surfaces.
Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.
This Map of Survey is intended to be displayed at a scale of One inch equals Twenty feet or smaller.

PERTINENT INFORMATION USED FOR SURVEY:
North arrow direction is based on an assumed Meridian.
Bearings as shown hereon are based upon the centerline of Collins Avenue with an assumed bearing of N10°47'05"E, said line to be considered a well established and monumented line.
This property appears to be located in a Flood Zone "AE" with a Base Flood Elevation being 8.0 feet, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651 (City of Miami Beach), Map No. 0319, Suffix L, Map Revised Date: September 11, 2009.
For Vertical Control:
All elevations shown hereon are based on the North American Vertical Datum of 1988, and a benchmark supplied by the Public Works Department of Miami-Dade County, Florida.
Benchmark: D-146
Elevation: 8.84 (N.G.V.D. 29 Datum)
-1.558 = 7.282 (N.A.V.D. 88 datum)
Located at the Southwest corner of the intersection of Ocean Drive and 5th Street.
Plat of "OCEAN BEACH FLA. SUBDIVISION" recorded in Plat Book 2 of Page 38 of the Public Records of Miami-Dade County, Florida.

RESTRICTIONS:
Since no other information were furnished other than that is cited under pertinent information, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Works Department of Miami-Dade County, Florida.
The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of Public Records of this County.
No excavation or determination was made as to how the Subject Property is served by utilities.
No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

MISCELLANEOUS:
There exist 48 regular parking spaces and 1 handicapped parking space on the subject property.

PURPOSE OF SURVEY:
The purpose of this survey is for a Permit and Design.

CLIENT INFORMATION:
This Boundary/Topographic Survey was prepared at the insistence of and certified to:
Savoy Hotel Partners LLC
The Savoy Hotel

SURVEYOR'S CERTIFICATE:
I hereby certify that this "Boundary/Topographic Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary/Topographic Survey" meets the intent of the applicable provisions of the "Standards of Practice" for Land Surveying in the State of Florida, pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

LONGITUDE SURVEYORS LLC, a Florida Limited Liability Corporation
Florida Certificate of Authorization Number LB7335

By: **Eduardo M Suarez, PSM** Signature Date:
Registered Surveyor and Mapper L56313
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

LONGITUDE SURVEYORS
7769 N.W. 48TH STREET, SUITE 375
MIAMI, FLORIDA 33166
PHONE: (305) 463-0912 FAX: (305) 513-5680
WWW.LONGITUDESURVEYORS.COM

JOB NO.: 14297.2.00 DRAWN BY: RE
FIELD BOOK: EFB SHEET 1 OF 1

2/11/2019 1:00 Collins Avenue, Miami Beach, FL 33139 (Map) (A11), Survey (A11) 1/17/2018 11:54:35 AM EDT

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A-600s: 20		
TOTAL DRAWING COUNT: 91		

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savory Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

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800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd, Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33016-5548

Life Safety Consultant:
SLS Consulting, Inc.
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Coral Gables, FL 33134

Parking Consultant:
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40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Galthersburg, MD 20879

Landscape Architect:
Naturalica, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Ariza
O: 786.717.6564 / M: 305.321.2341
Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	-

SCALE	CHECKED BY
-	-

PROJECT NO. & TITLE
1507 TORINO GARAGE

PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL



SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.
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DRAWING TITLE
HPB A-002
SHEET INDEX

ARCH D 36"x24"

ZONING DATA

LEGAL DESCRIPTION

PARCEL 3:

Lots 5, 6, and 7, Block 6 of "OCEAN BEACH SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida

(Exhibit "A" of Commitment for Title Insurance prepared by First American Title Insurance Company FAST File No. 1062-2977598, with an effective date of May 17, 2013 at 8:00 A.M.)

Containing 19,500 Square Feet or 0.45 Acres (Net Area) and 31,500 Square Feet or 0.73 Acres (Gross Area), more or less, by calculations.

SITE ADDRESS

400 COLLINS AVENUE, MIAMI BEACH, FL 33139

SITE DATA

ZONING DESIGNATION: C-PS2 GENERAL MIXED-USE COMMERCIAL (SEC. 142-698 - 142-699)
FLOOD ZONE: "AE" (ELEV. 8' NGVD29)
FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0319L

BASE FLOOD ELEVATION: 8.0' N.G.V.D. 1929

BLDG DATA

BUILDING HEIGHT: ALLOWED FOR PARKING STRUCTURE: 50'-0" ABOVE BASE FLOOD ELEVATION + FREEBOARD

ALLOWED FOR RESIDENTIAL/MIXED USE: 75'-0" ABOVE BASE FLOOD ELEVATION + FREEBOARD

ESTABLISHED BFE: 8'-0" N.G.V.D.

PROPOSED FOR PARKING STRUCTURE: 53'-8" N.G.V.D. T.O. DECK (44'-8" FROM BFE + FREEBOARD)

PROPOSED FOR RESIDENTIAL/MIXED USE: 87'-0" N.G.V.D. T.O. DECK (78'-0" FROM BFE + FREEBOARD)

PROPOSED RESIDENTIAL: 15 UNITS TOTAL:
5 UNITS ON LEVEL 06
5 UNITS ON LEVEL 07
5 UNITS ON LEVEL 08

LOT AREA

31,500 SF or 0.73 ACRES (GROSS AREA) +/-
19,500 SF or 0.45 ACRES (NET AREA) +/-

MIN. LOT AREA
REQUIRED 6,000 S.F. - EXCEEDS CRITERIA AT 31,500 SF

PRINCIPLE USE COMMERCIAL GARAGE

The building is designed and approved as a principle use commercial garage pursuant to Sec. 130-68. Per 130-68 (5), setbacks shall be the same as the setbacks for the underlying zoning district. For main use parking garages located on non-oceanfront lots within the Collins Waterfront Historic District, with frontage on both Indian Creek Drive and Collins Avenue, the required setback setbacks may extend up to a maximum height of eight stories and 75 feet.

RESIDENTIAL USE IN C-PS2 DISTRICT

Per Sec. 142-698 (b), Residential and/or hotel development is pursuant to all R-PS3 district regulation, except maximum building height for residential and mixed use buildings shall be 75 feet.

Per Sec. 142-700 (1), When more than 25 percent of the total area of a building in a C-PS2 district is used for residential or hotel units, any floor containing such units shall follow the R-PS1, 2, 3, 4 setback regulations.

MAX BUILDING HEIGHT (SEC. 130-68 (4))

50 FT EXCEPT FOR RESIDENTIAL USES HEIGHT SHALL BE 78 FT (SEC. 142-698 (b))

MAX NUMBER OF STORIES

ALLOWED PARKING GARAGE = 5
PROPOSED PARKING GARAGE = 4

ALLOWED RESIDENTIAL = 4
PROPOSED RESIDENTIAL = 3

MAX ALLOWED F.A.R.

Per 130-68 (6) - The volume of such commercial and noncommercial parking garages shall be limited by the required setbacks and heights described within this section and shall not be subject to the floor area ratios prescribed for in the underlying zoning district.

MIN. LOT WIDTH

REQUIRED 50 FT
EXCEEDS CRITERIA AT 150 FT

NOTE: FOR FIRM MAP SEE SHEET HPB A-007.2

MIAMI BEACH

Planning Department, 1700 Convention Center Drive

Miami Beach, Florida 33139, www.miamibeach.gov

305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

Item #	Zoning Information			
1	Address:	400 COLLINS AVENUE, MIAMI BEACH, FL 33139		
2	Board and File Numbers	HPB19-0295		
3	Folio Number(s):	02-4203-003-0800; 02-4203-003-0780; 02-4203-003-0770; 02-4203-003-0790		
4	Year Constructed:	N/A	Zoning District	C-PS2 (subject to rules for Principle Use Commercial Garage)
5	Base Flood Elevation (BFE)	AE +8'-0" NGVD	Proposed Lowest Grade	+6'-6 1/2" NGVD
6	Adjusted Grade (Flood + Grade/2)	6.865' NGVD	Freeboard	1'-0" above BFE = 9'-0" NGVD
7	Proposed Lowest Floor Elevation	7'-0" NGVD	Proposed Top of Next Flr.	West: 17'-5" NGVD (Lvl 2) East: 21'-9" NGVD (Lvl 3A)
8	Lowest Elev. of Machinery or Equipment Serving Bldg.	FPL Vault = 6'-6 1/2" NGVD. All Other Equipment = 9'-0" NGVD		
9	Lot Area	31,500 SF = 0.73 Acres		
10	Lot Width	150' Avg.	Lot Depth	130' Avg.
	Minimum Unit Size	722 sf	Average Unit Size	1,209 sf
	Existing Use	Surface Parking Lot	Proposed Use	Principle Use Commercial Garage + Residential + Dry Retail + Restaurant
		Maximum	Proposed	Deficiencies
11	Height	75 ft	78 ft from BFE + Freeboard	See Diagrams of Proposed Variance in PB A-18X Series Sections
12	Number of Stories	8	8	
13	FAR	N/A		
14	Gross Square Footage		See sheet HPB A-016.1	
15	Square Footage by Use		See sheet HPB A-016.1	
16	Number of Units (Residential)	N/A	15	
17	Open space Ratio	N/A	N/A	
		Maximum	Proposed	Deficiencies
18	Setbacks (Pedestal & Tower - Non Ocean Front)	Required	Notes	Proposed
19	Front (East - Facing Collins Avenue)	0'-0", 5'-0" (Residential)	Residential= 7'-6" + 10% of Bldg Ht. (i.e. 7'-10") = 15'-4"	2'-8", 54'-10" (Residential)
20	Side Interior (North - Facing Adjacent Lot)	0'-0", 15'-4" (Residential)	Residential = 5' + 10% of Bldg. Ht. (i.e. 7'-10") = 12'-10"	8'-4", 16'-7" (Residential)
21	Side Facing Street (South - Facing 4th Street)	0'-0", 12'-10" (Residential)		0'-10, 14'-8 1/2" (Residential)
22	Rear	5'-0"		5'-10"
		Maximum	Proposed	Deficiencies
22	Balcony / Cornice Projections into Required Yards (Residential) - 25% of Required Yard. Max 6 ft.	Maximum	Proposed	Deficiencies
23	Front (East - Facing Collins Avenue)	1'-3"		0'-0"
24	Side Interior (North - Facing Adjacent Lot)	3'-9"		3'-9"
25	Side Facing Street (South - Facing 4th Street)	3'-1 1/2"		3'-1 1/2"
26	Rear	1'-3"		0'-0"
		Required	Proposed	Deficiencies
26	Parking (Parking District No. 1)	Required	Proposed	Deficiencies
27	Residential (2 per Dwelling for Unit > 1200 sf; 1.75 per Dwelling for Unit 1000 sf < x < 1200 sf; 1.5 per Dwelling for Unit 550 sf < x < 1000 sf)	27	27	
28	4,200sf Dry Retail (1 for every 300 sf)	14	0	See Parking Deduction Allowances on HPB A-015.1
29	64-Seat Restaurant (1 for every 4 seats)	16	5	See Parking Deduction Allowances on HPB A-015.1
30	Total Number of Parking Spaces	N/A	120	
31	Number of Parking Spaces per Level		See Chart on Sheet HPB A-111	
	Parking Space Dimensions			
	Standard Spot	8'-6" x 18'-0"	8'-6" x 18'-0"	
	Narrow Spot	8'-0" x 18'-0"	8'-0" x 18'-0"	
	Valet Only Spot	8'-0" x 16'-0"	8'-0" x 16'-0"	
	ADA Spot	12'-0" x 18'-0"	12'-0" x 18'-0"	
32	Parking Space Configuration		90 Degree	
33	Tandem Spaces		0	
34	Drive Aisle Width	22'-0"	22'-0"	
35	Valet drop-off and pick-up		Yes. On Collins Street	
36	Loading zones and Trash Collection Areas		Yes. On Collins Court	
37	Trash Collection Areas		Yes. On Collins Court	
38	Bicycle Racks		Yes, 45 Long and 30 Short term spaces	

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savory Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

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DATE OF ISSUE

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SCALE

6" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

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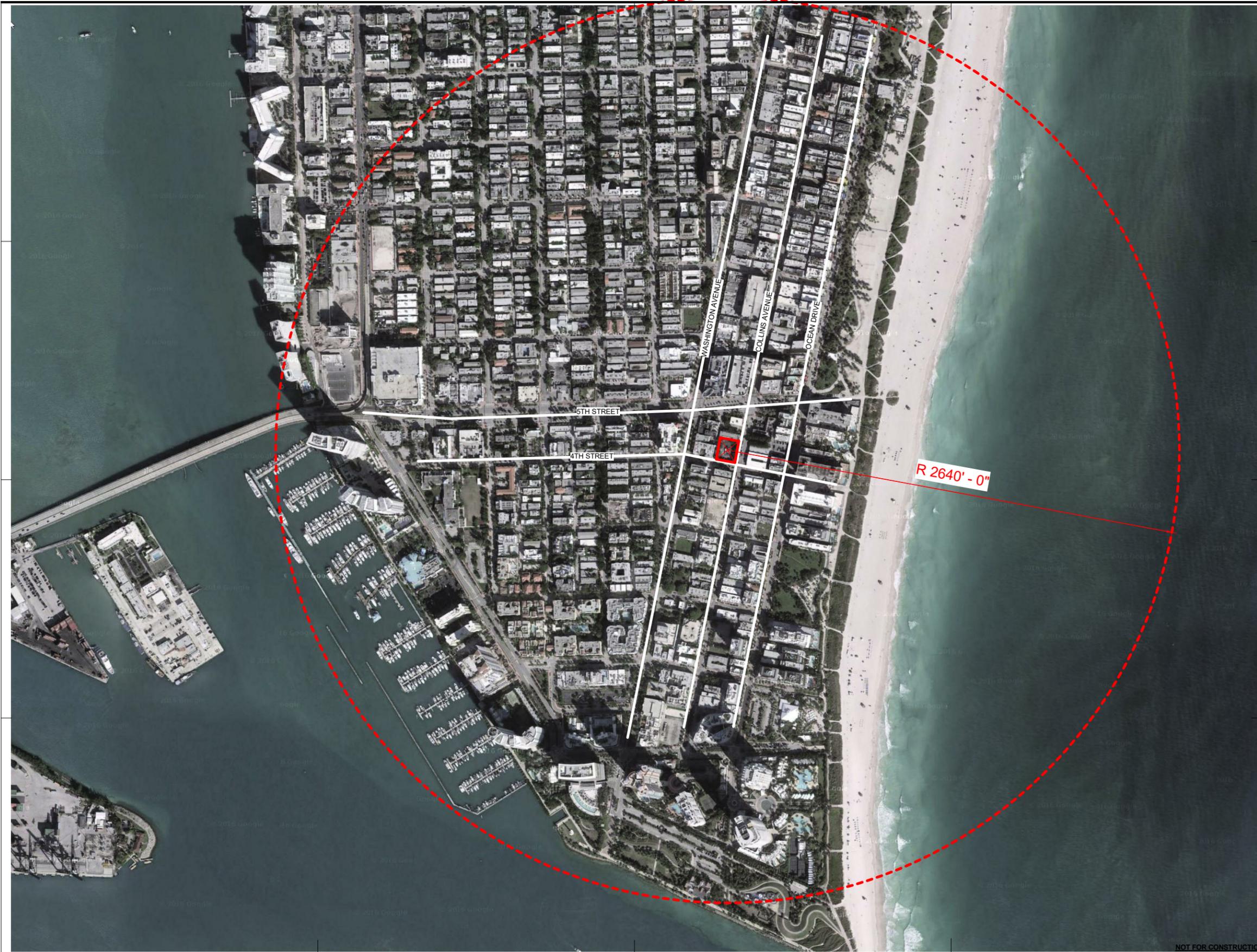


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HPB A-006
ZONING DATA

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ARCH D 36"x24"



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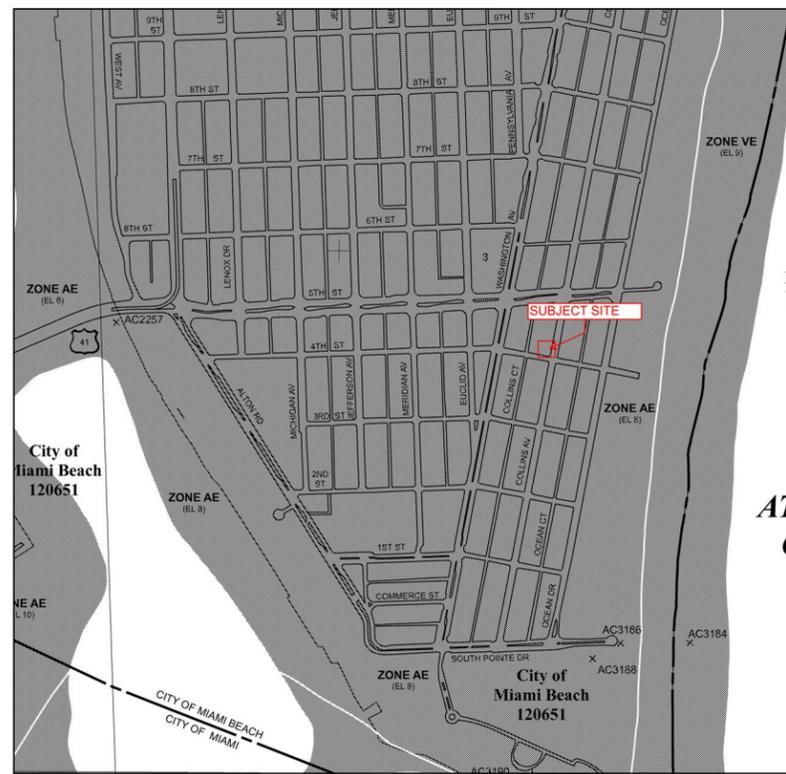
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HPB A-007.1
LOCATION PLAN

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Miami - Dade County
Unincorporated Areas
120635

ATLANTIC
OCEAN

MAP SCALE 1" = 500'

50 0 500 1000 FEET

50 0 500 1000 METER

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0319L

FIRM
FLOOD INSURANCE RATE MAP

MIAMI-DADE COUNTY,
FLORIDA
AND INCORPORATED AREAS

PANEL 319 OF 1031
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

LEGEND

COMMUNITY	NUMBER	PANEL	SHEET
MIAMI-DADE COUNTY	120635	0319L	1
MIAMI BEACH CITY OF	120635	0319L	1

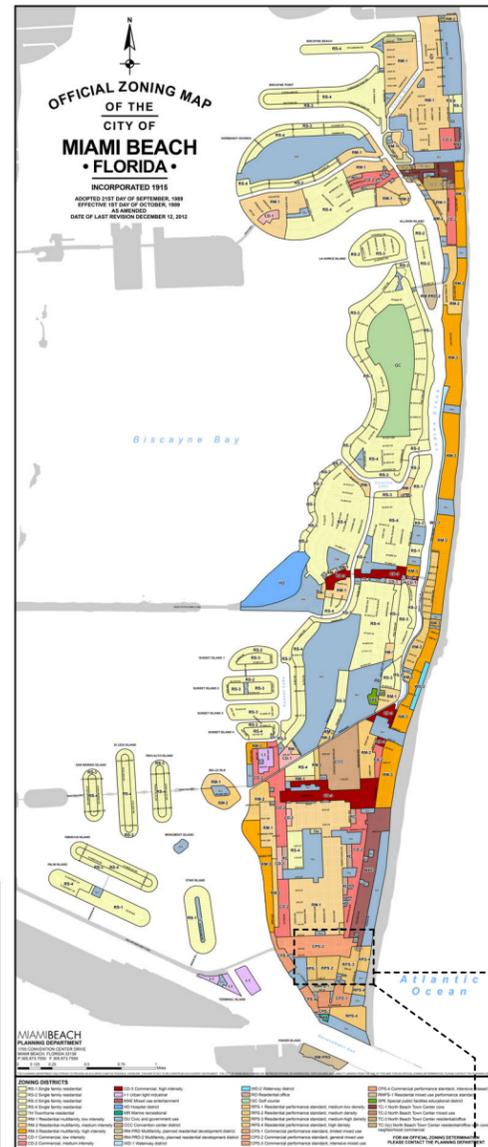
MAP NUMBER
12086C0319L

MAP REVISED
SEPTEMBER 11, 2009

Federal Emergency Management Agency

Note to User: This map number sheet should be used only when used in conjunction with the Community Number sheet also shown on this map and in accordance with the legend.

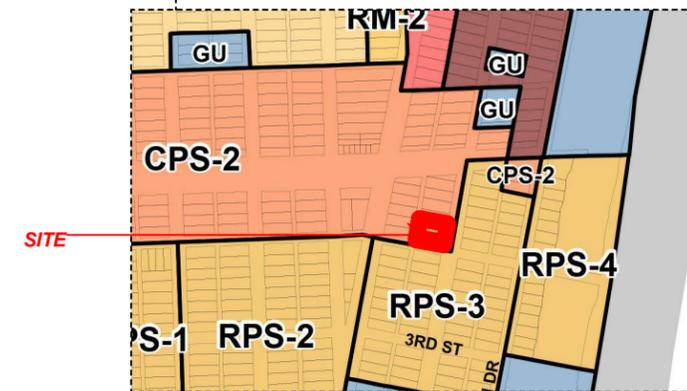
This is an official copy of a portion of the above referenced Flood Map. It was extracted using FIRM On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on this block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.mnfirma.gov.



C-PS2 ZONING DISTRICT



OCEAN BEACH HISTORIC DISTRICT



NOT FOR CONSTRUCTION

PROJECT

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HPB A-007.2
SITE LOCATION, HISTORIC
DISTRICT, ZONING & FIRM MAP



C Collins Avenue
Looking Northwest (March 12, 2019)



B Collins Avenue
Looking East (April 23, 2019)



A Collins Avenue
Looking East (April 23, 2019)

PROJECT
TORINO GARAGE

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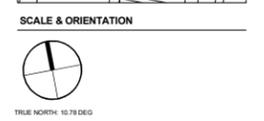
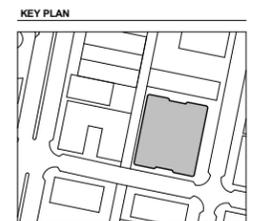
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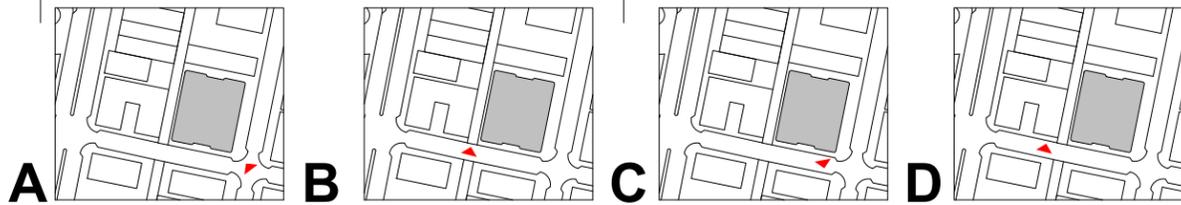
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CURRENT SITE PHOTOGRAPHS

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D 4th Street
Looking Northeast (March 12, 2019)



C Collins Avenue
Looking Northeast (March 12, 2019)



B 4th Street
Looking North down Collins Court (April 23, 2019)



A Collins Avenue
Looking Northeast (March 12, 2019)

PROJECT

TORINO GARAGE
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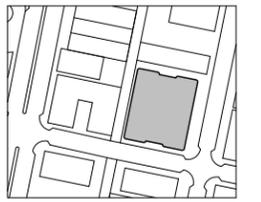
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1507 TORINO GARAGE

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CURRENT SITE PHOTOGRAPHS



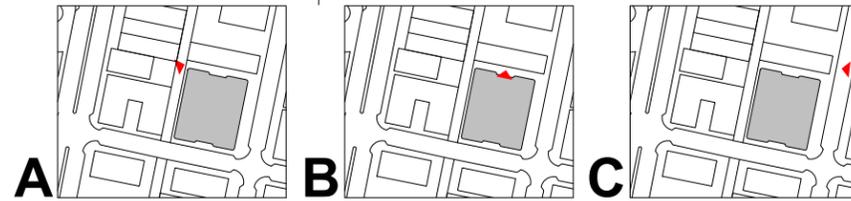
C Collins Avenue
Looking West (April 23, 2019)



B On Site
Looking North (March 12, 2019)



A Collins Court
Looking Northeast (April 23, 2019)



PROJECT

TORINO GARAGE

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PROJECT

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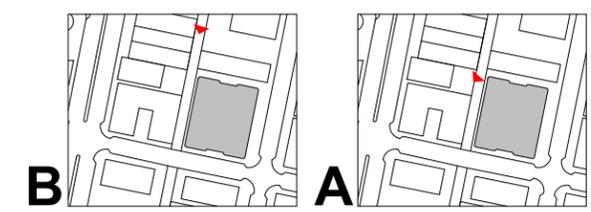
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B Collins Court
Looking South (March 12, 2019)



A Collins Court
Looking Southwest (March 12, 2019)

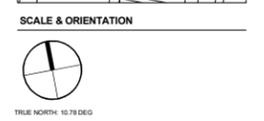
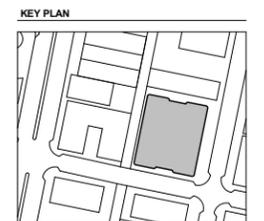
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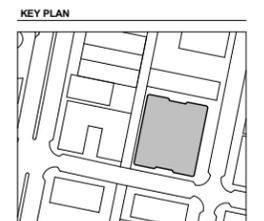
DRAWING TITLE
HPB A-008.4
CURRENT SITE PHOTOGRAPHS

400 COLLINS AVE., MIAMI BEACH, FL 33139
Owner:
 Savoy Hotel Partners, LLC
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NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE	DRAWN BY
04/15/19	
SCALE	CHECKED BY
3/32" = 1'-0"	
PROJECT NO. & TITLE	
1507 TORINO GARAGE	
PROJECT STATUS	
PLANNING BOARD FINAL SUBMITTAL	



SCALE & ORIENTATION



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HPB A-010
 SITE PLAN WITH SETBACKS

PEDESTAL SETBACKS:
 0'-0" FRONT SETBACK
 0'-0" SIDE, INTERIOR SETBACK
 0'-0" SIDE, STREET FACING SETBACK
 5'-0" REAR SETBACK

TOWER SETBACKS:
 0'-0" FRONT SETBACK
 15'-0" SIDE, INTERIOR SETBACK
 12'-6" SIDE, STREET FACING SETBACK
 5'-0" REAR SETBACK

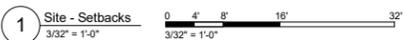
0'-0" PEDESTAL AND TOWER INT. SIDE SETBACK
 3'-9" ALLOWED BALCONY PROJECTION
 15'-4" RESIDENTIAL INT. SIDE SETBACK

12'-10" RESIDENTIAL STREET SIDE SETBACK
 3'-1 1/2" ALLOWED BALCONY PROJECTION
 0'-0" PEDESTAL AND TOWER STREET SIDE SETBACK

C-PS2
 MAXIMUM FAR = 2.0
 LOT AREA = 31,500 SF +/- (GROSS)

Per 130-68 (6) - The volume of such commercial and noncommercial parking garages shall be limited by the required setbacks and heights described within this section and shall not be subject to the floor area ratios prescribed for in the underlying zoning district.

Per 142-700 (1) - When more than 25 percent of the total area of a building in a C-PS district is used for residential or hotel units, any floor containing such units shall follow the R-PS1, 2, 3, 4 setback regulations.



NOT FOR CONSTRUCTION

1. AREA SUMMARY - COMPLIANCE AS PRIMARY USE PARKING GARAGE

TOTAL GROSS BUILDING AREA	
LEVEL	AREA
GROUND FLOOR	14,317 SF
LEVEL 02	6,922 SF
LEVEL 03A	17,338 SF
LEVEL 04A	17,338 SF
LEVEL 05A	17,338 SF
LEVEL 06	7,594 SF
LEVEL 07	7,691 SF
LEVEL 08	7,692 SF
ROOF	1,013 SF
TOTAL	97,242 SF

TOTAL GROSS PARKING AREA	
LEVEL	AREA
GROUND FLOOR	5,117 SF
LEVEL 02	6,922 SF
LEVEL 03A	17,265 SF
LEVEL 04A	17,265 SF
LEVEL 05A	17,265 SF
TOTAL	63,834 SF

TOTAL GROSS NON-PARKING AREA	
LEVEL	AREA
GROUND FLOOR	9,200 SF
LEVEL 03A	72 SF
LEVEL 04A	72 SF
LEVEL 05A	73 SF
LEVEL 06	7,594 SF
LEVEL 07	7,691 SF
LEVEL 08	7,692 SF
ROOF	1,013 SF
TOTAL	33,407 SF

PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1), FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGE:
THE TOTAL FLOOR AREA FOR NON-PARKING USES (i.e. RESIDENTIAL AND COMMERCIAL) MUST BE < 25% OF THE TOTAL FLOOR AREA OF THE STRUCTURE, SO AS TO INSURE THAT THE STRUCTURE'S MAIN USE IS AS A PARKING GARAGE.

- TOTAL GROSS NON-PARKING AREA = **33,407 SF**
- TOTAL GROSS BUILDING AREA = **97,242 SF**
- % OF NON-PARKING AREA TO TOTAL GROSS BUILDING AREA = $(33,407 SF / 97,242 SF) \times 100 = 34.35 = \mathbf{34.35\%}$
- NON-PARKING AREA IS > 25% OF TOTAL GROSS BUILDING AREA BUT < 35% OF TOTAL GROSS BUILDING AREA. THIS BUILDING WILL COMPLY WITH PROPOSED AMENDMENTS TO SECTION 130-68(1).**

2. PARKING SPACE COUNT SUMMARY

PARKING SCHEDULE	
Type	Count
Parking Spot 8'-6" x 18'-0"	79
Parking Spot_ADA 12'-0" x 18'-0"	5
Parking Spot_Narrow 8'-0" x 18'-0"	24
Parking Spot_Valet Only 8'-6" x 16'-0"	12
TOTAL PARKING COUNT	120

120 PARKING SPACES PROVIDED TOTAL, OF WHICH 5 ARE ADA SPACES, WITH 1 AVAILABLE FOR ADA VAN ACCESS*.

* NOTE: ACCESSIBLE PARKING REQUIREMENTS FROM IBC 2012 SEC. 1106.1, 1106.5

3. PARKING SPACE ALLOCATION SUMMARY

OFF-STREET PARKING DEDUCTIONS FOR NON-PRIMARY USE	
<small>ALTERNATE PARKING INCENTIVES - ZONING SECTION 130-40</small>	
RESIDENTIAL PARKING SPACES REQUIRED - 15 UNITS (PRE-DEDUCTION) <small>1.5 SPACES PER UNIT BETWEEN 550-999 SF; 1.75 SPACES PER UNIT BETWEEN 1000-1200 SF; 2 SPACES FOR UNITS ABOVE 1200 SF</small>	27
RETAIL PARKING SPACES REQUIRED (PRE-DEDUCTION) <small>4,200SF RETAIL / 300 SF PER PARKING SPACE = MINIMUM OF 14 SPACES REQUIRED</small>	14
RESTAURANT PARKING SPACES REQUIRED (PRE-DEDUCTION) <small>64-SEAT RESTAURANT / 4 SEATS PER PARKING SPACE = MINIMUM OF 16 SPACES REQUIRED</small>	16
TOTAL SPACES REQUIRED FOR NON-PRIMARY USE (PRE-DEDUCTION)	57
<small>ALTERNATE PARKING INCENTIVES - ZONING SECTION 130-40</small>	
DEDUCTION FOR DROP-OFF & LOADING ZONES FOR COMPENSATION VEHICLES <small>C) DEVELOPMENTS OVER 50,000 SF MAY REDUCE A MAXIMUM OF 9 OFF-STREET PARKING SPACES BY PROVIDING 3 DROP-OFF STALLS</small>	-9
DEDUCTION FOR LONG-TERM BICYCLE PARKING <small>A) 1 OFF-STREET PARKING SPACE DEDUCTED PER 5 BIKE SPACES W/ MAX OF 15% OF TOTAL (9 SPACES) 45 LONG-TERM BIKE SPACES PROVIDED ON GROUND FLOOR / 5 = 9 SPACES DEDUCTED</small>	-9
DEDUCTION FOR SHORT-TERM BICYCLE PARKING <small>B) 1 OFF-STREET PARKING SPACE DEDUCTED PER 10 BIKE SPACES W/ MAX OF 15% OF TOTAL (9 SPACES) 30 SHORT-TERM BIKE SPACES PROVIDED ON GROUND FLOOR / 10 = 3 SPACES DEDUCTED</small>	-3
DEDUCTION FOR SCOOTER, MOPED, OR MOTORCYCLE PARKING <small>E) 1 OFF-STREET PARKING SPACE DEDUCTED PER 3 MOPED SPACES W/ MAX OF 15% OF TOTAL (9 SPACES) 6 SCOOTER SPACES PROVIDED / 3 = 2 SPACES DEDUCTED</small>	-2
DEDUCTION FOR CARPOOL PARKING <small>C) 3 OFF-STREET PARKING SPACES DEDUCTED PER 1 CARPOOL SPACE W/ MAX OF 10% OF TOTAL (6 SPACES) 2 CARPOOL SPACES PROVIDED X 3 = 6 SPACES DEDUCTED</small>	-6
TOTAL DEDUCTIONS	-29
TOTAL SPACES REQUIRED FOR NON-PRIMARY USE (POST-DEDUCTION)	28

PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1), FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGE:
THE TOTAL FLOOR AREA OF THE STRUCTURE USED FOR PARKING, EXCLUSIVE OF THE REQUIRED PARKING FOR THE RESIDENTIAL AND COMMERCIAL SPACE, MUST BE > 50% OF THE TOTAL FLOOR AREA OF THE STRUCTURE, SO AS TO INSURE THAT THE STRUCTURE'S MAIN USE IS AS A PARKING GARAGE.

- 50% OF TOTAL GROSS BUILDING AREA = $97,242 SF / 2 = \mathbf{48,621 SF}$
- TOTAL GROSS PARKING AREA = **63,834 SF**
- TOTAL PARKING COUNT = **120 SPACES**
- GROSS FLOOR AREA PER PARKING SPACE (GROSS PARKING AREA/TOTAL PARKING COUNT) = $63,834 SF / 120 SPACES = 532 SF PER PARKING SPACE$
- MAX. PARKING FOR NON-PRIMARY USE (GROSS PARKING AREA - 50% OF GROSS BUILDING AREA) = $63,834 SF - 48,621 SF = 15,213 SF$:
- MAX. NUMBER OF PARKING SPACES FOR NON-PRIMARY USE: $15,213 SF / 532 SF PER PARKING SPACE = \mathbf{28 MAX NON-PRIMARY PARKING SPACES}$
- MIN. PARKING FOR PRIMARY USE: $120 SPACES - 28 MAX NON-PRIMARY SPACES = \mathbf{92 MIN PRIMARY PARKING SPACES}$

92 PRIMARY + 28 NON-PRIMARY PARKING SPACES = 120 PARKING SPACES PROVIDED BUILDING MEETS PARKING REQUIREMENTS USING ALTERNATE PARKING INCENTIVES.

TOTAL TRANSPORTATION SPACES PROVIDED	
VEHICLE SPACES	120
LONG-TERM BICYCLE RACKS	45
SHORT-TERM BICYCLE RACKS	30
SCOOTER PARKING	6
TOTAL TRANSPORTATION SPACES PROVIDED	201

PROJECT

TORINO GARAGE

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NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE

04/15/19

SCALE

6" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

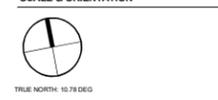
PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



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GRAPHIC SCALE (AS NOTED)

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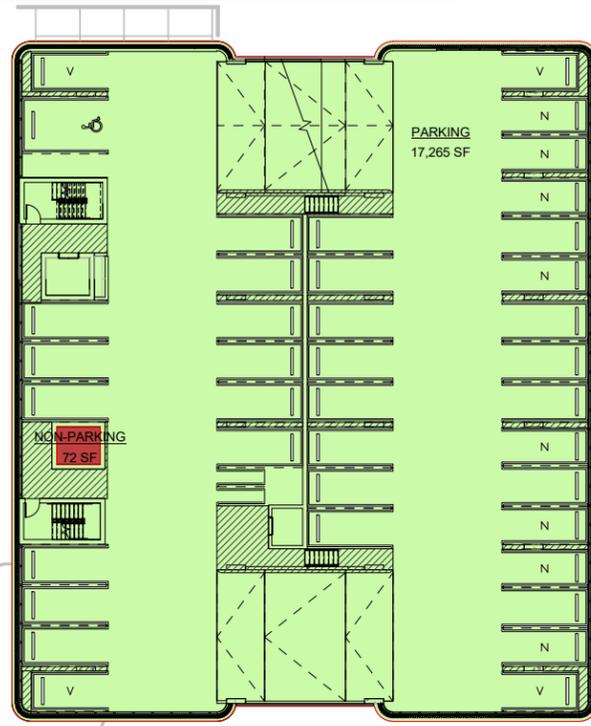


DRAWING TITLE

HPB A-015.1

AREA AND PARKING COUNT SUMMARY - COMPLIANCE AS PRIMARY USE PARKING GARAGE

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF SUMMARY SHEET A-015.1



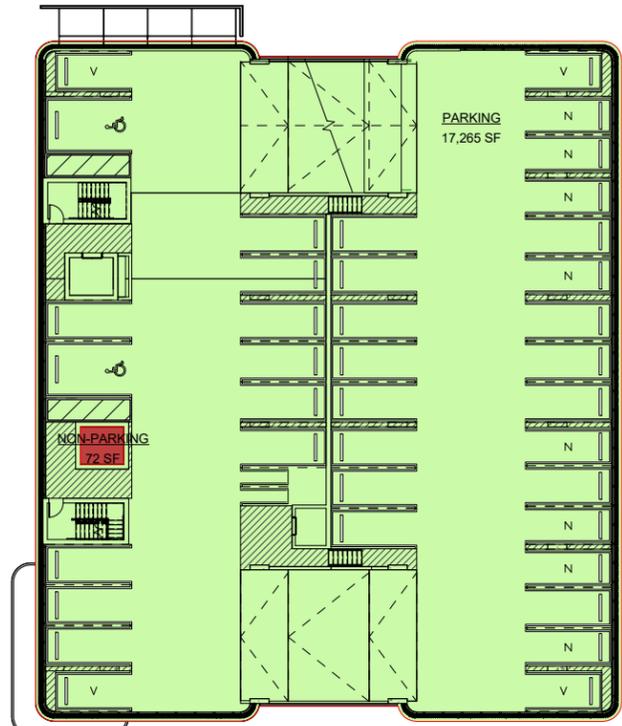
5 PRIMARY USE AREA - LEVEL 04
1/16" = 1'-0"

LEVEL 04

GROSS FLOOR AREA - LEVEL 04	
PROGRAM	AREA
NON-PARKING	72 SF
PARKING	17,265 SF
FLOOR TOTAL	17,338 SF

PARKING SPACE ALLOCATION

Allocation	Count
PRIMARY USE CARPARK (PU)	39
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	39



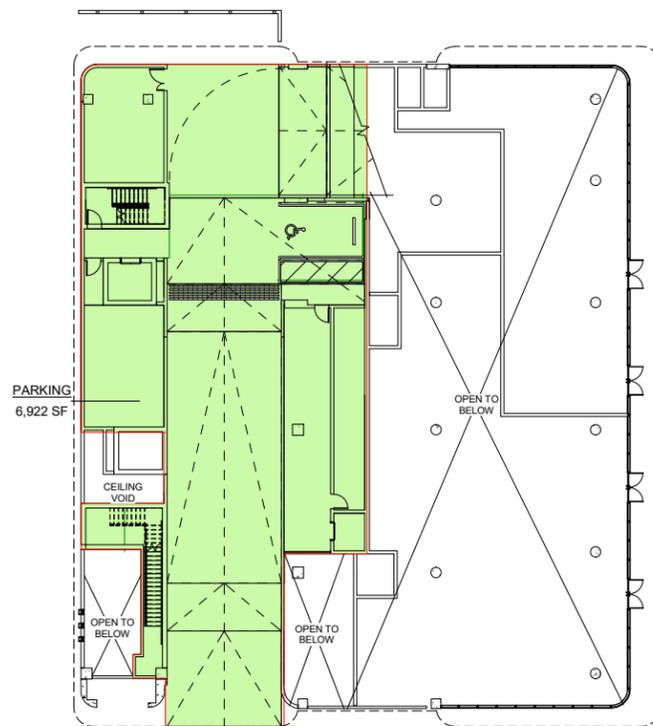
3 PRIMARY USE AREA - LEVEL 03
1/16" = 1'-0"

LEVEL 03

GROSS FLOOR AREA - LEVEL 03	
PROGRAM	AREA
NON-PARKING	72 SF
PARKING	17,265 SF
FLOOR TOTAL	17,338 SF

PARKING SPACE ALLOCATION

Allocation	Count
PRIMARY USE CARPARK (PU)	38
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	38



2 PRIMARY USE AREA - LEVEL 02
1/16" = 1'-0"

LEVEL 02

GROSS FLOOR AREA - LEVEL 02	
PROGRAM	AREA
PARKING	6,922 SF
FLOOR TOTAL	6,922 SF

PARKING SPACE ALLOCATION

Allocation	Count
PRIMARY USE CARPARK (PU)	1
RETAIL (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	1



1 PRIMARY USE AREA - LEVEL 01 GROUND
1/16" = 1'-0"

LEVEL 01 - GROUND

GROSS FLOOR AREA - LEVEL 01	
PROGRAM	AREA
NON-PARKING	9,200 SF
PARKING	5,117 SF
FLOOR TOTAL	14,317 SF

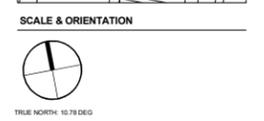
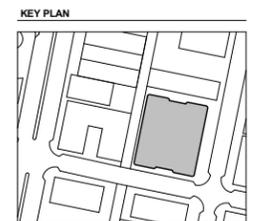


PROJECT
TORINO GARAGE
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SCALE **CHECKED BY**
1/16" = 1'-0" -

PROJECT NO. & TITLE
1507 TORINO GARAGE
PROJECT STATUS
PLANNING BOARD FINAL SUBMITTAL



SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

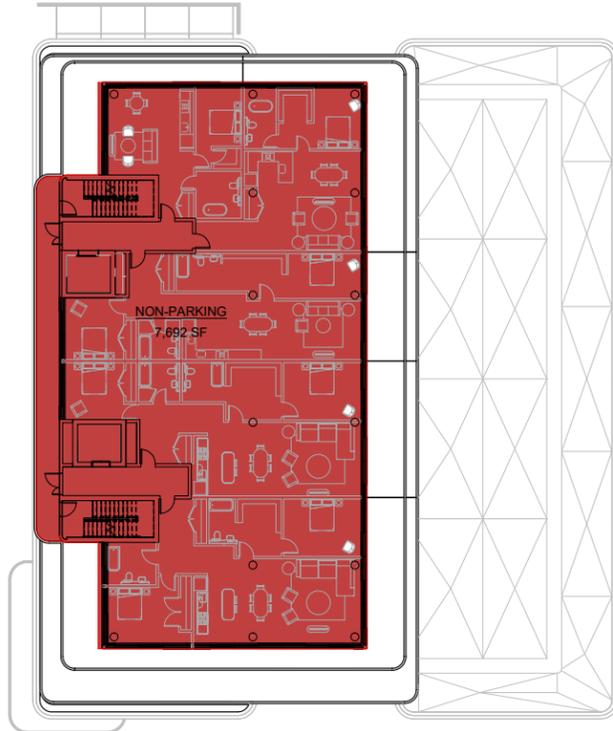
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DRAWING TITLE
HPB A-015.2
PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 01 TO
LEVEL 04

NOT FOR CONSTRUCTION

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF SUMMARY SHEET A-015.1

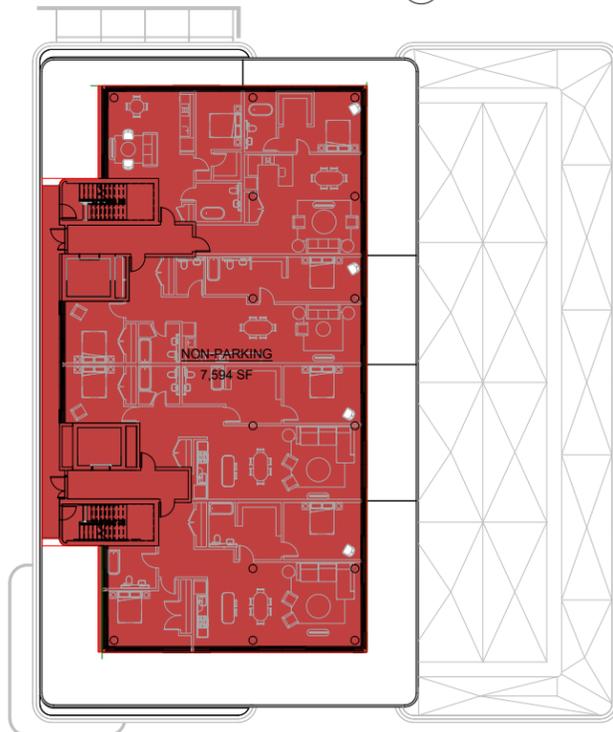


LEVEL 08

GROSS FLOOR AREA - LEVEL 08

PROGRAM	AREA
NON-PARKING	7,692 SF
FLOOR TOTAL	7,692 SF

4 PRIMARY USE AREA - LEVEL 08
1/16" = 1'-0"

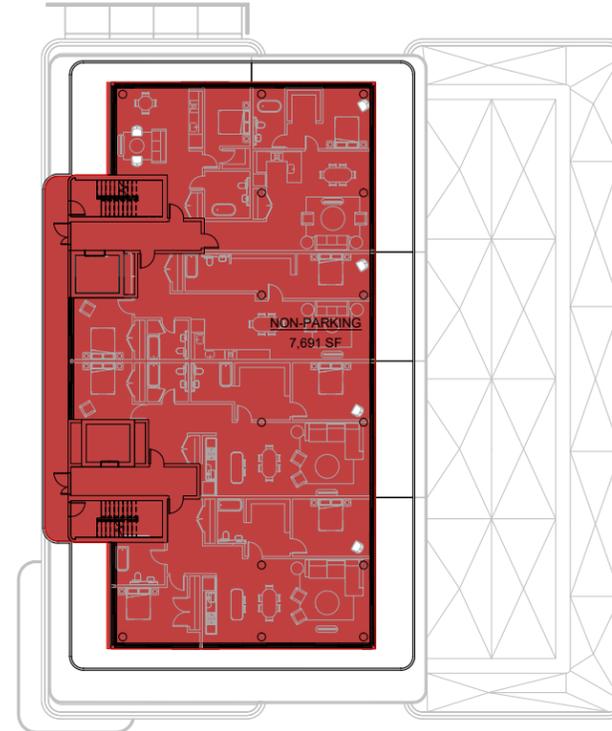


LEVEL 06

GROSS FLOOR AREA - LEVEL 06

PROGRAM	AREA
NON-PARKING	7,594 SF
FLOOR TOTAL	7,594 SF

2 PRIMARY USE AREA - LEVEL 06
1/16" = 1'-0"

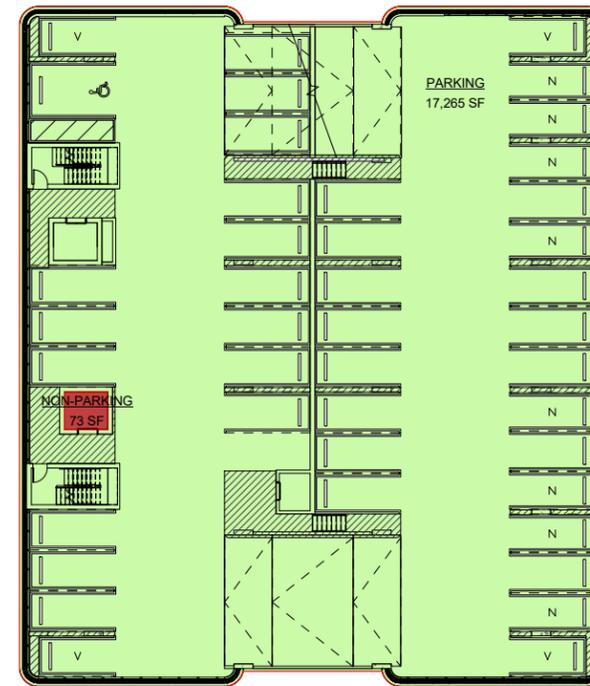


LEVEL 07

GROSS FLOOR AREA - LEVEL 07

PROGRAM	AREA
NON-PARKING	7,691 SF
FLOOR TOTAL	7,691 SF

3 PRIMARY USE AREA - LEVEL 07
1/16" = 1'-0"



LEVEL 05

GROSS FLOOR AREA - LEVEL 05

PROGRAM	AREA
NON-PARKING	73 SF
PARKING	17,265 SF
FLOOR TOTAL	17,338 SF

1 PRIMARY USE AREA - LEVEL 05
1/16" = 1'-0"

PARKING SPACE ALLOCATION

Allocation	Count
PRIMARY USE CARPARK (PU)	12
RETAIL (R)	1
RESIDENTIAL (RES)	29
FLOOR TOTAL	42

0 8' 16' 32'
1/16" = 1'-0"

PROJECT

TORINO GARAGE

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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



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DRAWING TITLE

HPB A-015.3
PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 05 TO
LEVEL 08

NOT FOR CONSTRUCTION

ARCH D 36"x24"

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF SUMMARY SHEET A-015.1

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

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SCALE: 1/16" = 1'-0"

PROJECT NO. & TITLE: 1507 TORINO GARAGE

PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



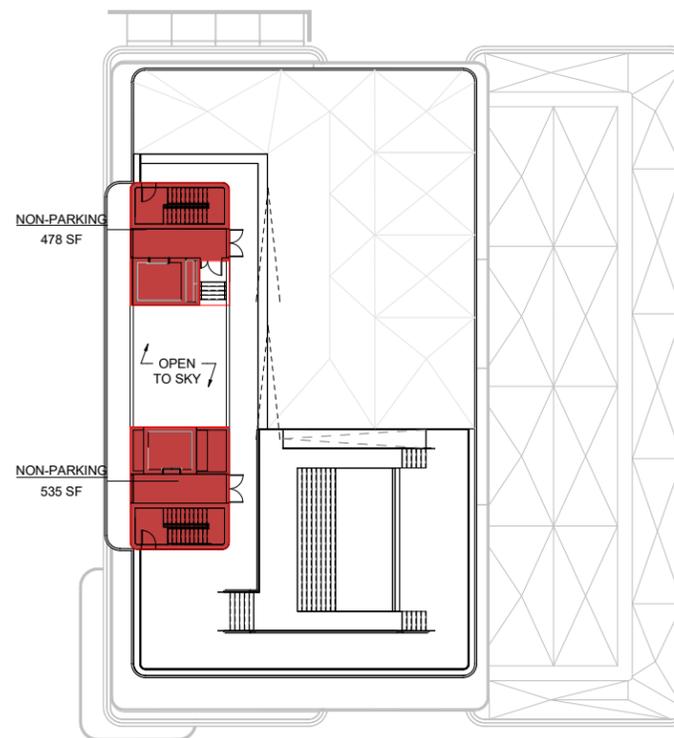
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DRAWING TITLE

HPB A-015.4
PRIMARY USE PARKING GARAGE
AREA PLANS - LEVEL 09



LEVEL 09 - ROOF

GROSS FLOOR AREA - LEVEL 09	
PROGRAM	AREA
NON-PARKING	1,013 SF
FLOOR TOTAL	1,013 SF

NON-PARKING	478 SF
NON-PARKING	535 SF
FLOOR TOTAL	1,013 SF

1 PRIMARY USE AREA - LEVEL 09 ROOF
1/16" = 1'-0" 0 8' 16' 32'
1/16" = 1'-0"

NOT FOR CONSTRUCTION

1. AREA SUMMARY - FAR COMPLIANCE

TOTAL FAR*	
Level	Area
GROUND FLOOR	14,175 SF
LEVEL 02	6,977 SF
LEVEL 03A	17,338 SF
LEVEL 04A	17,338 SF
LEVEL 05A	17,339 SF
LEVEL 06	7,273 SF
LEVEL 07	7,287 SF
LEVEL 08	7,287 SF
ROOF	1,012 SF
TOTAL	96,026 SF

GROSS PARKING FAR	
Level	Area
GROUND FLOOR	2,545 SF
LEVEL 02	6,509 SF
LEVEL 03A	17,265 SF
LEVEL 04A	17,266 SF
LEVEL 05A	17,266 SF
TOTAL	60,851 SF

GROSS RESIDENTIAL FAR	
Level	Area
GROUND FLOOR	1,063 SF
LEVEL 03A	73 SF
LEVEL 04A	73 SF
LEVEL 05A	73 SF
LEVEL 06	7,273 SF
LEVEL 07	7,287 SF
LEVEL 08	7,287 SF
ROOF	861 SF
TOTAL	23,989 SF

GROSS RETAIL FAR	
Level	Area
GROUND FLOOR	8,132 SF
TOTAL	8,132 SF

GROSS INCLUDED BOH FAR	
Level	Area
GROUND FLOOR	2,435 SF
LEVEL 02	468 SF
ROOF	151 SF
TOTAL	3,054 SF

GROSS EXCLUDED BOH FAR*	
Level	Area
GROUND FLOOR	139 SF
TOTAL	139 SF

PER MIAMI BEACH ZONING ORD. SEC. 142-700 (1), SETBACKS:
When more than 25 percent of the total area of a building in a C-PS district is used for residential or hotel units, any floor containing such units shall follow the R-PS1, 2, 3, 4 setback regulations.

- TOTAL GROSS RESIDENTIAL FAR = **23,989 SF**
- TOTAL FAR = **96,026 SF**
- % OF GROSS RESIDENTIAL FAR TO TOTAL FAR = $(23,989 \text{ SF} / 96,026 \text{ SF}) \times 100 = 24.98 = \mathbf{24.98\%}$

4. TOTAL GROSS RESIDENTIAL FAR IS < 25% OF TOTAL FAR. FLOORS WITH RESIDENTIAL OR HOTEL UNITS DO NOT NEED TO COMPLY WITH R-PS1, 2, 3, 4 SETBACK REGULATIONS.

*FROM MIAMI BEACH ZONING ORD. SEC. 114-1 DEFINITIONS: FLOOR AREA:

THE FLOOR AREA OF A BUILDING SHALL NOT INCLUDE:
 (7) MECHANICAL EQUIPMENT ROOMS LOCATED ABOVE ROOF DECK.
 (10) ENCLOSED GARBAGE ROOMS, ENCLOSED WITHIN THE BUILDING ON THE GROUND FLOOR LEVEL.

PROJECT TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139
Owner:
 Savoy Hotel Partners, LLC
 c/o Allied Partners
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Architect:
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 New York, NY 10152
 License # AA26003249

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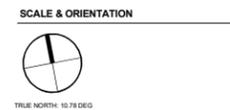
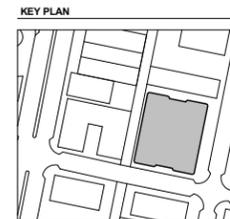
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NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

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PROJECT NO. & TITLE
 1507 TORINO GARAGE
PROJECT STATUS
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HPB A-016.1
 AREA AND PARKING COUNT
 SUMMARY - FAR COMPLIANCE

NOT FOR CONSTRUCTION

TORINO GARAGE

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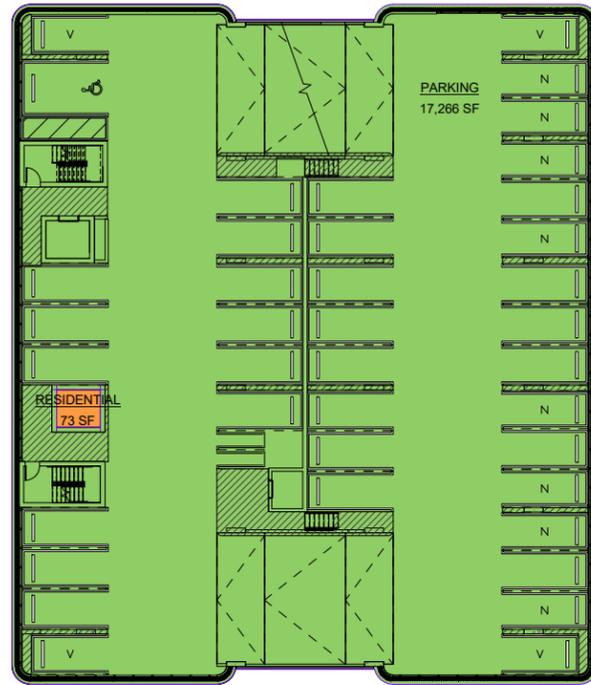
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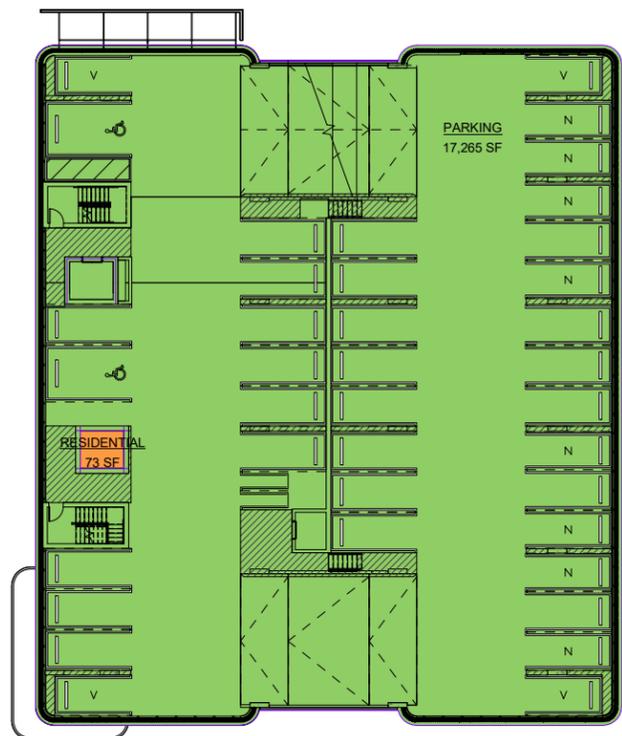


LEVEL 04

FAR - GROSS FLOOR AREA - LEVEL 04

Name	Area
PARKING	17,266 SF
RESIDENTIAL	73 SF
FLOOR TOTAL	17,338 SF

4 FAR - LEVEL 04
1/16" = 1'-0"

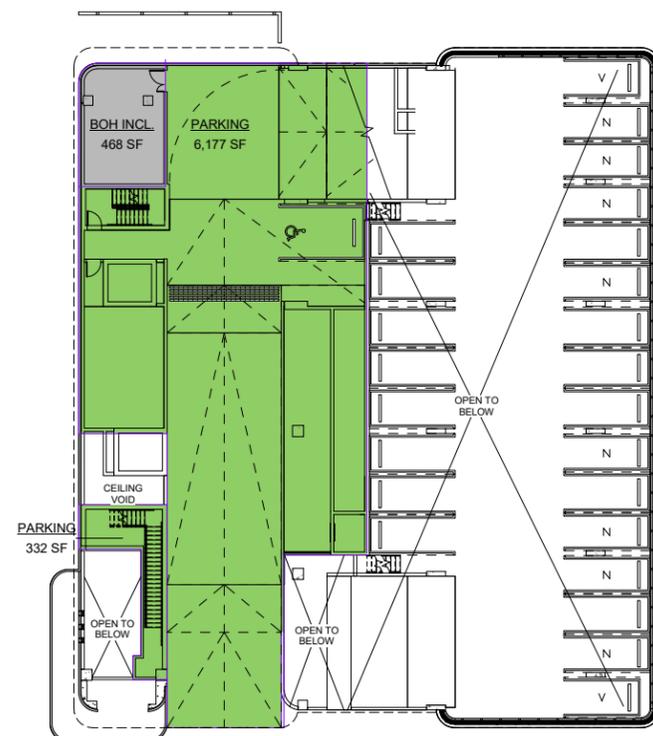


LEVEL 03

FAR - GROSS FLOOR AREA - LEVEL 03

Name	Area
PARKING	17,265 SF
RESIDENTIAL	73 SF
FLOOR TOTAL	17,338 SF

3 FAR - LEVEL 03
1/16" = 1'-0"

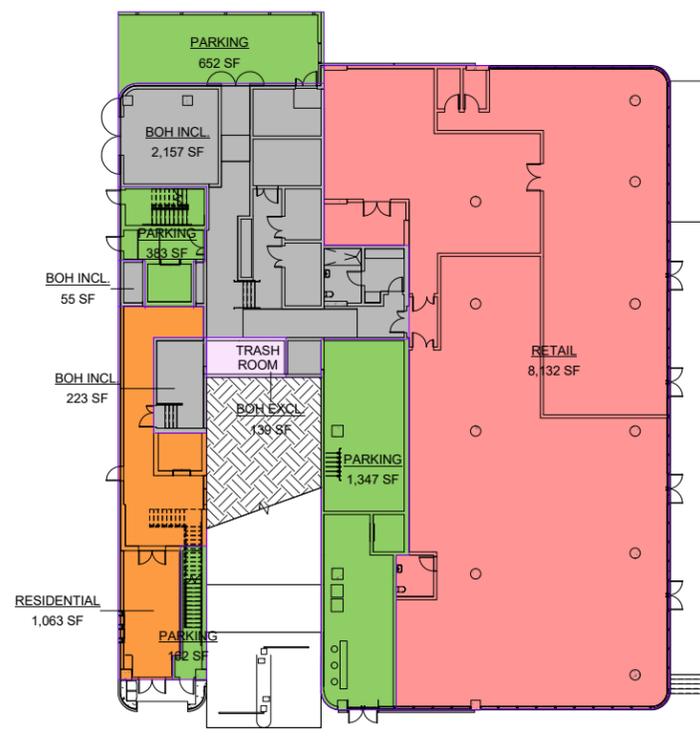


LEVEL 02

FAR - GROSS FLOOR AREA - LEVEL 02

Name	Area
BOH INCL.	468 SF
PARKING	6,509 SF
FLOOR TOTAL	6,977 SF

2 FAR - LEVEL 02
1/16" = 1'-0"

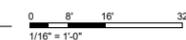


LEVEL 01 - GROUND

FAR - GROSS FLOOR AREA - LEVEL 01

Name	Area
BOH EXCL.	139 SF
BOH INCL.	2,435 SF
PARKING	2,545 SF
RESIDENTIAL	1,063 SF
RETAIL	8,132 SF
FLOOR TOTAL	14,314 SF

1 FAR - LEVEL 01 GROUND
1/16" = 1'-0"



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PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



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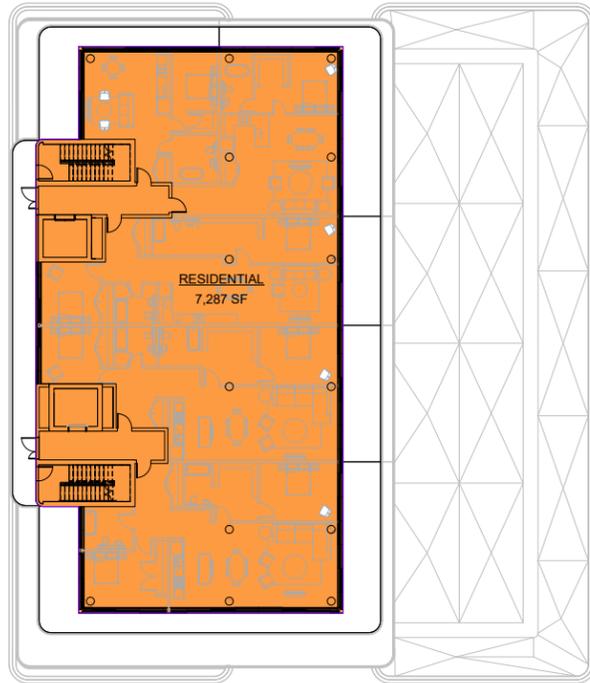
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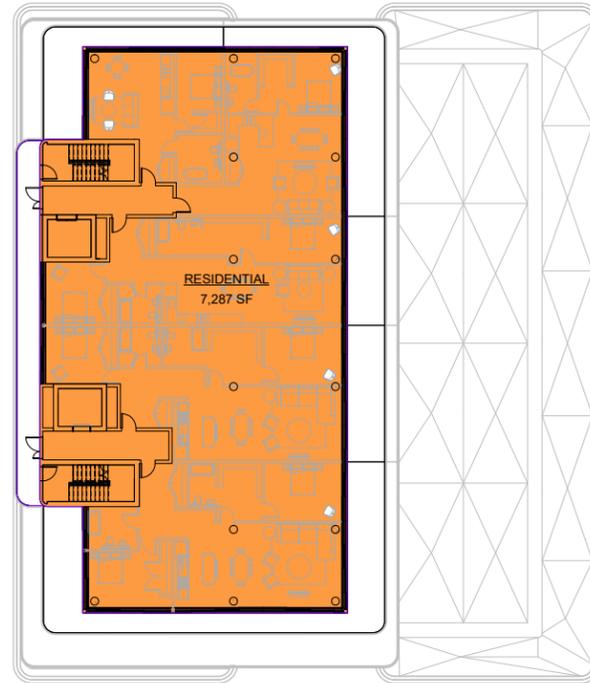
HPB A-016.2
FAR AREA PLANS - LEVEL 1 TO LEVEL 4

NOT FOR CONSTRUCTION



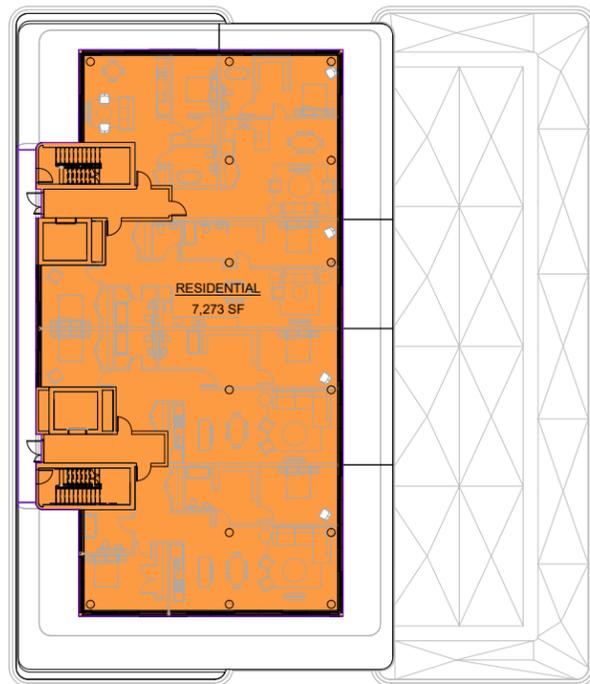
4 LEVEL 08
1/16" = 1'-0"

LEVEL 08	
FAR - GROSS FLOOR AREA - LEVEL 08	
Name	Area
RESIDENTIAL	7,287 SF
FLOOR TOTAL	7,287 SF



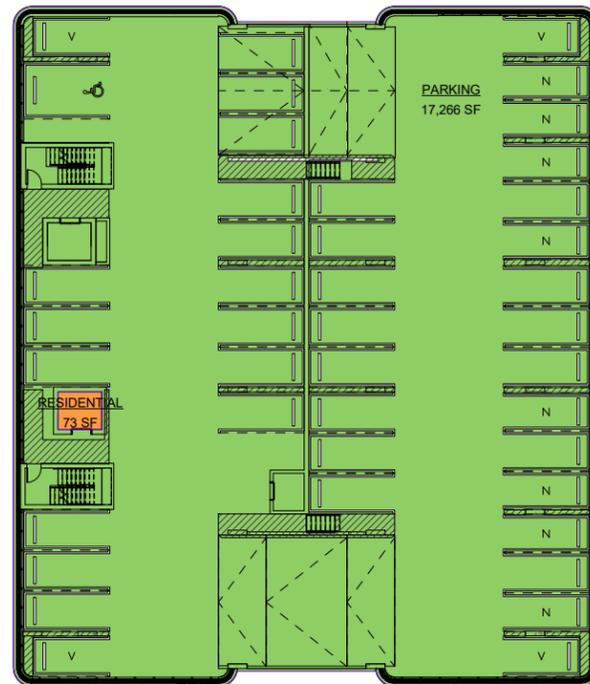
3 FAR - LEVEL 07
1/16" = 1'-0"

LEVEL 07	
FAR - GROSS FLOOR AREA - LEVEL 07	
Name	Area
RESIDENTIAL	7,287 SF
FLOOR TOTAL	7,287 SF



2 FAR - LEVEL 06
1/16" = 1'-0"

LEVEL 06	
FAR - GROSS FLOOR AREA - LEVEL 06	
Name	Area
RESIDENTIAL	7,273 SF
FLOOR TOTAL	7,273 SF



1 FAR - LEVEL 05
1/16" = 1'-0"

LEVEL 05	
FAR - GROSS FLOOR AREA - LEVEL 05	
Name	Area
PARKING	17,266 SF
RESIDENTIAL	73 SF
FLOOR TOTAL	17,339 SF



PROJECT
TORINO GARAGE

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1507 TORINO GARAGE

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HPB A-016.3
FAR AREA PLANS - LEVEL 5 TO 8

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

TORINO GARAGE

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1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



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GRAPHIC SCALE (AS NOTED)

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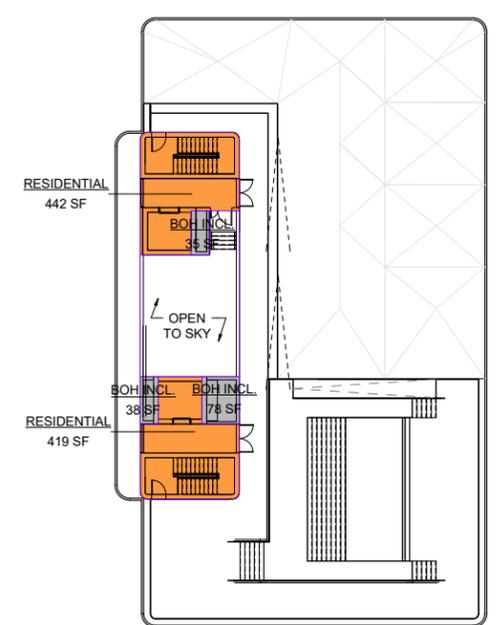
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DRAWING TITLE

HPB A-016.4
FAR AREA PLANS - LEVEL 9



ROOF

FAR - GROSS FLOOR AREA - LEVEL 09

Name	Area
BOH INCL.	151 SF
RESIDENTIAL	861 SF
FLOOR TOTAL	1,012 SF

1 FAR - LEVEL 09 - ROOF
1/16" = 1'-0" 0 8' 16' 32'
1/16" = 1'-0"

NOT FOR CONSTRUCTION

1. AREA SUMMARY - COMPLIANCE TO MAXIMUM ALLOWED ROOF DECK AREA

PER *MIAMI BEACH ZONING ORD. SEC. 142-1161 (a)(3)*:
DECKS, ARE NOT TO EXCEED THREE FEET ABOVE THE MAIN ROOFLINE AND NOT EXCEEDING A COMBINED DECK AREA OF 50 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW.

1. TOTAL GROSS ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW MAIN ROOFLINE = LEVEL 8 = **7,287 SF**
2. 50% OF 1a. = $7,322 / 2 =$ **3,644 SF**
3. TOTAL ROOF DECK AREA PROVIDED = **1,995 SF**

4. TOTAL OCCUPIABLE ROOF DECK AREA IS < THAN 50% OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW THE MAIN ROOFLINE. THIS BUILDING COMPLIES WITH SEC. 142-1161 (a)(3).

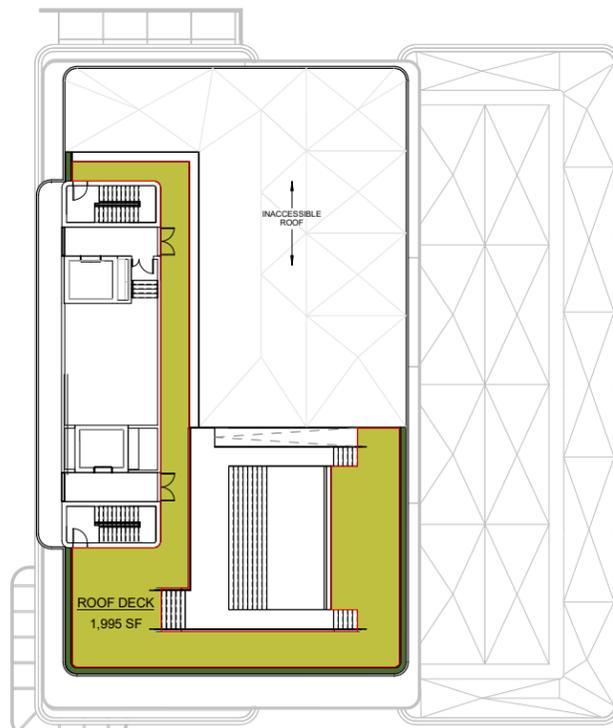
Sec. 142-1161. - Height regulation exceptions

(a) The height regulations as prescribed in these land development regulations shall not apply to the following when located on the roof of a structure or attached to the main structure. For exceptions to the single-family residential districts, see subscription 142 - 105 (e).

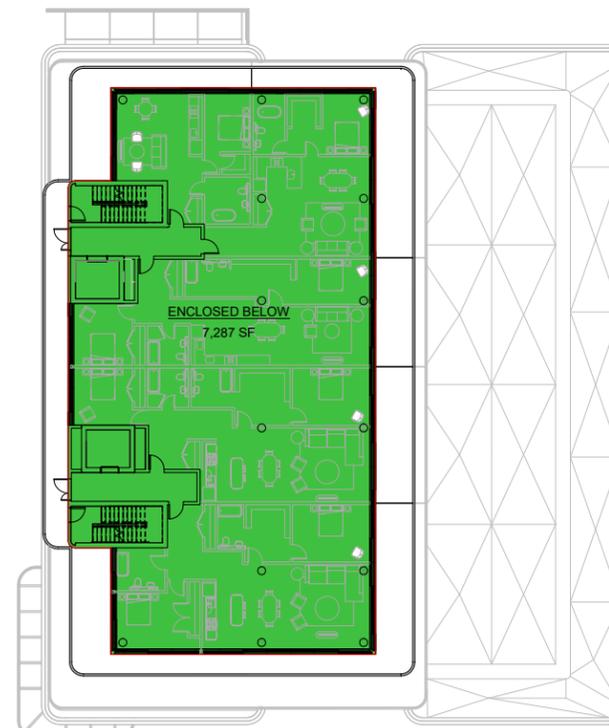
- (3) Docks, not to exceed three feet above the main roofline and not exceeding a combined deck area of 50 percent of the enclosed floor area immediately one floor below.
- (8) Planters, not to exceed three feet in height above the main roofline.
- (13) Swimming pools, whirlpools, or similar structures, which shall have a four-foot wide walkway surrounding such structures, not to exceed five feet above the main roofline.

ROOF AREAS	
Name	Area
ROOF DECK	1,995 SF
TOTAL	1,995 SF

TOTAL GROSS ENCLOSED AREA OF LAST OCCUPIED FLOOR BENEATH ROOF SLAB	
Name	Area
ENCLOSED BELOW	7,287 SF
TOTAL	7,287 SF



2 ROOF AREA - LEVEL 09 - ROOF DECK
1/16" = 1'-0"



1 ENCLOSED AREA - LEVEL 08 - RESIDENTIAL
1/16" = 1'-0"

PROJECT
TORINO GARAGE

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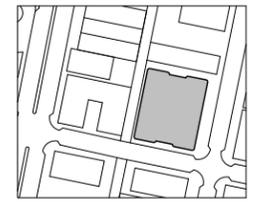
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PROJECT NO. & TITLE
 1507 TORINO GARAGE

PROJECT STATUS
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KEY PLAN



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HPB A-017
 AREA SUMMARY COMPLIANCE TO
 MAXIMUM ALLOWED ROOF DECK
 AREA AND OPEN SPACE RATIO

NOT FOR CONSTRUCTION

TORINO GARAGE

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PROJECT STATUS

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HPB A-040
DEMOLITION PLAN

NOTES

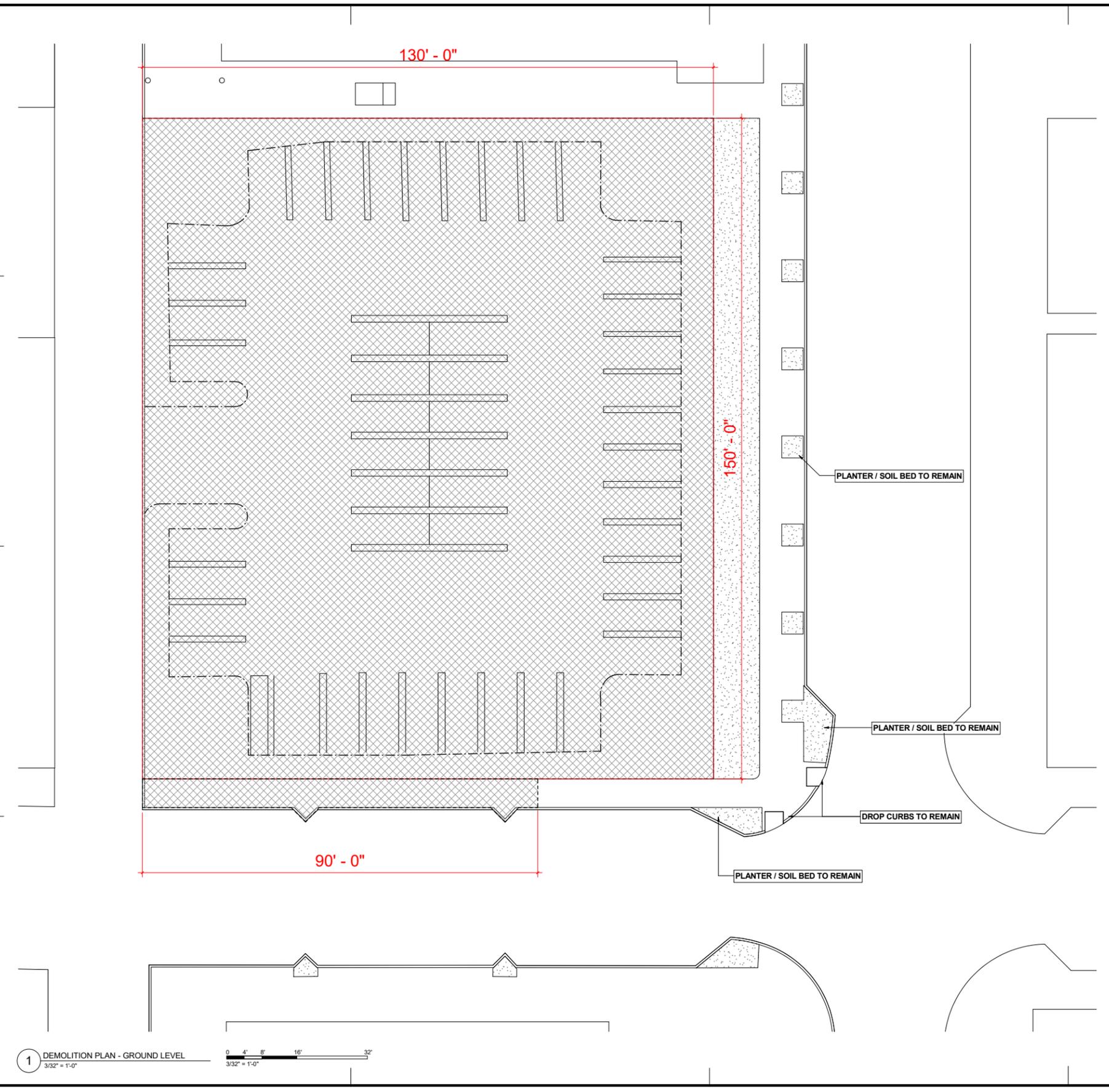
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR INFORMATION ON UTILITY MODIFICATIONS AND TREE DISPOSITION

- AS PER FBC 2014, CH. 33, DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE UNITED STATES WEATHER BUREAU AS BEING HURRICANE WARNING OR ALERT, ALL CONSTRUCTION MATERIALS AND/OR EQUIPMENT SHALL BE SECURED AGAINST DISPLACEMENT BY WIND FORCES
- THE SCOPE OF REMOVAL OF WORK SHALL INCLUDE THE REMOVAL OF ALL EXISTING CONDITIONS AS REQUIRED TO ACCOMMODATE THE PROPOSED WORK, WHETHER OR NOT IT IS SPECIFICALLY CALLED OUT ON THIS DEMOLITION PLAN.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO ANY WORK.
- EXISTING UTILITIES SHOWN ARE BASED ON RECORD INFORMATION AND MAY BE INCOMPLETE, CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL NECESSARY FEES AND OBTAINING ALL NECESSARY PERMITS FOR CLEARING, SOIL EROSION PROTECTION, AND DISPOSING OF DEBRIS FROM THE SITE
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION, OR RE-ROUTING OF ANY UTILITIES, UNDERGROUND AND OVERHEAD, WITH EACH RESPECTIVE UTILITY COMPANY
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE PASSAGeways FOR TRAFFIC AND PEDESTRIANS TO EXISTING BUSINESSES WHICH WILL REMAIN IN OPERATION THROUGHOUT THE DURATION OF CONSTRUCTION
- THE CONTRACTOR SHALL FOLLOW ALL SOIL PREPARATION AND FOUNDATION CONSTRUCTION RECOMMENDATIONS AS STATED IN THE GEOTECHNICAL ENGINEERING REPORT
- THE ARCHITECT IS NOT RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR ANY ACCIDENTAL RUPTURES DURING EXCAVATION OR CONSTRUCTION
- THE CONTRACTOR SHALL REMOVE ALL VISIBLE AND PARTIALLY BURIED DEBRIS FROM AREAS TO BE DEVELOPED OR GRADED AND DISPOSE OF AT AN APPROPRIATE OFF-SITE LOCATION IN COMPLIANCE WITH AUTHORITIES HAVING JURISDICTION
- ALL ABANDONED UTILITIES SHALL BE CAPPED, SHUT OFF AT MAIN, AND FILLED
- ANY UTILITY LINES NO LONGER IN USE (EITHER SHOWN ON THIS DRAWING OR DISCOVERED DURING CONSTRUCTION) SHALL BE COMPLETELY REMOVED THROUGH COORDINATION WITH THEIR RESPECTIVE UTILITY COMPANY IF THEY CONFLICT WITH ANY NEW UTILITY OR STRUCTURE
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION, SHORING AND SUPPORT TO ANY LANDSCAPE TO REMAIN ACCORDING TO THE LANDSCAPE DRAWINGS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING THE REQUIRED ABATEMENT APPROVALS, CERTIFICATIONS AND PERMITS FOR LEAD, ASBESTOS, MERCURY, RODENTS, AND ANY OTHER TOXIC SUBSTANCE PRIOR TO DEMOLITION AS REQUIRED BY LOCAL, STATE, AND FEDERAL JURISDICTIONS HAVING AUTHORITY
- THE CONTRACTOR SHALL CONTACT THE CITY OF MIAMI BEACH MORE THE APPROPRIATE DEMOLITION PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MIAMI BEACH AND THE DEPARTMENT OF TRANSPORTATION WHEN DEALING TRAFFIC SIGNAGE THAT IS AFFECTED BY THE WORK
- THE CONTRACTOR SHALL ERECT TEMPORARY COVERED PASSAGeways AS REQUIRED BY AUTHORITIES HAVING JURISDICTION
- CONTRACTOR SHALL PROVIDE CONTINUOUS WATER SERVICE TO DEBRIS AND OTHERWISE PREVENT DEBRIS/DUST FROM SPREADING TO ADJACENT PROPERTIES AND PUBLIC RIGHT OF WAY.
- CONTRACTOR TO PROVIDE A TEMPORARY FENCE/WALL TO PROTECT ADJACENT PROPERTIES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION
- MEANS OF EGRESS AND LIFE SAFETY EQUIPMENT OF ADJACENT BUILDINGS SHALL NOT BE OBSTRUCTED WHILE WORK IS BEING PERFORMED ON THE SITE.

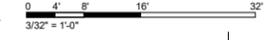
LEGEND

- PROPERTY LINE
- EXISTING CURB / GUTTER TO BE REMOVED
- LIMITS OF DEMOLITION

NOT FOR CONSTRUCTION



1 DEMOLITION PLAN - GROUND LEVEL



ARCH D 36"x24"

LOADING DOCK ENTRY (DELIVERIES)

MID-SIZE TRUCK STUDY FROM AUTODESK VEHICLE TRACKING: MERCEDES ATEGO 1218 7'-7" 3/8" WIDE X 23'-2" 1/16" LONG

COLLINS COURT 20' ALLEY

NORTH BOUND ONE WAY

PARKING GARAGE ENTRY

1 LOADING DOCK ACCESS 3/32" = 1'-0"

LOADING DOCK ENTRY (DELIVERIES)

GARBAGE COMPANY MANEUVERS BIN DURING PICK UP

STANDARD GARBAGE TRUCK STUDY FROM AUTODESK VEHICLE TRACKING: 8'-5" WIDE X 35'-0" LONG

COLLINS COURT 20' ALLEY

NORTH BOUND ONE WAY

PARKING GARAGE ENTRY

2 SANITATION VEHICLE ACCESS / SOLID-WASTE PICK UP 3/32" = 1'-0"

0 4' 8' 16' 32' 3/32" = 1'-0"

GARBAGE TRUCK

5'-0" RESIDENTIAL FRONT SETBACK

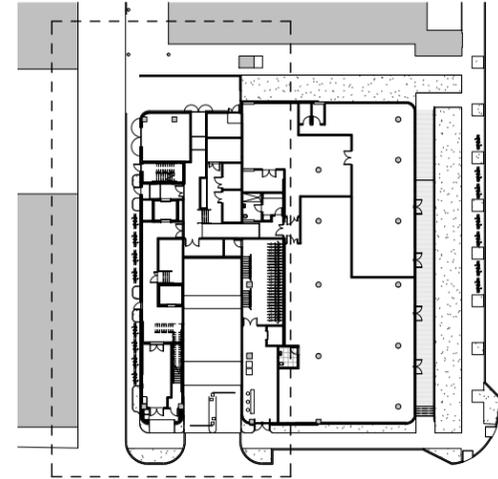
ALTERNATE PERMANENT LOCATION FOR RESIDENTIAL & COMMERCIAL BIN - HAULED IN SMALLER CARTS PER PICK UP SCHEDULE

COMMERCIAL TRASH BIN 6' MAX

TRASH

RESIDENTIAL TRASH BIN

5'-0" RESIDENTIAL FRONT SETBACK



3 GROUND FLOOR KEY PLAN 1/32" = 1'-0"

SANITATION NARRATIVE

Garbage trucks shall stop briefly in the alley and rollout carts, stored within a chilled storage room and accessible through the loading dock, shall be rolled out upon collection.

An alternate, permanent location for trash bins (dumpsters) is located north of the loading dock within the property line. If the sanitation company prefers this location, residential and commercial garbage can be carted from the chilled storage rooms to this bin.

Overhead clearance for garbage trucks to be coordinated with a Civil Engineer, the City of Miami Beach and the private solid waste collection company (TBD).

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner: Savoy Hotel Partners, LLC c/o Allied Partners 770 Lexington Ave 17th Floor New York, NY 10065-8165

Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York, NY 10152 License # AA26003249

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NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19

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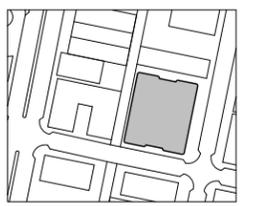
PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.78 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

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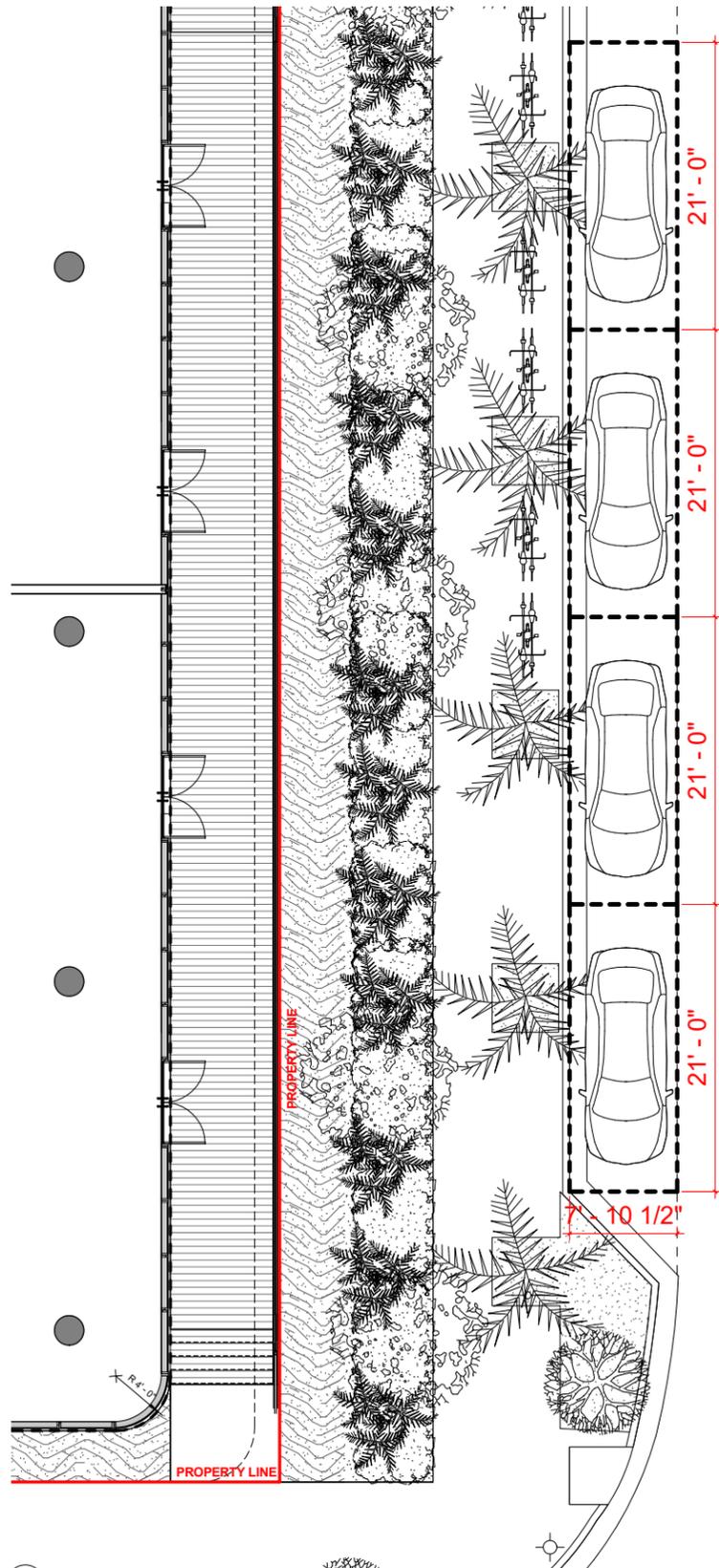
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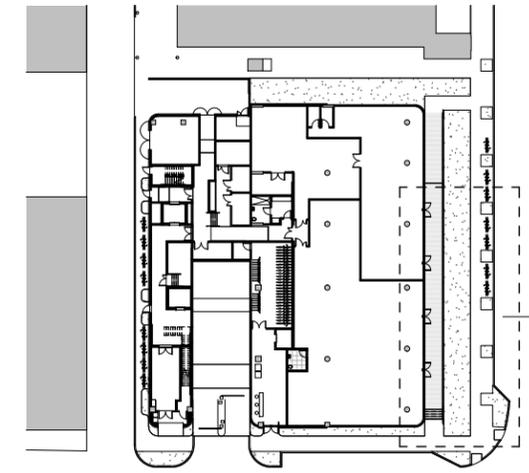
DRAWING TITLE

HPB A-045.1
LOADING DOCK ACCESS & SANITATION OPERATIONS

NOT FOR CONSTRUCTION



1 RIDE SHARING AND VALET SITE PLAN
3/16" = 1'-0"



2 GROUND FLOOR KEY PLAN
1/32" = 1'-0"

PROJECT
TORINO GARAGE

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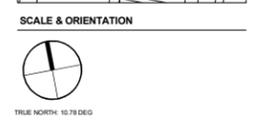
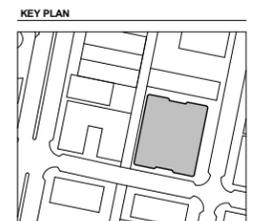
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PROJECT NO. & TITLE
 1507 TORINO GARAGE
PROJECT STATUS
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DRAWING TITLE
HPB A-045.2
 RIDE SHARING AND VALET SITE PLAN

NOT FOR CONSTRUCTION

PROJECT

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NO.	DESCRIPTION	DATE
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

05/06/19

SCALE CHECKED BY

1 : 2500

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.79 DEG

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DRAWING TITLE

HPB A-045.3
LOADING DOCK LOCATION PLAN

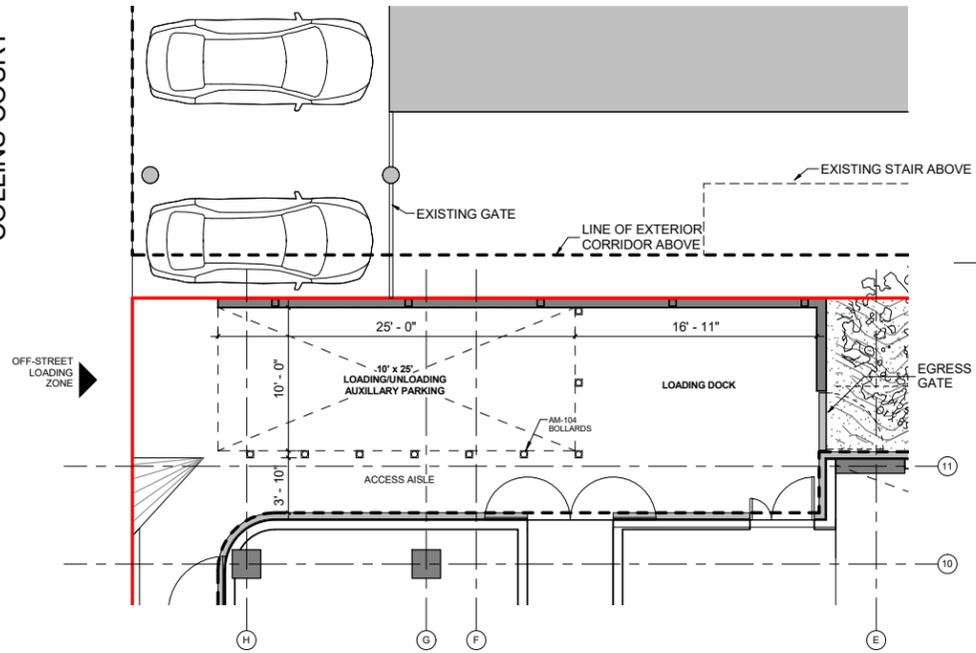


- FREIGHT LOADING ZONES / METERED PARKING
- PASSENGER LOADING ZONES
- PROPOSED LOADING DOCK

NOT FOR CONSTRUCTION

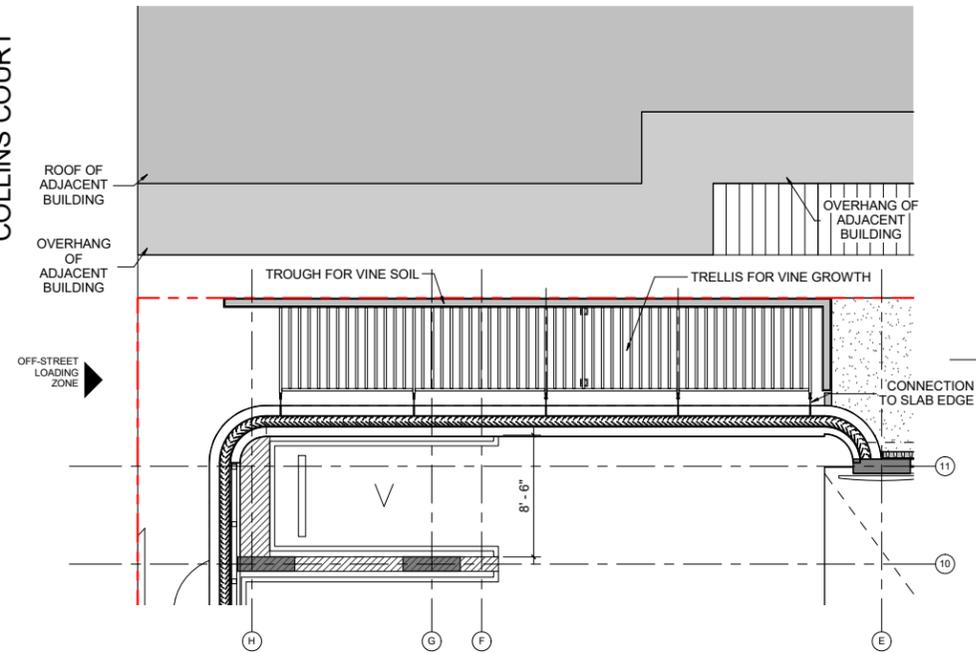
ARCH D 36"x24"

COLLINS COURT



1 LOADING DOCK PLAN
3/16" = 1'-0"

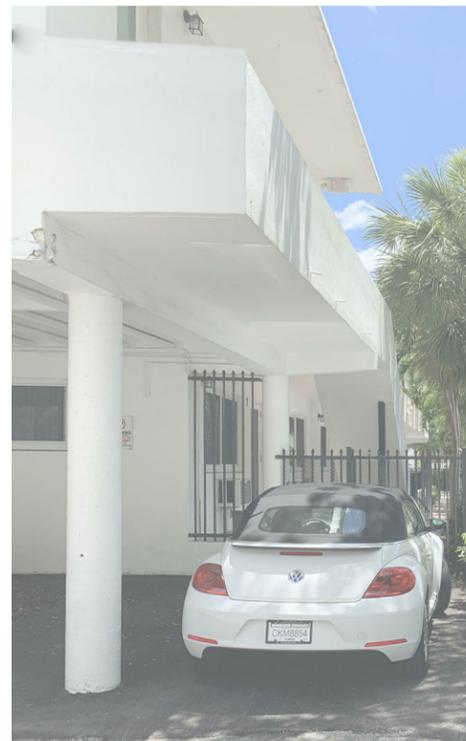
COLLINS COURT



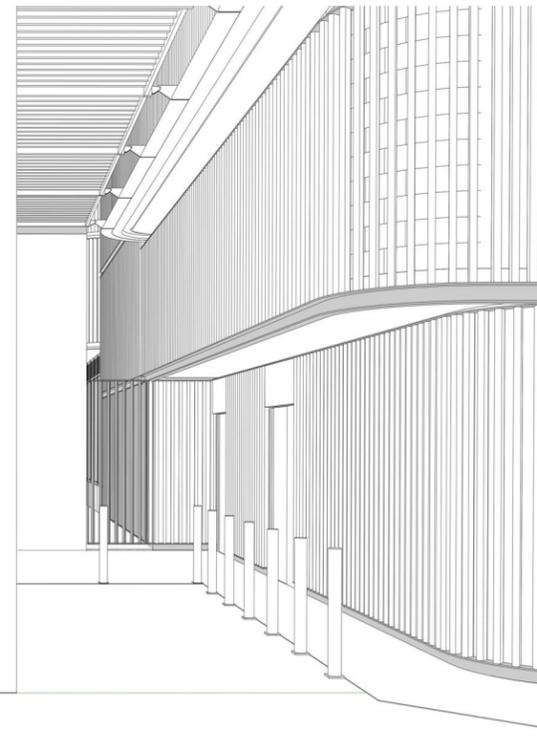
2 LOADING DOCK TRELLIS PLAN
3/16" = 1'-0"



PERSPECTIVE LOOKING TOWARDS ADJACENT PROPERTY



PERSPECTIVE LOOKING DOWN LOT LINE



PROJECT

TORINO GARAGE

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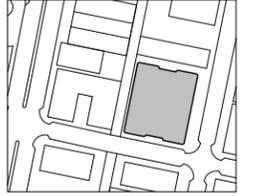
DATE OF ISSUE: 05/06/19
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SCALE: 3/16" = 1'-0"
CHECKED BY:

PROJECT NO. & TITLE: 1507 TORINO GARAGE

PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

KEY PLAN:



SCALE & ORIENTATION:



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DRAWING TITLE:

HPB A-045.4
LOADING DOCK

NOT FOR CONSTRUCTION

ARCH D 36"x24"

PROJECT

TORINO GARAGE

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DRAWING TITLE

HPB A-051
PROPOSED SITE PLAN - GROUND FLOOR

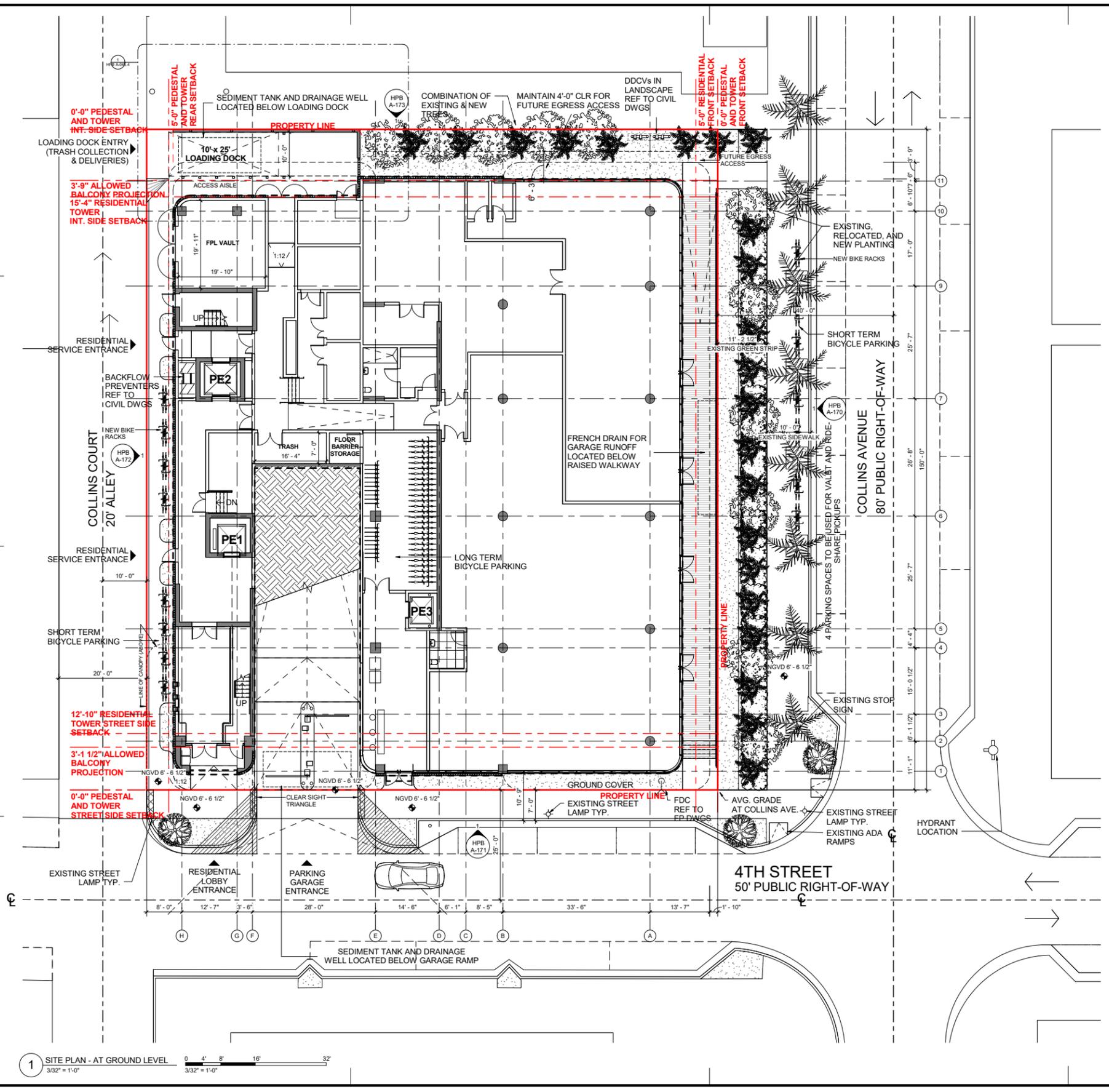
PARKING COUNT

LEVEL	PARKING SPOT	ADA SPOT	TOTAL PER FLOOR
5	41	1	42
4	38	1	39
3	36	2	38
2	0	1	1
1	0	0	0
BLDG TOTAL	115	5	120

BICYCLE PARKING SPACES
LONG TERM SPACES:45
SHORT TERM SPACES:30

PARKING LEGEND

	STANDARD SPOT 8'-6" x 18'-0"
	NARROW SPOT 8'-0" x 18'-0"
	VALET ONLY NARROW SPOT 8'-6" x 16'-0"
	ADA SPOT 12'-0" x 18'-0" ACCESS AISLE 5'-0" x 18'-0"
	RESIDENT ONLY SPOT
	CARPOOL SPOT
	ELECTRIC CHARGING SPOT (ACTIVE)
	FUTURE ELECTRIC CHARGING SPOT (PRE-WIRED)
	SCOOTER PARKING 4'-0" x 10'-10"



1 SITE PLAN - AT GROUND LEVEL
3/32" = 1'-0"
0 4' 8' 16' 32'

NOT FOR CONSTRUCTION

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
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3/32" = 1'-0"

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

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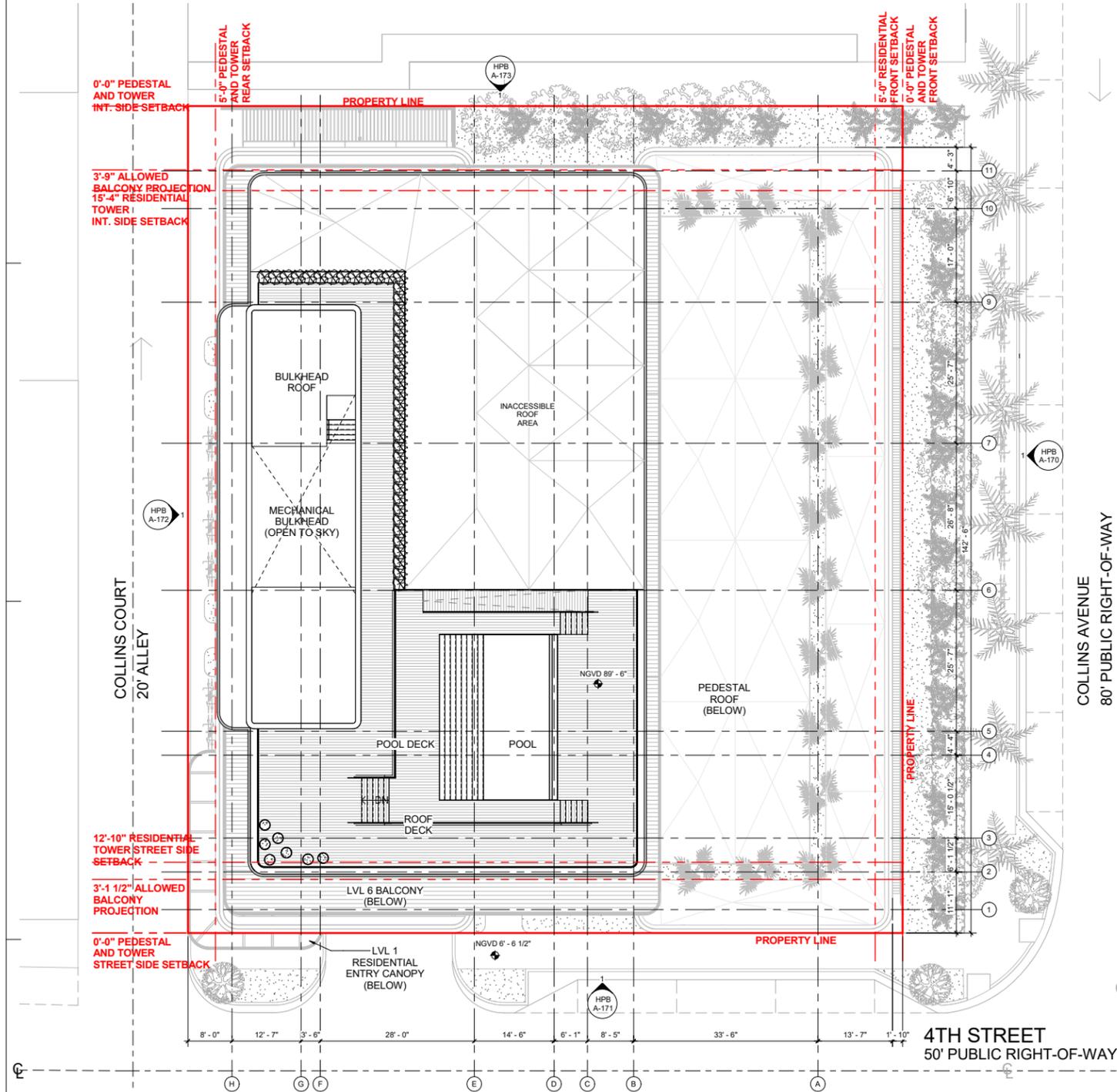
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DRAWING TITLE

HPB A-052
PROPOSED SITE PLAN - ROOF LEVEL

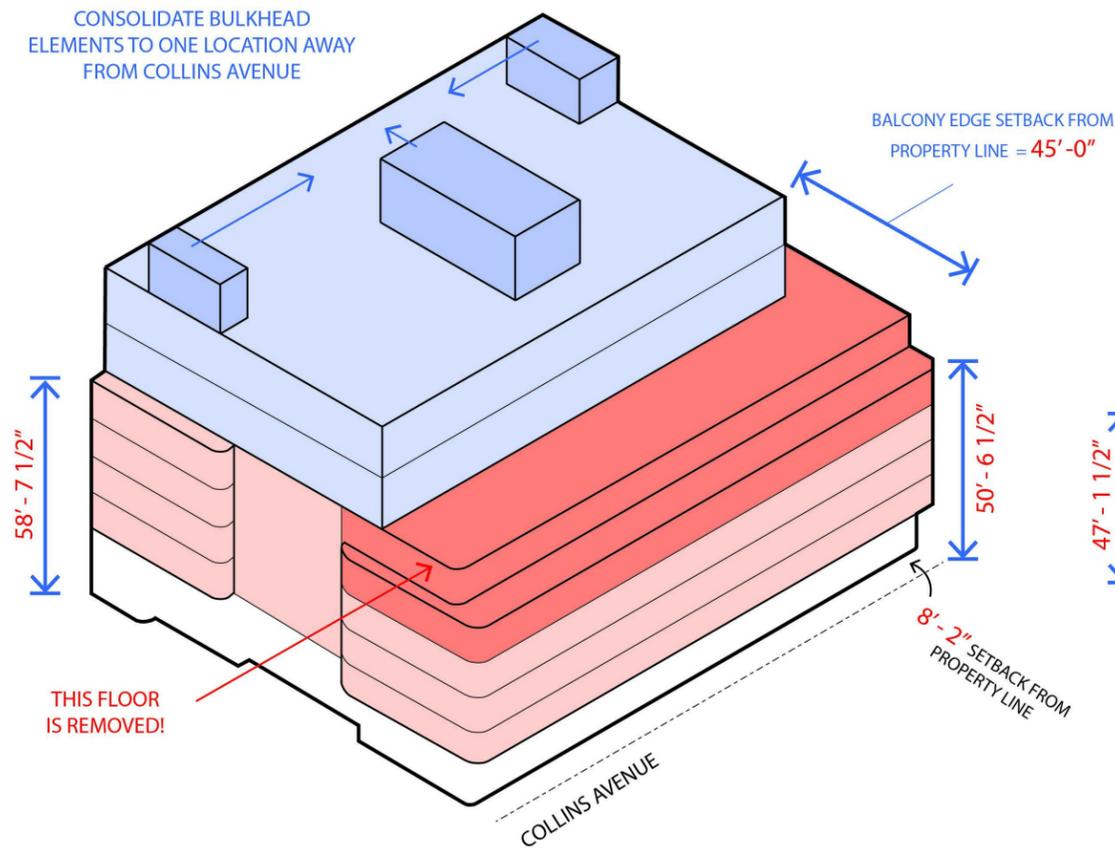
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1 SITE PLAN - FROM T.O. ROOF
3/32" = 1'-0"

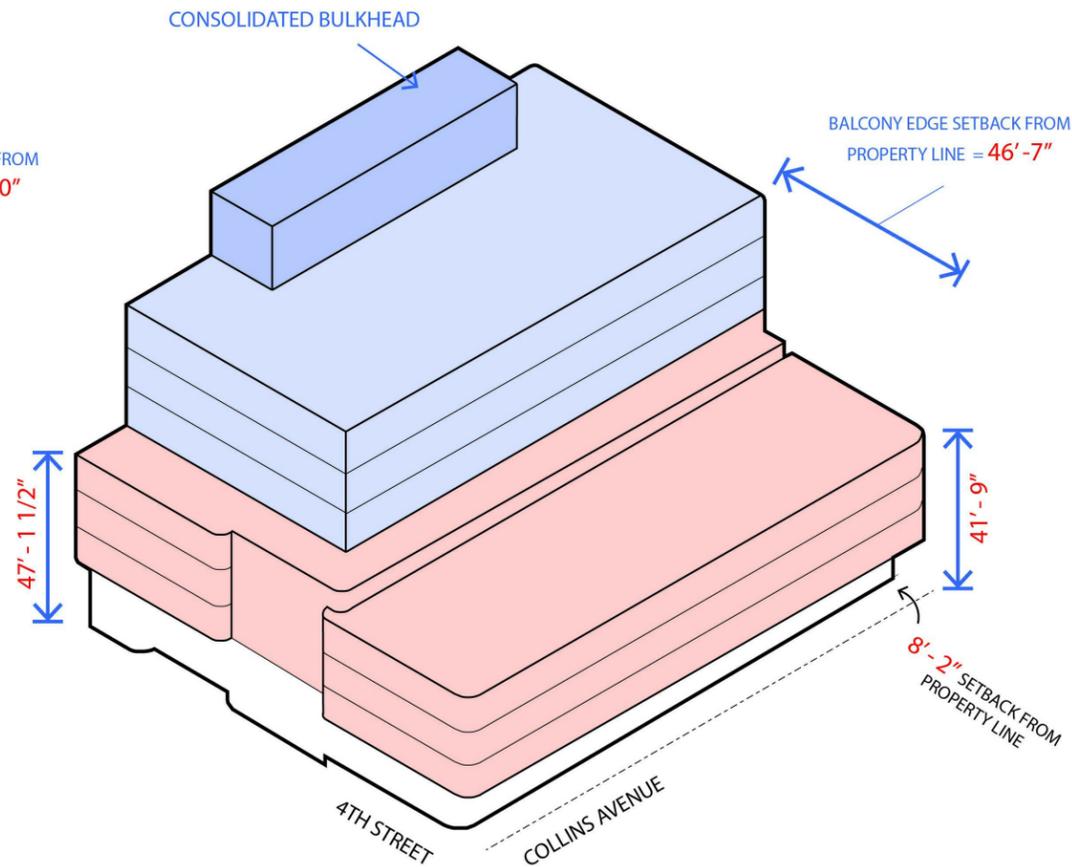


APPROVED HPB SCHEME



104,735 GFA

PROPOSED AMENDMENT SCHEME



97,174 GFA
7,769 SQ.FT. SMALLER
THAN APPROVED SCHEME

THE PROPOSED AMENDMENT SCHEME IS
96,953 CUBIC FEET SMALLER
VOLUMETRICALLY
THAN THE APPROVED HPB SCHEME

PROJECT

TORINO GARAGE

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HPB A-055
CURRENT SCHEME MASSING VS
PROPOSED SCHEME MASSING

NOT FOR CONSTRUCTION

PROJECT

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Firm Reg. No. LC26000548

NO.	DESCRIPTION	DATE
1	HPB FIRST SUBMITTAL	April 15, 2019
2	HPB FINAL SUBMITTAL	May 6, 2019

DATE OF ISSUE DRAWN BY

04/15/19 -

SCALE CHECKED BY

-

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

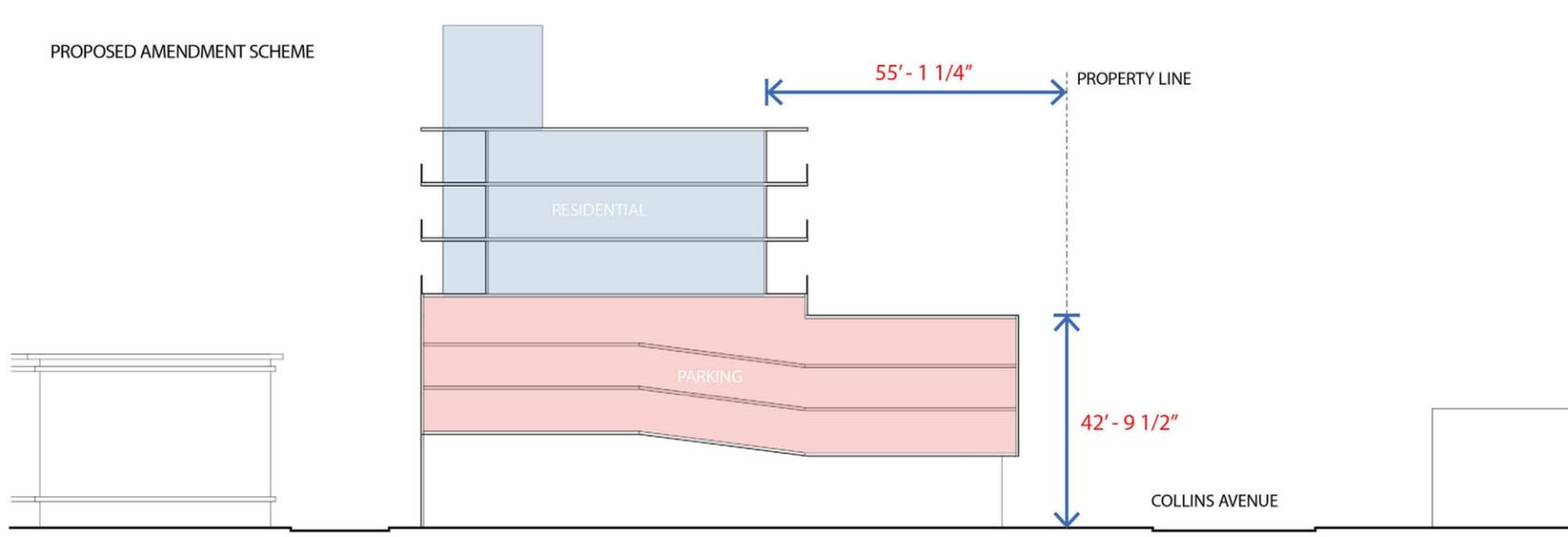
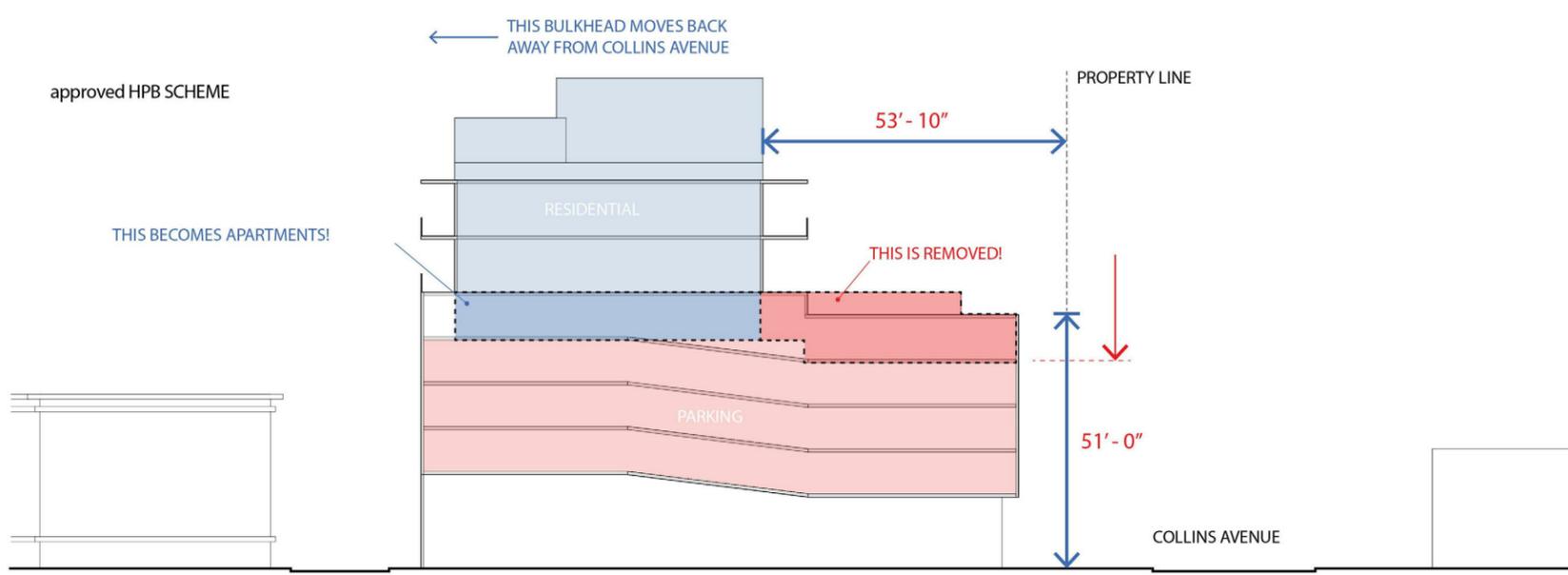
SEAL & SIGNATURE

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DRAWING TITLE

HPB A-056
CURRENT SCHEME SITE SECTION
VS PROPOSED SCHEME SITE
SECTION - ALONG 4TH STREET



NOT FOR CONSTRUCTION

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Savoy Hotel Partners, LLC
c/o Allied Partners
770 Lexington Ave
17th Floor
New York, NY 10065-8165

Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Structural Engineer:
DeSimone
800 Brickell Avenue, 6th Floor
Miami, FL 33131

MEP Engineer:
Stanlec
3915 Biscayne Blvd., Suite 401
Miami, FL 33137-3737

Civil Engineer:
VSN Engineering, Inc.
8660 W. Flagler Street, Suite 113
Miami, FL 33144

Geo-tech Engineer:
Langan
15150 NW 79th Court, Suite 200
Miami Lakes, FL 33015-5348

Life Safety Consultant:
SLS Consulting, Inc.
260 Palermo Avenue
Coral Gables, FL 33134

Parking Consultant:
Timothy Haas & Associates, Inc.
40 NW 3rd Street, Suite 1102
Miami, FL 33128

Elevator Consultant:
Van Deusen & Associates, Inc.
8201 Peters Road, Suite 1000
Plantation, FL 33324

Acoustic Consultant:
Electro-Media Design, Ltd.
973-C Russell Avenue
Galthersburg, MD 20879

Landscape Architect:
NaturalFocal, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143
Contact: Andres Arcoia
O: 786.717.6564 / M: 305.321.2341
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DRAWN BY: -

SCALE: 1/16" = 1'-0"

CHECKED BY: -

PROJECT NO. & TITLE: 1507 TORINO GARAGE

PROJECT STATUS: PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.78 DEG

SCALE AS NOTED
GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

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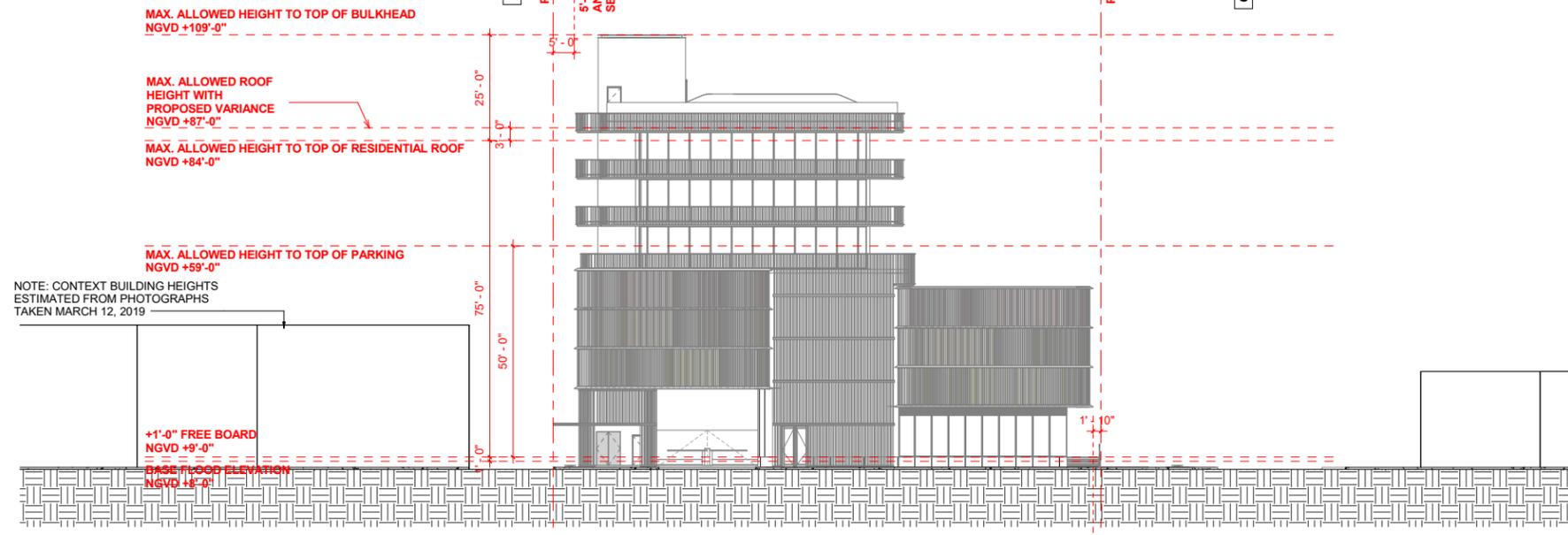
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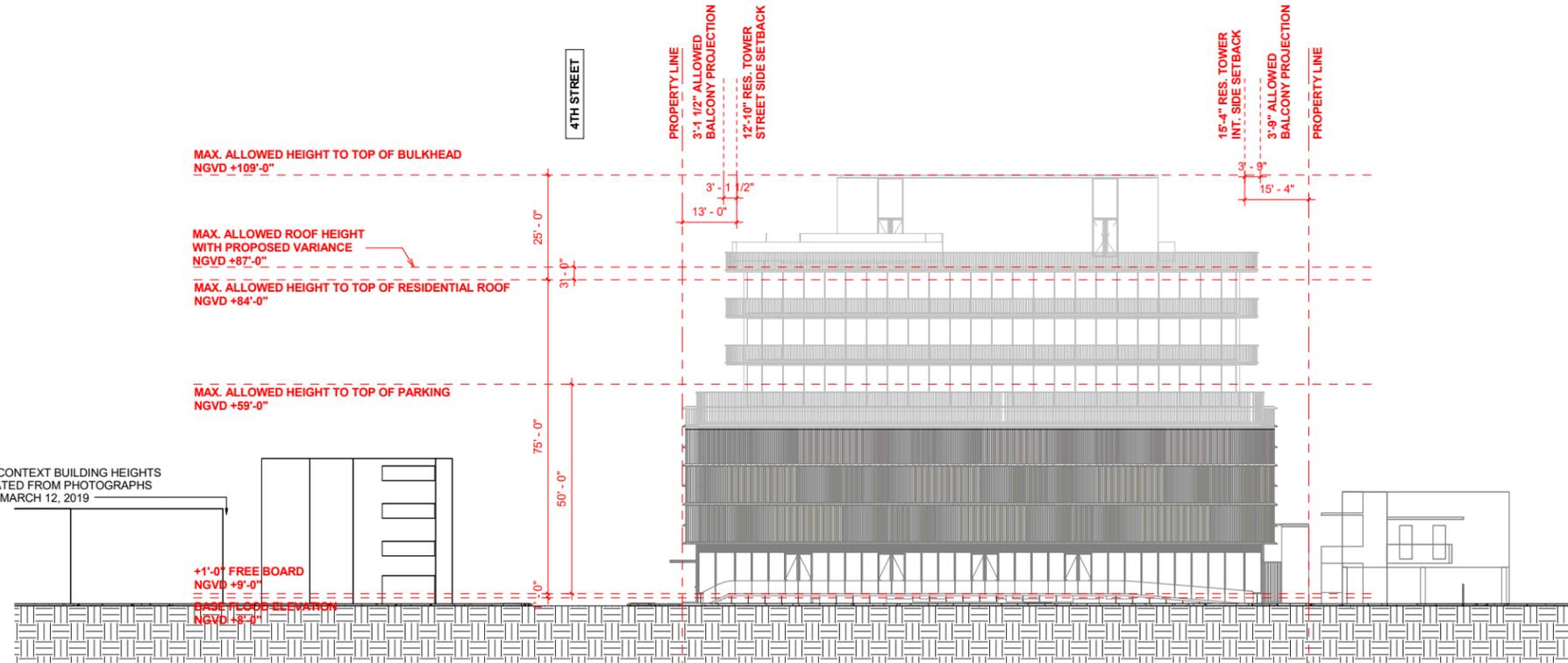
DRAWING TITLE

HPB A-060
PROPOSED SITE ELEVATION - SOUTH & EAST

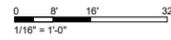
NOT FOR CONSTRUCTION



2 PROPOSED SITE ELEVATION - SOUTH
1/16" = 1'-0"



1 PROPOSED SITE ELEVATION - EAST
1/16" = 1'-0"



TORINO GARAGE

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Architect:
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1/16" = 1'-0" -

PROJECT NO. & TITLE

1507 TORINO GARAGE

PROJECT STATUS

PLANNING BOARD FINAL SUBMITTAL

KEY PLAN



SCALE & ORIENTATION



TRUE NORTH: 15.79 DEG

SCALE AS NOTED

GRAPHIC SCALE (AS NOTED)

SEAL & SIGNATURE

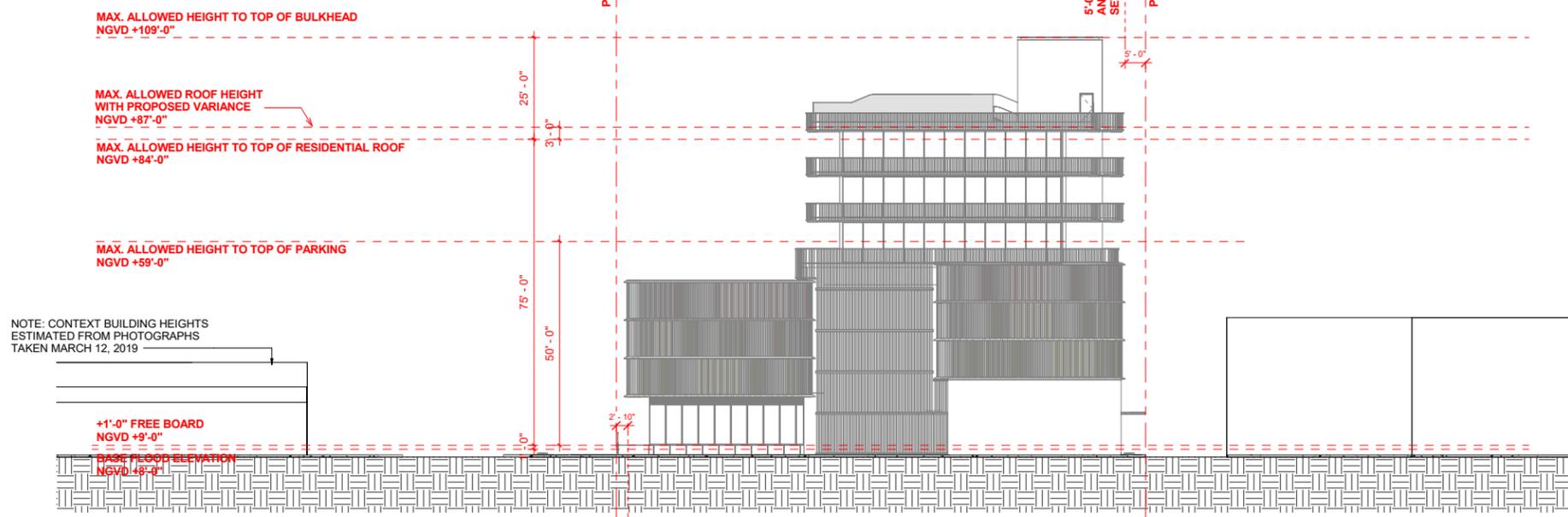
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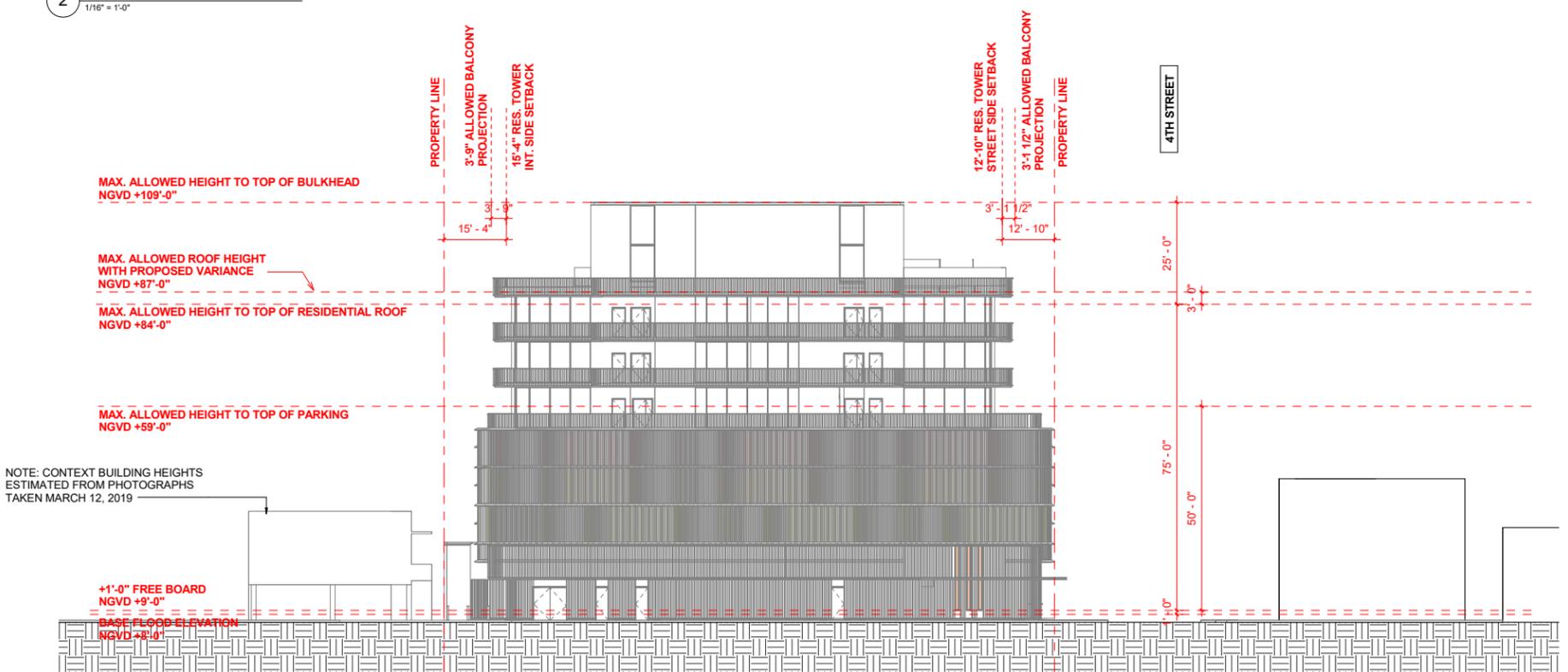
DRAWING TITLE

HPB A-061
PROPOSED SITE ELEVATION - NORTH & WEST

NOT FOR CONSTRUCTION



2 PROPOSED SITE ELEVATION - NORTH
1/16" = 1'-0"



1 PROPOSED SITE ELEVATION - WEST
1/16" = 1'-0"

